

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Peter Spiv</i>	PROJECT No(s). <i>DR-15-10</i>	
NON-REFUNDABLE FEE(S) <i>\$2100</i>	REFUNDABLE DEPOSIT(S) <i>\$</i>	TOTAL <i>\$2100</i>

Type of Review (Please check all that apply):

- | | | |
|---|--|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input type="checkbox"/> Conditional Use (CUP)
<input checked="" type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses *
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|---|--|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address:

20001 SALAMO RD

Assessor's Map No.: **2S1 26A**

Tax Lot(s): **701**

Total Land Area: **21.38 ac**

Brief Description of Proposal: TO CONSTRUCT A 1,200+ SQUARE-FOOT CONCESSION, RESTROOM, AND TEAM ROOM BUILDING IMMEDIATELY NORTH OF THE EXISTING SOFTBALL FIELD AT ROSEMONT RIDGE MIDDLE SCHOOL.

Applicant Name: TIM WOODLEY

(please print)

Phone: **503.673.7976**

Address: West Linn-Wilsonville Sch. Dist., 2755 SW Borland Rd.

Email: woodleyt@wlwv.k12.or.us

City State Zip: **TUALATIN, OR 97062**

Owner Name (required): SAME

(please print)

Phone:

Address:

Email:

City State Zip:

Consultant Name: KEITH LIDEN

(please print)

Phone: **503.757.5501**

Address: 319 SW Washington St., Suite 914

Email: keith.liden@gmail.com

City State Zip: **PORTLAND, OR 97204**

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature

Date

Owner's signature (required)

Date

Transmittal

Project: Rosemont Middle School – Class I Design Review Application
Date: June 29, 2015
To: Peter Spir
West Linn Planning Department
22500 Salamo Road
West Linn, OR 97068
From: Keith Liden
cc: Tim Woodley, Remo Douglas, Tony Vandenberg, Bill Conboy, and Amy Berger
Via: Messenger
Phone: 503.757.5501
Email: keith.liden@gmail.com

Contents:

- West Linn application form (1 original)
 - Application narrative (3 copies)
 - Plan set – full size (3 copies)
 - Plan set – 11"X17" (3 copies)
-

Remarks:

- A digital version of the application was emailed to Peter Spir on June 29, 2015.
- West Linn-Wilsonville School District will contact the city directly to pay the \$2,100 fee.

ROSEMONT RIDGE MIDDLE SCHOOL
Class I Design Review
June 26, 2015

APPLICATION SUMMARY

For Class I Design Review to construct a single story 1,160 square-foot concession, restroom and team room building on the Rosemont Ridge Middle School property.

GENERAL INFORMATION

Location

20001 Salamo Road (Assessor's Maps and Tax Lot - 2S 1E Section 26A, TL 701). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

Comprehensive Plan - Residential.

Zoning – R10 Single Family Residential, Detached.

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
2755 SW Borland Road
Tualatin, OR 97062
Phone: 503.673.7976
E-mail: woodleyt@wlwv.k12.or.us

Applicant's Representative

Keith Liden, AICP
319 SW Washington Street, Suite 914
Portland, OR 97204
Phone: 503.757.5501
E-mail: keith.liden@gmail.com

Plan Sheets

	Cover Sheet
C0	Overall Site Plan
C1	Utility Plan
C2	Utility Details
A1	Plan View
A2	Exterior Elevations
L1	Materials and Layout Plan
L2	Grading Plan
L3	Planting and Irrigation Plan
L4	Site and Irrigation Details

Figure 1 – Vicinity Photo



Source: City of West Linn

BACKGROUND INFORMATION

Site Description

The existing athletic field improvements on the 21.38-acre Rosemont Ridge Middle School site are the result of the original conditional use approval originally granted by the city in 1997 and a Class II Design Review approval to install field lights in 2009 (DR-09-05). The southern portion of the site includes the running track, football/soccer field, and softball field.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

Table 1
Land Use Summary

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u>	R-10	Middle School
<u>Surrounding Properties</u>		
North	FU10/R7/R10	Senior Center /Single family residences
West	RRFF5	Agricultural
East	R3/R10	Single family residences/open space
South	RRFF5	Agricultural/ Single family residences

APPLICATION SUMMARY

Background

The West Linn-Wilsonville School District accommodates a variety of its athletic programs on the site, including West Linn High School girls' softball. Currently, restroom facilities are provided with portable toilets or sometimes facilities within the middle school building. Concessions are provided during some athletic events using temporary stands. Storage of athletic equipment is accomplished in a variety of locations.

Proposed Building

The District wishes to house these current activities within one permanent building and cease using temporary structures and facilities. This will simply accommodate existing activities with a building, which is more functional and aesthetically pleasing than the temporary facilities used today. In addition, it will provide more convenient, pleasant, and accessible restrooms.

The proposed 1,160 square-foot building is proposed to be located on the north side of the softball field, between home plate the parking lot (Sheets C0, L1 and L2). The building will include rooms with floor space to support the activities summarized in Table 2 (Sheet A1). The sidewalk system is currently in place, and a modest amount of additional sidewalk is proposed along the front (south) and sides of the building (Sheet L1). The area to the rear will continue to be lawn. To mitigate the additional run-off resulting from the new building and paving, a storm water

facility is proposed in the lawn area (Sheets L1, C1, and C2). The storm water will then be directed into the existing system located to the northeast.

Table 2
Building Summary

<i>Rooms</i>	<i>Floor Area (Sq. Ft.)</i>
Concessions	150
Team locker room	268
Restrooms	232
Equipment storage	297
Mechanical	25
Total Interior	972
<i>Total Exterior</i>	<i>1,160</i>

CITY OF WEST LINN APPROVAL CRITERIA

Section 99.120(C) allows the Planning Director to identify the parameters of the submittal appropriate to the application and applicable approval criteria. The West Linn planning staff found that the proposed building is appropriately categorized as a Class I Design Review application. The following West Linn Community Development Code (CDC) criteria were determined to be applicable to this application:

- CDC 55.070(D)(1)(b) and (c) – Class I Design Review Submittal Requirements
- CDC 55.090(A)(2) and (3) – Approval Standards – Class I Design Review
- CDC 55.100(J) – Crime Prevention and Safety/Defensible Space
- CDC 55.100(K) – Provisions for Persons with Disabilities

Section 55.070. (D)(1) Class I Design Review Submittal Requirements

This section requires a site plan (Subsection b) and architectural drawings (Subsection c).

Included in this application are the site plan and architectural drawings as required by these two subsections. In addition, landscape plans are included because a small portion of the site immediately adjacent to the proposed building will be re-landscaped.

Section 55.090(A)(2)

This section refers to Sections 55.100(B) (5) and (6), which are addressed below.

Section 55.090(B) Adequate public facilities

This section requires that adequate public facilities be available to serve the property. The Rosemont Ridge Middle School was provided with appropriate public facilities to serve the property. The proposed building represents a negligible impact on the existing storm water, sanitary sewer, and water facilities of the site. The building will be properly connected to existing facilities on the school site.

Section 55.100.(B)(5) Adequate distance between buildings

As noted on the overall site plan, the proposed building will be in excess of 200 feet from the nearest adjoining property, retaining more than sufficient separation between this building and surrounding properties.

Section 55.100(B)(6) Architecture

This section contains several criteria pertaining to building architecture. The findings are organized according to the subsections a. through i.

- a. The proposed one-story building represents a very small addition (<2%) to the total building square footage on the Rosemont Ridge Middle School site. It is a small distance west of the batting cage building, which is comparable in size. The new building will be located over 200 feet from the nearest adjoining property. It will have absolutely no discernible impact upon surrounding buildings and uses.
- b. The buildings in the immediate vicinity are predominantly two-story residences. The small, one-story building with separation distance noted above will provide sufficient separation between buildings. In addition, this structure will be significantly smaller than the residences in the vicinity.
- c. The scale and exterior finishes of the new building will be consistent with the colors, finishes and architectural elements of the middle school building as shown on Sheet A2.
- d. The one-story building will have windows and doors facing the surrounding walkways and activity areas, making it very approachable and “human” in scale. The building will be integrated with the existing walkways that connect the parking lot, softball field, batting cage, and track, enhancing the existing pedestrian environment.
- e. This section does not apply because the proposed structure is not a commercial building located along a public street frontage.
- f. This subsection calls for varying building elevations when they exceed 100 feet. This building has exterior dimensions of approximately 56 by 25 feet. To create a simple and functional building, the northern side of the building does not feature any changes in the building elevation. However, the façade facing the main sidewalk and activity area has several variations to enhance visual interest.
- g. Shelter from the sun and weather will be provided by the extended eave over the concession area and restroom entrances.
- h. This subsection calls for providing “safe and attractive” pedestrian environments. The orientation of the front of the building toward the main walkway connection, and widening this walkway to function as a small plaza, satisfies this criterion.
- i. This final criterion relates to uses and activities on public sidewalks on street frontages, and it is not relevant to this internal sidewalk on the school property.

Section 55.100(J) Crime prevention and safety/defensible space

This section contains several criteria pertaining to building architecture. The findings are organized according to the subsections 1. through 8:

1. The new building and the area surrounding will be highly visible from multiple directions including the school building windows, Salamo Road, and the athletic fields.
2. This criterion calls for good visibility of service areas. This building does not really have a service area, but it does comply with the purpose of this criterion its location and orientation provides several clear lines of sight to allow for easy observation of the building, surrounding pedestrian areas, and the athletic fields.
3. This criterion is not applicable because mailboxes, recycling, and solid waste facilities will not be part of this project.
4. Exterior lighting for the school grounds have already been previously approved by the city and installed. The orientation of the building to the existing walkway and pedestrian areas will take advantage of the existing lighting and security features on the site.
5. As noted above light fixtures have been provided for the parking lot and pedestrian areas, and this building will take advantage of the available lighting.
6. Light fixtures were previously provided to meet this criterion regarding proper placement and design of lighting fixtures.
7. As noted above, the building maintains sight lines to provide security and safety.
8. This criterion pertains to security fencing for utility facilities, and is not relevant to this building.

Section 55.100(K) Provisions for persons with disabilities

1. Accessible walkways have already been provided, and the building improvements include providing a direct connection with existing walkways and the parking lot. In addition, the proposed restrooms will be accessible to people with disabilities.

CONCLUSION

The proposed concession, restroom, and team room satisfies the relevant CDC requirements, and the proposal should be approved.

ROSEMONT RIDGE MIDDLE SCHOOL CONCESSIONS AND RESTROOMS

West Linn - Wilsonville School District
20001 Salamo Rd, West Linn, OR 97068

owner
West Linn - Wilsonville School District
22210 SW Stafford Road
West Linn, OR 97068
t: (503) 673-7976 f: (503) 673 7044

architect
Dull Olson Weekes - IBI Group Architects, Inc.
907 SW Stark Street
Portland, OR 97205
t: (503) 226 6950 f: (503) 273 9192

civil engineer
KPFF
111 SW 5th Avenue #2500
Portland, OR 97204
t: (503) 227 3251

structural engineer
Froelich Engineers Inc
6969 SW Hampton Street
Portland, OR 97223
t: (503) 624 7005

mechanical engineer
PAE Consulting Engineers
808 SW 3rd Avenue
Suite 300
Portland, OR 97204-2426
t: (503) 226 2921 f: (503)226 2930

electrical engineer
PAE Consulting Engineers
808 SW 3rd Avenue
Suite 300
Portland, OR 97204-2426
t: (503) 226 2921 f: (503)226 2930

landscape architect
Walker Macy
111 SW Oak Street
Suite 200
Portland, OR 97204
t: (503) 228 3122 f: (503) 273 8878

CONTENTS

civil

- C0 OVERALL SITE PLAN
- C1 UTILITY PLAN
- C2 UTILITY DETAILS

architectural

- CS COVER SHEET
- A1 PLAN VIEWS
- A2 EXTERIOR ELEVATIONS

structural

mechanical

plumbing

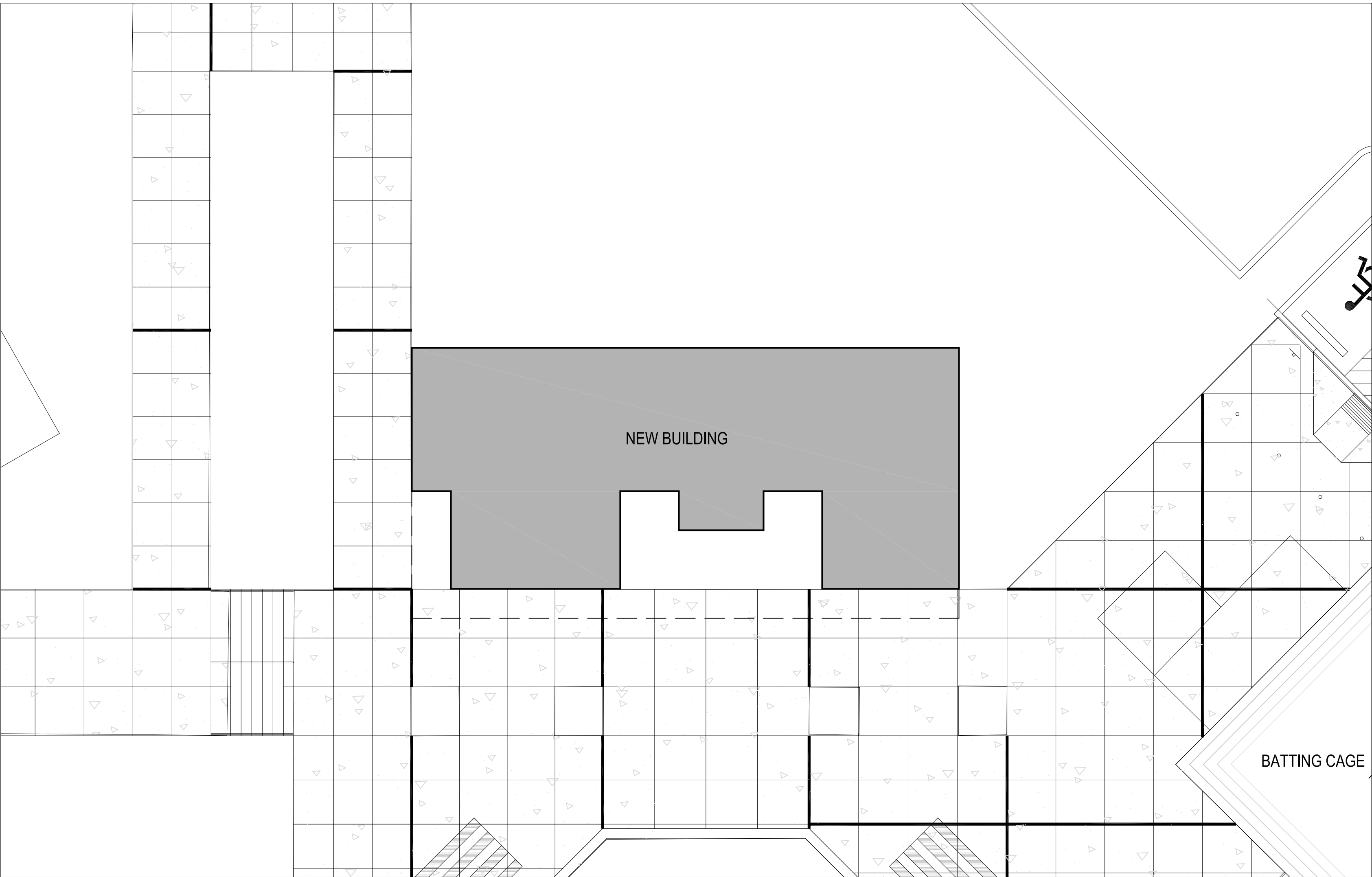
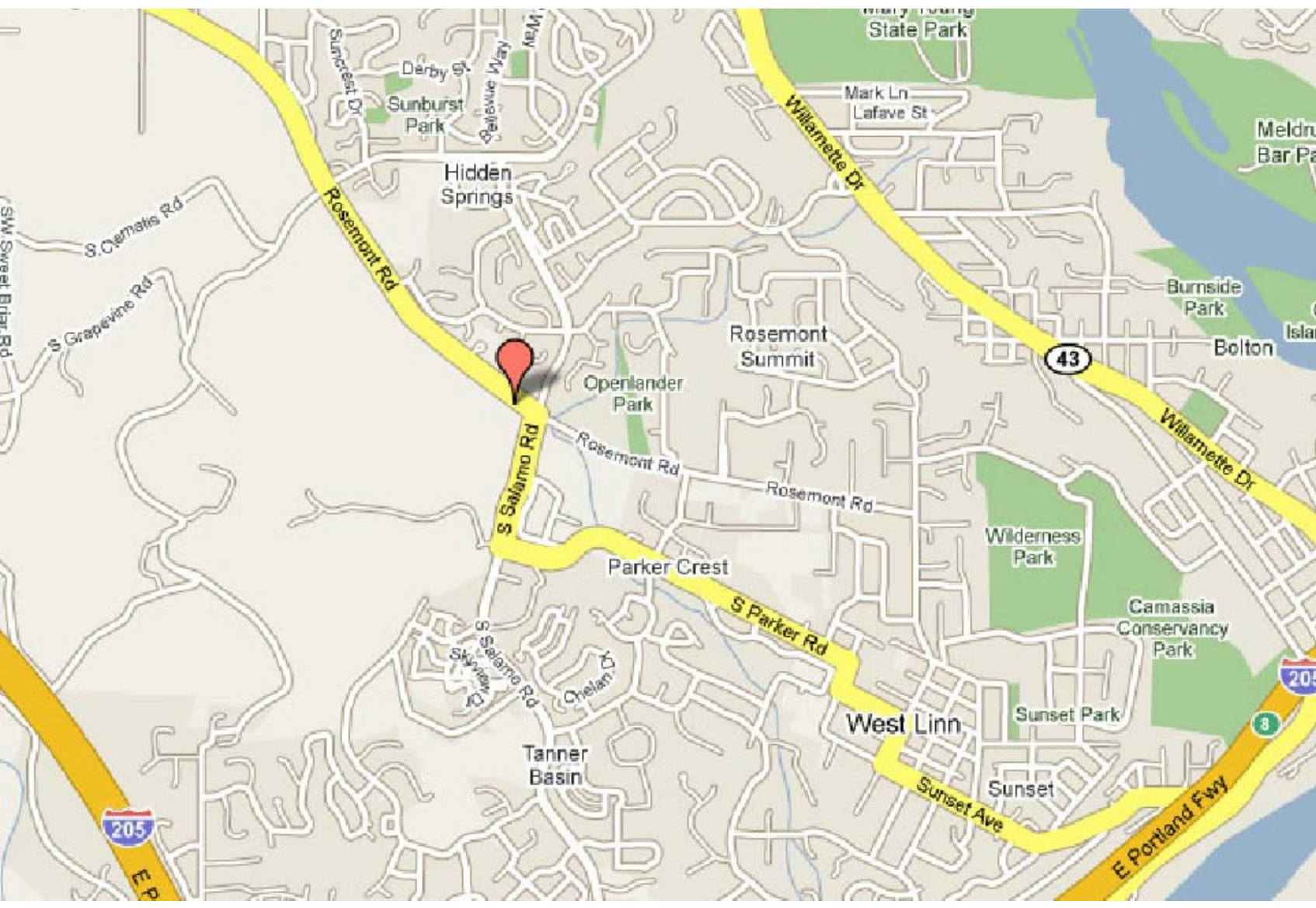
electrical

technology

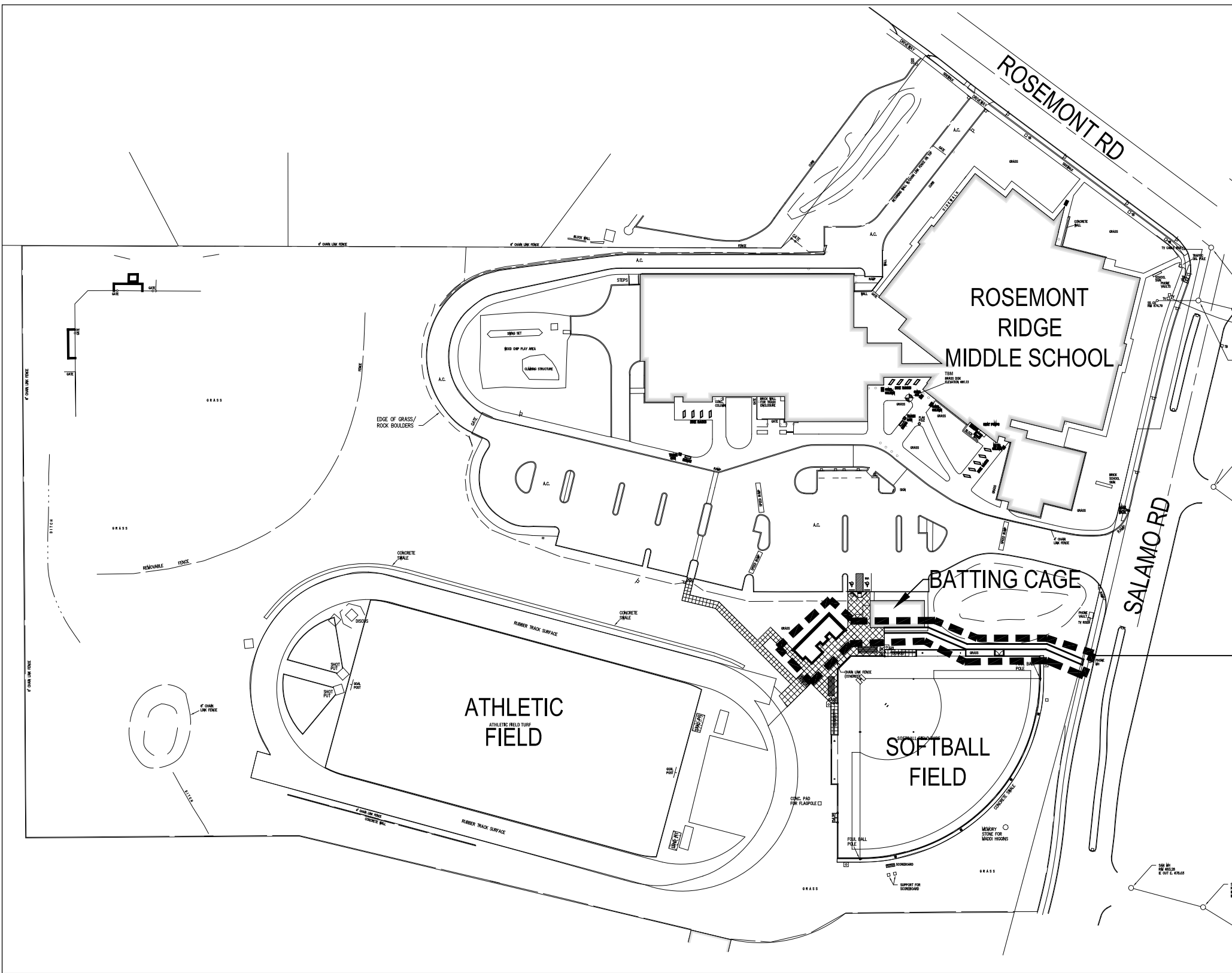
landscape

- L1 GRADING PLAN
- L2 MATERIALS AND LAYOUT PLAN
- L3 PLANTING AND IRRIGATION PLAN
- L4 SITE DETAILS

VICINITY MAP



SITE PLAN 1
SCALE: 1/8"=1'-0"



OVERALL SITE PLAN 1
NTS

LAND USE SET





West Linn - V
22210 SW Stafford Road

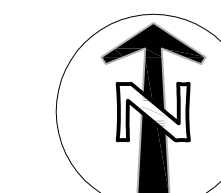
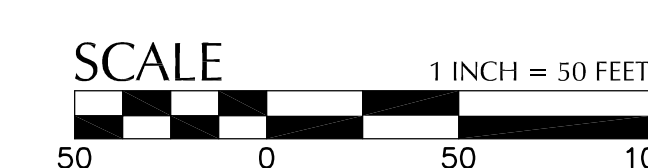
Tualatin, OR 97062
t: (503) 673 7000
f: (503) 673 7001



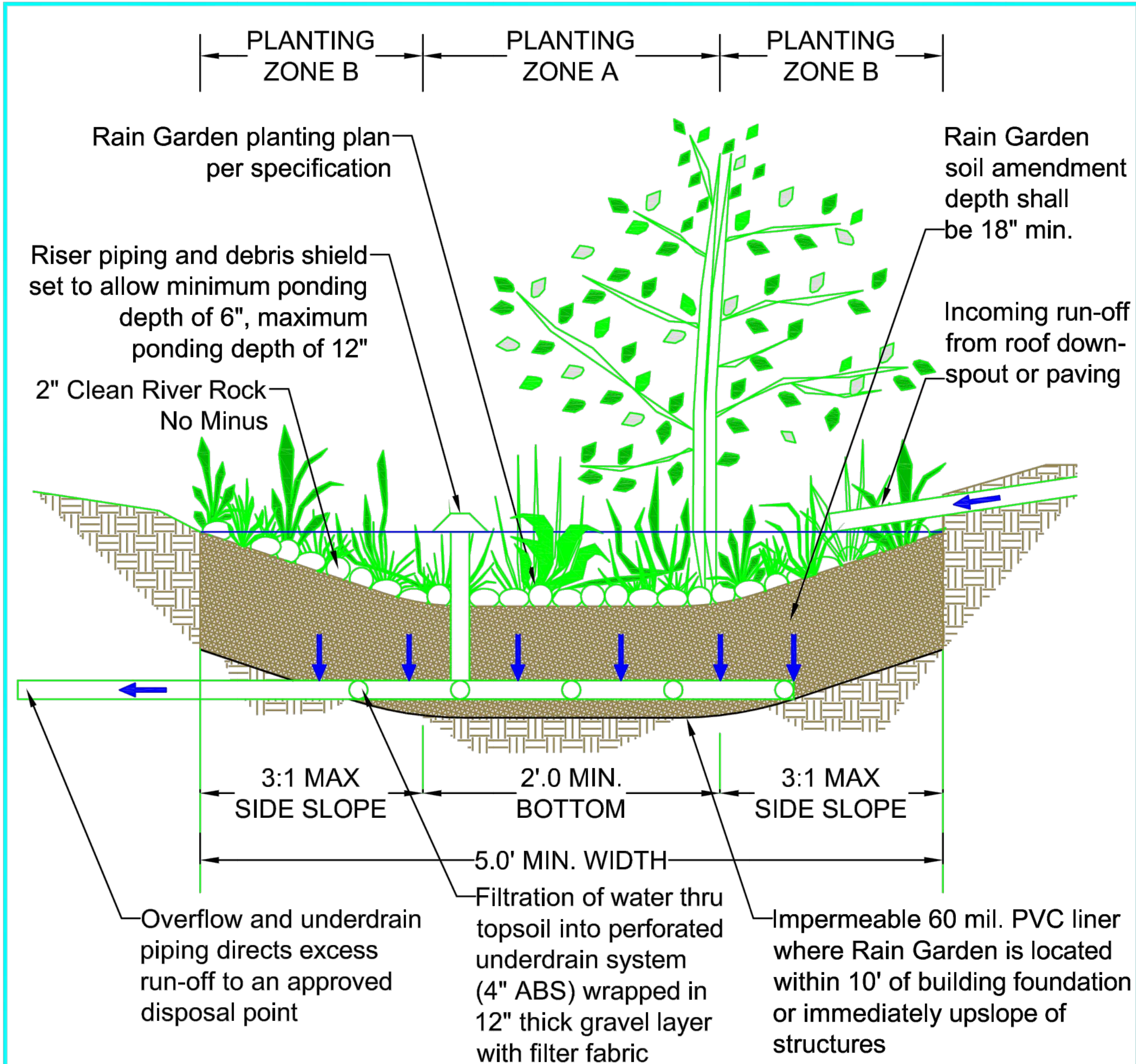
PRELIMINARY
NOT FOR
CONSTRUCTION

OVERALL SITE PLAN

CO



THIS DETAIL DRAWING SHALL NOT BE ALTERED OR CHANGED IN ANY MANNER EXCEPT BY THE CITY ENGINEER. IT IS THE RESPONSIBILITY OF THE USER TO ACQUIRE THE MOST CURRENT VERSION OF THE DETAIL.

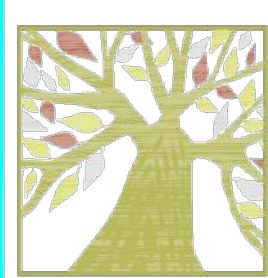


RAIN GARDEN PLANTS		
ZONE	BOTANICAL NAME	COMMON NAME
A	CAREX APERTA	COLUMBIA SEDGE
A	CAREX Densa	DENSE SEDGE
A	CAREX PANSA	SANDDUNE SEDGE
A	CAREX TESTACAE	NEW ZEALAND ORANGE SEDGE
A	CAREX TUMILICOLA	FOOTHILL SEDGE
A	DESCHAMIA CAESPITOSA	TUFTED HAIR GRASS
A	ELEOCHARIS PALUSTRIS	CREEPING SPIKE RUSH
A	JUNCUS BALTICUS	BALTIC RUSH
A	JUNCUS EFFUSUS "CARMEN'S JAPANESE"	COMMON RUSH
A	JUNCUS EFFUSUS "GOLD STRIKE"	COMMON RUSH
A	JUNCUS EFFUSUS "CARMAN'S GRAY"	COMMON RUSH
A	JUNCUS PATENS	SPREADING RUSH
B	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
B	BLECHNUM SPICANT	DEER FERN
B	CORNUS SERICEA VAR. KELSEY II	DWARF REDTWIG DOGWOOD
B	LIRIOPE MUSCARI "BIG BLUE"	BIG BLUE LILY TURF
B	GAUTHERIA SHALLON	SALAL
B	MAHONIA NERVOSA	LOW OREGON GRAPE
B	MAHONIA REPENS	CREEPING OREGON GRAPE

RAIN GARDEN SURFACE AREA =
TOTAL IMPERVIOUS AREA x 0.06

NOTE:
PLANT 1 GALLON POTS 18" O.C. IN EACH ZONE. A MINIMUM OF 3 SPECIES SHALL BE USED IN EACH ZONE.

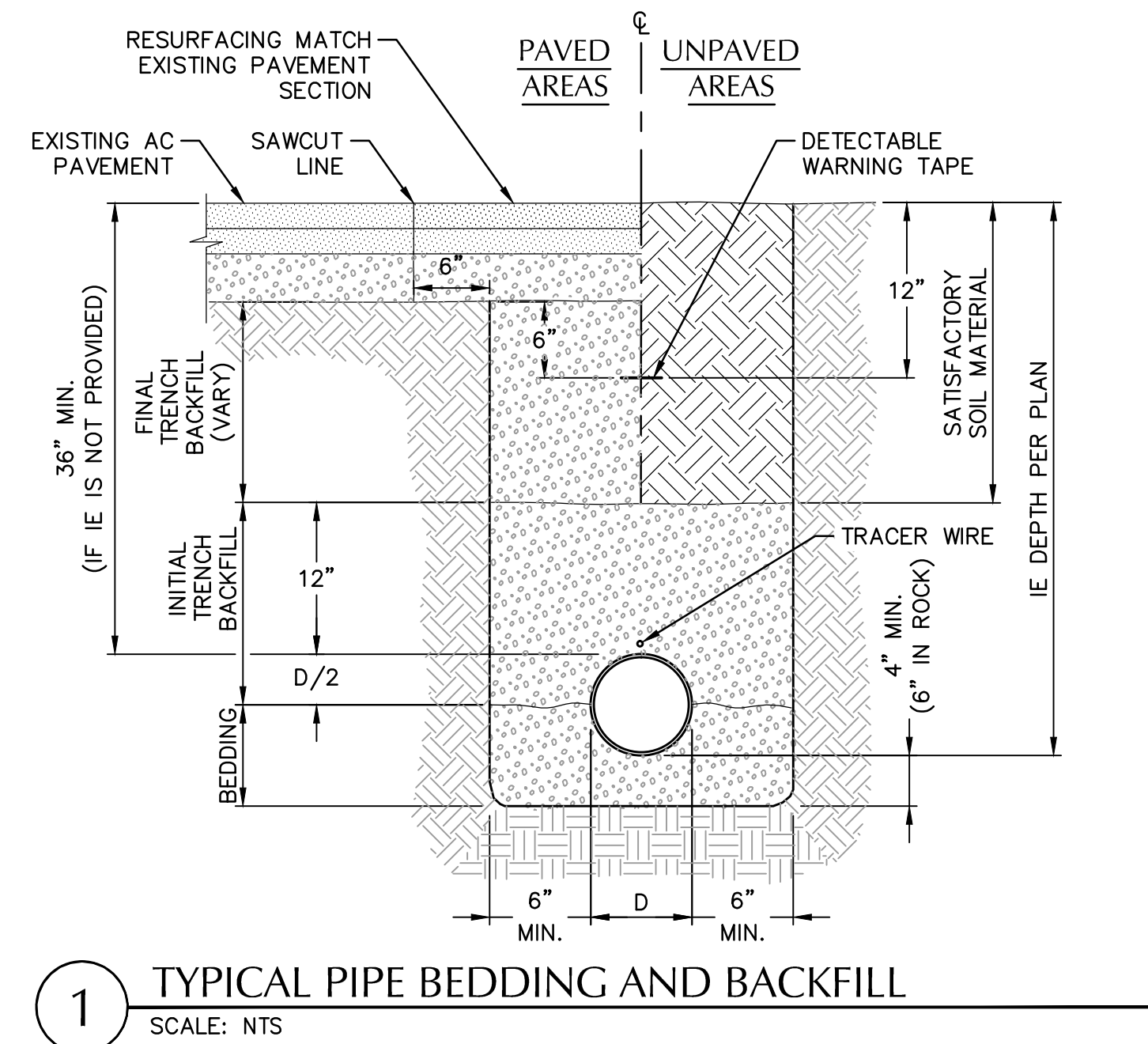
INFILTRATION RAIN GARDEN TYPE 1



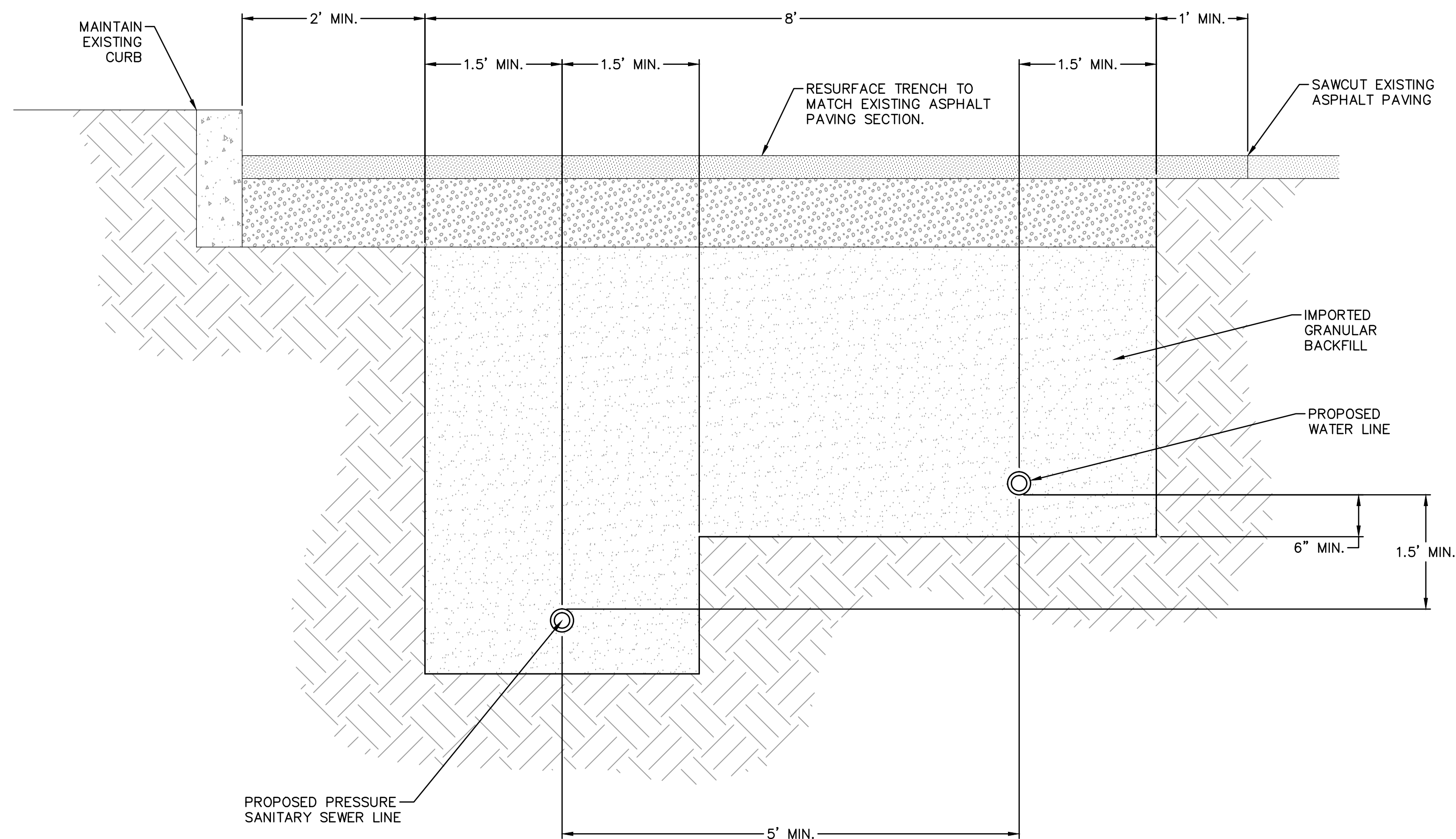
DATE: 2010
DRAWING NO. WL-617A
FILE NO.

MAINTENANCE AGREEMENT SHALL BE REQUIRED AND BE RECORDED WITH THE CITY

3 INFILTRATION RAIN GARDEN TYPE 1
SCALE: NTS



1 TYPICAL PIPE BEDDING AND BACKFILL
SCALE: NTS



2 COMBINED UTILITY TRENCH
SCALE: NTS

A. DIMENSIONS SHOWN ARE TO FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL MASONRY IS STACK BOND.

B. MASONRY DIMENSIONS ARE TO MODULE. CONTRACTOR TO COORDINATE NOMINAL MASONRY DIMENSIONS.

C. ALL INTERIOR CONCRETE SLABS SHALL BE SEALED - WOMEN 101, MEN 102, CONCESSION 103, EQUIPMENT STORAGE 104 & MECHANICAL 105

D. ALL HORIZONTAL ELECTRICAL CONDUIT SHALL BE ROUTED IN FURRED SPACE AT TRIM - POWER TO IR HEAT MAY BE SURFACE MOUNTED TO CEILING - SEE ELECTRICAL FOR ROUTING AND LIGHT FIXTURES.

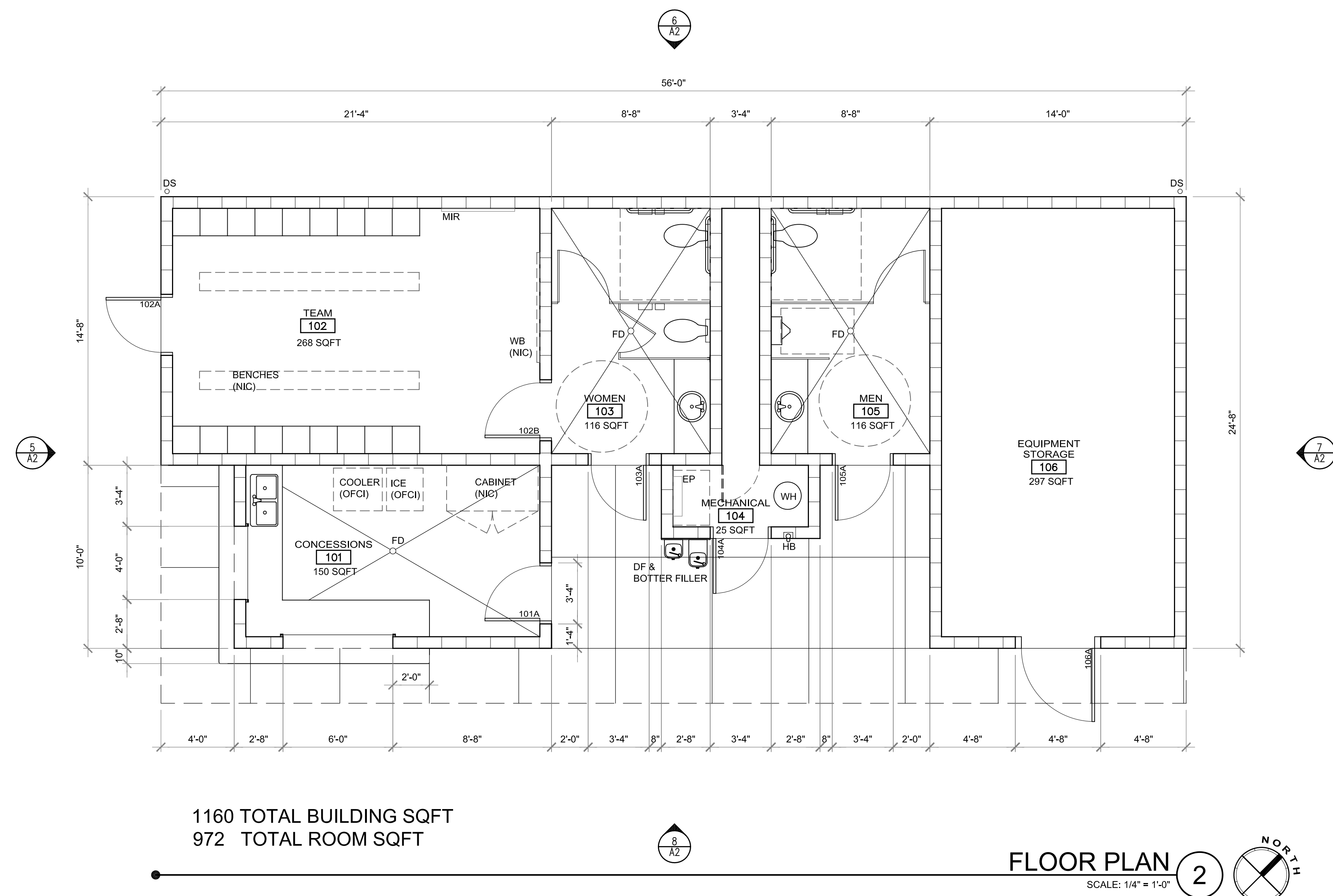
E. ALL PLUMBING SHALL BE UNDERSLAB OR IN CHASE - SEE MECHANICAL FOR PIPING AND FIXTURES.

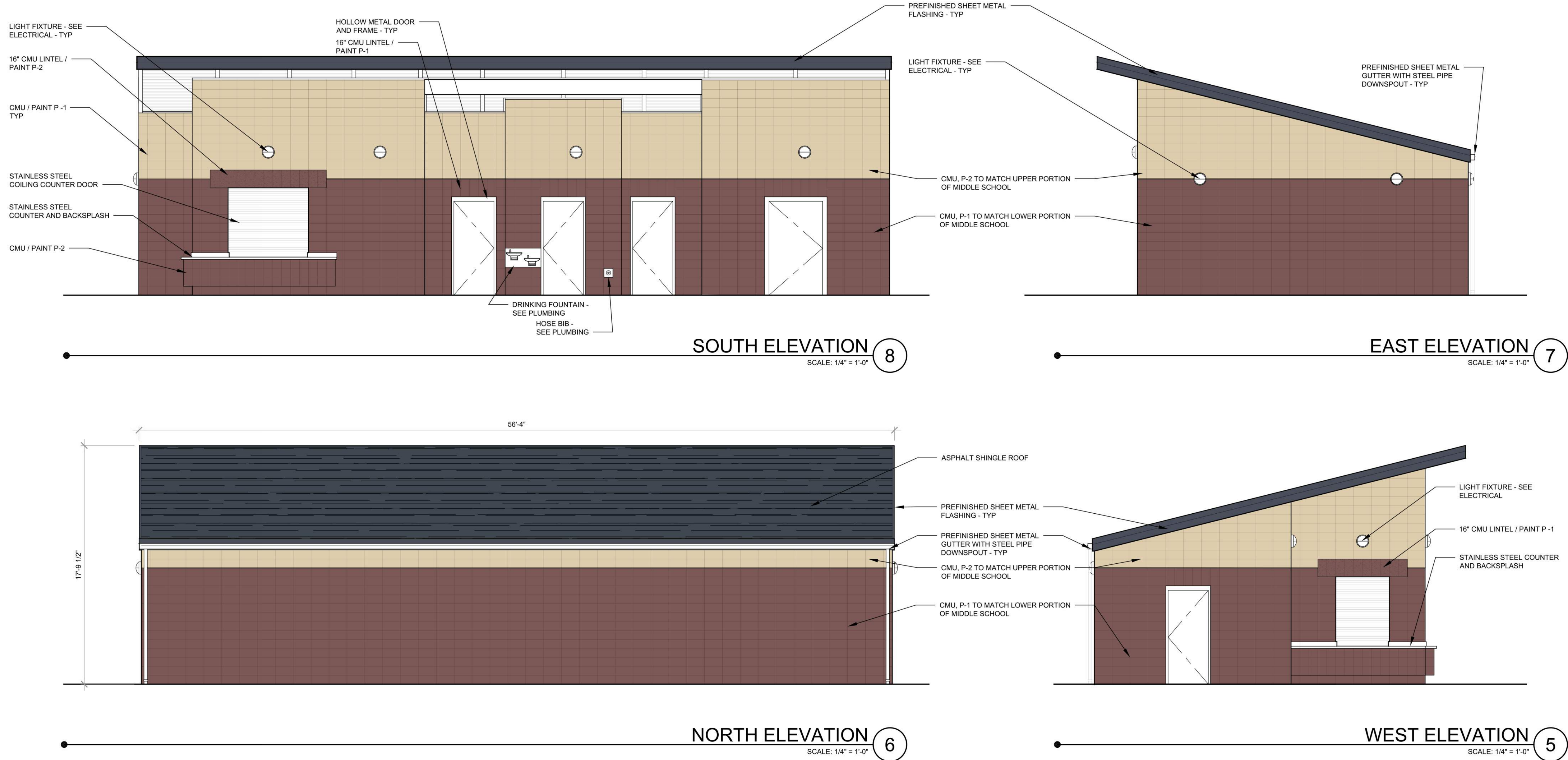


ROSEMONT RIDGE CONCESSIONS & RESTROOMS

West Linn - Wilsonville School District 3JT

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f / (503) 673 7001







EXISTING SCHOOL BRICK VENEER AND CONCRETE COLORS 2



EXISTING SCHOOL BRICK VENEER COLORS 1



Dull Olson Weekes - IBI Group
Architects, Inc.

907 SW Stark Street Portland, OR 97205 USA
tel: 503 226 8950 fax: 503 273 9192
www.dowe-ibigroup.com www.ibigroup.com

ROSEMONT RIDGE CONCESSIONS & RESTROOMS

West Linn - Wilsonville School District 3JT

22210 SW Stafford Road
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phase		LAND USE
date		JUNE 17, 2015
revisions		
project #		15019
		Exterior Elevations

ROSEMONT RIDGE CONCESSIONS & RESTROOMS

West Linn - Wilsonville School District 3JT

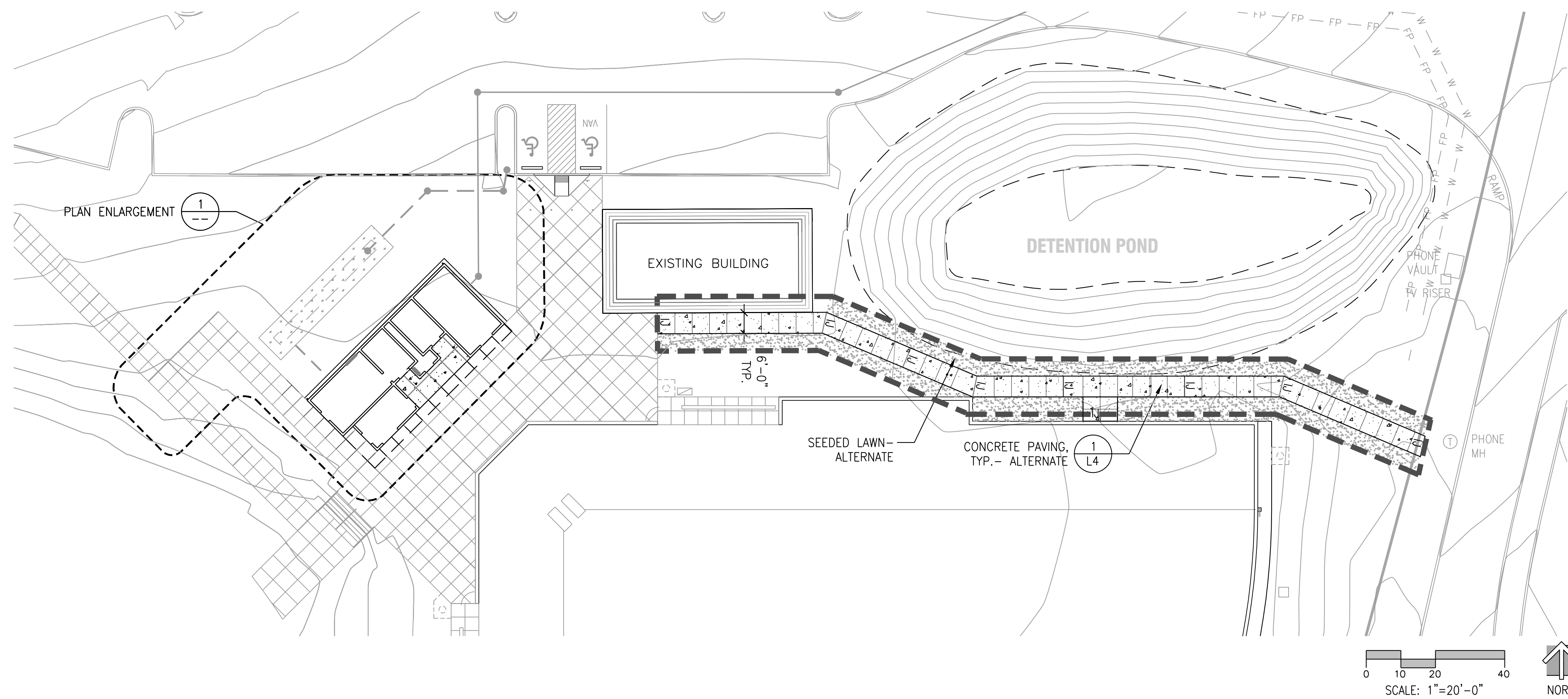
22210 SW Stafford Road
Tualatin, OR 97062
t: (503) 673 7000
f: (503) 673 7001

WALKER MACY

111 SW OAK, SUITE 200
PORTLAND, OR 97204
503 226 3122

phase	LAND USE
date	JUNE 17, 2015
revisions	
project #	15019

MATERIALS AND
LAYOUT PLAN
L1



LEGEND

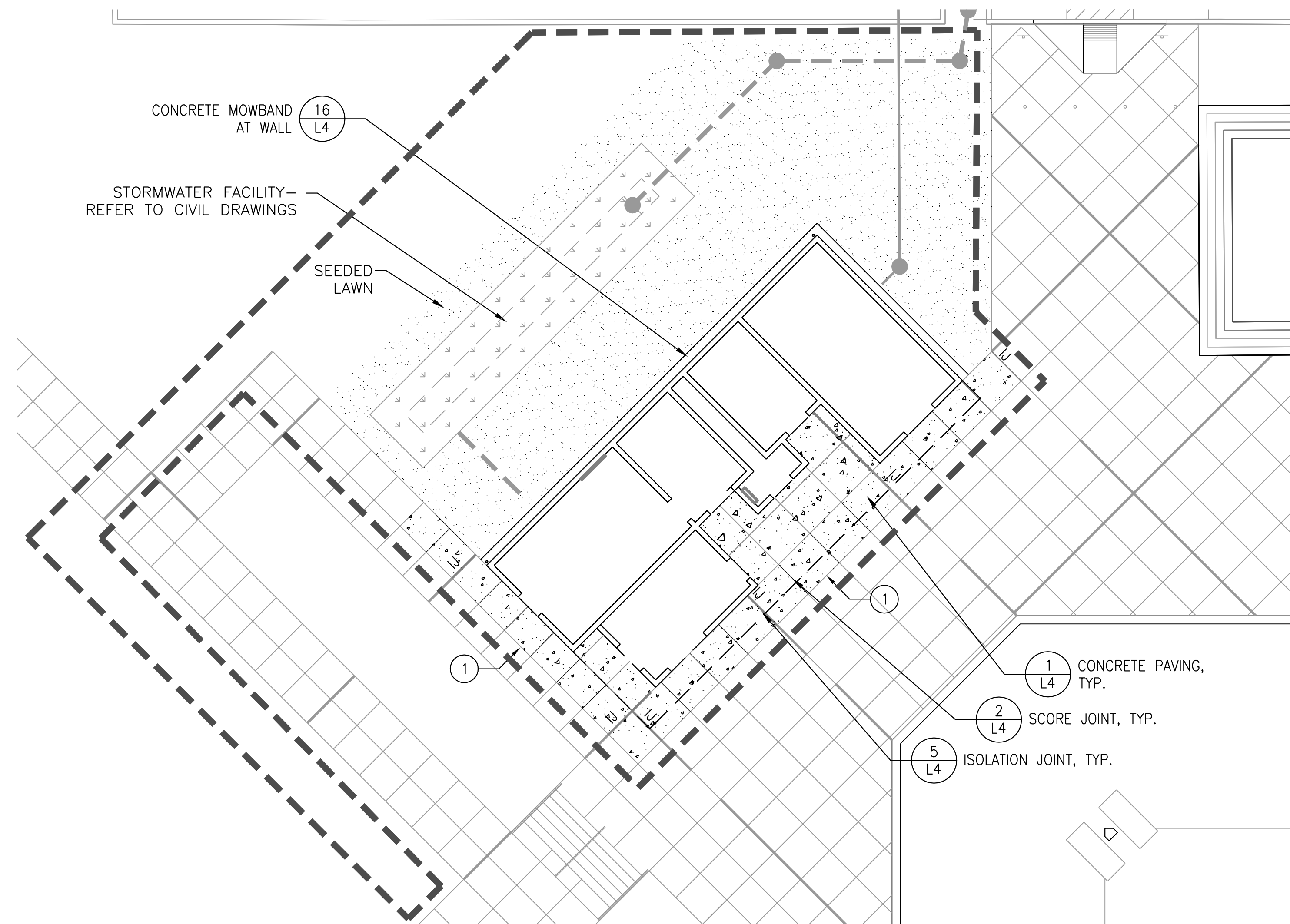
	CONCRETE PAVING - PEDESTRIAN
	LAWN AREA
	ISOLATION JOINT
	ALIGN
	LIMIT OF WORK

LAYOUT NOTES

1. SITE SURVEY WAS PREPARED BY <insert survey company here> ON <insert date here>. ALL COORDINATES SHOWN ON THE DRAWINGS ARE BASED UPON THE COORDINATE SYSTEM ESTABLISHED BY THE SURVEYOR. WALKER MACY ASSUMES NO RESPONSIBILITY FOR ACCURACY OF SURVEYED CONDITIONS AS SHOWN. SURVEY INFORMATION IS PROVIDED FOR REFERENCE ONLY.
2. DO NOT SCALE FROM THE DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN THE FIELD, CONTACT OWNER'S REPRESENTATIVE FOR RESOLUTION.
3. ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDINGS AND WALLS OR BACK OF CURBS, UNLESS OTHERWISE NOTED.
4. ALL CURVED OBJECTS SHALL HAVE SMOOTH, CONTINUOUS CURVES WITH CONSISTENT RADII AS INDICATED. EACH CURVE SHALL MEET ADJACENT CURVES OR LINEAR SECTIONS ON THE TANGENT, UNLESS NOTED OTHERWISE.

KEY NOTES

- 1 DEMO. EXISTING CONCRETE TO NEAREST EXISTING JOINT



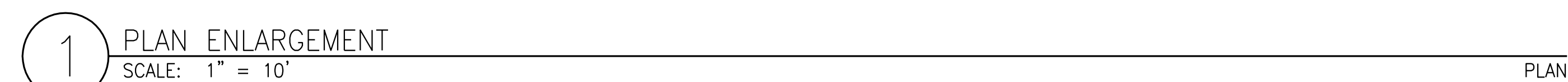
1 PLAN ENLARGEMENT
SCALE: 1" = 10'

PLAN

t: (503) 673 7000

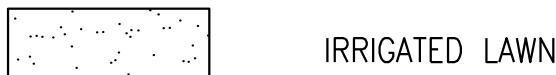
111 SW OAK, SUITE 200
PORTLAND, OR 97204
503-228-3122

GRADING PLAN



① GRADE AREA TO DRAIN TO EXISTING CONCRETE GUTTER.

LEGEND



IRRIGATED LAWN



LIMIT OF WORK

PLANTING NOTES

1. CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL PLANT MATERIAL INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
2. LAWN AREAS TO BE SUFFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
3. PROVIDE JUTE NETTING ON ALL SLOPES WITH GRADIENT OF 3:1 OR GREATER AS DIRECTED IN THE FIELD BY THE OWNER'S REPRESENTATIVE. STAPLE FABRIC TO GROUND WITH METAL STAKES AT 4' O.C.

KEY NOTES

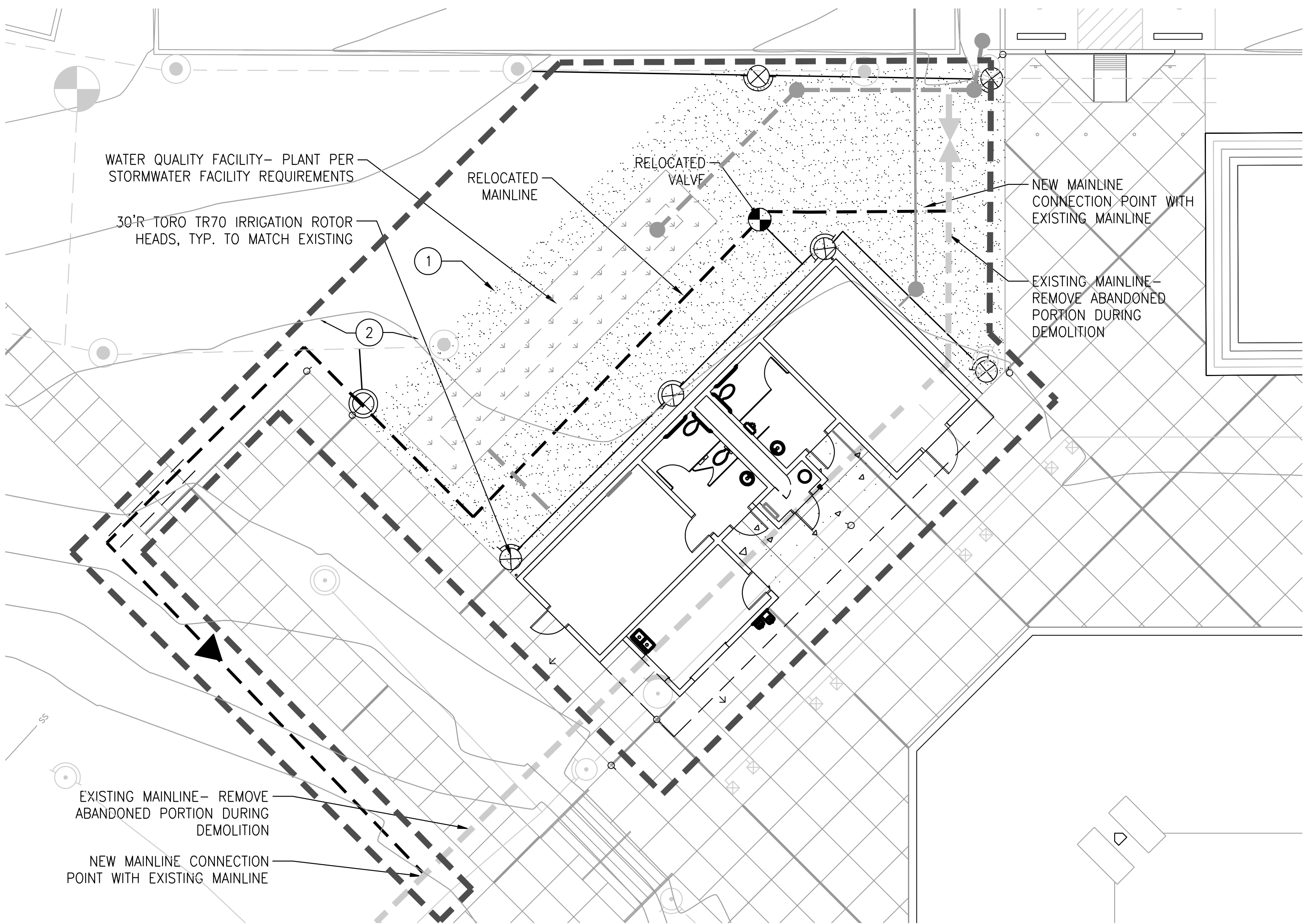
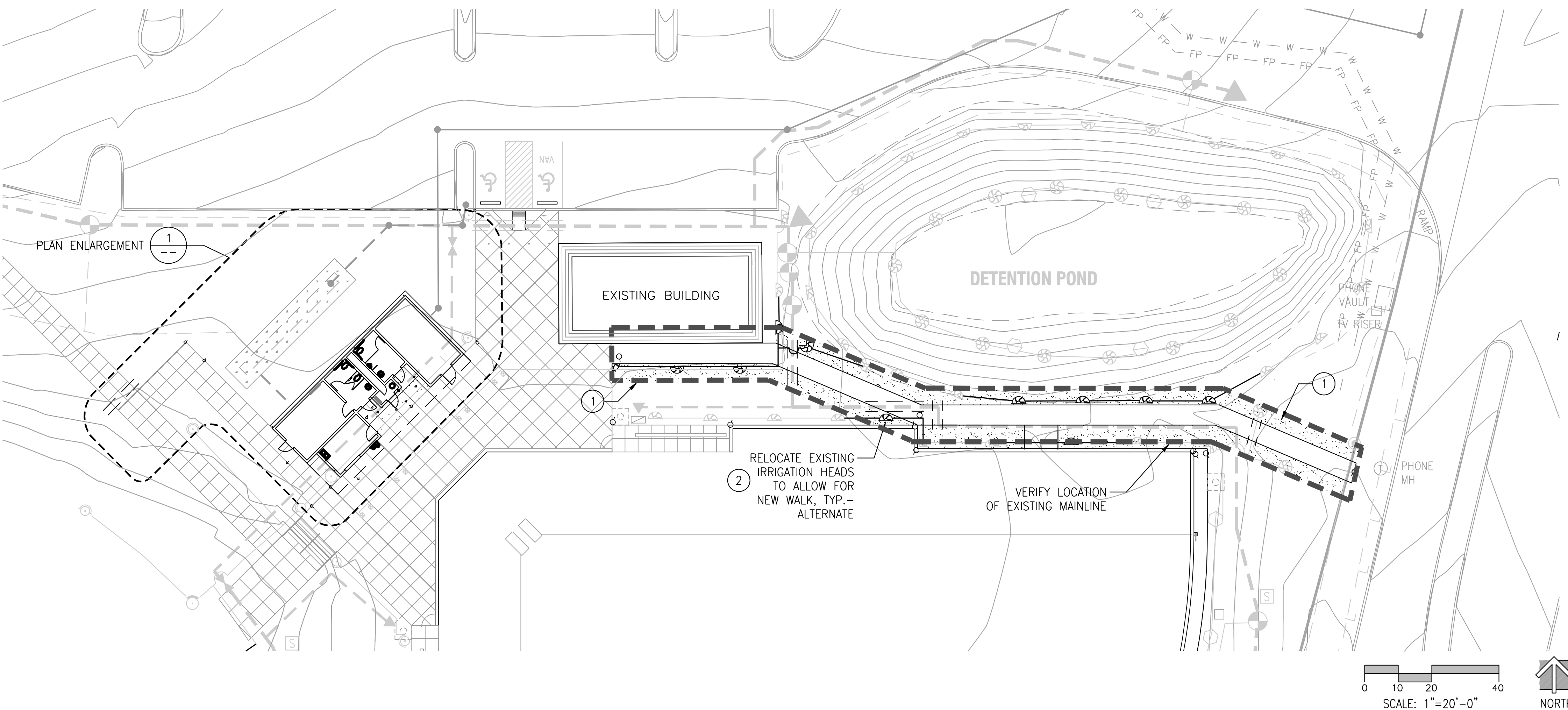
- 1 EDGE OF SEEDING TO CORRESPOND WITH EDGE OF PROJECT DISTURBANCE
- 2 CONTRACTOR TO ADJUST EXISTING HEADS AS NECESSARY TO PROVIDE HEAD TO HEAD COVERAGE. PROVIDE NEW LATERALS AT ADJUSTED HEADS.

IRRIGATION NOTES

1. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES AFFECTING SYSTEM PERFORMANCE PRIOR TO BEGINNING WORK.
2. INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
3. IRRIGATION LINES SHOWN WITHIN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION HEADS AND PIPES ARE TO BE PLACED WITHIN LANDSCAPED AREAS WITH THEIR LOCATIONS MODIFIED AS REQUIRED TO AVOID PLANT MATERIALS, UTILITIES AND OTHER OBSTRUCTIONS. PLACE LINES IN COMMON TRENCHES WHERE POSSIBLE.
4. COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES INVOLVED. COORDINATE IRRIGATION P.O.C. AND LOCATION OF AUTOMATIC CONTROLLER.
5. ALL VALVE BOXES WILL BE PLACED IN A MANNER WHICH FACILITATES ACCESS FOR MAINTENANCE. LOCATE VALVE BOXES IN PLANTING AREAS WHEREVER POSSIBLE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING UNIONS.
6. ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND ELIMINATE OVERSPRAY ONTO BUILDINGS, ROADS, AND PATHS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.
7. CONTRACTOR SHALL VERIFY STATIC PRESSURE IS APPROXIMATELY 75 P.S.I. AT THE P.O.C. PRIOR TO COMMENCING WORK. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF ACTUAL FIELD DATA DIFFERS FROM THIS INFORMATION.
8. THIS SYSTEM REQUIRES A MINIMUM STATIC PRESSURE OF 75 P.S.I. AT A MAXIMUM FLOW OF 76 GPM AT POINT-OF-CONNECTION. HEAD LAYOUT AND ZONES ARE BASED ON THIS DATA AND DATA SHOWN IN IRRIGATION LEGEND. NOTIFY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING WORK IF ACTUAL FIELD DATA DIFFERS FROM THIS INFORMATION.
9. IRRIGATION LATERALS ARE SIZED AT VALVE AND CONTINUING IN DIRECTION OF FLOW. REDUCTIONS IN PIPE SIZE ARE LABELED BEGINNING DOWNSTREAM OF NEAREST FITTING. ALL LATERALS ARE MINIMUM 3/4" OR SAME SIZE AS NEAREST UPSTREAM PIPE.
10. INSTALL ALL IRRIGATION PIPES IN PVC SLEEVES BELOW ALL PAVED SURFACES. COORDINATE PLACEMENT OF SLEEVES WITH APPLICABLE TRADES.
11. GRADE MAIN AND LATERAL LINES TO DRAIN. PLACE MANUAL DRAINS AT LOW POINT IN MAINLINES. MINIMUM ONE PER VALVE.
12. MAINTAIN FULLY OPERATIONAL AUTOMATIC IRRIGATION SYSTEMS TO ALL IRRIGATED AREAS CURRENTLY SERVICED FROM EXISTING MAINLINE POINTS-OF-CONNECTION. IF IRRIGATION SERVICE CAN NOT BE MAINTAINED, PROVIDE TEMPORARY IRRIGATION OR HAND-WATER AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

VALVE KEY:

CONTROLLER	NUMBER
—	GALLONS PER MINUTE
—	VALVE SIZE
—	STATION NUMBER



1 PLAN ENLARGEMENT
SCALE: 1" = 10'

PLAN



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PLANTING AND IRRIGATION PLAN

L3

