

ORDINANCE NO. 1048

AN ORDINANCE AMENDING ORDINANCE NO. 1029 BY REVISING THE CITY OF WEST LINN COMPREHENSIVE PLAN.

WHEREAS, the West Linn comprehensive plan composed of land use goals, objectives, policies, standards, implementation strategies and land use planning maps which is justified and supported by extensive findings, inventory, analysis and evaluation has previously been adopted by the City by Ordinance No. 1029, and

WHEREAS, subsequent to its adoption said comprehensive plan was reviewed by the Metropolitan Service District for compliance with state-wide land use planning goals and guidelines, and

WHEREAS, since the date of its adoption certain community groups and individual property owners have petitioned the City for revision of the comprehensive plan, and

WHEREAS, the review process by the Metropolitan Service District and the petition request for amendment submitted by community groups and individual property owners has resulted in required major revisions to the West Linn comprehensive plan, and

WHEREAS, the Common Council of the City of West Linn in order to comply with state-wide land use planning goals and guidelines and in response to the petitions of

community groups and individual property owners has agreed to amend the West Linn comprehensive plan by means of this ordinance.

NOW, THEREFORE, be it ordained by the Common Council of the City of West Linn as follows:

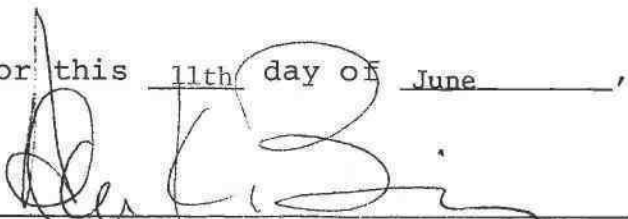
Section 1. Exhibit "A" of Ordinance No. 1029 is amended by incorporating therein the revisions, amendments, and additions contained in a document entitled "Recommendations by the West Linn Planning Commission on Proposed Amendments to the Comprehensive Plan 1979-1980", composed of twenty-seven pages and a comprehensive plan amendment addendum, which amendments and addendum are attached to this ordinance as Exhibit 1 and incorporated herein by reference.

Section 2. All remaining provisions of Ordinance No. 1029 are reaffirmed in their entirety.

Section 3. This ordinance shall take effect on the 15th day of June, 1980.

Passed by the Common Council this 11th day of June, 1980.

Approved by the Mayor this 11th day of June, 1980.

  
\_\_\_\_\_  
Mayor

ATTEST:  
  
\_\_\_\_\_  
City Recorder

Ordinance 1048  
Exhibit 1  
6-11-1980

City of  
West Linn  
West Linn, Oregon

# Comprehensive Plan

Comprehensive  
Planning  
Program

Comprehensive Plan  
Review Committee

Wilsey & Ham

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WEST LINN  
ANNOTATED CONTENTS  
OF  
ADOPTED COMPREHENSIVE PLAN AMENDMENTS  
June 11, 1980

ADMINISTRATIVE ITEMS:

- (1) Provides for retyping and reordering Comprehensive Plan material.
- (2) Metro requirement for reopening the Comprehensive Plan review process.
- (3) Includes Metro as agency City will assist.
- (4) Includes appropriate parts of other studies in the Plan and provides City cooperation with Metro on waste water problems.
- (5) Calls for deletion of out-of-date policy regarding location of the UGB.
- (6) Names State Planning Goals and subsections not applicable in West Linn.
- (7) Simplification of the language of the Citizen Involvement Program.
- (8) Revision of Neighborhood Boundary Map.

PUBLIC FACILITY ITEMS:

- (9) Water system study.
- (10) Storm drainage study.
- (11) Civic center need.
- (12) System Development charge.

NATURAL HAZARD ITEMS:

- (13) Flood potential location.
- (14) Geologic analysis on 10%+ slopes.

ENERGY ITEMS:

- (15) Low hydro dam and surplus steam utilization.

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ENVIRONMENTAL ITEMS:

- (16) Air and water.
- (17) Fish species in Willamette and Tualatin.
- (18) Noise pollution sources.
- (19) Solid waste.

OPEN SPACE ITEMS:

- (20) Dedication of open space land.
- (21) Forested land.

TRANSPORTATION ITEMS:

- (22) Water-borne transport.
- (23) Transportation for disadvantaged.
- (24) High traffic volumes on appropriate streets.
- (25) Recommending reevaluation of street standards.
- (26) Appending the Bicycle and Pedestrian Master Plan.

DENSITY ITEMS:

- (27) Simplify P.U.D. to a conditional use procedure.
- (28) Extra-territorial influence stricken.
- (29) Low-density development only along the Tualatin.
- (30) Setbacks along the Tualatin River and Tanner Creek.
- (31) Three residential density levels and restrictions on steep and poor land.
- (32) (a) Preserve single-family density in old town area of Willamette.  
(b) Expand Willamette commercial land use.  
(c) Remove special economic study area.  
(d) Reduction of density in area around Blankenship and DeBok Roads.

LAND USE ITEMS:

- (33) Keep single-family units free of basement or other apartment modification.
- (34) Consider density reduction on land between "A" Street and Reservoir No. 1.

- (35) Density change and possible density increase on land along "A" Street between the high school and freeway.
- (36) Retain present depth of commercial and office land use along Highway 43.
- (37) Adjustment of UGB to match Clackamas County UGB
- (38) Separation of employment centers from industrial description.
- (39) Establishing "Mom and Pop" convenience commercial land use.
- (40) Strengthening provision for home occupations and cottage industries.
- (41) Consideration of aggregate removal in residential area.
- (42) Mobile home location and improvement requirements.
- (43) Designate Cornwall and Lancaster Street location as Convenience Commercial.

HISTORICAL ITEMS:

- (44) Designate old town area of Willamette as an historic area.
- (45) A note that the Willamette River Locks are an historic place.

NEW REVISIONS:

- (46) Comprehensive Plan review periods.

WEST LINN

AMENDMENTS TO THE COMPREHENSIVE PLAN

ADOPTED

June 11, 1980

The West Linn City Council accepted the recommendations for amendment to the Comprehensive Plan made by the Planning Commission and adopted them on June 11, 1980. During the public hearing the Council listened to comments and recommendations by homeowners, developers, and planning staff. The Council made a few minor adjustments in text of the proposed amendments to the Comprehensive Plan and then formally adopted them.

This concluded work began in earnest by the Comprehensive Plan Review Committee (CPRC) in January, 1980 and was refined by the Planning Commission in May, 1980. These Comprehensive Plan amendments represent the first annual update and revision cycle of West Linn's Comprehensive Plan. It is believed that this will be the single largest amendment that will be undertaken until the time it is deemed appropriate to consider a total revamping of the Comprehensive Plan.

The following items are the Plan amendments, City position statements, and instructions to the City departments formally adopted by the West Linn City Council on June 11, 1980.

ADMINISTRATIVE ITEMS:

- (1) At a future time, the Comprehensive Plan should be retyped to incorporate the amendments and to reorder the sequence of subject matter where it appears greater clarity can be achieved.
- (2) Include the following "opening language":  
"This plan, each of its elements, and the Zoning Ordinance shall be opened for amendments that consider compliance with the goals and objectives and plans of the Metropolitan Service District (METRO) or its successor, on an annual basis. Annual amendment and revision for compliance with the above regional goals, objectives and plans shall be consistent with any schedule for reopening of local plans approved by the Land Conservation and Development Commission (LCDC). This provision is not to be construed as waiving any legal rights which the City of County may have to challenge the legality of a regional goal, objective or plan provision."

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- (3) The goal statement for the section on Air, Water and Land Resources Quality on page 81, includes the Metropolitan Service District as one of the agencies West Linn wi-1 assist.
- (4) A change was made in "Public Facilities and Services Element, Objective #6, Sanitary Sewage Service," page 59. The fourth sentence in the second paragraph containing a reference to an upcoming 1978 vote was stricken. Also, policy #3 had its introductory sentence expanded to read as follows:

"3. The following studies and plans and subsequent amendments that are consistent with other policies and proposals of this Comprehensive Plan are incorporated into this document by reference .....

A fourth policy was added as follows:

4. "The City of West Linn will cooperate with the Metropolitan Service District in its Waste Treatment Management Component and its "208" non-point waste water studies."

- (5) The request made by Metro in the Urbanization Element, Objective #1, Urban Service Area, policy #5, page 18, has been fulfilled. Because there is no longer a need for this policy, it is dropped from the plan.
- (6) There are many of the State Planning Goals or inventories that do not apply to West Linn because of the developed urban nature of the City. The following inventories are those found not to be applicable in West Linn, and are placed on the unnumbered Goal Exception page following the Table of Contents and List of Figures.

Goal 5b	NR	Mineral Resources
Goal 5g	NR	Wetlands and Waterbeds
Goal 5h	NR	Wilderness Areas
Goal 5i	NR	Archeology
Goal 5j	NR	Cultural Areas
Goal 5l	NR	Wild and Scenic Waterways
Goal 8	R	Hunting
Goal 8	R	Winter Sports
Goal 12	T	Rail Transportation
Goal 12	T	Air Transportation
Goal 13	E	Pipeline Transportation
Goal 16 - 19		Coastal Goals

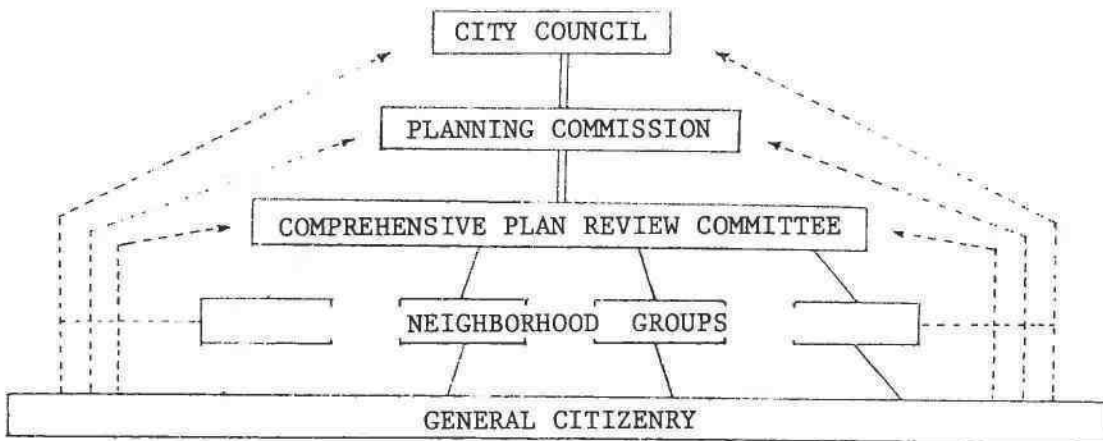
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- (7) A simplified description of the Citizen Involvement Program had been recommended by the West Linn Planning Commission. The following described Citizen Involvement Program replaces the material on pages 7 and 8 of the Comprehensive Plan.

WEST LINN COMPREHENSIVE PLAN CITIZEN INVOLVEMENT PROGRAM

The City of West Linn has a planning organization that begins at the neighborhood group level. The following chart illustrates the organizational structure and the lines of communication which occur in this program.



Neighborhood and Special Issue Groups (Citizen Advisory Committees)

Citizen Advisory Committees: Are designed to be a committee initiated by citizens who have either a common interest in a planning issue or live within a common geographic area of the city. Neighborhood associations or groups such as park advocates may wish to petition the City Council for formal recognition as CAC's. The CAC's will be encouraged to prepare proposals, issues and problem identification for the Comprehensive Plan Review Committee and Planning Commission, and assist city government in the development and review of alternate solutions to issues and problems of concern to the committees. Proposals may also be put forward by a part of the City administration such as the City Council, Planning Commission, or Planning Department.

Comprehensive Plan change proposals originating other than by the neighborhood group are to be reviewed by the neighborhood group if it is active. This review is to be done in a timely manner so that the program is not delayed. Normally, thirty days is an adequate length of time for neighborhood review. The recommendation or proposal from the neighborhood is forwarded to the Comprehensive Plan Review Committee.

Comprehensive Plan Review Committee-CPRC

The Comprehensive Plan Review Committee is the primary means of conducting major reviews and revisions to the City's Comprehensive Plan.

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The committee that served to develop this plan was appointed by the City Council and has fulfilled an advisory role to the Council and Planning Commission in the preparation of the preliminary draft Comprehensive Plan (8-77). A CPR Committee is appointed at the beginning of each plan review program and expires with the appointment of the next committee. The CPR Committee will be composed of the following:

- One member from each neighborhood area. The appointment should be made from a neighborhood association or group if one is functioning.
- One member from the Parks and Recreation Committee.
- One member from the Planning Commission.
- Two members from areas outside the City, and
- Five members at large.

The Comprehensive Plan Review Committee will be responsible for future reviews of the Comprehensive Plan to ensure that the plan continues to meet the needs of West Linn's residents as well as future state and regional planning requirements.

The Comprehensive Plan Review Committee has the following responsibilities:

- (a) Coordinates differing recommendations that impact a specific geographical area and selects one or the other or formulates a third recommendation.
- (b) Reviews and then forms recommendations on those things in the City's regulations and procedures that past experience has shown to be inadequate to carry out the objectives and policies of the Comprehensive Plan.
- (c) Reviews the Comprehensive Plan for compliance with the State Planning Goals, and other state laws and regulations. Recommends adoption, amendment, or rejection of proposed plan changes based upon the State Planning Goals.
- (d) A subcommittee, or the CPR Committee as a whole, shall act as the Citizen Involvement Committee to guide the planning program so that it conforms to the objectives and policies of the State Planning Goal Number 1, Citizen Involvement. In particular, the Sub-committee for Citizen Involvement will assist neighborhood groups in their job of informing the public and soliciting their response on planning matters.

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### Planning Commission

The work done by the Comprehensive Plan Review Committee is forwarded to the Planning Commission and helps substantially to minimize the additional workload Comprehensive Plan review places upon that body. The Planning Commission responsibility in the Comprehensive Plan review process is as follows:

- (a) The Planning Commission may review both the original proposals and the recommendations of the Comprehensive Plan Review Committee.
- (b) It shall sort the recommendations for changes in the implementing of ordinances from those that are directed toward the Comprehensive Plan. Recommendations for changes in ordinances shall be set aside until the Comprehensive Plan amendment process is completed.
- (c) It may add alternative and new proposals for amendment to the Comprehensive Plan to those submitted by the Comprehensive Plan Review Committee.
- (d) The Planning Commission shall then hold a public hearing on the material it has received from the Comprehensive Plan Review Committee, alternate proposals it feels advisable to place before the public for consideration, and any proposals that it wishes to make on its own initiative.
- (e) Based upon the testimony received at the public hearing and its own findings the Planning Commission shall prepare a recommendation to the City Council. This recommendation shall state which proposals should be adopted into the Comprehensive Plan and which ones should be set aside.

### City Council

The City Council is the final and adopting authority for the Comprehensive Plan and implementing ordinance within West Linn. The Council shall review consideration of adoption of the Planning Commission recommendations.

### Concluding Activity

The Planning Commission is charged with the responsibility of initial processing of proposed ordinance amendments to implement the Comprehensive Plan. Those ordinance changes necessitated by the adopted plan amendments generally become the first major task undertaken by the Planning Commission following the Council's adopting action of Comprehensive Plan amendments.

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- (8) The Planning Commission reviewed and approved of a revised neighborhood boundary map to replace the map on Figure 2, page 2. This new adopted map dated June 11, 1980 is similar to the map it is intended to replace except that it has been adjusted to accommodate three major features:
- (a) Use of lot and block lines so that census takers can distinguish accurately where one neighborhood ends and the next begins;
  - (b) Recognition that Interstate Highway 205 is a dominating physical barrier that unavoidably forms a neighborhood boundary;
  - (c) Recognition that the high volume of vehicle traffic on Highway 43 creates a safety hazard of such proportion that it forms a neighborhood barrier.

#### PUBLIC FACILITY ITEMS

- (9) The Public Facilities and Services Element, Objective #7, Water Supply Policy #3, page 60 is amended to have the following sentence added to it:

"The system proposals of the Water Report are subject to the timing of development within the City and subsequent expansion of the urban growth boundary and city limits."

Explanatory Note:

The Department of Land Conservation and Development is requiring updating of the population projections and water system requirements so they are consistent with the current urban planning area. Consequently the West Linn Water Report will undergo amendment in the near future.

- (10) "Public Facilities and Services Element, Objective #5 Storm Drainage" policy #7 is amended to read as follows:

"7. Construction practices for all land development projects, private, and public, will be conducted in such a way as to avoid exposing cuts, grading areas and trenches to storm water so that soil will not be washed into natural drainage areas."

Policy 10, is amended to reflect more accurately the intended role that the 1969 Storm Drainage Report currently plays in the Comprehensive Plan as follows:

"Although emphasis is now being placed on the City's surface storm system, the "Storm Drain Report" is a key reference for determining drainage corridors."

- (11) The "Public Facilities and Services Element, Objective #11, Administrative Services," page 62, remains as written in the existing Comprehensive Plan, with the exception of the following policy changes:
- (1) (Okay as originally written on page 62 of existing Comprehensive Plan).
  - (2) Rewritten to read, "The City will consult its citizens through the ballot box to determine when the purchase of civic center property is appropriate."
  - (3) Rewritten to read, "The City will consult the citizens to determine their desire to fund the upgrading of street and utility maintenance."
- (12) A fee is charged at the time building permits are requested for lots in annexed areas in order to help pay for improvements to existing streets, water systems and sewage systems impacted by new development. A statement in the "Public Facilities and Services Element, Planning Concepts," page 55, supporting this practice is adopted.

"Land annexed to the City of West Linn is dependent upon the whole range of utilities and facilities that it previously made no tax contribution toward. In an effort to recover at least a part of the construction and improvement expenses borne by the City to make these utilities and facilities available, a special fee is charged with each building permit for annexed land. This fee is then applied against improvements necessary within the total City utility and facility system in an effort to counteract the effects of the impact the new development has on these systems."

#### NATURAL HAZARD ITEMS

- (13) The Natural Hazards Areas, Objective #1, Flood Plain, page 77, introductory paragraph, now begins with the

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following sentence: "All lands in West Linn are well drained because of the sloping topography of the City. The river frontage provides the only area where flooding becomes a problem."

- (14) As appropriate, the subdivision or zoning ordinance shall be amended to provide the mechanism to implement the criteria in the Land-Use Element, pages 21-23, for the various types of land identified on the basis of slope. Also the appropriate ordinance shall require geologic analysis on land of slopes 10% or greater, prior to development.

#### ENERGY ITEMS

- (15) The Energy Conservation Element, page 67, identifies two possible sources of energy in West Linn as follows:

##### Objective #5, Energy Sources

- a. A low hydro-head generator at the Willamette Falls is an energy source that may be worthy of future study by appropriate State and Federal agencies.
- b. The excess steam and hot water developed by the wood processing plants, may be a possible reusable and marketable energy source for space heating. Determination of the feasibility of reusing this energy by the energy producer is encouraged.

#### ENVIRONMENTAL ITEMS

- (16) Because West Linn is a part of the metropolitan area, the following METRO policy is inserted in the chapter on Air, Water, and Land Quality.

"Objective #1, Air, and Water Quality, page 81,

##### Policies

1. The City of West Linn lies within the Portland - Vancouver Interstate Air Quality Maintenance Area (AQMA). This area as described in the draft State Implementation Plan (SIP) shows that the entire AQMA is in non-attainment for meeting the recently revised federal ambient air quality standards for ozone, and is predicted to remain in non-attainment to at least 1987, unless additional control measures are undertaken. MSD and DEQ are developing a regional control strategy to bring the metro area into attainment by 1987. The City of

West Linn will cooperate and work with these agencies to realize this goal. Until such time as control strategies are realized, the City of West Linn will use measures described in the DEQ Handbook for "Environmental Quality Elements of Oregon Local Comprehensive Land Use Plans" when planning any development activities having the potential to directly (by direct emissions) or indirectly (by increasing vehicular travel) affect air quality."

"Objective #3, "Coordinated Waste Water Management,"  
page 81,

Policies

1. The City of West Linn recognizes and assumes its responsibility for operating, planning, and regulating waste water systems as designated in MSD's Waste Treatment Management Component."
  
- (17) A reference for more information on the type of fish that occupy the Willamette and Tualatin Rivers needed to be placed in the "Open Spaces, Scenic and Historic Areas, and Natural Resources Element, Objective #2, Fish and Wildlife Habitat - Preservation of vegetation, Planning Concepts, page 72. The following sentence is inserted after the first sentence of "Planning Concepts": There are a variety of fish and other wildlife that depend upon these two rivers and this list of species may be obtained from the Oregon Department of Fish and Wildlife."
  
- (18) The introductory paragraph of Air, Water, and Land Resources Quality, Objective #2 Noise Pollution, page 81, is enlarged to read as follows: "Noise levels generated within the City will be consistent with adjacent uses. West Linn is residential in character with the principle source of noise being that of vehicles moving on the highways through town. Some localized noise is also temporarily experienced in the vicinity of construction projects."
  
- (19) The section on Air, Water, and Land Resources Quality, Objective #5, Solid Waste Disposal Sites, page 82, is amended and expanded to include mention of the regional nature of solid waste management by the following substitution:

"No solid waste disposal sites are proposed within the City's jurisdiction. Individual solid waste collection is accomplished through private operations and is guided by additional policies contained in the Transportation and Public Facilities Division of this plan. Solid waste disposal is a regional concern requiring regional

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solutions. West Linn recognizes MSD's responsibility and authority to prepare and implement a solid waste management plan. West Linn will cooperate in the implementation of this plan as appropriate.

OPEN SPACE ITEMS

- (20) The "Recreational Needs Element:, Objective #2, Neighborhood and Community Parks, page 64, is amended to include policy number 6.
6. It shall be the policy of the City of West Linn to require land developers to provide land, financial contributions, or both, for the establishment and improvement of recreational space in the City. In order to assist implementation of this policy, the City may reduce the impact of this policy upon the developer by allowing a density credit elsewhere in the development for part of the potential dwelling units that might have been built on the open space land.

Goal Statement:

The provisions of public open spaces for leisurely recreation, childrens play, social activities, and organized games, is considered essential for proper development of all residential neighborhoods. Every type of development contributes to the need for public open space. Therefore, it is the intent of the City of West Linn to insure that all future developments shall, in an equitable manner, provide for the acquisition and/or development of open space lands.

Objective #1 Provision of Adequate Open Space

The City recognizes that there are many recreational activities ranging from leisurely walking, childrens play, and athletic activities to cultural events. It is the City's objective to meet the community need for the following identified types of open space.

(a) Natural and Wilderness Parks and Areas

Size:	Variable-preferably one acre or larger
Service Area:	Variable-dependant upon size and location
Scope:	Managed to allow wildlife and natural vegetation to continue with minimum disturbance. Pedestrian movement is the only acceptable human activity in those

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(b) Leisure Parks and Areas

Size: One-half acre or larger  
Service Area: Part of one neighborhood (20 or more dwellings)  
Scope: Managed for pedestrian and non-motorized activity. Occasional improvement and upkeep as necessary, of trails, lawns and facilities, and the prevention of erosion, are the basic maintenance activities that will be undertaken.

Possible Facilities: Pedestrian Paths; rest facilities such as benches, water fountain, and restrooms; garden plots; horseshoe pits; picnic facilities; children play areas and equipment; or other compatible passive recreational facilities.

Parking: Variable 3-5 cars recommended.

Minimum Access: Pedestrian, wheelchair and bicycle paths.

(c) Neighborhood Parks

Size: Two and one-half to five acres.  
Service Area: One-half to one neighborhood dependant upon land area ( $\frac{1}{4}$  to  $\frac{1}{2}$  mile radius)  
Scope: Managed for a wide range of recreational activity and may be in conjunction with a school facility. Multi purpose areas for games such as soccer and softball as well as leisurely activities may be accomodated.

Possible Facilities: Softball field; practice ball fields; tennis courts; wading and swimming; children play areas and equipment; family and group picnic facilities; rest facilities such as benches, water fountain and restrooms; indoor recreation facility, and meeting rooms; pedestrian and non-motorized vehicular paths; garden plots; natural

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areas and other active and passive recreational facilities and equipment.

Parking

Minimum: 5-10 cars

Minimum

Access: Neighborhood street and pedestrian wheelchair and bicycle paths.

(d) Community Parks

Size: 25 acres or larger

Service Area: 6 to 8 neighborhoods (2 to 3 mile radius)

Scope: Managed to maintain and enhance its aesthetic and functional features which serve as a special attraction for the City's residents. Community parks are intended to provide space and facilities for any type of activity found in other parks.

Possible

Facilities: All those facilities and structures that may be found in the other types of city parks. Additional facilities that may be located in a community park are: ball field with bleachers and outdoor lighting; auditorium and amphitheater; zoo; carnival; and food concession.

Parking: 100 or more cars

Minimum

Access: Collector street and pedestrian wheelchair and bicycle paths.

- (21) A note regarding forested lands needs to be placed on page 80. The following is adopted to fill this need:

"Forested Lands:

Goal statement: Because of the urban characteristic of the City, it is recognized that its forested areas are not of commercial timber value. This is because most of the otherwise marketable timber is located in Wilderness Park, Camassia Natural Area, and the developed residential area on the north side of town. Trees need to be protected for

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their aesthetic qualities and the resistance they provide against erosion of soil on the sloped lands existing throughout the City of West Linn.

#### Policies

1. Trees on parks, natural areas and open space will be preserved.
2. Land developments will maintain trees except in the immediate locations where construction is to take place and where solar access is desired for solar heating system installation.
3. Trees will be maintained in drainage ways to aid in resisting soil erosion.
4. Deciduous trees are encouraged, and may be required as a part of the construction approval of structures and parking areas to moderate high summer temperatures and permit winter warming of ground and building surfaces. Conifers are beneficial in locations where solar access is not needed or where their ability to divert cold winds during winter months is desired.

#### TRANSPORTATION ITEMS

- (22) The following is adopted as an additional objective in the objective in the Transportation Element, page 53:

"Objective #9, Water Borne Transportation - Although not used by West Linn residents for their travel needs, the Willamette River Locks, operated by the U.S. Corps of Engineers, are a part of the water borne commerce route through West Linn. The City encourages continued use of the River and Locks by the Commercial Traffic as the first priority for this efficient means of transportation.

Hovercraft are not presently on the Willamette River in a commercial application. Investigation by an appropriate agency is encouraged to determine their usefulness and efficiency for mass transit commuting between Portland West Linn and the other communities along the Willamette River.

- (23) The Transportation Element, Objective #7, Transportation for the Disadvantaged, page 52, needed to reflect the City's effort to provide transportation for the disadvantaged. An additional sentence is added to the introductory paragraph.

"The City has been striving to relieve some of the transportation problems facing the handicapped and elderly in West Linn by providing a mini-bus service

with financial support received from a government program. The City desires to maintain and improve this service."

- (24) The present copies of the Comprehensive Plan were taken from the master document used in the planning office which has no goal statement nor introduction for the Transportation Element, page 48. The following introductory paragraphs are taken in part from an earlier draft of the plan and is adopted as a substitute for the missing portion of the Transportation Element.

Transportation Element Goal Statement:

To provide a safe, convenient, and economic transportation system whose primary emphasis will be to provide City residents easy access to all areas within the City and to the major transportation systems connecting with the City. This transportation system is a three part network consisting of motor vehicle, non-motorized vehicular, and pedestrian travelways.

Objective #1, City-wide Transportation System:

Local traffic will be managed so as to direct heavy motorized traffic onto streets planned for that use and to protect neighborhood streets from traffic conflicts. The transportation system will be planned primarily to provide for the in-city needs of West Linn residents. To accomplish this the following heirarchy of streets will be utilized in West Linn.

- (25) It is recommended that the staff re-evaluate the street improvement standards, particularly the width of improvements now required on streets. The objective is conservation of materials, particularly those made from petroleum.
- (26) The second paragraph of the Transportation Element, Objective #6, Pedestrian - Bike Transit, page 52, is replaced with the following:

"The West Linn Bicycle, and Pedestrian, Master Plan" prepared by the Citizen Advisory Committee (as appendix "E") is incorporated into this Comprehensive Plan by reference. Detailed minimum construction standards for pedestrian and bicycle travel-ways shall be contained in implimenting ordinances and may be expanded upon by the Planning Commission to meet unusual conditions or projected needs. The City's

Bicycle and Pedestrian Advisory Committee will assume the primary responsibility for working with neighborhoods to identify potential bike/pedestrian routes and to seek implementation funding."

#### DENSITY ITEMS

- (27) Presently the Zoning Ordinance permits cluster land development (Planned Development) by the cumbersome process of a zone change which requires two formal public hearings - one before the Planning Commission, and one before the City Council. It shall be changed to a Conditional Use procedure which requires only one formal public hearing conducted by the Planning Commission.
- (28) The Urbanization Element, Objective #3, Future Urbanizable Areas, page 19, specified density limits in the Urbanizable area. This is inconsistent with current City policy. Therefore, all density references to the Urbanizable area is omitted from the Plan by striking all of existing policy No. 1.
- (29) The Planning Commission recommended, and the City Adopted, the policy that: "Land adjacent to the Tualatin River will be retained in a low density plan designation with no greater density than single-family dwelling units. This density of development is also recommended for any lands adjacent to the Tualatin River that may be annexed in the future." This will be placed in the land use element, Objective #1, Policies - Residential Development, policy number 6, on approximately page 26.
- (30) The "Open spaces, Scenic and Historic Areas, and Natural Resources Element, Objective #5, Open Space, page 74, is amended to include policies to protect the banks of the Tualatin River, Tanner Creek, and other water courses from encroachment by development as follows:
3. The Tualatin River and Tanner Creek are significant water courses and will be protected for storm drainage, utility corridors, by means of easements or dedications. These utility easements may vary in width because of the meandering water course. However, the edges of the easement or dedication should not be a lesser distance at any point than forty (40) feet from the apparent seasonal high water line. (The "apparent seasonal high water line" is defined in the order of importance as the top of the bank, the upper extent of washed sand or gravel, where there is a distinguishing water mark, or an indicative change in vegetation.)

4. All water courses within West Linn are important for an efficient storm run-off system and may be used for multiple purposes using the same standards as applicable to the Tualatin River and Tanner Creek in the above policy #3.
- (31) There is a discrepancy between the plan text and the plan map. One uses specific terms such as medium density and high density, and the other uses the term "multi density". Land use discussions in recent weeks have pointed out the fact that West Linn citizens rely upon the distinction between medium and high density causing the broader term "multi density" to be valueless. Therefore, the land use element Objective #1, Policies, Density and Policies, Residential Design beginning on page 24, is amended to read as follows:

"Policies - Density

1. The concentration of dwelling units in one part of a development proposal so that open space and related recreational facilities will be provided in other parts of it, is encouraged and may be required. Two types of development may achieve this concentration of dwellings: planned unit developments, and cluster developments. The names of these two development types are used interchangeably except that a planned unit development may, under very strict conditions have commercial or other non-residential uses in a small part of the total site and a cluster development is strictly residential in character.
2. Standard Residential Density Groups are:
  - (a) Low Density: 210 to 4.4 dwelling units per acre (21,000 to 10,000 square feet per dwelling unit.)
  - (b) Medium Density: 4.5 to 8.4 dwelling units per acre (5,000 square feet per dwelling unit.)
  - (c) High Density: 8.5 to 14.5 dwelling units per acre (3,000 square feet per dwelling unit.)
  - (d) In arriving at a net residential density for a cluster development the gross site shall be reduced by a fixed minimum of ten (10) percent of the site or if greater, the actual land area of street rights-of-way contained within the site. All or part of pedestrian and bicycle rights-of-way that are separated from street rights-of-way by twenty (20) feet or more may be included as part of

the net land area.

(e) The Zoning Ordinance may divide each density group into a variation of more specifically defined density ranges.

3. Residential development on Type 1 lands is permitted only upon satisfactorily meeting all of these policies and the special technical criteria contained within the city's ordinances. Development plans must be prepared by a registered engineer or architect. Two objectives are of primary concern for development on these lands - the ability to achieve adequate health, safety, and service standards, and the ability to preserve the unique character of many of these lands.

(a) Detached single family dwelling projects may be limited in density to two (2) or less dwelling units per acre even though the zone may allow higher density.

(b) Cluster design development projects are preferred on tracts that have type 1 land in order to avoid interference with the objectives and policies of this plan and to more nearly meet the allowable density of the zone.

(c) In all cases, maximum existing tree and undergrowth coverage will be maintained consistent with the Open Spaces, Scenic, and Historic Areas and Natural Resources Element and Natural Hazards Element. Clearance of solar access for heating systems is an exception.

(d) A density bonus of ten (10) percent over the maximum allowed within the specified density range may be granted for projects with the development envelope contained on less than sixty (60) percent of the net acreage of the parcel.

(e) Development of Type 1 lands will be based on an evaluation of the project's effect on:

1. Views of adjacent parcels
2. Pedestrian and auto traffic circulation to adjacent areas.
3. Solar access of adjacent parcels
4. Downstream drainage
5. Geologic Hazards
6. Density Transition

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4. Residential development on Type II and III lands will be based on the following policies:
  - (a) Cluster design development projects are preferred on Type II and III lands provided other applicable policies are met.
  - (b) In all cases, maximum existing tree coverage will be maintained consistent with Open Spaces, Scenic and Historic areas, and Natural Resources Element. Clearance of solar access for heating systems is an exception.
  - (c) Multi-density projects of 8.5 to 14.5 dwelling units per net acre, will have direct access to a collector street or minor arterial.
  - (d) A density bonus of ten (10) percent over the maximum allowed within the specified density range may be granted for projects with the development envelope contained on less than sixty (60) percent of the net acreage of the parcel.
  - (e) Development of Type II and III lands will be evaluated for their potential detrimental effects on adjacent properties. Particular emphasis will be placed on an evaluation of the project's effect on:
    1. Views of adjacent parcels
    2. Pedestrian and auto traffic circulation system to adjacent areas.
    3. Solar access of adjacent parcels
    4. Downstream drainage
    5. Geologic Hazards
    6. Density Transition
5. Residential development of Type IV lands may be of conventional design subject to the requirements of the appropriate ordinances. The policies for type II and III lands will apply to type IV lands, particularly those of ten (10) percent or greater slope.
6. Development in medium and high density residential zones and cluster design developments adjacent to a low density development or zone shall satisfy the following standards.



(a) The design of such projects will be done to ensure a transition of density to the adjacent parcels under the following criteria:

1. Housing at the edge of such parcels will not exceed twenty-five (25%) percent over the density of the adjacent developed property or will not exceed 25 percent of the maximum permitted density of adjacent undeveloped property. This transition shall be for a depth of one hundred-fifty feet unless there is no intervening road or street in which case the depth of density transition may be reduced to one hundred (100) feet from that road or street.
2. Other transition measures will be employed whenever deemed necessary.

(b) Housing types adjacent to existing development or to designated single family areas will be compatible with those existing or permitted housing types. Two unit attached housing would be generally considered compatible with detached single family housing units provided attention was paid to transitional matters such as landscaping, building design, screening, and siting problems. Three or four attached units may not generally be considered compatible with detached single units although they would certainly be compatible with two unit attached projects. These proceeding examples are to illustrate a general philosophy of compatability and not to establish exact guidelines. Transition is the key term and will form the basis for the City's evaluation of any such project.

7. Access will be provided through all development to continue and enhance both vehicular and pedestrian circulation to other lands.
8. All residential development is subject to other applicable policies in this plan with particular emphasis upon conservation measures.

Policies - Residential Design Principles

1. Dedication of land or monetary contribution to the public for parks, recreational facilities, and educational facilities is a part of the responsibility attached to all proposals for development of land.

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2. No residential units will front directly to minor arterials or arterials.
3. Medium and high density areas (greater than 8.4 dwelling units per acre) will be located for immediate access to collector streets or minor arterials and will not cause traffic to move through low density areas.
4. Transition is an important design concept to be employed in residential development. Every attempt will be made to establish a transition between different densities and housing types. Transition measures include:
  - (a) Open space (developed or undeveloped)
  - (b) Gradual density changes (not more than a 25% density increase from immediately adjacent parcels) for a depth of one hundred (100) feet along the edge of the proposed development except where there is an intervening street in which case the transition depth shall be one hundred fifty (150) feet from adjoining property.
5. The use of cluster and "Planned Unit Development" (PUD) design concepts is encouraged whenever possible. The guidelines contained in Table 4, apply when developing land in a cluster design and this or a similar guideline may be applied to standard subdivision developments.

T A B L E 4

OPEN SPACE GUIDELINES

CLUSTER DEVELOPMENT (1)

Number of Dwelling Units	Minimum % of net Parcel in Open Space (2)	Developed Recreational Facilities Required	
		Private	Public
36 - 60	10%	X	
61 - 120	15%	X	
121 +	20%	X (3)	X

(1) These or similar standards may also be applied to standard subdivision proposals. (2) Required perimeter setback areas are not credited as a part of this minimum requirement. (3) Optional.

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- (32) Based upon the proposals of the Willamette Neighborhood Groups, and recommendation by the Comprehensive Plan Review Committee, and Planning Commission the following is adopted into the Comprehensive Plan as changes on the Plan Map.
- (a) Remove all the Comprehensive Plan Map multi density land use designations and replace with single family density classifications within the old town area of Willamette located between 8th Avenue, 16th Street, the Willamette River, and 10th Street, because it is currently built up with single family homes and will not change in the foreseeable future.
  - (b) Expand the Comprehensive Plan commercial designations on the plan map to include all of the area between 13th Street on the West, 10th Street on the East, the Interstate Hwy. 205 right-of-way on the north, and 7th Avenue on the south.
  - (c) Remove the Industrial (Special Economic Study Area) designation from the Comprehensive Plan Map in the urban growth area along 7th Avenue and Dollar Street between Ostman Street and the Tualatin River in conformance with the action of the City Council which found this area economically unsuitable for industrial development.
  - (d) The Willamette Groups recommended that the multi density plan designated (A-2 zone) along DeBok and Blankenship Roads be down-zoned to a much lower density. This recommendation was made because there is too much high density development permitted for that geographic area with the expectation that social problems will result in the future. The Planning Commission agreed and made a tentative recommendation to change the land use designation from high density to medium density classification pending a public hearing set for May 19, 1980. That public hearing also included the issue of downzoning from A-2, Apartment Residential, to R-5, Duplex Residential. On May 19, 1980, the Planning Commission made a formal recommendation to change the Comprehensive Plan Map to medium density and the Zoning Map to R-5, in the subject area except for land with projects recently approved or already developed with high density improvements.

LAND USE ITEMS

- (33) A suggestion to allow existing single family homes to have a small apartment in them via the conditional use procedure was discussed by both the Comprehensive Plan Review Committee, and the Planning Commission. These bodies felt West Linn residents were not yet willing to accept this change and recommended leaving low density areas as they are at present. The City Council accepted this recommendation.

- (34) The Comprehensive Plan Review Committee and Planning Commission considered a proposal by the Broadway Neighborhood Group to reduce the allowable density on the Comprehensive Plan Map of the land immediately to the north of the City Reservoir No.1. The Planning Commission decided that it would follow the recommendation of the Comprehensive Plan Review Committee and not recommend this change on the plan map. The City Council accepted this recommendation.
- (35) Mr. Tripp stated his request before the Comprehensive Plan Review Committee, Planning Commission and City Council, that all of his property located between the High School and Interstate Hwy. 205 Avenue "A" and Camassia Natural Area be designated as high density residential. Currently it is one-half high density and one-half low density. The planning staff recommended that the total of this property be designated medium density. The Planning Commission recommended that the one-half nearest "A" Street, be designated high density and one-half nearest the Camassia Natural Area, be designated medium density. The Comprehensive Plan Map is amended to show the recommendation of the Planning Commission.
- (36) A previous request to deepen the commercial and professional office land use designations of the Comprehensive Plan and Zoning Ordinance for properties along Highway 43 was considered but not supported by the Comprehensive Plan Review Committee and Planning Commission. The City Council maintained the existing situation.
- (37) The following is adopted and will be placed as Policy number 7, Objective No. 1 - Urban Service Area, page 18:

The Comprehensive Plan Map shall be modified by City Council Resolution to conform to the Urban Growth Boundary resolved between Metro and Clackamas County. Note: The last known location of the Urban Growth Boundary was shown on the Plan Map, and is adopted as a part thereof.

- (38) Because of recent industrial studies conducted by the Port of Portland, and subsequent decisions made by the City Council, references to industrial development need to be directed toward land uses more compatible with the residential character of West Linn. The following changes are therefore made in the Comprehensive Plan:

All reference to Employment Centers is removed from Objective #3, Industrial / Employment Centers, on pages 33 to 35. The reference to the "Special Economic Study Areas" identified on

figure 3, is also removed from Objective #4, Special Economic Study Areas, page 40.

The third paragraph under Planning Concepts on page 33, now reads: "Industrial categories as used in this plan are the more traditional definition of industry, involving the manufacture of goods and materials. The impact of this type of use has been a primary determinate in establishing industrial locations in the City."

The Policies - Employment Center section on page 34, has the word "industrial" removed from the first sentence, and all of policy number "1" is removed.

Community Development Division, third and fourth introductory paragraphs, page 15, now reads, "In addition to provision for residential uses, the Comprehensive Plan also identifies areas which may be suitable for attractively designed commercial and employment center land use development.

It is expected that future commercial expansion will be limited to those facilities necessary to meet the needs of West Linn residents, and it is not anticipated that West Linn will become a regional retail commercial center. Thus, the potential for major future commercial facilities is limited. Employment centers are limited in the types of land use that is the same or closely similar to corporate office headquarters, general office complexes, and small component assembly plants which retain all parts and equipment behind the attractive facades of buildings. Employment centers are intended to be facilities which predominately maintain eight to ten hours of work, four to five days a week. To help protect the surrounding residential neighborhoods they are to observe residential height limitations. Employment center sites are to be attractively designed in a campus setting with berms and substantial landscaping of automobile parking and building setback area. Although West Linn currently has limited opportunities in terms of available and suitable land for other non-residential land uses the City believes that there are opportunities and substantial advantages for employment centers. These advantages include:

- (a) Proximity to a major transportation facility, I-205.
- (b) Availability of a semi-skilled and professional labor force within the City and the immediate surrounding area, and
- (c) The high level of area amenities.

Approval of a proposed employment center shall be based upon findings of acceptable impact upon residential areas surrounding the site and the City as a whole. Evaluation of the

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possible impacts of a proposed employment center shall include but not be limited to the following subjects: transportation system capability; hazards to pedestrians; utility systems capability; and visual effect from site design landscaping; parking lot screening for compatibility with residential areas; and building appearance compatibility with residential structures.

- (39) The land use element Objective #2, Commercial Land Use, beginning on page 28, needed to express greater aesthetic concern for site development and external structure design within the City of West Linn. Also the scope of the various types of commercial facilities needed some minor tailoring except for the convenience commercial land use. Convenience Commercial needed to be redirected from a near duplication of District Commercial land use to a small and unabtrusive "Mom and Pop" type of neighborhood store and possible coffee shop and service shops such as for a barber, beautition, or doctor. Therefore, the City Council has adopted these changes as follows:

#### Policies

All commercial development in West Linn will have an impact upon the surrounding residential neighborhoods. Therefore, traffic movement to and from the site and the visual appearance of structure and grounds will be the principle determinates of wether or not building and occupancy permits are to be issued.

1. District Commercial Centers are adequately described except that the "Area Served" should be changed to "4-8 Neighborhood Areas".
2. Convenience Commercial is largely redundant of the District Commercial Center classification and would serve greater purpose addressing neighborhood "Mom and Pop" type of commercial activity. The following is the recommended reworking of policy number two:

Convenience Commercial - Convenience Commercial sites are as the name suggests, designed to provide for convenience shopping needs of the immediate surrounding residents. Such facilities have nearly equal dependency upon pedestrian, bicycle and automobile transportation. They specialize in groceries and generally carry non-prescription medical supplies, beverages and a small assortment of various kitchen utensils. Other small service establishments such as a doctor's office, or governmental office, barber shop or a garden shop might also be permitted. Residential setbacks, landscaping, and strict control of building design for residential appearance, signs, and lighting and prohibition of any type of outside storage may enable this land use to be

permitted within or on the boarder of residential districts. Because this commercial activity is convenience oriented the hours of operation may extend from early in the morning until late at night. The approval of a site for Convenience Commercial shall be effective for one year unless the improvements proposed and required are undertaken and diligently pursued. The following general standards will be used as a guide for convenience commercial centers:

Location: Site specific locations for convenience centers are not identified on the plan map because they may be permitted in residential districts at locations which are fluid depending upon distance from similar or larger commercial facilities or zones.

Spacing: The straight line spacing of convenience commercial centers from one another, and from land upon which commercial development exists or is permitted should generally be three-quarters of a mile to one mile.

People Served: 1000-3000

Maximum Accum. Acreage: 2 Acres

Maximum Floor Area: Grocery Store 2,400 square feet + 100 square feet waste collection room.

Garden Supply Shop 1,400 square feet + 100 square feet waste collection room

Barber or Beauty Shop 600 square feet +20 square feet waste collection room.

Governmental Building - As needed

Note: Cellars may be in addition to the allowable floor area.

- (40) The Planning Commission approved of continuing home occupations or cottage industries in residential areas. This attitude reflects past and current policy contained

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in the Zoning Ordinance. The following sentence added to the Goal Statement sub-paragraph 4, of the Economic Base Element is adopted and will help to strenghten that policy: "In part, this may be accomplished by home occupations or cottage industries that do not alter the residential appearance or adversely effect the quiet, clean, neat, and safe nature of residential properties."

(41) The Planning Commission considered the staff suggestion that aggregate removal be recommended as a conditional use in residential areas. Approval of the conditional use permit would, in part, be based upon a specific excavation and restoration plan. The Commission recommended that aggregate removal not be permitted in residential areas. The City Council accepted the Planning Commission recommendation.

(42) An addition to Objective #1, Housing Supply and Choice, page 37, policy #5 as follows, is adopted.

"5. Mobile homes are too often not accepted in a community when at present they offer an opportunity for many people to own their own shelter. Because of the necessity of manuevering and parking mobile homes on approximately level ground, West Linn offers very few potential locations for them. Specific standards requiring landscaping, screening, paved driveways, skirting of units, requirement of attractive storage structures for each space, and other things which will make mobile homes attractive and functional places, shall be adopted in the City Ordinances."

(43) The Planning Commission considered the area zoned as Neighborhood Commercial on Cornwall between Warwick and Landcaster. It was decided to specifically designate the appropriate portion of this area on the Comprehensive Plan Map. The Commission recommended that the Comprehensive Plan Map have a "Convenience Commercial" designation placed along the west side of Cornwall Street between Warwick and Landcaster for a depth of one-hundred (100) feet. The City Council adopted this recommendation on the Comprehensive Plan Map.

#### HISTORICAL ITEMS

(44) Based upon the proposal for historic preservation by the Willamette Neighborhood groups and the recommendation of the Planning Commission, the following is adopted to the Comprehensive Plan Map, and to page 76 of the plan text.



Designate on the Comprehensive Plan Map the area they inscribe as an Historic District: 7th Avenue, from 12th Street, to 14th Street; 14th Street, from 7th Avenue to 6th Avenue; 6th Avenue, from 14th Street, to 15th Street; 15th Street from 6th Avenue to 5th Avenue; 5th Avenue from 15th Street to 14th Street; 14th Street, from 5th Avenue to the City boundary in the Tualatin River; the Tualatin River City Boundary, from 14th Street to 12th Street; 12th Street, from the City Boundary in the Tualatin River to 7th Avenue. The objective would be to preserve existing old homes and buildings and encourage the design of new building to be visually compatible with those that were built near the turn of the century. The neighborhood group has worked out sufficient details for administrating the historic district until more specific criteria can be developed and studied. The following should be placed on page 76 of the Comprehensive Plan.

Objective #8, Willamette Historic District and Historic Theme Area

In response to Objective #7, above, the Willamette Neighborhood Groups have proposed and the Planning Commission and City Council have approved a Willamette Historic District. The initial Historic District consists of all properties bounding upon and included within the streets and the area described as follows:

7th Avenue, from 12th Street to 14th Street; 14th Street, from 7th Avenue to 6th Avenue; 6th Avenue to 14th to 15th Street; 15th from 6th Avenue to 5th Avenue; 5th Avenue from 15th Street to 14th Street; 14th Street, from 5th Avenue to the City boundary in the Tualatin River; the Tualatin River City boundary, from 14th Street to 12th Street; 12th Street, from the City boundary in the Tualatin River to 7th Avenue.

A Willamette Historic Theme is also established for the Willamette Neighborhoods. The Historic Theme areas may be designated in the Zoning Ordinance as determined by the City Council. Theme areas should originate next to the Historical District and then extend in any direction or distance deemed acceptable by the City Council.

Planning Concepts

The primary purpose of the Willamette Historic District is to preserve the dwellings which, because of their age are significant in local history. Also the Historical District is intended to maintain the setting of these old buildings so that structures of modern architectural design are not

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built near or among them. Presently there are vacant lots within this district. New construction will be permitted, provided in the Design Review Committee's judgement, the architectural appearance is in keeping with the architectural period the Historical buildings represent.

The purpose of the Willamette Historic Theme is to provide a means by which areas outside the Historic District may be influenced by the same or similar architectural objectives through the Design Review process.

The Zoning Ordinance shall reflect the detailed design criteria that further studies accepted by the City Council may recommend. The following guidelines shall serve as the foundation for Design Review criteria:

- (1) Building Height This is determined by the building height restrictions in the underlying zoning. However, heights compatible with surrounding structures are to be encouraged. On a street or in an area which is predominately single-family structures, a height of two stories is encouraged. On some streets or in some areas, a variety of building heights is appropriate.
- (2) Relationship of Siting: In addition to the zoning requirements, the relationship of a new building to the street, and to the open spaces between buildings, should be visually and environmentally compatible with the Historic Area.
- (3) Proportion of Building Facade: The relationship of the height to the width of new structures should be compatible and consistent with the architectural character of the Historic Area.
- (4) Facade: Many buildings in the area have wide eaves, decorative trim, bays, and porches; in contrast, monotonous flat planes, such as those present on several of the newer homes and businesses in the district, tend to detract from the

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overall aesthetics of the neighborhood. For this reason, new structures are encouraged to incorporate the use of wide eaves, decorative trim, bays, porches, etc.

(5) Building  
Material:

Building materials chosen for new structures should be compatible with the materials used by the historical structures. Wood siding may relate better to existing structures in the area than commonly used textured plywood or asbestos shakes. The scale and type of materials for new structures should relate to the scale and type of materials used by the historic structures within the district.

(6) Relationship  
of Roof Form:

Predominant roof forms along a street or in an area should influence the type of roof to be allowed on a new structure on that street or in that area. The roof shapes of a new structure must be considered in the over-all evaluation of that structure, particularly in relation to existing roof shapes.

(7) Relationship  
of  
Landscaping:

Landscaping for new construction should include plantings fronting the street, including street trees where appropriate. Existing trees are to be retained whenever possible.

Signs and commercial lighting should be visually compatible with the architectural character of the Historic District.

Policies

1. The City will continue to provide a means for neighborhood and land owner involvement in decisions relating to regulatory and physical change which may effect the Willamette Historical District or Willamette Theme Area.
2. The City will strive to preserve the historic and aesthetic character of the Willamette Historical District.

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3. The City will encourage expansion in the use of design features of the architectural period reflected by the historical buildings within the district to adjoining areas of Willamette by means of the Willamette Theme designation.
  4. The City will accommodate continuing growth within the Historic District, and the theme areas by means of the Design Review process to insure the compatibility of new structures to the historic buildings.
- (45) A correction is needed in the introductory paragraph of Objective #7, Historic Areas / Sites, on page 75. Contrary to the current statement West Linn does have a nationally registered historic site. The following change is adopted: The Willamette River Locks are registered in the national list of historic places. While no other registered historic...
- (46) The following revision is adopted as the replacement for the section titled Long Range Planning - Future Comprehensive Plan Review, page 9.

October 11, 1978  
Revised June 11, 1980  
West Linn Comprehensive Plan  
City Council Amendments  
Attachment A

Long Range Planning - Future Comprehensive Plan Review

The CPRC will meet in September of each year to review how well the plan is working and to determine what minor revisions are necessary to improve the plan's usability. After consideration of neighborhood group or individual citizen recommendations that may be submitted, the Committee may recommend specific changes to the plan, or they may recommend that certain portions of the plan require a more detailed review and update. The Committee is not required to revise the Comprehensive Plan unless they believe it requires such change. An annual report from the CPRC will be submitted to the Planning Commission at its January meeting. The CPRC shall assume a review role in the Plan Amendment process outlined in the next section as well.

Plan Amendment Procedures

In addition to plan amendment recommendations that may result from the annual review of the CPRC, private citizens may wish to request amendments to the Land Use Map or other stated policies of the plan. In those circumstances, the following procedure will be followed.

Private party requests to amend the Land Use Map will be heard by the Planning Commission semi-annually in April and October of each year. These private initiatives will be evaluated based on the following criteria:

1. The request is in conformance with the Comprehensive Plan goals, objectives, and policies,
2. There is a public need for the change or that the change can be demonstrated to be in the interest of the present and future community,
3. If there is a public need or that the change is in the community's interest, that the change is best accommodated by the specific request, and
4. The change will not adversely effect the health, safety, and welfare of the community.

If the CPRC determines that these criteria have been met, they will recommend revision to the Land Use Map, to the Planning Commission.

If a private party wishes to revise a stated objective, policy or standard within the Comprehensive Plan, the request for such change must be made to the CPRC at its September annual review meeting. The CPRC will review the request along with its general review of the total plan. The recommendation formulated by the CPRC will be included along with their annual report to the Planning Commission in January.

The Planning Commission shall review the recommendation of the CPRC and other information or testimony it receives and shall then make and forward a recommendation to the City Council.

In all circumstances, the Planning Commission and City Council will hear plan amendment requests in a public hearing format, legally noticed in accordance with the Oregon Revised Statutes and the City of West Linn requirements for a public hearing. A final decision on any plan amendment request will normally be rendered by the City Council within 180 days of the date of the Planning Commission's first hearing.

#### Five Year Plan Review

In order to ensure that the Comprehensive Plan continues to reflect the long term trends within the City, the CPRC will undertake a complete and systematic review of the Comprehensive Plan every five years. Neighborhood associations, the Planning Commission and the City Council will be involved in this review.

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Short Range Planning Process

The Planning Commission and City Council will continue to discharge the duties outlined in City Ordinances and in compliance with the adopted Comprehensive Plan. The major change in the short range planning process will occur through the involvement of local neighborhood groups. These groups will be provided the opportunity to respond to the Comprehensive Plan Review Committee, the Planning Commission and the City Council concerning specific planning related matters of interest to them. In addition, these groups can play an important advisory role to the City's budgeting process by identifying neighborhood needs and priorities.

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APPENDIX E  
BICYCLE AND PEDESTRIAN MASTER PLAN  
WEST LINN  
BICYCLE AND PEDESTRIAN ROUTES

PURPOSES:

The purpose of the master plan is to give guidance to governmental bodies and developers, so that routes will be continuous rather than fragmented.

- To make bicycle and pedestrian traffic safer.
- To coordinate routes with those in adjacent communities
- To develop safe routes between residential areas and schools.
- To develop foot and bicycle access to parks and between parks.

ASSUMPTIONS:

These routes are listed as desirable for both utility and recreation. Actual construction depends on availability of funds and right-of-way. Location of right-of-way will depend on availability and sound engineering practices.

Wherever possible, these routes should coincide with plans for Greenway Trails as suggested in the Comprehensive Plan.

This plan may be reviewed and revised periodically through City Council action. As new areas are developed, provisions should be made to provide for safe bicycle and pedestrian traffic between residences and commerce, and between residence, schools, and parks.

FIRST  
PORTION:

- A. Between Oswego and West Linn City Hall.
- Along Highway 43, including use of West A to access the high school, and Highway 43 to access the post office and commercial facilities.
  - Through residential areas below Highway 43 including access to park.
  - Midhill route, above Highway 43 and parallel to it.

SECOND  
PORTION:

- A. From City Hall through Willamette Area toward Tualatin, with access to Willamette Park and to Johnson Road.

THIRD  
PORTION:

- A. Within Sunset Area, and from Sunset to other areas.
- Hidden Springs to Sunset Park.
  - Hidden Springs to Highway 43.
  - Sunset Park to High School
  - Sunset to Willamette, above the freeway and below the freeway
  - Hidden Springs to Oswego, parallel to Rosemont Road.
  - Rosemont Road to Wilderness Park.
  - High School to Wilderness Park.

PRIORITIES

STATE:

1. Along Highway 43
2. City Hall to Willamette Area.
3. Through Mary Young Park, parallel to the river.

COUNTY:

1. Hidden Springs to City limits.
2. City Hall to Willamette Area.
3. Hidden Springs to Stafford Road.
4. Johnson Road

CITY:

1. Rosemont Road to Sunset School.
2. Miscellaneous connectors between other portions as they are completed, and between neighborhoods.

The actual order of projects will depend on practical considerations, such as other work being done along a route, availability of funds and rights-of-way, and volunteer work.

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Route Descriptions: Oswego to City Hall

1. Along Highway 43

- (a) Oswego to Mary Young State Park: Class II - Completed 1972 Construction and Maintenance by State.
- (b) Through Mary Young Park, next to Highway 43: Class I - Completed 1972 - Construction and Maintenance by State
- (c) Mary Young Park to old Oregon City Bridge: Class II - To be built and maintained by State - possibly part Class I
- (d) Along West A Street - to be built and maintained by the City.

2. Below Highway 43

- (a) Old River Road from the footbridge in Glenmorrie to Hwy. 43 - Completed by City and County in 1973 - Class III
- (b) From Old River Road along Trillium to Glen Terrace to Elmran, down Elmran to Nixon Avenue, along Nixon Avenue to Mary Young Park - Class II - City signed, special lane down Elmran to Nixon.
- (c) Path easement connecting between Calaroga and Nixon Avenue - Class I - by City.
- (d) Island View Terrace (from Cedaroak Drive down to road improvement - Class I - by City.
- (e) Between Kenthorpe Way and Mapleton Drive (either near Lake Oswego water treatment plant or near the creek that goes by the Kenthorpe-Cedaroak walk-way easement) Class I - by City.
- (f) Along Cedaroak Drive from present bike path, along undeveloped land, toward Elmran Drive - Class I - by the City
- (g) Along Cedaroak Drive on south side from present bike way path to Highway 43 - Class I - by City.
- (h) Along Cedaroak Drive on north side between Highway 43 and Old River Road and Cedaroak along Old River Road frontage of apartments: sidewalk - developer
- (i) From south side of Mary Young Park to Larson Avenue (through undeveloped land) Class I - Developer, state
- (j) Larson to Dillow - Completed (signed) Class III - by City.
- (k) Connection from Dillow to Burnside Park (perhaps on sewer or water easement) Class I - City or developer
- (l) Through Burnside Park and section of land to River Street - Class I - City or perhaps State help
- (m) Along River Street to West Bridge Park - Class III - City (Sign)
- (n) Through West Bridge Park to Territorial Drive - Class I - City or State help.
- (o) Along Territorial Drive and Hill Street - Class III - City (Sign)

3. Above Highway 43

- (a) From Chapin Road (City of Lake Oswego) to Midhill Road - Developer
- (b) View Drive to Walling Circle to proposed shopping center (between blocks it would be class I - City)
- (c) From any developments south of the shopping center to the center.

4. City Hall to Willamette Area

1. Willamette Falls Project - State / County / City
  - (a) Along Highway 212 from City Hall to Crown's sawdust pile and service road - Class II
  - (b) Along streetcar right-of-way from the service road to the bluff above the tailing pond - Class I
  - (c) Either along Highway 212 from the bluff into Willamette Class II - or down the bluff to 5th Avenue - Class I
2. Through Willamette  
Class III - along existing streets and avenues - by City
  - (a) Through Willamette along 7th Avenue.
  - (b) Along Dollar Street, 19th Street, and Blankenship Road to Johnson Road.
  - (c) To Willamette Park
  - (d) Volpp Street to 4th Street, to 5th Avenue, and up 6th Street. - Class III - City (sign)

5. Sunset / Rosemont Area

1. Hidden Springs to Sunset Park
  - (a) By County - Class I or II parallel to Rosemont Road from Horton Road To City limits.
  - (b) By City - Class II from City limits along Rosemont to Summit, Class II along Summit to Knox Street.
  - (c) Developer - Sidewalk on Knox Street - Class I from Knox to Bonnet.
  - (d) Bonnet to Oxford - Class III - City (signed)
  - (e) Along Oxford to Sunset School - Class II or III - City
2.
  - (a) Hidden Springs Road to Highway 43 - Class I - Developers
  - (b) Path near Pimlico (Highway 43 to Hidden Springs Development) - Completed - Class I - Developers.
  - (c) Along Rosemont within Hidden Springs boundaries - Class I Developers
3.
  - (a) Sunset Park to High School and Camesia - City
  - (b) Sunset to Salamo Road - Class II or I - Developer
  - (c) Sunset area to Freeway Rest area: Class II or I - Developer or City.
  - (d) Rosemont to Wilderness Park - Class I - City or Developer
4. Hidden Springs to Stafford Road parallel to Rosemont Road - Class I or II - by County
5. High School to Wilderness Park - sidewalk along Skyland Drive by City.

1048

Exhibit 1

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WILLAMETTE FALLS PROJECT

WEST LINN CITY HALL TO WILLAMETTE AREA

I. Recommended State project

- (a) Parallels I-205 and State Highway 212
- (b) Portions would be Class II or shoulder of Highway 212
- (c) Would remove bicycles and pedestrians from present use of portions of Highway 212.

II. Route

- (a) Part one - City Hall to Sawdust Pile - two alternatives - Both Class II
  - (1) First alternative: Northwest side of Highway 212
    - (a) Widen sidewalk from "A" Street Bridge to Sunset Avenue
    - (b) Widen shoulder of Highway 212 from Sunset Avenue to Crown Service Road just south of sawdust pile. This widening could be on either side of Highway 212. Requires bicycle traffic to cross Highway 212. A street traffic would cross anyway. 0.5mi.
  - (2) Second Alternative: Southeast Side of Highway 212
    - (a) Widen shoulder of Highway 212 from the City Hall to Crown's Service Road just south of sawdust pile. 0.7mi.
- (b) Part Two: Sawdust Pile to Tailings Pond Bluff - Class I
  - (1) Follow streetcar right-of-way 0.7mi.
  - (2) Problems
    - (a) Crown requests that the trail stay above the service road. Therefore, it would drop away from shoulder of Highway 212 just south of the service road entrance.
    - (b) Wet ground - requires adequate ditching and culverts.
    - (c) Tanner Creek has washed out a portion of the old road bed. Requires a short bridge or culvert and fill. The chasm is approximately 12 feet wide and 8 feet deep.
    - (d) A small blackberry patch
  - (3) This portion is both level and scenic.
  - (4) The right-of-way is owned by P.G.E. and leased to Crown Zellerbach. Crown is, at present, willing to lease this portion of their lease. Bicycle and pedestrian ways appear to fall under P.G.E.'s policy concerning utilization of idle real estate beneath power lines.
  - (5) At the end of Part Two, the right of way drops over a cliff.
- (c) Part Three - Bluff to Willamette Area
  - Two alternatives - Class I or Class II
    - (1) First alternative
      - (a) Widen shoulder of Highway 212 from the bluff to the double portion of 7th Avenue in Willamette Area. Distance: about 0.4 mi.
      - (b) Problems:

Exhibit 1018  
42 of 43

- (1) At two places, the present shoulder is narrow between the pavement and a vertical drop. Some fill required.

1048

Exhibit 1

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RESOLUTION NO. 05-22  
WEST LINN, OREGON

A RESOLUTION OF THE WEST LINN CITY COUNCIL ENDORSING THE INTER-GOVERNMENTAL AGREEMENT BETWEEN THE CITY OF WEST LINN AND CLACKAMAS COUNTY FOR THE SHARED USE OF HISTORIC PRESERVATION REVIEW COMMISSION

WHEREAS, the County of Clackamas and the City of West Linn have a mutual obligation under the State's land use planning system Goal 5 to promote the protection of certain historic resources; and,

WHEREAS, the County has generously assisted the City in the implementation of certain historic preservation objectives by actively sharing the use of and expertise of the membership of the existing Clackamas County Historic Board through an informal arrangement since the mid-1990's; and,

WHEREAS, it is found to be in the best interests for the County and the City to continue to cooperatively work together toward our shared interest in promoting the protection of historic resources within our common jurisdictions; and,

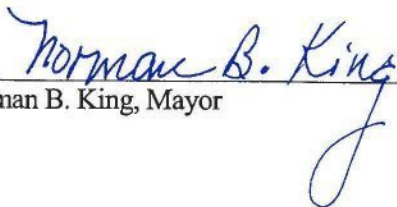
WHEREAS, the shared use of the Clackamas County Historic Review Board will offer the City of West Linn a means to qualify for the Certified Local Government designation by demonstrating that we have an active and competently established Historic Preservation Review Commission; and,

WHEREAS, the shared use of the County's HPRC will result in a mutual benefit to the parties by maintaining a single highly qualified and active HPRC without any increased costs and with the potential for better sharing of the specialized knowledge of the membership;

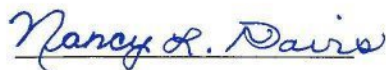
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF WEST LINN, THAT THE CITY ENDORSES THE INTERGOVERNMENTAL AGREEMENT BETWEEN THE CITY OF WEST LINN AND CLACKAMAS COUNTY FOR THE PURPOSE OF ESTABLISHING SHARED USE OF THE CLACKAMAS COUNTY HISTORIC PRESERVATION REVIEW COMMISSION AS OUTLINED IN THE EXECUTED IGA.

This resolution is effective upon passage.

This resolution adopted this 25<sup>th</sup> day of July 2005.

  
\_\_\_\_\_  
Norman B. King, Mayor

ATTEST:



**ORDINANCE NO. 1594  
WEST LINN, OREGON**

**AN ORDINANCE MODIFYING DESIGN STANDARDS AND SETBACKS FOR HOMES, ACCESSORY DWELLING UNITS AND OTHER DEVELOPMENT IN THE WILLAMETTE HISTORIC DISTRICT**

**WHEREAS**, the integrity of the Willamette Historic District, now part of the Willamette Falls Drive National Historic District, is protected and enhanced by the use of architectural design standards and setbacks that are specific to that district; and,

**WHEREAS**, home construction in the past has exceeded the height and mass of existing historic homes which diminishes the historic value and character of the district; and,

**WHEREAS**, the construction of some relatively large accessory dwelling units has resulted in loss of privacy and sunlight for the adjacent neighbors; and,

**WHEREAS**, Community Development Code (CDC) Chapter 25 regulates construction and remodeling of structures in the Historic District; and,

**WHEREAS**, the Clackamas County Historic Review Board on July 9, 2009 and the West Linn Planning Commission, following their August 19, 2009 and February 3, 2010 hearings, recommended approval of amendments to CDC Chapter 25 that would address these issues; and,

**WHEREAS**, the West Linn City Council held public hearings on March 8, 2010 and March 22, 2010 and subsequently adopted findings of fact and conclusions justifying its decision; and

**WHEREAS**, the City Council received testimony that, due to the length of the code adoption process and with arrival of the spring building season, there is a threat that without more restrictive standards in place properties in the District could be subject to remodeling activities that are not conducive to maintaining the historic integrity of the District.

**NOW, THEREFORE, THE CITY OF WEST LINN ORDAINS AS FOLLOWS:**

Section 1: The West Linn Community Development Code is hereby amended to read as identified in Exhibit A (attached hereto).

Section 2: Because there is the potential for remodeling activity during the spring that is not conducive to maintaining the historic integrity of the District, the City Council hereby finds and declares an emergency which requires that, for the benefit of community health, safety and welfare, this ordinance shall become effective immediately.

PASSED AND APPROVED THIS 26th DAY OF APRIL 2010.

  
JOHN KOVASH, COUNCIL PRESIDENT

ATTEST:

  
TINA LYNCH, CITY RECORDER

APPROVED AS TO FORM:

  
CITY ATTORNEY

# EXHIBIT A

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**25.000 HISTORIC DISTRICT**

**25.010 PURPOSE**



The intent and purpose of this overlay district is to implement the goals and policies of the Comprehensive Plan for the Historic District, and promote the public health, safety, and general welfare by safeguarding the City's heritage as embodied and reflected in its historic resources. The provisions of this section are intended to:

- A. Provide for the identification, protection, enhancement, and use of sites, structures, corridors, objects, and buildings within the City that reflect special elements of the City's architectural, archeological, artistic, cultural, engineering, aesthetic, historical, political, social, and other heritage. In addition to the Willamette District, this Code section also contemplates creation of new districts as appropriate.
- B. Facilitate restoration and upkeep of historic buildings, structures or other physical objects or geographical areas;
- C. Encourage public knowledge, understanding and appreciation of the City's history and culture;
- D. Foster community and neighborhood pride and sense of identity based on recognition and use of cultural resources;
- E. Promote the enjoyment and use of historic and cultural resources appropriate for the education and recreation of the people of the City;
- F. Preserve diverse architectural styles reflecting phases of the City's history, and encourage complimentary design and construct impacting cultural resources;
- G. Enhance property values and increase economic and financial benefits to the City and its inhabitants;

- H. Identify and resolve conflicts between the preservation of cultural resources and alternative land uses; and,
- I. Integrate the management of cultural resources and relevant data into public and private land management and development processes.
- J. Encourage the adoption and use of the Secretary of Interior's Standards for Historic Preservation.**

**25.015 APPLICABILITY**

The provisions of this chapter shall apply to all properties and structures within the Willamette Historic District boundary as depicted on the map referenced in section 25.030. The single-family residential design standards that apply to homes elsewhere in West Linn shall not apply to homes within the historic district. **The standards of this chapter shall supersede any conflicting standards appearing in CDC Historic Landmarks Chapter 26.060.** (ORD. 1538)

**25.020 PERMITTED USES**

- A. The residentially zoned portion of the Willamette Historic District, and other historic districts established under Section 25.050 of this Code, shall permit only single-family detached residential uses. Home occupations shall be processed pursuant to Chapter 37 of this Code.
- B. The commercially zoned portion shall allow uses appropriate to that zone as described in Chapter 19 with consideration of its historic status.
- C. Existing structures and uses that do not conform to these standards shall be regarded under the provisions of Chapters 66 and 67.
- D. Nothing in this chapter shall be construed to prevent the ordinary maintenance or repair of any architectural features which does not involve a change in design, material or the outward appearance of

such features which the Building Inspector shall certify is required for the public safety because of its unsafe or dangerous condition.

- E. National Historic Register structures or Historic Landmarks in the Historic District shall comply with the provisions of Chapter 25.

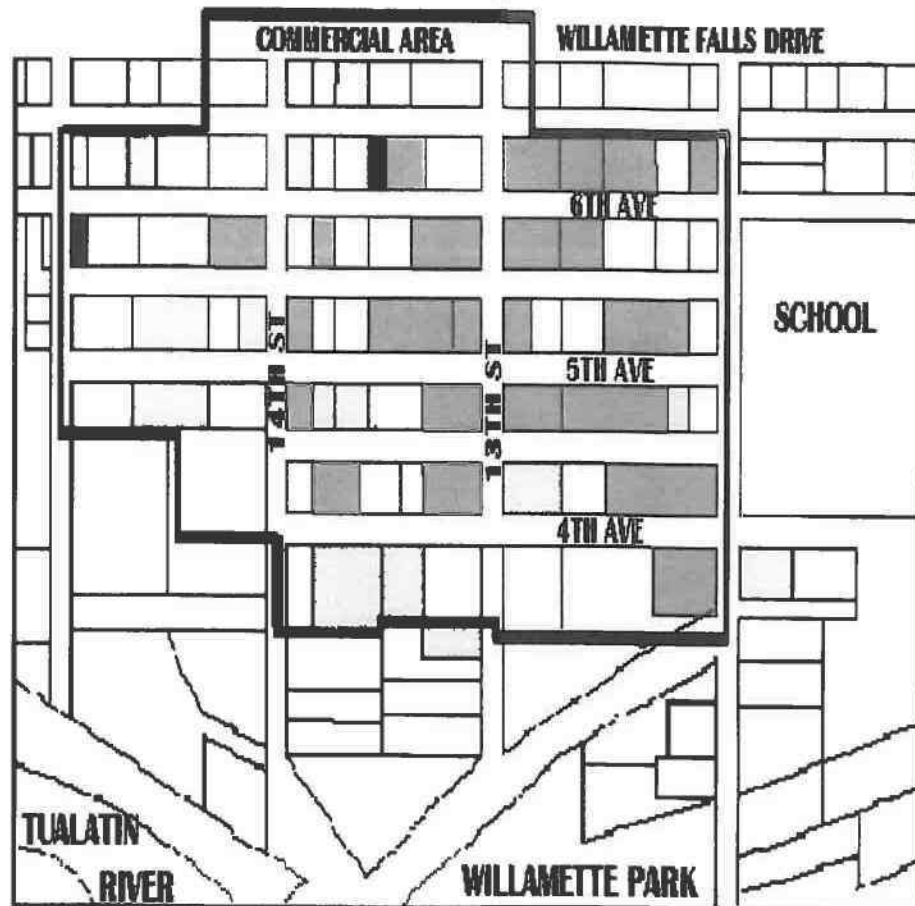
25.030




#### DEFINITIONS AND BOUNDARY DELINEATION


- A. The attached map (Figure 1) identifies existing boundaries for the Willamette Historic District. The map identifies "primary" and "secondary" residential structures within the District bounds. The boundary excludes areas lacking character defining structures, while retaining as many "primary" and "secondary" structures as possible. Several potentially buildable lots are included in the boundary. These parcels, if sensitively developed, could enhance the historic image of this seven block area.
- B. Primary Structures. Structures which significantly define the district's character are called "primary" contributing. These structures were constructed between 1890-1920; most original architectural features (i.e., windows, roof forms, porches, siding) remain intact. These structures represent the community's best remaining examples of turn-of-the-century architectural styles. All but two of the "primary" structures are listed in the Clackamas County Cultural Resource Inventory, 1984.**
- C. Secondary Structures. Structures built before 1925 which retain many original architectural features, but not identified in Clackamas County's "Cultural Resource Inventory" are identified as "secondary" contributing. Some vernacular architecture may have been introduced to the structure. "Secondary" structures also represent styles popular during the turn-of-the-century.**

FIGURE 1

# WILLAMETTE HISTORIC DISTRICT



<b>PRIMARY STRUCTURES</b> -----	
<b>SECONDARY STRUCTURES</b> ---	
<b>BOUNDARY</b> -----	
<b>ADOPTED</b> <b>MAY 14, 1986</b>	(AMENDED APR. 1991; ORD.1298) (AMENDED SEPT.1985; ORD.1172)



Note: Site visits will be required to verify classification of structures.

- ~~B. **Primary Structures.** Structures which significantly define the district's character are called "primary" contributing. These structures were constructed between 1890-1920; most original architectural features (i.e., windows, roof forms, porches, siding) remain intact. These structures represent the community's best remaining examples of turn-of-the-century architectural styles. All but two of the "primary" structures are listed in the Clackamas County Cultural Resource Inventory, 1984.~~
- ~~C. **Secondary Structures.** Structures built before 1925 which retain many original architectural features, but not identified in Clackamas County's "Cultural Resource Inventory" are identified as "secondary" contributing. Some vernacular architecture may have been introduced to the structure. "Secondary" structures also represent styles popular during the turn-of-the-century.~~
- D. **Contributing Structures.** Structures (i.e., bungalows, etc.) built after 1925 in the Old style. Additions or remodels to these structures should be consistent with provisions of this chapter.
- E. **Non-Contributing Structures.** Structures built after 1925 in styles that are generally incompatible with area architecture; for example, a 1955 ranch style home. To require such homes to be remodeled under this Code's provisions with a Victorian cupola or fish scale siding shingles, would violate Code sections that seek time period consistency and seek to avoid architectural mimicry.

25.040

#### HISTORIC REVIEW BOARD

- A. For the purpose of this ordinance, the decisions regarding alterations within Historic District and recommendations for designation of Historic Districts shall be accomplished by the Clackamas County Historic Review Board.

- B. **Appointment and composition.** The City Council shall appoint two individuals who have demonstrated an interest in historic preservation, and have experience and/or special expertise or knowledge in the field of historic preservation, and may fulfill the requisites of the Historic Review Board and composition pursuant to 707.04 of the County's Code. The remaining five members of the Board are standing members responsible for reviewing applications for all of Clackamas County. Their appointment is made through Clackamas County government.
- C. **Terms of service.** The aforementioned two members of the Historic Review Board shall be appointed for three years and may be re-appointed or replaced at the discretion of the City Council.
- D. **Duties and responsibilities.** It is the responsibility of the Historic Review Board to ensure that the purposes of this section are implemented and to perform the following duties:
1. Adopt rules to govern its deliberations and decisions, including a method to record its proceedings.
  2. Carry out the duties described for it in this Ordinance and otherwise assist the Board of County Commissioners and West Linn City Council on historic preservation matters.
  3. Review and render decisions on proposals to alter the exterior of a Historic Landmark subject to the procedures and criteria set forth in CDC Chapter 26.
  4. Review and render decisions on all proposed new construction on property on which a Historic Landmark is located, subject to the procedures and criteria set forth in Chapter 26 of this Code.
  5. Review and make recommendations on all applications for zoning of a Historic Landmark, as provided under CDC Chapter 26.
  6. Review all requests for demolition or removal of a Historic

Landmark, as provided under CDC Chapter 26.

7. Review and make recommendations to the Planning Commission on all conditional use applications under Chapter 26 of this Code.
8. Review and make recommendations on all partitions and subdivisions of designated properties.
9. Disseminate information to educate the public as to state and federal laws protecting antiquities and historic places.
10. Act as a coordinator for local preservation groups, educational workshops, signing and monumentation projects, and other similar programs.
11. Advise interest groups, agencies, boards, commissions, and citizens on matters relating to historic preservation within the City.
12. Insure that information on inventoried historic properties is updated and maintained.
13. Provide opportunities for the ongoing education and training of Board members in architecture and historic preservation.

**25.045 APPEALS OF HISTORIC REVIEW BOARD**

Appeals of Historic Review Board are heard by the City Council pursuant to Chapter 99, Procedures for Decision-Making: Quasi-Judicial. (ORD. 1474)

**25.050 CRITERIA FOR HISTORIC DISTRICT DESIGNATION**

- A. Approval of an Historic District designation shall be made when the Historic Review Board finds that any of the following criteria have been met:
  1. Whether the proposed district or landmark would serve the purpose of the Historic District as stated in Section 25.010.
  2. Reflects the broad cultural or natural history of the

community, state, or nation.

3. Is identified with historic personages or with important events in national, state, or local history. Archeological sites would also be included.
  4. Embodies the distinguishing characteristics of an architectural specimen inherently valuable for a study of a period, style, or method of construction.
  5. Is a notable work of a master builder, designer, or architect.
- B. The age of a specific building shall not be deemed sufficient in itself to warrant designation as historic.

**25.060**

**CRITERIA FOR EXTERIOR ALTERATION AND NEW CONSTRUCTION**

- A. Except as provided pursuant to Section 25.100, no person may alter the exterior of any structure in an Historic District in a manner as to affect its exterior appearance, nor may any new structure be constructed in an Historic District, unless the site and evaluation drawings are approved by the Historic Review Board.
- B. Exterior remodeling as governed by this chapter shall include any change or alteration in design or other exterior treatment excluding painting.
- C. For new home construction or exterior alterations of structures in an Historic District, the criteria to be used by the Historic Review Board in reaching the decision shall include the following:
  1. The purpose of the Historic District as set forth in Section 25.040.
  2. The policies of the West Linn Comprehensive Plan.
  3. The economic use of the structure in an Historic District and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation. (Applicable to commercial only.)

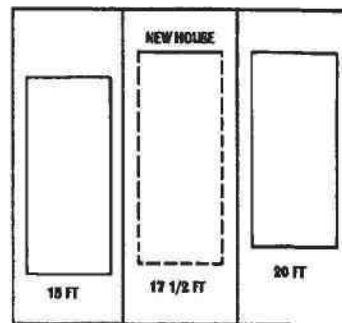


4. The value and significance of the structure or landmark in an Historic District. (Applicable to remodeling only.)
5. The physical condition of the structure or landmark in an Historic District. (Applicable to remodeling only.)
6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with an existing structure in an Historic District.
7. Pertinent aesthetic factors as designed by the Historic Review Board.
8. Economic, social, environmental and energy consequences related to LCDC Goal #5.

25.070

**APPROVAL CRITERIA FOR REMODELS, NEW HOME AND ACCESSORY STRUCTURE CONSTRUCTION/REMODEL STANDARDS**

- A. For new home construction, remodels and single-family structures in the Willamette Historic District (and landmark structures as appropriate), the Historic Review Board shall use the following design standards in reaching a decision.
- B. **SITING.**



1. Front yard:
  - (a) **The front yard setback shall be the** distance measured

from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings, equal to the average of the front setbacks of adjacent "primary" or "secondary" structures homes. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet.

~~Where there are no adjacent primary or secondary structures, the setback shall be 15 feet.~~

**(b) Unenclosed porches with no living space above may encroach six feet further from the dominant vertical face of the building.**

2. Side yard: Five feet shall be the standard; however, where adjacent structures encroach into the required side yard, the Planning Director may reduce one of the side yards to a minimum of three feet to center a new structure between existing buildings, provided no space between buildings is reduced below eight feet. **To encourage sidewall variation, pop outs including chimneys may intrude 18-inches into side yard setback.**
3. **Side Street: 10 feet for both developed and undeveloped street** To encourage sidewall variation, "pop outs", including chimneys, may intrude 24-inches into side street yard setback after every 400 square feet of sidewall.
- 3-4. Rear yard: The rear yard setback shall be a minimum of 20 feet, except for accessory structures **(non dwelling or non-Accessory Dwelling Units (ADU))**, which may be sited to within 3 feet of the side or rear property lines. **See section on ADUs for ADU setbacks.**
- 4-5. **Orientation**: New home construction on corner lots must ~~face the avenue.~~ **orient the front of the house to the**

avenue and not the street.

**6. Lot Coverage: 50%. Unlike the rest of West Linn, Lot coverage shall apply to the new and remodeled primary dwellings, attached and detached garages, all accessory buildings and ADUs. Decks, paved and impermeable surfaces (patios and driveways etc) shall not be included. Underlying zone (e.g. R-5) lot coverage shall not apply.**

C. **PARKING.** Parking in Willamette Town traditionally was handled from the alleys or along the "streets" (as opposed to avenues). Detached garages along the alleys or "streets" characterizes many homes in the district. **Alleys were established to provide for access to off-street parking, including garages.** ~~Alleys were established to provide for parking out of view; with this older pattern, garages are much less dominant than in newer residential areas.~~

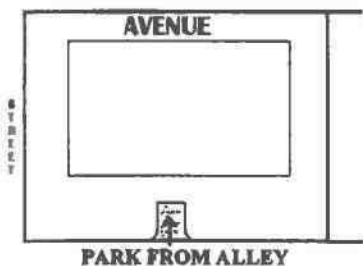
1. **Standards, Garages:**

- a. Garages shall be accessed from the alley. Where no alley exists, access to a garage may be from the street.
- b. Garage remodels and new construction must match house or existing garage building materials. Damaged or deteriorated non-conforming garages must be reconstructed / relocated in accordance with this Code where remodeling or rebuilding costs exceed 50% of the full replacement cost in current dollars.
- c. Typically, the garage pitch wasn't as steep as the house. Some architectural styles of garages have lower pitched roofs. Garage roof pitch shall not exceed house roof pitch.

- d. Garages located within the rear yard may have a zero foot side yard setback so long as it is constructed with one hour fire walls, with no openings in wall and no overhang, per City building standards. The three foot rear setback shall still apply.

2. Standards, Parking:

- a. No residential lot shall be converted solely to parking use.
- b. All vehicle access and storage (i.e., boats, camper shells, trailers, recreational vehicles, etc.) shall be stored or parked in the rear of the property as opposed to the front or side yards.



- c. On corner lots or where homes face streets, the parking and storage shall be located on the alley side of the house.



- d. No front yard curb cut shall be established unless it is determined by City Engineer that all reasonable access alternatives have been exhausted.

- e. The parking provisions of Section 26.050(B) shall apply to any non-conforming uses of a structure (i.e. bed and breakfast.) These provisions would not apply to General Commercial zone uses in the

Historic District.

- D. **BUILDING HEIGHT.** (Note: Buildings in Willamette Town vary in height, most evident are 1-1/2 story Victorians and bungalows. Some buildings reach 2-1/2 two stories, and there are several single story structures as well.)

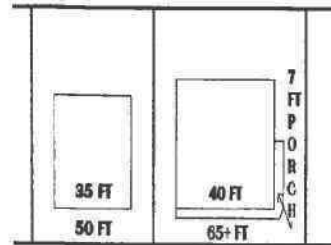


1. No building shall exceed the height of any primary structure in the district so that the existing neighborhood scale is maintained 28 feet to the dominant gable or roof ridgeline as measured per CDC Chapter 2. This restriction shall apply regardless of the existing or finished grade of the site.
2. In order to transition in scale, new houses that are taller than homes adjacent to them must have the predominant roof ridgeline extending perpendicular to the front property line so that the roof slopes down on the sides to effect that transition. Dormers are allowed on that sloping roof area facing the adjacent home(s) but cannot constitute more than 25% of the roof as measured lineally or horizontally. (e.g. if roof is 50 feet long the dormer(s) cannot be more than 25% of that distance or 12.5 feet long in total.) Also, the dormer height must be at least two feet below the gable ridgeline height.

3. 2. ~~No building shall exceed 2 1/2 stories.~~ Cupolas and towers are **not** excluded from the aforementioned height limitation; ~~however, no such structure may exceed the height of any existing cupola or tower in the district.~~
3. ~~Existing building heights should be maintained.~~
4. Alteration of roof pitches or raising or lowering a structure's permanent elevation, when constructing a foundation, shall be avoided.
5. The original height of "primary" and "secondary" the structure's front elevation shall be preserved. Additions to the rear portion of the house shall be allowed where those additions do not compromise the character of the front elevation or the scale or significantly modify the mass of the house as seen from the right-of-way.

**E. BUILDING SHAPES AND SIZES.**

1. No building on a 50-foot wide lot shall exceed 35 feet in overall width. Lots with a 65 foot width or greater may have a building width of 40 feet plus the porches, eaves or veranda extensions so that the maximum total width is 47 feet.



2. End walls (street facing) ~~should~~ **shall** be designed with consideration of scale and aesthetic character of the main facade.
3. Buildings ~~should~~ **shall** avoid a horizontal orientation in their roof and window designs, unless the design can be shown to match the original roof design or respond approximate the design of nearby structures and styles. ~~Buildings in districts other than the Willamette District shall be designed and oriented as appropriate to that area as determined by the~~

Historic Review Board with consideration of Section  
25.060(3).

- 4. Sidewalls on the side of new homes shall have a minimum 18-inch “pop out” or indent after every 400 square feet of sidewall measured laterally/horizontally. The “pop out” or indent shall be at least six feet wide and shall be at least nine feet tall. (Bay windows could qualify). Sidewalls on the side street side of new homes shall have minimum 24-inch “pop out” or indent after every 400 square feet of sidewall measured laterally/horizontally. “Pop outs” may intrude into the setback area.**



**Table 25-1**

<b><u>HISTORIC DISTRICT SETBACKS, HEIGHT &amp; SIZE:</u></b>	
<b><u>New House/Addition</u></b>	
<b><u>Front:</u></b>	<b><u>Average setback of adjacent homes<sup>&gt;</sup></u></b>
<b><u>Front Porch:</u></b>	<b><u>Additional 6-foot encroachment allowed <sup>^</sup></u></b>
<b><u>Rear:</u></b>	<b><u>20 feet</u></b>
<b><u>Side:</u></b>	<b><u>5 feet <sup>&lt;</sup></u></b>
<b><u>Side Street:</u></b>	<b><u>10 feet</u></b>
<b><u>Height:</u></b>	<b><u>28 feet</u></b>
<b><u>Massing:</u></b>	<b><u>125% of the average square footage of the adjacent homes including any attached garage (accessory structures/ADUs are exempt) or 1,200 square feet, whichever is greater.</u></b>
<b><u>Lot Coverage:</u></b>	<b><u>50% for the house and all accessory structures/ADUs. Excludes decks, paved/impermeable surfaces.</u></b>
<b><u>Sidewall:</u></b>	<b><u>Max. 400 sq ft of sidewall before an 18-inch indent or "pop out" on side yard and 24-inch indent or "pop out" on side street.</u></b>
<b><u><sup>&gt;</sup> Front setback measured to dominant vertical face.</u></b>	
<b><u><sup>^</sup> No living space allowed over porch. Porch cannot be enclosed.</u></b>	
<b><u><sup>&lt;</sup> Sidewall "pop outs" may go 18 inches into side set back and 24 inches into side street setback. Chimneys may encroach two feet into side and side street setback.</u></b>	

- F. **SIGNS AND LIGHTING.** Signs, lighting, and other appurtenance such as walls, fences and awnings, shall be visually compatible with the scale and traditional architectural character of the historic building.
- G. **HORIZONTAL ADDITIONS.**
1. The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building.
  2. Contemporary construction for alterations and additions are acceptable if the design respects the building's original design

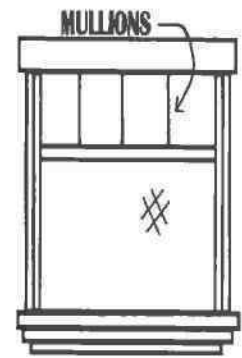


and is compatible with the original scale, materials, window and door opening proportions of the structure.

- H. **WINDOWS.** Window sizes vary considerably in the district. Windows on the primary and secondary structures are wood sash, usually a double hung type. Victorian styled structures typically have narrower, vertically-oriented windows. Bungalow styled structures from the "Craftsman" era (1905-1930) may have wider windows with mullions across the top of larger paned areas. Most windows have fairly wide trim boards, usually 5 inches.

Standards:

1. ~~Wood sash windows are preferred.~~ **Historic window sashes and frames shall be repaired rather than replaced unless the approval authority determines that repair is not possible. In that case, the replacement shall match the old window sash and frame in design, texture, materials, and other visual qualities. Existing replacement windows shall be replaced with windows that match the original window in design, texture, and other visual qualities, and, where possible, materials, as determined by the approval authority. Windows in new construction and additions shall be compatible with the massing, size, scale, and architectural features of the structure. Wood windows are preferred.**
2. ~~"Mill aluminum" (shiny) windows are prohibited. Matte finish anodized/coated aluminum windows are permitted so long as they meet the dimensional standards.~~ **Aluminum windows are prohibited unless they were the original materials and meet dimensional standards.**
3. Windows shall be surrounded by exterior trim on the top



and sides; window trim shall be at least 4-1/2 inches minimum width unless the original window was less.

4. Window replacements shall match the visual qualities of original windows; ~~as closely as possible; this does not require wood windows. Non-wood window replacements must exhibit similar visual qualities as their wooden counterparts. The original number of window "lights" (i.e., panes) shall be maintained or restored when replacements are required.~~
- ~~5. Alterations to the rear of a house, or to other portions not visible from the public right of way (exclusive of alleys) need not adhere to the design standards contained herein.~~
6. Storm windows should follow the standards for windows and shall have a mullion that matches the divide between the upper and lower window sashes. Matte finish anodized/coated frames are permitted. The 4 1/2 inch trim is not required for the storm windows. The color should match underlying trim.

- I. ENTRYWAYS. Porches are a key architectural feature on most homes in Willamette Town. Frequently, the porch and entryway creates a dominant architectural feature on the main facade. On corner lots, the entry usually faces the east-west avenues. Front doors are often notably detailed; many contain glass panes or carvings. Standards:
  1. Buildings shall have a permanently protected entry. Awnings are not permanent protection.
  2. All main entrances should face the avenues.
  3. Flush (flat) doors are prohibited.
  4. Doors with windowed areas are recommended. Front porch enclosure of any dwelling unit may not be enclosed. Back porches may be enclosed.

J. **SIDING AND EXTERIOR FINISH.** Standards:

1. Horizontal wood siding shall be the primary exterior finish.
2. Shingles should only be used in conjunction with horizontal wood siding.
3. Single color exteriors are discouraged. Stained exteriors are not recommended.

K. **ROOFSCAPE.** Standards:

1. Roofs shall have a pitch of at least 8/12 to maintain the pattern of steep roof pitches. The Historic Review Board will consider deviations from the 8/12 to 12/12 standard for additions to the main body of the house so long as it is consistent with a particular architectural style.



2. **Roofing materials should be asphalt composite shingles. Milled cedar shingles may only be used if they are replacing milled cedar shingles or if they were the original material.** ~~Roofing materials should be composite shingles. Cedar shakes were not used in period construction. Milled cedar shingles were used and are permitted.~~
3. Alternating, ~~patterned~~ or checkerboard shingles are not permitted.

L. **MASSING.**

The square footage of the principal dwelling/house and any attached garage (not counting the basement) cannot exceed 125% of the average square footage of the adjacent homes (and any attached garage) on either side of the subject house, or 1,200 square feet, whichever is greater. For the purpose of this section, homes to the rear, or across the street, shall not be used as the basis of the square footage calculation. Homes on corner lots shall base

their square footage on the one house and any attached garage adjacent to them. The square footage of the adjacent home will be based actual measurement of all liveable space in the house plus any attached garage (exclude crawl spaces or attic areas with less than five-foot vertical clearance plus all basement areas).

**M. FOUNDATIONS AND BASEMENTS**

1. **Foundations may be poured concrete or brick faced concrete and shall be exposed at least one to two and a half feet on the front elevation (depending on whether the lot is an uphill or downhill lot) to accommodate front steps and/or a raised porch. Final foundation grade will impact the height of the house. Misrepresentations or errors in determining the height of the house due to site conditions and height of foundation wall cannot be used to justify any house heights in excess of allowed height. No backfilling is allowed against a foundation wall to increase grades.**
2. **Basements shall be defined as livable or functional space below the main floor of the principal dwelling/house which is exposed above grade a maximum height of two feet. Windows and window wells are permitted but not on the front elevation. The square footage of the basement shall not count in building square footage (re: ADU) mass calculations, etc.**

**N. ACCESSORY DWELLING UNIT (ADU)**

**The provisions of CDC Chapter 34 shall not apply to ADUs in the Historic District. The following requirements apply to ADUs in the district.**

1. **ADUs may be allowed in one of the following configurations:**

- (a) Within an existing primary single-family house;  
or,
- (b) in an addition to an existing house's footprint or building envelope; or,
- (c) in a new accessory structure; or,
- (d) by converting or adding to an existing accessory structure, such as a garage or barn, on the same lot as the existing house.

2. ADUs shall meet the following conditions:

- (a) Public services are available to serve the ADU.
- (b) The ADU shall not have more than one bedroom.
- (c) The ADU shall be sized consistent with the following:
  - (i) ADUs within a primary structure (house) or sharing a common wall with the primary structure shall not exceed 30 percent of the gross square footage of the house on the lot or 250 square feet whichever is more, and a maximum of 1,000 square feet in size.
  - (ii) Single story ADUs in detached structures approved after March 22, 2010 shall have a maximum size of 600 square feet and two story ADUs approved after that date shall have a maximum size (total of both floors) of 500 square feet.
  - (iii) ADUs in existing detached structures such as workshops, offices, garages, etc. approved prior to March 22, 2010 shall not exceed 30 percent of the gross square footage of the house on the lot or 250 square feet whichever is more, and a maximum of 1,000 square feet in size.

- (d) No more than one ADU is allowed per lot.
- (e) Existing detached structures such as workshops, offices, garages, etc., may be converted into ADUs under the following conditions:
  - (i) The structure is located behind the house's front building line, preferably in the rear yard. Structures in the front yard it cannot be converted to an ADU.
  - (ii) If a second story is added to an existing garage or accessory structure, the existing structure must meet the setback standards in subsection N(5) for two-story ADUs.
  - (iii) The conversion of an existing structure is not required to meet the design standards in subsection N(3) below, with the exception of subsection N 3(d) Windows. However, such ADUs shall conform to those standards to the greatest degree possible.

**3. Design standards for both attached and detached ADUs are as follows:**

- (a) Exterior finish materials. The exterior finish material must be the same or visually match in type, size, and placement, the exterior finish material of the primary dwelling.
- (b) Entrance. The main exterior entrance including exterior stairs of a detached ADU shall be located either on the side of the ADU that is the furthest distance from any side lot line or on the elevation facing the rear of the primary structure.
- (c) Trim. Trim must be the same in type, size, and location as the trim used on the primary dwelling.

**(d) Windows.**

**(i) Windows must match those in the primary dwelling in proportion (relationship of width to height).**

**(ii) When the dominant roof ridgeline of the two-story ADU is perpendicular or at right angles to the front property line then the only windows on the second floor ADU must be at the gable ends. No dormers or skylights are permitted on the roof.**

**(iii) When the dominant roof ridgeline of the two-story ADU is parallel to the front property line then the only windows on the second floor ADU must be dormers on the roof. No windows are allowed on the gable ends facing the side lot lines. The dormers cannot constitute more than one third of the roof measured in a lineal fashion. The top of the dormers must be at least two feet below the height of the dominant gable ridge line.**

**(iv) Single story ADUs may have dormers in the roof that allow light into the ADU, but the dormers must be at a height where the ADU residents cannot see out of them towards the adjacent property. These dormers cannot constitute more than one-third of the roof measured in a lineal fashion. The top of the dormers must be at least two feet below the height of the dominant gable ridge line.**

(v) Windows are allowed on all sides of single-story ADUs at the ground/first floor level.

(vi) Single-story ADUs may have sleeping lofts (defined as a non-enclosed area above the first floor scaled to accommodate a bed and dresser only) which may have windows in the upper gable ends but only if the ADU is oriented with the dominant ridgeline extending perpendicular to the front property line. (The gable end windows will be facing the rear of the primary house, not the adjacent property.)

(e) Roof.

(i) ADUs may have roofs under a 6:12 slope but not flat.

(ii) The dominant ADU roof ridgeline must be either parallel to, or perpendicular to, the front property line. Cross gabled roof designs are not permitted although dormers are permitted per the provisions of this section.

(iii) Outdoor balconies or decks are not allowed on top of, or incorporated into, the roof of ADUs.

4. Eaves, Downspouts and Gutters.

(a) Eaves must project from the building walls the same distance as the eaves on the primary dwelling.

Eaves and gutters must be at least three feet from side property lines.

(b) Downspouts and gutters must correctly collect and dispose of rainwater.

5. Setbacks. Detached ADUs shall be in the rear yard.

Two-story ADUs shall be a minimum of 15 feet from the side lot line and a minimum of three feet from the rear



lot line. Two-story ADUs must be at least 10 feet from the house. One-story ADUs may be 3 feet from the house. If the ADU is one-story tall it may be built with a side setback of five feet and rear setback of three feet. Both single and two-story ADUs may have a five-foot setback to the side street. An attached ADU at the rear of the house must meet the standard setbacks for the primary structure. A story may be added to an existing garage or similar accessory structure, so long as the final design meets the setback standards of this chapter for two-story ADUs.

**6. Height.**

- (a) If the ADU is one-story it may be built to a maximum height of 15 feet. (Any ADU over 15 feet will be classified two story)**
- (b) The ADU cannot exceed the height of the primary dwelling. Therefore a single-story house cannot have more than a single-story ADU.**
- (c) If the ADU is proposed to be a two-story structure, as in the typical case of the ADU being above a garage, the maximum height shall be 23 feet as measured per CDC Chapter 2.**

**HISTORIC DISTRICT DETACHED ADU MINIMUM  
SETBACKS, MAXIMUM HEIGHT & MAXIMUM SIZE**

	<u>One Story</u>	<u>Two Story</u>
<b>ADU to House:</b>	3 feet	10 feet
<b>Rear setback:</b>	3 feet	3 feet
<b>Side setback:</b>	5 feet	15 feet
<b>Side Street setback:</b>	5 feet	5 feet
<b>Height:</b>	15 feet	23 feet
<b>Size (sq.ft.):</b>	30% *+100 sq ft	30%**

**(\* 30% of total floor area of principal dwelling**

**plus 100 sq ft to max. of 600 sq. ft./min is 250 sq. ft.)**

**(\*\* 30% of total floor area of principal dwelling to max. of 500 sq. ft. )**

**O. SIDEWALKS. Many of the original sidewalks had the contractors name and date stamp or street names on them. In other areas there are even footprints of cattle as a reminder that Willamette was surrounded by farms in its early history (see photo below).**



**Every effort should be made to preserve sidewalk sections with such nomenclature or replace it with facsimile stamps.**

**Most sidewalks in the residential district are four-feet wide.**

**Sidewalks are required on all right-of-way abutting lots where new houses are being built or in the case of major remodels where the work represents over 50% of the valuation of the home.**

**New sidewalks shall replicate, to the degree possible, existing sidewalk patterns, texture and coloration.**

25.080

#### **ADDITIONAL ARCHITECTURAL SPECIFICS FOR NEW CONSTRUCTION AND REMODELING**

Many houses in Willamette are rich in architectural detail. Certain architectural components are used in fairly specific ways. Standards:

- A. Distinguishing original qualities defining a structure's character shall not be destroyed. Removal or alteration of historic (i.e., original) materials or distinctive architectural features should be avoided when possible.
- B. Houses and other structures shall be recognized as products of their own time. Alterations that have no historical basis or which seek to create an earlier appearance shall be avoided.
- C. Distinctive stylistic features, or examples of skilled craftsmanship which characterize a structure, shall be maintained or restored, if possible.
- D. Deteriorated architectural features shall be repaired rather than replaced, whenever possible.
- E. In the event replacement is necessary, new materials should match the material being replaced in composition, design, color, texture, and other visual qualities.
- F. Alterations to the rear of a house, or to other portions not visible from the public right-of-way (exclusive of alleys), need not adhere to the design standards contained herein.

- G. Contemporary designs for alterations and additions would be acceptable if the design respects the building's original design, and it is compatible with the original scale, materials, window and door opening proportions of the structure.
- H. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure could be restored.

**25.090 COMMERCIAL REMODELS AND NEW CONSTRUCTION**

- A. Construction of new commercial businesses or remodeling of businesses in the Commercial district shall emphasize contextual design, style, material and period consistency. The Historic Review Board may consider applicable portions of Section 25.080, "Additional Architectural Specifics," and Section 25.060, "Criteria for Exterior Alteration and Construction."
- B. Setbacks should be consistent with adjacent uses or between 0-10 feet.
- C. Underlying zone provisions of the Commercial zone shall apply except for the off-street parking requirements which are waived under Chapter 46.

**25.100 MINOR ALTERATIONS AND MAINTENANCE**

The Planning Director shall determine the status of a proposed alteration. Minor alterations shall be reviewed and approved by the Planning Director, who may consult with the Historic Review Board, or any member thereof, in applying the provisions of this section. An alteration shall be considered "minor" when the result of the proposed action is to maintain or restore portions of the exterior to the original historic appearance while performing normal maintenance and repairs, such as:

- A. Replacement of gutters and downspouts, or the addition of gutters and downspouts, using materials that match those that were typically used on similar style buildings.
- B. Repairing, or providing a compatible new foundation that does not result in raising or lowering the building elevation.
- C. Replacement of building material, when required due to deterioration of material, with building material that matches the original material.
- D. Repair and/or replacement of roof materials with the same kind of roof materials existing, or with materials which are in character with those of the original roof.
- E. Application of storm windows made with wood, bronze, or flat finished anodized aluminum, or baked enamel frames which complement or match the color detail and proportions of the building and match the number of pains of the underlying window.
- F. Replacement of wood sashes with new wood sashes, or the addition of wood sashes, when such is consistent with the original historic appearance. Non-wood window materials **are prohibited unless they were the original materials** ~~are allowed so long as the visual quality effectively simulates traditional wood windows.~~
- G. Additions of solar equipment which, when removed, do not destroy essential elements of the building's character-defined features may be allowed if such equipment is not visible from the public right-of-way. New flush-mounted solar panels may be mounted with a southerly aspect, preferably out of sight or screened from the public right-of-way. Solar panels may be located in the rear of property following the standards for TV satellite dishes of CDC 34.020(A) (3).
- H. Accessory structures under 120 square feet and 10 feet in height (greenhouses, storage sheds, jacuzzis, spas, structures, gazebos, etc.) are exempt where they are located in the side or rear yard.

- I. In-ground swimming pools are exempt in the side or rear yard.
- J. Above-grade pools must be in the side or rear yard with adequate screening.
- K. Fences in the front yard should be time period consistent.
- L. Other improvements may be determined by the Planning Director to be exempt so long as their impact is no greater than improvements exempted by other sub-sections of 25.100.

25.110

**PARTITIONS AND SUBDIVISIONS**

**The decision making body for minor partitions and subdivisions shall be per CDC Chapter 99 (not the Historic Review Board). However, before that decision,** the Historic Review Board shall review and make recommendations on all proposed partitions or subdivisions of sites within the district or at ~~the~~ landmark sites. **The Historic Review Board** ~~r~~Review of the proposed subdivision or partition shall be based on the following criteria:

- A. The partition or subdivision does not allow a significant feature of the original site, as identified in the designation action and inventory, to be located on a separate site from the landmark.
- B. The partition or subdivision allows adequate setbacks from landmark improvements to provide for buffering and mitigation of impacts associated with development of the new parcels.
- C.
  - 1. ~~Minor partition of corner parcels shall orient~~ The new lots shall be oriented** so that they front onto the adjacent avenue rather than onto the adjacent street. **Only where the lot has no frontage on an avenue would access to the street and lot orientation to the street be allowed.**
  - 2. All new lots shall be rectangular or approximate the shape of traditional lots elsewhere in the district.**
  - 3. Flag lots are discouraged in the Willamette Historic**

District.

4. Lot line adjustments shall maintain side lot lines at right angles to front property lines.

25.120

**BUILDING CODE REQUIREMENTS**

- A. **Permits Required:** Any alteration or relocation of a Historic Landmark shall be subject to the applicable regulations under the Uniform Building Code or superseding codes of the Building Department.
- B. **Waivers:** As provided in Section 104(f) of the Uniform Building Code, repairs, alterations, and additions necessary for the preservation, restoration, rehabilitation, or continued use of an Historic District structure or Landmark structure, may be made without conformance to all the requirements of the Uniform Building Code when authorized by the Building Official, provided:
1. Any unsafe conditions as described in the Uniform Building Code are corrected;
  2. The restored building or structure will be no more hazardous, based on life safety, fire safety, and sanitation, than the existing building; and,
  3. The Building Official seeks the advice of the Oregon State Historic Preservation Officer, or designee.
- C. **Appeals.** In the case of appeals related to the application of the Uniform Building Code to a Historic District or Landmark structure, the appropriate appeals board should seek the advice of the State Historic Preservation Officer.

25.130

**DEMOLITION**

**Purpose:** The intent of this sub-section is to protect structures within the Historic District from destructive acts, and to provide the citizens of the City time to review the significance of a structure, and to pursue options to

preserve such building(s), if historic preservation is deemed in the best interest of the community. Refer to Section 26.080 for provisions relating to demolition. (ORD. 1425)

25.140

#### **APPLICATION AND SUBMITTAL REQUIREMENTS**

**Standard requirements:** All applications for alteration, relocation, development, or demolition made pursuant to this section shall include:

- A. A pre-application conference with the Planning Director is required prior to formal submittal. The Director shall determine the appropriateness of the proposal and the completeness of the materials to be submitted. The Director may consult with members of the Historic Review Board in this process.
- B. The application is made with appropriate fees being paid. The applicant shall submit a written narrative explaining the proposal and how it meets the approval criteria. In cases involving construction, the applicant shall provide scaled site plans, elevations of the structure, and construction plans. A list of materials and proposed colors is required. Material boards/color samples may be needed. Photography may be used in certain cases. The exact requirements shall be explained by staff.
- C. The hearing, public notice, appeal, and enforcement provisions of Chapter 99 shall apply.

(AMENDED PER ORD. 1474; 9/01)

25.150

#### **DESIGN MODIFICATION PROCEDURES**

- A. **When an alternative(s) to the standards of this chapter are proposed, the decision making body (e.g. Historic Review Board) may grant a design modification in those cases where at least one of the following criteria is met:**

- 1. The applicant can demonstrate by review of historical records or photographs that the alternative is correct**



and appropriate to the architecture in the Willamette Historic District of West Linn in 1890-1930 or is appropriate to the specific style of architecture proposed with no negative impacts to adjacent homes and the Historic District. Negative impacts shall be defined as loss of sunlight, loss of privacy compared to a design per this code, inappropriate scale or mass which visually overwhelms or is not deferential to the adjacent structure, particularly if it is a primary structure, etc.

2. The applicant is incorporating exceptional 1890-1930 architecture into the building which overcompensates for an omission. The emphasis is upon superior design, detail, or workmanship which can be verified reviewing previous works of the architect or builder. There shall be no negative impacts to adjacent homes and the Historic District.

3. The building placement, scale, lot coverage, setback or height fits the site and integrates well, with no negative impacts to adjacent structures and the Historic District.

B. The provisions of CDC Chapter 75: Variances shall not apply.

(AMENDED PER ORD. 1515; 2-05, ORD. 1538; 6/06; ORD. 1574 2/07  
ORD. 1565 4/08)

**ORDINANCE NO. 1614**

**AN ORDINANCE RELATING TO THE DESIGNATION AND PROTECTION OF HISTORIC RESOURCES,  
AMENDING THE ZONING MAP AND NUMEROUS COMMUNITY DEVELOPMENT CODE  
SECTIONS, AND REPEALING AND REPLACING CHAPTERS 25 AND 26**

Annotated to show deletions and additions to the code sections being modified. Deletions are ~~bold lined through~~ and additions are bold underlined.

**WHEREAS**, Chapter II, Section 4, of the West Linn City Charter provides:

Powers of the City. The City shall have all powers which the Constitution, statutes and common law of the United States and of this State now or hereafter expressly or implied grant or allow the City, as fully as though this Charter specifically enumerated each of those powers;

**WHEREAS**, the above referenced grant of power has been broadly interpreted as affording all legislative powers that home rule constitutional provisions can grant to Oregon Cities, City of Beaverton v. International Ass'n of Firefighters, Local 1660, Beaverton Shop, 20 Or. App. 293, 531 P 2d 730, 734 (1975); and

**WHEREAS**, the City of West Linn is a Certified Local Government and must meet federal requirements to maintain this status, including having a qualified review body, and enforcing local legislation for the designation and protection of historic resources; and

**WHEREAS**, the City of West Linn has developed proposed amendments to the zoning map and Community Development Code (CDC) regarding the designation and protection of historic resources in the City; and

**WHEREAS**, the City of West Linn notified the Department of Land Conservation and Development more than 35 days prior to the first evidentiary hearing on the proposed amendments to the zoning map and CDC; and

**WHEREAS**, the City of West Linn provided legislative notice of its intent to undertake a review of the zoning map and CDC and propose revisions pursuant to the applicable notice provisions; and

**WHEREAS**, the City of West Linn published notice of the Planning Commission public hearing regarding the proposed amendments on April 17, 2013, respectively; and

**WHEREAS**, the West Linn Planning Commission held public hearings regarding the proposed amendments to the zoning map and CDC on April 17, 2013, and May 1, 2013; and

**WHEREAS**, after considering the public testimony regarding the proposed zoning map and CDC amendments, the West Linn Planning Commission recommendation adoption of the proposed zoning map and CDC amendments; and

**WHEREAS**, the City of West Linn published notice of the City Council public hearing for the proposed zoning map and CDC amendments on July 4, 2013; and

**WHEREAS**, on July 15, 2013, the City Council conducted a public hearing regarding the proposed zoning map and CDC amendments; and

**WHEREAS**, the proposed zoning map and CDC amendments meet the criteria for approval of legislative amendments stated in Section 98.100 of the CDC; and

**WHEREAS**, the proposed zoning map and CDC amendments are compliant with the goals and policies of the Comprehensive Plan; and

**WHEREAS**, the proposed zoning map and CDC amendments are compliant with the Statewide Planning Goals; and

**WHEREAS**, the measures adopted by this Ordinance comply with the state and other governing laws and are reasonably related to the public health, safety and welfare; and

**NOW, THEREFORE, THE CITY OF WEST LINN ORDAINS AS FOLLOWS:**

**SECTION 1:** Section 02.030 of the City of West Linn Community Development Code is amended to read as follows:

**HISTORIC DEFINITIONS. The following terms and phrases shall have the meanings given to them below with regard to CDC Chapter 25, Historic Resources:**

**Alteration. Physical modification of the exterior of a historic resource that does not include an expansion of the building footprint. Partial demolition of a structure is an alteration. Alterations do not include painting and color selection or ordinary maintenance or repair of the resource.**

**Addition. Expansion or physical modification of the exterior of a historic resource that includes the expansion of the building footprint. Additions do not include painting and color selection or ordinary maintenance or repair of the resource.**

**Building. A structure created to shelter any form of human activity, such as a house, barn, church, hotel, or similar structure. Building may refer to a historically related complex such as a courthouse and jail or a house and barn.**

Demolition. The entire removal of a structure. Demolition of a portion of a structure is an alteration.

Demolition by neglect. The gradual deterioration of a building when routine or major maintenance is not performed. This includes any structural deficiency or a deficiency in a building part, which when left unrepaired could lead to deterioration of the building's structural frame and/or if it is open to entry by vandals or vagrants.

Eligible contributing. A building, structure, object, or site originally constructed within the applicable period of significance that retains and exhibits sufficient integrity (location, design, setting, materials, workmanship, feeling, and association) to convey a sense of history.

Historic district. A geographically definable area containing a significant concentration, linkage, or continuity of buildings, structures, sites, or objects united historically or aesthetically by plan or physical development, and listed as a historic district in the National Register or designated as a local historic district by the City Council. A historic district may also comprise individual elements separated geographically but linked by association or history.

Historic preservation. Preservation, restoration, or rehabilitation of a historic resource.

Historic landmark. A building, structure, site, or object listed individually on the National Register or designated as a local historic landmark by the City Council.

Historic resource. A historic landmark or historic district listed on the National Register or designated as a local historic landmark or historic district by the City Council.

National Register of Historic Places. The nation's official list of buildings, structures, sites, objects, and districts important in the nation's history and maintained by the National Park Service in Washington, D.C., and hereinafter referred to as the "National Register".

Non-contributing. A building, structure, object, or site originally constructed within the applicable period of significance that does not retain or exhibit sufficient integrity (due to its location, design, setting, materials, workmanship, feeling, and association) to convey a sense of history. These properties do not strengthen the historic integrity of an existing or potential historic district in their current condition.

Not in period. A building, structure, object, or site that was originally constructed outside a historic district's applicable period of significance.

Not in period compatible. A building, structure, object or site built after the period of significance with a degree of craftsmanship that is compatible with the architecture of the district.

Not in period non-compatible. A building, structure, object or site built after the period of significance that is generally incompatible with the architecture of the district.

Object. A material thing of functional, aesthetic, cultural, historic or scientific value that may be, by nature or design, movable yet related to a specific setting or environment.

Original. A component that was constructed on or added to the building during the period of significance.

Period of significance. The dates stated in the official designation of a historic district that identifies the period or periods of time when the geographic area attained the characteristics which qualify it for designation as a historic district.

Primary structure. The principal structure on a site, typically a residence or a commercial building.

Primary façade. That part of a historic resource where the main entry is located. On a corner lot each wall fronting a street shall be considered a primary façade.

Property pending designation. A building, structure, site, or object for which a formal application for local historic designation has been initiated, or for which an application has been submitted to the State Historic Preservation Office for nomination to the National Register, or a building, structure, site, or object within a proposed historic district for which a formal application for historic designation has been submitted, but which have not yet been reviewed by the Keeper of the National Register, or has been reviewed by the Keeper and determined to be "eligible."

Rehabilitation. The process of returning a historic resource to a state of utility through repair, alterations, and additions, which makes possible an efficient use while preserving those portions or features of the historic resource that convey its historic significance.

Site. The location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself maintains historical or archaeological value regardless of the value of any existing structure.

Visible. The resource or a portion of the resource that can be seen from the public right-of-way. For example, typically the primary façade of a historic resource can be seen from the public right-of-way.

~~Primary structures. Structures which significantly define the Willamette Historic District's character are called "primary" contributing. These structures were constructed between 1890 and 1920; most original architectural features (i.e., windows, roof form, porches, siding) remain intact. These structures represent the community's best remaining examples of turn of the century architectural styles. (Note: Map of District and structures in "Inventories.")~~

~~Secondary structures. Structures built before 1925 which retain many original architectural features, but are not classified as primary on the Inventories Map of the Willamette Historic District, are identified as "secondary" contributing.~~

Substantial improvement. Any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure either before the improvement or repair is started or, if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either:

- ~~1. Any project for improvement of a structure to comply with existing State or local health, sanitary, or safety code specifications which are solely necessary to assure safe living conditions; or~~
- ~~2. Any alteration of a structure listed on the National Register of Historic Places or a State Inventory of Historic Places.~~

**SECTION 2:** Subsection 11.070(5) of the City of West Linn Community Development Code is amended to read as follows:

5. Except as specified in CDC Section 25.070(C)(1-4) for the Willamette Historic District, ~~the~~ the minimum yard dimensions or minimum building setback area from the lot line shall be:
  - a. For the front yard, 20 feet; except for steeply sloped lots where the provisions of CDC 41.010 shall apply; ~~and as specified in CDC 26.040(D) for the Willamette Historic District.~~
  - b. For an interior side yard, seven and one-half feet; ~~except as specified in CDC 26.040(D) for the Willamette Historic District.~~
  - c. For a side yard abutting a street, 15 feet.
  - d. For a rear yard, 20 feet.

**SECTION 3:** Section 13.030 of the City of West Linn Community Development Code is amended to read as follows:

The following uses are permitted outright in this zoning district:

1. Single-family detached residential unit.
2. Single-family attached residential unit, ~~except within the Historic District as provided under Chapter 26 CDC.~~
3. Duplex residential unit.
4. Community recreation.
5. Family day care.
6. Residential home.
7. Utilities, minor.
8. Transportation facilities (Type I).

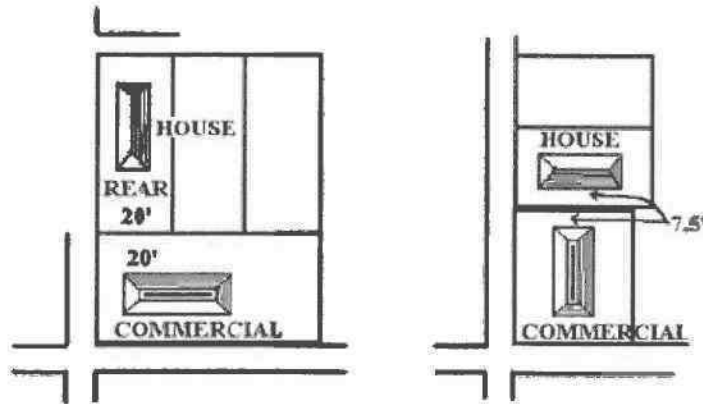
**SECTION 4:** Subsection 13.070(E) of the City of West Linn Community Development Code is amended to read as follows:

E. Except as specified in CDC Subsection 25.070(C)(1-4) for the Willamette Historic District, ~~the~~ the minimum yard dimensions or minimum building setback areas from the lot line shall be:

1. For the front yard, 20 feet, except for steeply sloped lots where the provisions of CDC 41.010 shall apply.
2. For an interior side yard, five feet.
3. For a side yard abutting a street, 15 feet.
4. For a rear yard, 20 feet.

**SECTION 5:** Subsections 19.070(A)(4) through (5) of the City of West Linn Community Development Code are amended to read as follows:

4. Where the use abuts a residential district, except as provided in CDC 58.090(C)(1), the setback distance of the residential zone shall apply. For example, when the rear of a residential property abuts the side of a commercial property, the residential 20-foot setback shall apply to the commercial property. When the side of a residential property abuts the rear of a commercial property, the residential five- to seven-and-one-half-foot setback shall apply to the commercial property. In addition, a buffer of up to 50 feet may be required.



**SETBACK OF ABUTTING HOUSE  
DICTATES COMMERCIAL SETBACK**

5. The maximum lot coverage shall be 50 percent, except as provided in CDC 58.090(C)(1)(d).

**SECTION 6:** Chapter 25 of the City of West Linn Community Development Code is repealed in its entirety and replaced as follows:

**Section 25.010 PURPOSES**

**The purposes of this chapter are to:**

- A. Foster community and neighborhood pride and sense of community identity based on recognition and use of historic and cultural resources.**
- B. Identify and protect the City's historic resources (see Chapter 2, Definitions), including the diverse architectural styles that reflect the phases of the City's history.**
- C. Encourage preservation and use of historic sites, structures, and districts within the City that reflect special elements of its historical, architectural, archeological, artistic, cultural, and engineering heritage.**
- D. Provide procedures and establish approval criteria for all reviews of proposed alterations to the exterior of historic structures and sites and other development in historic districts.**
- E. Increase economic and financial benefits to historic property owners and the community.**
- F. Ensure that changes to designated historic resources protect the integrity of the resource and the significant aspects of the area's heritage.**
- G. Provide regulations that will ensure the preservation of the quality and historic integrity of historic resources and their site and, if applicable, ensure compatibility and consistency with the qualities of the respective historic district its nomination was intended to preserve.**
- H. Provide for creation of new historic districts and designation of new landmarks, as appropriate, and to allow removal of such designations if they are no longer appropriate.**



**I. Provide a process to enable thoughtful consideration of the proposed demolition of historic structures.**

**Section 25.020 USE OF THIS CHAPTER**

**A. APPLICABILITY**

**This chapter shall apply to all properties designated as historic resources as shown on the City's zoning map and properties listed on the National Register. Specific sections apply as noted in subsections 25.020(B) and (C) below.**

**B. HIERARCHY OF REGULATION**

**The provisions of this chapter shall supersede any conflicting standards or criteria elsewhere in the CDC. The underlying zoning provisions for the applicable zone still apply.**

- 1. Exemptions. The items listed in CDC 25.040(A), EXEMPT FROM HISTORIC DESIGN REVIEW, are exempt from historic review provided that they comply with any applicable requirements in CDC 25.040(A).**
- 2. Design Standards. CDC 25.060, DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES, applies to historic reviews for designated properties, except for CDC 25.060(B), STANDARDS FOR ACCESSORY STRUCTURES, which applies only to accessory structures on sites containing historic resources.**
- 3. Additional Design Standards. CDC 25.070, ADDITIONAL DESIGN STANDARDS APPLICABLE TO HISTORIC DISTRICTS, provides additional standards that are applicable to historic design review for historic district properties.**
  - a. CDC 25.070(A), STANDARDS FOR ALTERATIONS AND ADDITIONS, applies only to historic design review in a historic district.**
  - b. CDC 25.070(B), STANDARDS FOR NEW CONSTRUCTION, applies only to new development or construction in a historic district beyond alterations and additions, and including accessory structures.**
  - c. CDC 25.070(C), WILLAMETTE HISTORIC DISTRICT GENERAL STANDARDS, applies only to alterations and additions, new construction, and accessory structure construction in the Willamette Historic District.**

**C. APPLICABILITY OF HISTORIC DESIGN STANDARDS**

**Development subject to this chapter must comply with applicable historic design review standards unless otherwise approved through the modifications process under Section 25.080. The "X" in the following chart indicates which standards are applicable to different types of development.**

STANDARDS APPLICABILITY MATRIX						
SECTION	PROPOSED ACTIVITY	ADDITIONS AND ALTERATIONS	ADDITIONS AND ALTERATIONS	NEW CONSTRUCTION	ACCESSORY STRUCTURES	ACCESSORY STRUCTURES
	LOCATION	HISTORIC LANDMARK	HISTORIC DISTRICT	HISTORIC DISTRICT	HISTORIC LANDMARK	HISTORIC DISTRICT
<b>25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC LANDMARKS AND HISTORIC DISTRICTS</b>	<b>A. STANDARDS FOR ALTERATIONS AND ADDITIONS</b>	X	X	X	X	X
	<b>B. STANDARDS FOR ACCESSORY STRUCTURES</b>				X	X
<b>25.070 ADDITIONAL DESIGN STANDARDS APPLICABLE TO HISTORIC DISTRICTS</b>	<b>A. STANDARDS FOR ALTERATIONS AND ADDITIONS</b>		X			X
	<b>B. STANDARDS FOR NEW CONSTRUCTION</b>			X		X
	<b>C. WILLAMETTE HISTORIC DISTRICT GENERAL STANDARDS</b>		X	X		X

**Section 25.030 PERMITTED USES**

**Unless otherwise provided for in this chapter, uses permitted by the base zoning district that are in accordance with the CDC are allowed on sites containing historic resources.**

**Section 25.040 HISTORIC DESIGN REVIEW PROCESSES**

**Proposed changes to historic resources that are not exempted by CDC 25.040(A), Exemptions from Historic Design Review, are subject to CDC 25.040(B), Class I Historic Design Review; or CDC 25.040(C) Class II Historic Design Review. Class I Historic Design Review addresses significant changes that warrant staff review. Class II Historic Design Review addresses major changes including additions and new construction, subject to Historic Review Board approval. The processes for conducting Class I and Class II Historic Design Review are in CDC Chapter 99.**

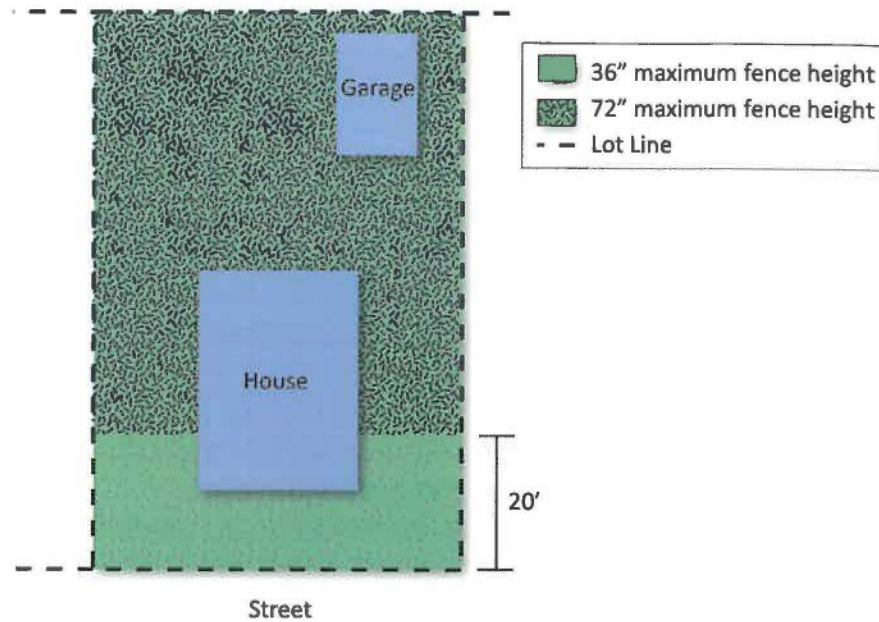
**A. EXEMPTIONS FROM HISTORIC DESIGN REVIEW**

**The following are exempt from historic design review:**

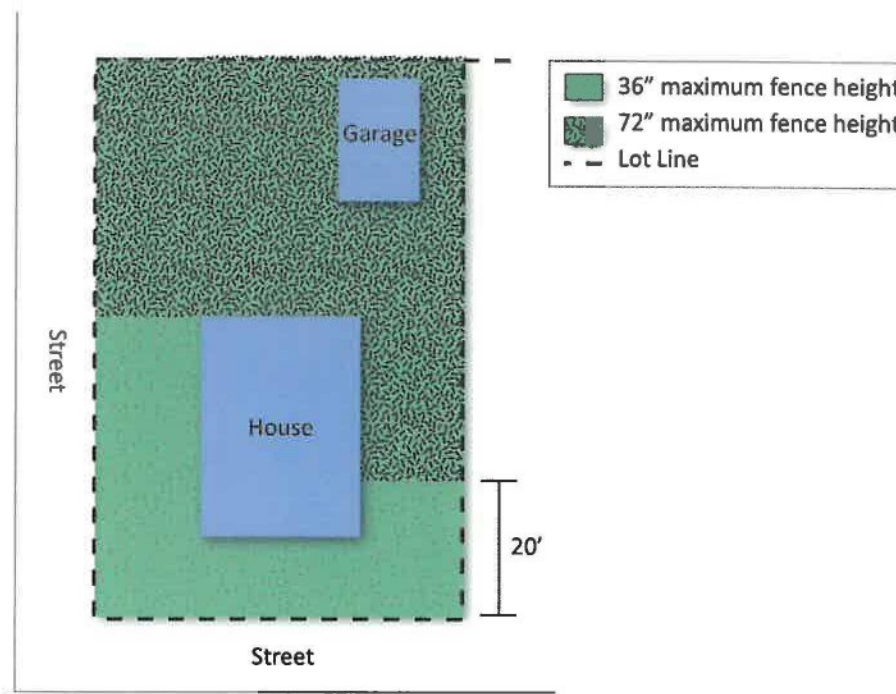
- 1. Ordinary Maintenance. Ordinary maintenance or repair including a change of facade colors, unless the color is specifically listed in the historic resource inventory, historic resource nomination, or National Register nomination as an attribute that contributes to the resource's historic significance.**
- 2. Gutters and Downspouts. Replacement or addition of gutters and downspouts that are rectangular, ogee, or K-shaped and composed of wood or metal material, or styles and materials that match those that were typically used on**

similar style buildings of the era, or the era the building style references.

3. Foundation. Repair of a foundation with the same material or construction of a foundation in the same location that does not result in raising or lowering the building elevation.
4. Building Material. Replacement of building material, when required due to deterioration of material, with building material that matches the original material.
5. Roof Material. Repair or replacement of roof material with material comparable to the existing roof, or replacement of the roof in its entirety with cedar shingles, three tab asphalt shingles, or architectural composition shingles.
6. Window Sashes. Replacement of window sashes with new sashes consistent with the original appearance. Elements of consistency include: material, profile and proportions of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins.
7. Storm Windows. Storm windows made of painted wood, baked enamel, anodized aluminum, or other materials with forms that complement or match the color, detail, and proportions of the building.
8. Egress Windows. Addition of egress windows on secondary facades with wood windows or windows that are consistent with Subsection (A)(6) above.
9. Landscaping. Landscaping changes unless the landscaping is identified in the historic resource inventory, historic resource nomination, or National Register nomination, as an attribute that contributes to the resource's historic value.
10. Fences. Construction of fences that meet the following requirements in addition to the requirements of CDC Chapter 44:
  - a. Traditional Fences. Any fence along a front lot line or along the portion of a side lot line between the street and the primary structure (see figures 1 and 2) which:
    - 1) Consists of pickets, each of which are between one and three inches wide and spaced equally;
    - 2) Does not have solid portions exceeding 50 percent; and
    - 3) Is no greater than 36" in height.
  - b. General Fences. Any fence that is not located along a front lot line or along the portion of a side lot line between the street and the primary structure that is:
    - 1) Constructed of wood fence boards, rails, posts, and associated hardware only; and
    - 2) No greater than 72" in height.



**Figure 1: Example of Exempt Interior Lot Fence Locations**

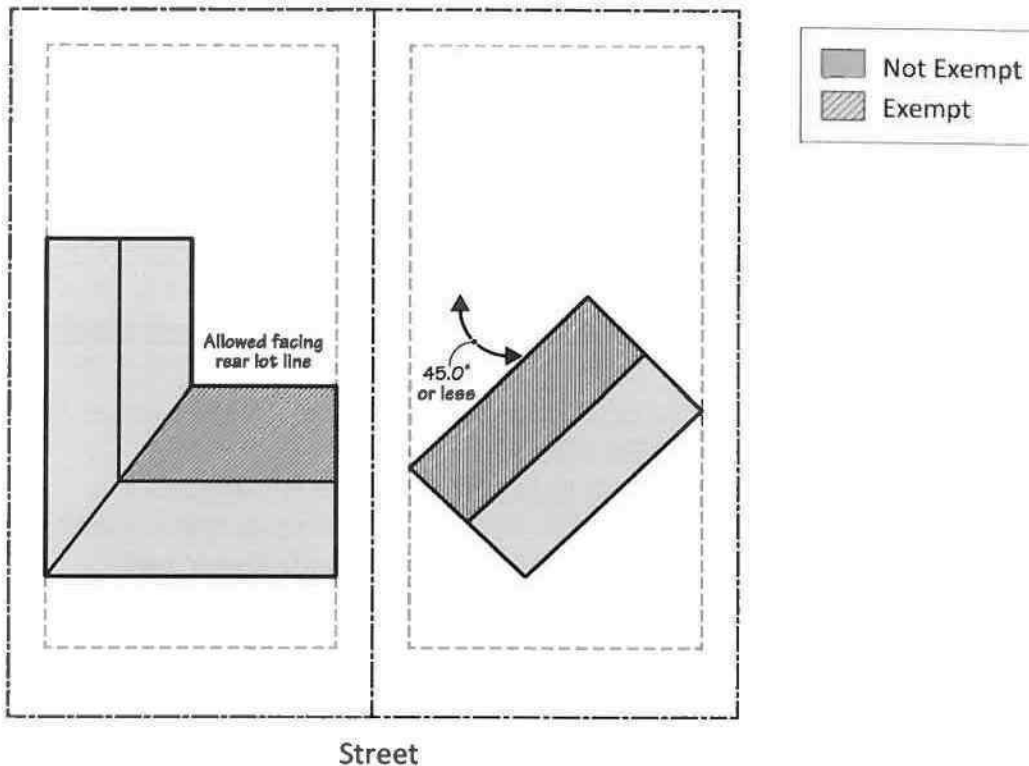


**Figure 2: Example of Exempt Corner Lot Fence Locations**

**11. Retaining Walls. Construction of retaining walls that meet the following requirements:**

- a. No greater than three feet high; and**
- b. Project above upper grade no more than 12".**

- 12. Swimming Pools.** Construction of in-ground swimming pools in rear yards.
- 13. Mechanical Equipment.** Replacement or installation of mechanical equipment, if 100% screened by a permitted building, fence, or landscaping that precludes visibility from any street.
- 14. Solar Energy Systems.** Replacement or installation of solar energy systems that are not part of a project that includes other elements subject to historic design review, provided the following requirements are met:
- a.** On a flat roof, the horizontal portion of a mansard roof, or roofs surrounded by a parapet that is at least 12 inches higher than the highest part of the roof surface:
    - 1)** The solar energy system must be mounted flush or on racks with the system or rack extending no more than five feet above the top of the highest point of the roof.
    - 2)** The solar energy system must be screened from view from all streets by an existing parapet along the street-facing façade that is as tall as the tallest part of the solar energy system, or by setting the solar energy system back from the roof edges facing the street four feet for each foot of solar energy system height.
  - b.** On a pitched roof, solar energy systems may be located on a section of pitched roof facing a rear lot line or on a section of pitched roof facing within 45 degrees of the rear lot line. (See the example on the right side of Figure 3). The system must be mounted flush, with the plane of the system parallel with the roof surface, with the system no more than 12 inches from the surface of the roof at any point, and set back three feet from the roof edge and ridgeline.



***Figure 3: Exempt Solar Energy System Locations***

**15. Skylights. Replacement or installation of skylights that are not part of a project that includes other elements subject to historic design review, provided the following requirements are met:**

- a. **For skylights that are on a flat roof, the horizontal portion of a mansard roof, or roofs surrounded by a parapet that is at least 12 inches higher than the highest part of the roof surface, the skylight must be screened from view from all streets by:**
  - 1) **An existing parapet along the street-facing façade that is as tall as the tallest part of the skylight, or**
  - 2) **Setting the skylight back from the roof edges facing the street four feet for each foot of skylight height.**
- b. **For skylights that are on a pitched roof, the skylight must be flat and must face a side or rear lot line or be located on a section of a pitched roof that faces within 45 degrees of a rear lot line. (See the right side of Figure 3).**

**16. Utilities, Street Infrastructure, and Street Furniture. Replacement or installation of utilities, street infrastructure, or street furniture except for streetlights, utility boxes, benches, receptacles, and the installation of curbs where there are none. Replacement and new sidewalks shall not exceed four feet in width except as required to comply with the Americans with Disabilities Act and shall be compatible in location, pattern, spacing, dimensions, and**

materials with existing sidewalks.

17. Accessory Structures. Construction of accessory structures under 120 square feet and 10 feet in height (greenhouses, storage sheds, jacuzzis, spas, structures, gazebos, etc.) in a side or rear yard.

#### **B. CLASS I HISTORIC DESIGN REVIEW**

The following are subject to Class I Historic Design Review to determine their compliance with the applicable approval standards:

1. Non-exempt. Items listed in CDC 25.040(A)(1-17) that do not qualify for an exemption;
2. Facade Alteration. Alteration of a facade when 100 square feet or less of the structure's facade is being altered;
3. Ingress/egress. Revised points of ingress/egress to a site;
4. Americans with Disabilities Act. Proposals seeking compliance with the Americans with Disabilities Act, not including the public right-of-way; and
5. Art and Statuary. Construction of freestanding art and statuary over 10 feet tall.

#### **C. CLASS II HISTORIC DESIGN REVIEW**

All proposed new construction, alterations, and additions, not identified as exempt under CDC 25.040(A), or subject to Class I Historic Design Review under CDC 25.040(B), are subject to Class II Historic Design Review and must meet the applicable approval standards.

### **Section 25.050 APPLICATION REQUIREMENTS**

#### **A. HISTORIC DESIGN REVIEW**

Applications for Historic Design Review shall include the following:

1. Narrative. Written narrative explaining the proposal and how it meets the approval criteria in sections 25.060 and 25.070, as applicable;
2. Existing Plan and Elevation Drawings. Plan and elevation drawings of the existing structure, if applicable, including materials;
3. Proposed Plan and Elevation Drawings. Plan and elevation drawings of the proposed changes, including materials;
4. Current Photographs. Photographs of the existing structure, if applicable;
5. Historic Photographs. Historic photographs and/or drawings of the existing structure, if available; and
6. Supplementary. For additions that increase the gross square footage of the structures on the site by more than 50 percent, and/or new construction in a historic district:
  - a. Plan and elevation drawings of adjacent properties; and
  - b. A rendering and/or photo-simulation showing the proposal in context.

#### **B. DESIGNATION OF A HISTORIC RESOURCE**

Applications for designation as an historic resource shall include the following:

1. Narrative. Written narrative description of the proposed historic resource and how it meets one or more of the approval criteria in Section 25.090(A);

2. Site Plan. Site plan depicting the property boundaries and all structures and features on the site;
3. Current Photographs. Current photographs of all elevations of the existing structure and any significant features;
4. Historic Photographs. Historic photographs, plans, or maps, if available;
5. Supplementary Documentation. Any other documentation demonstrating the significance of the proposed historic resource; and
6. Owner Consent. Owner consent as follows:
  - a. Historic Landmarks. The property owner must consent, in writing, to a proposed Historic Landmark designation with the exception that properties listed on the National Register shall be regulated as historic landmarks regardless of the owner's consent.
  - b. Historic Districts. A property owner may refuse to consent to historic district designation at any point during the designation process. Properties in historic districts listed on the National Register shall be regulated as historic properties regardless of the owner's consent.

#### C. REMOVAL OF HISTORIC RESOURCE DESIGNATION

Applications for removal of historic resource designation shall include the following:

1. Narrative. Written narrative description of the historic resource proposed for removal of designation that addresses the considerations identified in Section 25.100;
2. Site Plan. Site plan depicting the property boundaries and all structures and features on the site;
3. Current Photographs. Current photographs of all elevations of the existing structure and any significant features;
4. Historic Photographs. Historic photographs, plans, or maps, if available; and
5. Supplementary Documentation. Documentation that the property owner objected, on the record, at the time of designation, if applicable.

#### D. RELOCATION OF A HISTORIC RESOURCE

Applications for relocation of an historic resource shall include the following:

1. Examination of Alternatives. Documentation that all reasonable alternatives to relocation have been explored and that relocation is the preferred alternative.
2. Structure and Site Documentation. Documentation of the historic structure and site conditions prior to relocation, including detailed photography, notes, drawings, and reference measurements.
3. Moving Procedures. Clearly stated moving procedures that will be utilized to protect historic elements and document the relocation, including: plans for minimizing damage to historic materials, labeling system for dismembered elements to assure accurate reconstruction in the new location, and plans for protecting the historic resource until reconstruction is complete.

#### E. DEMOLITION OF A HISTORIC RESOURCE



1. **Historic Landmark or Contributing Primary Structure.** An application for the demolition of a historic landmark or contributing primary structure shall include:
  - a. **A statement of the historic significance of the structure or resource to the community, taking into consideration its designation as a historic landmark or its contributing status in a historic district.**
  - b. **A statement demonstrating good faith efforts of the property owner to sell or relocate the structure or resources, including, but not limited to:**
    - 1) **Real estate taxes for the two years immediately preceding the application;**
    - 2) **Assessed value for the two years immediately preceding the application;**
    - 3) **Current fair market value of the structure or resource as determined by an appraiser;**
    - 4) **All listings for the structure or resource for the past two years including prices asked and offers received; and**
    - 5) **Documentation of all attempts to relocate the structure or resource.**
  - c. **Documentation of the historic structure and site conditions prior to demolition, including detailed photography, notes, drawings, and reference measurements.**
  - d. **A report from a structural engineer on the condition of the structure or resource.**
  - e. **The estimated cost of rehabilitation of the structure or resource.**
  - f. **A report from a real estate or other market professional identifying potential alternative uses for the structure or resource permitted within the existing zoning classification.**
  - g. **A report identifying available economic incentives for adaptive reuse of the structure or resource.**
  - h. **A proposed plan for redevelopment of the site on which the structure or resource is located.**
2. **Non-contributing or Not in Period Primary Structure and Accessory Structure.** An application for the demolition of a non-contributing or not in period primary structure or an accessory structure shall include:
  - a. **A statement of the historic significance of the structure or resource to the community, taking into consideration its location on the site of a historic landmark or within a historic district.**
  - b. **A site plan depicting the property boundaries and all structures and features on the site.**
  - c. **A proposed plan for redevelopment of the site on which the structure or resource is located.**

## **Section 25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES**

**The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC 25.080.**

### **A. STANDARDS FOR ALTERATIONS AND ADDITIONS**

**This section applies to historic reviews for alteration of and additions to designated historic resources:**

- 1. Retention of Original Construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.**
- 2. Retention of Historic Material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.**
- 3. Time Period Consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.**
- 4. Significance over Time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.**
- 5. Differentiate Old from New. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.**
- 6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.**
- 7. Building Additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.**
- 8. Building Height and Roof Pitch. Existing or historic building heights and roof pitch shall be maintained.**

- 9. Roof Materials.** Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.
- 10. Existing Exterior Walls and Siding.** Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.
- 11. New Exterior Walls and Siding.** Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.
- 12. Gutters and Downspouts.** Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.
- 13. New Windows.** New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.
- 14. Storm Windows.** Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.
- 15. Window Replacement.** Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.
- 16. Doors.** Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.
- 17. Porches.** Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

  - a. Maintain the shape, width, and spacing of the original columns; and**
  - b. Maintain the height, detail, and spacing of the original balustrade.**
- 18. Decks.** Decks shall be located in rear yard or the portion of the side yard

behind the front 50% of the primary structure.

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or
- b. That it is necessary to satisfy a requirement of the building code and/or floodplain regulations (CDC Chapter 27).

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

## B. STANDARDS FOR ACCESSORY STRUCTURES

The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in CDC Chapter 34:

### 1. All Accessory Structures.

#### a. Location.

- 1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC 25.070(C)(1) through 25.070(C)(4);
- 2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter 34;
- 3) Detached accessory structures shall be in the rear yard; and
- 4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

b. Height. Accessory structures in the Willamette Historic District are subject to CDC 25.070(C)(7). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter 34.

### 2. Conversions and Additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

- a. The structure is located behind the house's front building line;
- b. A structure in the front yard cannot be converted to a heated accessory structure;
- c. A story may be added to an existing non-contributing garage or similar accessory structure, provided that the final design meets the setback standards of this chapter for a two story accessory structure (see CDC 25.070(C)(1) through CDC 25.070(C)(4)) for the historic district, or the setbacks in CDC Chapter 34 for a historic landmark; and
- d. The conversion of an existing structure is not required to meet

the design standards in CDC 34.030, but it must conform to all applicable requirements of this chapter.

### **Section 25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS**

This section provides additional standards that are applicable to properties within a historic district.

#### **A. STANDARDS FOR ALTERATIONS AND ADDITIONS**

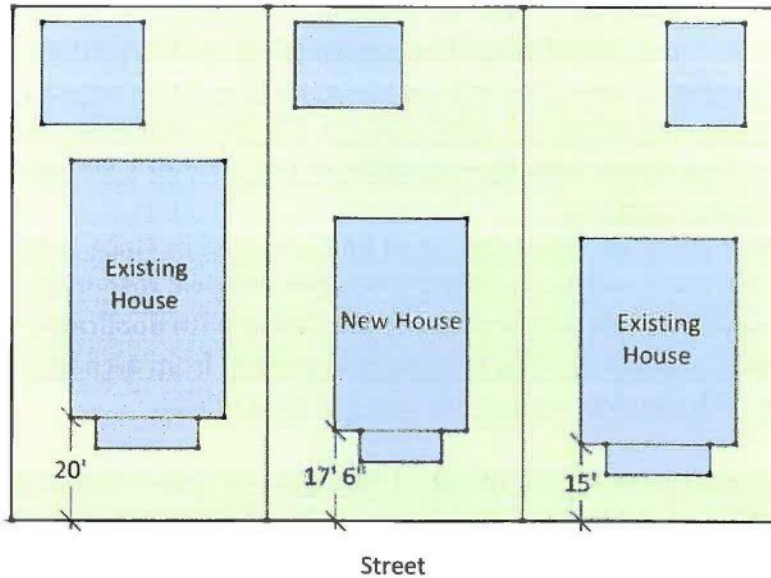
- 1. Compatibility with Nearby Context.** Alterations and additions shall be:
  - a. Compatible in scale and mass to adjacent properties; and**
  - b. Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.**
- 2. Not in Period Buildings.** Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.
- 3. Not in Period Non-Compatible Buildings.** Alterations to not in period, non-compatible buildings shall be consistent with applicable standards in CDC 25.060 and 25.070. Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC 25.060(A); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

#### **B. STANDARDS FOR NEW CONSTRUCTION**

The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC 25.020).

- 1. New Construction Shall Complement and Support the District.** The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:
  - a. Lot size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.**
  - b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.**





***Figure 4: Front Yard Setback***

- 2. Side Yard Setback. Side yard setbacks shall be five feet, except:**
  - a. Bays, porches and chimneys and other projections that are cumulatively no more than twenty percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and**
  - b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.**
- 3. Side Street Setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:**
  - a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and**
  - b. One and two story accessory structures may be sited within five feet of the side street property line.**
- 4. Rear Yard Setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.**
- 5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.**
- 6. New Lot Configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.**
- 7. Building Height.**

- a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.
  - b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.
  - c. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per CDC Chapter 41.
  - d. Accessory structures shall not exceed the height of the primary dwelling.
8. Building Shapes and Sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.
9. Roof Pitch. Roofs shall have a pitch of at least 6:12.
10. Garage Access and Parking Areas.
- a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.
  - b. Parking areas.
    - 1) No residential lot shall be converted solely to parking use.
    - 2) No rear yard area shall be converted solely to parking use.
    - 3) When a lot is adjacent to an alley, all parking access shall be from the alley.

**Section 25.080            MODIFICATIONS TO DESIGN STANDARDS**

This section provides for deviation from site development standards in this chapter to enable flexibility and innovation consistent with the Purposes of this chapter while ensuring that the features that historic designations are intended to preserve are maintained.

**A. APPLICABILITY**

The provisions of CDC Chapter 75, Variance, shall not apply to the standards in this chapter.

**B. ASSESSMENT OF MODIFICATION**

When an applicant proposes an alternative to the standards of this chapter the approval authority shall grant a modification when:

- 1. Historical Records. The applicant demonstrates by review of historical records or photographs that the proposed alternative is consistent with and appropriate to the architecture in the historic district, or is appropriate to the applicable style of architecture;
- 2. Consistency. The resulting development of the proposal would be consistent with the intent of the standards for which the modification is requested, as determined by the approval authority;
- 3. Negative Impacts. Negative impacts to adjacent homes and/or a historic district will be minimized. These include, but are not limited to, loss of



solar access, light, or air to an adjacent structure, and scale or mass that visually overwhelm or are not deferential to an adjacent landmark or contributing structure; and

4. Exceptional Architecture. The proposal incorporates exceptional and appropriate architectural elements into the building.

#### Section 25.090 DESIGNATION OF A HISTORIC RESOURCE

The designation of historic resources shall comply with the following criteria, provided that the age of a specific building shall not be deemed sufficient in itself to warrant designation of a building as historic.

##### A. APPROVAL CRITERIA

The approval authority may designate additional historic resources if it determines that the site or district proposed for designation meets at least one of the following five criteria:

1. Events. Is associated with an event or events that made a significant contribution to the history of the city, county, state or nation;
2. Persons. Is associated with the life or lives of a significant person or people in the history of the city, county, state or nation;
3. Architecture. Embodies distinctive architectural characteristics of a type, style, period or method of construction;
4. Construction. Represents the work of a master builder, designer, or architect who influenced the development of the city, county, state or nation; or
5. Archeology. Has yielded, or will likely yield, information important in prehistory or history.

##### B. PENDING DESIGNATION - ISSUANCE OF PERMITS

No building permit for altering, moving, or demolishing any proposed historic resource shall be issued while any advertised public hearing or any appeal affecting the proposed designation of the area or building is pending.

#### Section 25.100 REMOVAL OF HISTORIC RESOURCE DESIGNATION

These provisions allow for the removal of the local historic designation when it is no longer appropriate. This review does not affect a property or district's listing on the National Register. Proposals to remove historic resource designation shall be approved if the approval authority finds that removal of the designation is appropriate after considering the information required under subsections (A–B) below.

##### A. ASSESSMENT OF DESIGNATION

The approval authority shall consider:

1. Criteria. Whether the historic resource meets the criteria for listing under Subsection 25.090(A);
2. Hardship. The importance to the public of retaining the historic resource

relative to the hardship to the owner and any potential hazard to the public if the historic resource is retained;

3. Condition. The physical condition of the historic resource and any loss of characteristics that originally caused it to be listed;
4. Historic or Architectural Significance. The historic or architectural significance of the historic resource;
5. Economic Use and Benefits. The economic use of the historic resource and any economic benefits associated with the proposed new use of the property; and
6. Location. If within a historic district, its contribution to the district and the affect on the district if the designation is removed.

#### **B. OWNER CONSENT**

1. Historic Landmarks. For historic landmark properties, the property owner at the time of designation must have objected, on the record, to the historic designation.
2. Historic Districts. For properties in historic districts, the property owner at the time of designation must have objected, on the record, to inclusion in the district.

#### **Section 25.110 RELOCATION OF A HISTORIC RESOURCE**

Moving a historic structure is generally discouraged. However, in some cases relocation is preferable to loss of the structure. The following requirements apply to the relocation of historic resources.

#### **A. ASSESSMENT OF RELOCATION**

The approval authority shall require to the extent feasible, that the structure be located on the new site in a manner that does not change its historic orientation to the street, relationship to adjacent properties, and the overall site. In making the determination, considerations shall include:

1. Setbacks. Maintaining relatively similar setbacks, side yard conditions, and relationship to other structures on the site;
2. Site Characteristics. Maintaining character similar to the historic site in terms of neighboring structures, materials, site relationships and age (for example, it should not be moved to the back of a lot if that was not the character of the historic location, nor should it be located on a corner lot if historically it was on an interior lot); and
3. Economic and Physical Feasibility. Demonstrating that it is not economically or physically feasible to locate the structure on a site that meets the characteristics in (1) and (2); if so, an alternate site may be considered.

#### **B. WRITTEN COMMITMENT**

There must be a written commitment accepted by the City Attorney to complete the relocation and subsequent rehabilitation of the structure and its new site. Bonding or other assurances may be required. Temporary relocations for interim construction

may be necessary and must require a plan for protecting the structure at the interim site as well as a commitment to a schedule for completion of relocation to the proposed new site.

#### **Section 25.120 DEMOLITION OF A HISTORIC RESOURCE**

A permit for demolition of a historic resource is required and shall not be issued without approval by the approval authority, provided, nothing contained in this section shall be interpreted as giving permission for any person to violate an order of the Building Official to remove or demolish a structure that the Building Official has designated as dangerous to life, health, or property.

#### **A. APPROVAL CRITERIA**

- 1. Historic Landmark or Primary Contributing Structure. An application for the demolition of a historic landmark or primary contributing structure shall be approved if the following criteria are met:**
  - a. The value to the community of the proposed use of the property outweighs the value of retaining the designated historic resource on the present site;**
  - b. The designated historic resource is not capable of generating a reasonable economic return and the demolition is economically necessary;**
  - c. The owner has documented a good faith effort to sell or relocate the designated resource; and**
  - d. No practicable alternative exists to rehabilitate and reuse the designated resource in its present location.**
- 2. Non-contributing or Not In Period Primary Structure, Accessory Structure. An application for the demolition of a non-contributing or not in period primary structure or an accessory structure shall be approved if it is determined that the property does not have historic significance based on its architectural style, construction method or materials, or other pertinent factors as determined by the approval authority.**

#### **B. ISSUANCE OF PERMITS**

A demolition permit for a historic resource shall not be issued prior to historic design review and any other required approval of plans for the site, if applicable, or the submittal of building plans for a permit for the site.

#### **Section 25.130 DEMOLITION BY NEGLECT**

All properties designated as historic resources shall comply with this section.

#### **A. CRITERIA FOR DETERMINATION OF DEMOLITION BY NEGLECT**

If one or more of the following is promoted, allowed to occur, or exist in a historic resource, the property is determined to meet the criteria for demolition by neglect

and enforcement action to remedy the applicable criteria may be taken pursuant to CDC Chapter 106, Enforcement:

1. Structural Integrity. Faults, defects, or other conditions which render the structure or resource structurally unsafe or not properly watertight.
2. Walls and Other Support Members.
  - a. Walls or support members that are deteriorated due to failure to paint or otherwise maintain the structure or resource;
  - b. Members of walls, or other vertical supports that split, lean, list or buckle due to defective material or deterioration; and/or
  - c. Members of walls, or other vertical supports that are insufficient to carry imposed loads with safety.
3. Windows and Doors. Failure to keep windows and doors secured in a manner that prevents entry by unauthorized persons.
4. Security.
  - a. Failure to maintain parts of the resource so they are securely attached and will not fall or injure persons or property.
  - b. Failure to secure the resource from vandals, animals, or pests.
  - c. Failure to prevent infiltration of water through inadequate gutters, landscaping or other site features.
5. Foundation. Deteriorated or inadequate foundation.
6. Floor Supports. Deteriorated floor supports or floor supports that are insufficient to carry imposed loads with safety.
7. Ceiling and Roof Supports.
  - a. Members of ceiling, roofs, ceiling and roof supports, or other horizontal members that sag, split, or buckle due to defective material or deterioration.
  - b. Members of ceilings, roofs, or their supports, or other horizontal members that are insufficient to carry imposed loads with safety.
8. Fireplaces or chimneys. Fireplaces or chimneys which list, bulge, or settle due to defective material or deterioration.

#### B. ABATEMENT

Nothing in this section shall prevent the abatement of the unsafe or dangerous condition of a historic resource that constitutes an imminent and serious threat to public safety. If a historic resource is destroyed, it may be rebuilt on the original building footprint.

**SECTION 7:** CDC Chapter 26 is repealed in its entirety. Any municipal code provisions in conflict with the provisions contained in this ordinance are also repealed.

**SECTION 8:** Section 34.020 of the City of West Linn Community Development Code is amended to read as follows:

Accessory uses are permitted uses which are customary and incidental to principal uses permitted in the zone and shall be permitted outright, or by prescribed conditions as identified below, and may be either attached or separated from the principal dwelling. **Accessory uses on designated historic resources are subject to additional regulations in CDC 25.060(B).**

A. A greenhouse may be a maintained accessory to a dwelling provided the activity does not exceed that which requires a license under Chapter 571 of the Oregon Revised Statutes, Nurseries.

B. A television dish or satellite dish larger than three feet in diameter, and any other non-commercial antennas over three feet in height (minor utility), may be a maintained accessory to a dwelling provided it is not located within the front yard or side yard abutting a street, it is mounted on the ground, is screened from view, as practical, with landscaping, and otherwise meets the requirements of CDC 34.060. The satellite dish shall not exceed a maximum height of 18 feet.

Where it can be demonstrated that these restrictions impose unreasonable limitations to the extent that the antenna/satellite dish's reception or transmitting capability is significantly reduced, then roof-mounted (provided it is powder-coated with mesh or perforated construction) or alternate locations for the antenna/satellite dish may be allowed.

**SECTION 9:** Section 43.020 of the City of West Linn Community Development Code is amended to read as follows:

These provisions shall apply to all new home construction and remodels in West Linn except **designated historic resources.** ~~in the following areas:~~

~~**A.—The Willamette Historic District.**~~

~~**B.—Historic landmark structures.**~~

**SECTION 10:** Subsection 58.030(A) of the City of West Linn Community Development Code is amended to read as follows:

A. The provisions of this chapter shall apply to all new commercial construction, restorations, and remodels on Willamette Falls Drive between 10th and 15th Streets. **Properties that are historic resources shall comply with the provisions of Chapter 25, as applicable.** "Restorations" shall be defined as all exterior repairs, replacement of materials, alterations or changes, including reroofing, painting, window and sign replacement, etc. Failure to obtain a permit shall constitute a Class A infraction pursuant to CDC 106.050.

**SECTION 11:** Section 59.080 of the City of West Linn Community Development Code is amended to read as follows:

In addition to all other provisions of this section, the following additional requirements may apply:

- A. Permitted uses may only be open from 6:00 a.m. to 10:00 p.m. and are subject to the noise provisions of Chapter 55 CDC.
- B. Exterior business activity shall not take place beyond the rear wall of the building when the subject property abuts a residential district, except for parking and refuse storage. Refuse storage must be buffered or enclosed and may not abut a property line that adjoins a residential zone.
- ~~C. If a qualified historic residential landmark in the Willamette neighborhood is destroyed, it may be rebuilt on the original building footprint.~~

**SECTION 12:** Section 59.100 of the City of West Linn Community Development Code is amended to read as follows:

~~The provisions of CDC 25.060, 25.070, 25.080, and 25.090, apply to properties currently identified in the West Linn historic inventory, Chapter 26 CDC, Historic Landmarks.~~ The following standards apply to all development including permitted uses:

1. Chapter 28 CDC, Willamette and Tualatin River Protection.
2. Chapter 36 CDC, Manufactured Homes.
3. Chapter 32 CDC, Water Resource Area Protection.
4. Chapter 34 CDC, Accessory Structures, Accessory Dwelling Units, and Accessory Uses.
5. Chapter 35 CDC, Temporary Structures and Uses.
6. Chapter 37 CDC, Home Occupations.
7. Chapter 38 CDC, Additional Yard Area Required; Exceptions to Yard Requirements; Storage in Yards; Projections into Yards.
8. Chapter 40 CDC, Building Height Limitations, Exceptions.
9. Chapter 42 CDC, Clear Vision Areas.
10. Chapter 44 CDC, Fences.
11. Chapter 48 CDC, Access, Egress and Circulation.
12. Chapter 46 CDC, Off-Street Parking, Loading and Reservoir Areas, except for the provisions of CDC 46.140, apply to all uses.
13. Chapter 55 CDC, Design Review.
14. Chapter 54 CDC, Landscaping.
15. Chapter 53 CDC, Sidewalk Use.

**SECTION 13:** Subsection 60.070(E) of the City of West Linn Community Development Code is added to read as follows:

**E. The Historic Review Board shall review an application for a conditional use, or to enlarge a conditional use on a property designated as a historic resource, based on findings of fact that the use will:**

- 1. Preserve or improve a historic resource which would probably not be preserved or improved otherwise; and**
- 2. Utilize existing structures rather than new structures.**

**SECTION 14:** Subsections 99.030(B)(1) and (2) of the City of West Linn Community Development Code are amended to read as follows:

**B. Pre-application conferences.**

1. Subject to subsection (B)(4) of this section, a pre-application conference is required for, but not limited to, each of the following applications:
  - a. Boundary changes, per Chapter 81 CDC;
  - b. Amendments to the Comprehensive Plan;
  - c. Amendments to the Zoning Map;
  - d. Conditional uses;
  - e. Design review (Class I and Class II);
  - f. **Historic design review (Class I and Class II); New construction or remodels in an historic district, except as provided for in subsection (B)(2)(h) of this section;**
  - g. Designation of a historic resource or removal of a historic resource designation;**
  - h. Demolition of a historic resource;**
  - i. Relocation of a historic resource;**
  - ~~j. New construction or remodels in the Willamette Falls Drive Commercial District, except as provided for in subsection (B)(2)(hi) of this section;~~
  - ~~**h. Alteration of historic landmarks, except as provided for in subsection (B)(2)(j) of this section;**~~
  - ~~k. Minor partitions;~~
  - ~~l. Land divisions;~~
  - mk.** Enlargement of non-conforming uses or alteration of a structure containing a non-conforming use;
  - nl.** Planned unit developments;
  - ~~om.~~ Variances;
  - pn.** Development subject to Chapter 32 CDC, Water Resource Area Protection;
  - qe.** Development subject to Chapter 27 CDC, Flood Management Areas;
  - rp.** Development subject to Chapter 28 CDC, Willamette and Tualatin River Protection; and
  - sq.** Right-of-way and easement vacations.

2. Subject to subsection (B)(3) of this section, the following applications are exempt from subsection (B)(1) of this section, pre-application conference requirement:
  - a. Signs;
  - b. Home occupations;
  - c. Temporary use permits;
  - d. Sidewalk uses;
  - e. Final plats;
  - f. Lot line adjustments;
  - g. Re-vegetation plans;
  - ~~h. Minor alterations and maintenance in an historic district, as specified in CDC 25.100;~~
  - h<sup>i</sup>. Painting, signage, awnings, or architectural in-kind replacements in the Willamette Falls Drive Commercial District; and
  - ~~j. Minor alteration of an historic landmark, as specified in CDC 26.060(B);~~  
~~and~~
  - jk. Appeals of land use decisions.

**SECTION 15:** Section 99.060 of the City of West Linn Community Development Code is amended to read as follows:

- A. Planning Director authority. The Planning Director shall have the authority to:
  1. Approve, deny, or approve with conditions the following applications:
    - ...
    - v. Class I Historic Design Review (Chapter 25).
    - w. A demolition permit for a non-contributing or not in period primary structure or an accessory structure (Chapter 25).
    - ...
- D. Historic Review Board authority. The Historic Review Board shall review an application for compliance with CDC Chapters 25, ~~26~~, and 58 CDC, as applicable. The Historic Review Board shall have the authority to:
  1. Approve, deny, or approve with conditions an application regarding the following:
    - a. Class II Historic Design Review;  
~~— Major or minor remodel, alteration, or addition to a historic landmark or property within a historic district;~~  
~~b. New construction within a historic district;~~
    - ~~c. Construction of a non-exempt accessory structure or garage on a historic landmark property, or property within a historic district;~~
    - b d. A demolition permit for a historic landmark or primary contributing structure within a historic district;
    - c. Relocation of a historic resource;



- ~~de.~~ Revocation or modification of an approval as provided by CDC 99.330 for any application approved by the Historic Review Board; and
  - ~~ef.~~ An extension of an approval when the Historic Review Board acted as the initial decision-making authority.
2. Make recommendations to the approval authority specified in this section regarding the following:
- a. Designation of a historic ~~resource landmark or a historic district;~~
  - b. Removal of historic resource designation;**
  - ~~ce.~~ **Class I or Class II Design Review on Major or minor remodel, alteration, or addition to** a property within the Willamette Falls Drive Commercial District that is not a historic landmark or within the Willamette Historic District;
  - ~~de.~~ New construction within the Willamette Falls Drive Commercial District that is not a historic landmark or within the Willamette Historic District;
  - ~~ed.~~ A partition or subdivision of property containing a historic ~~resource landmark or property within a historic district;~~
  - ~~fe.~~ Conditional use of property containing a historic ~~resource landmark;~~ and
  - ~~gf.~~ A zone change for property containing a historic ~~resource landmark or property within a historic district.~~

**SECTION 16:** Subsection 99.080(E) of the City of West Linn Community Development Code is amended to read as follows:

Table of notices. The following notice summary identifies the appropriate type of notice for the various land use applications of CDC 99.060.

Land Use Action	Type of Notice
-----------------	----------------

...

<u>Historic District Resources:</u>	
<u>Amendments</u>	A
<u>Class I Historic Design Review</u>	B
<u>Class II Historic Design Review</u>	B
<u>Designation or Removal of Historic Resource Designation</u>	A
Demolition	A
<u>Relocation</u>	B
<del>New Home Construction</del>	B
<del>Major Renovations or Additions</del>	B
<del>Minor Renovations or Additions</del>	B
<del>Construction of Non-Exempt Accessory Structures/Garages</del>	B

**SECTION 17:** The City of West Linn Zoning Map is hereby amended as shown in attached Exhibit A.

**SECTION 18:** The City of West Linn Zoning Map is hereby amended to show the following as historic landmarks:

1. 4600 Alder Street
2. 1448 Buck Street
3. 1562 Buck Street
4. 1646 Buck Street
5. 1690 Buck Street
6. 1715 Buck Street
7. 5495 Grove Street
8. 5350 River Street
9. 5575 River Street
10. 4708 Riverview Avenue
11. 4742 Riverview Avenue
12. 5797 Robert Moore Street
13. 20375 Willamette Drive
14. 20685 Willamette Drive

15. 20725 Willamette Drive
16. 22825 Willamette Drive
17. 22830 Willamette Drive
18. 22840 Willamette Drive
19. 21420 Willamette Drive
20. 1742 Willamette Falls Drive
21. 1832 Willamette Falls Drive
22. 4835 Willamette Falls Drive
23. 4845 Willamette Falls Drive
24. 4865 Willamette Falls Drive
25. 4891 Willamette Falls Drive

**SECTION 19:** The City of West Linn Zoning Map is hereby amended to remove historic landmark designation from the following properties:

1. 1850 Buck Street
2. 1739 Dollar Street
3. 4918 Summit Drive
4. 1352 Willamette Falls Drive

**SECTION 20. Severability.** The sections, subsections, paragraphs and clauses of this ordinance are severable. The invalidity of one section, subsection, paragraph, or clause shall not affect the validity of the remaining sections, subsections, paragraphs and clauses.

**SECTION 21. Savings.** Notwithstanding this amendment/repeal, the City ordinances in existence at the time any criminal or civil enforcement actions were commenced, shall remain valid and in full force and effect for purposes of all cases filed or commenced during the times said ordinance(s) or portions thereof were operative. This section simply clarifies the existing situation that nothing in this Ordinance affects the validity of prosecutions commenced and continued under the laws in effect at the time the matters were originally filed.

**SECTION 22. Codification.** Provisions of this Ordinance shall be incorporated in the City Code and the word "ordinance" may be changed to "code", "article", "section", "chapter" or another word, and the sections of this Ordinance may be renumbered, or re-lettered, provided however that any Whereas clauses and boilerplate provisions (i.e. Sections 20-22) need not be codified and the City Recorder or his/her designee is authorized to correct any cross-references and any typographical errors.

**SECTION 23. Effective Date.** This ordinance shall take effect on the 30<sup>th</sup> day after its passage.

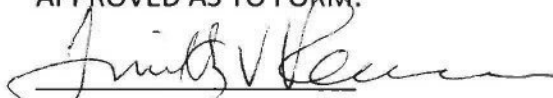
  
\_\_\_\_\_  
JOHN KOVASH, MAYOR

The foregoing ordinance was first read by title only in accordance with Chapter VIII, Section 2(C) of the City Charter on the 15th day of July 2013, and duly PASSED and ADOPTED this 15<sup>th</sup> day of July, 2013.

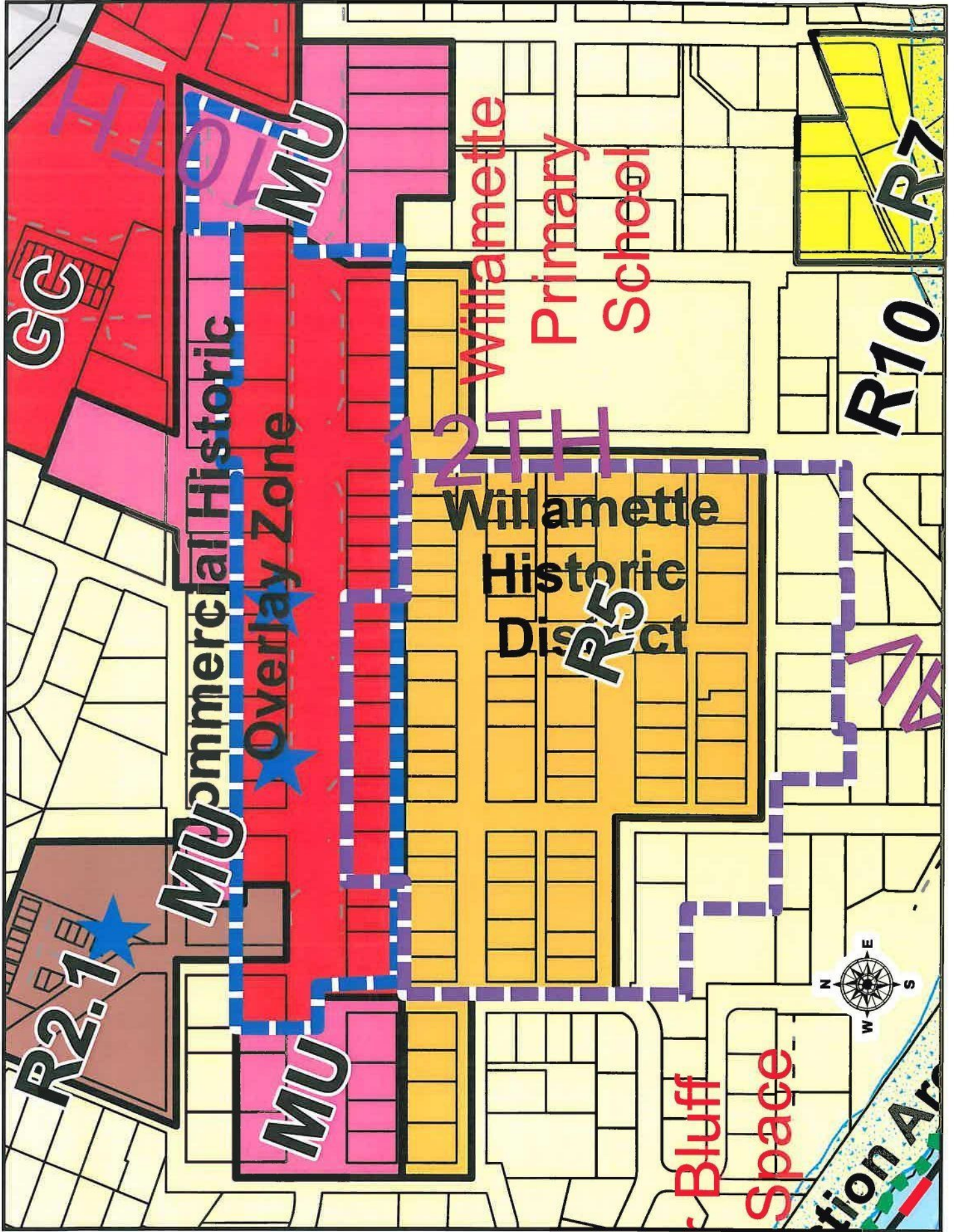
ATTEST:

  
\_\_\_\_\_  
KATHY MOLLUSKY, CITY RECORDER

APPROVED AS TO FORM:

  
\_\_\_\_\_  
CITY ATTORNEY







**EXHIBIT G**

**United States Department of the Interior  
National Park Service**

For NPS use only

**National Register of Historic Places  
Inventory—Nomination Form**

received \_\_\_\_\_  
date entered \_\_\_\_\_

See instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

**1. Name**

historic John Lewthwaite Residence

and/or common J. W. Moffatt Residence

**2. Location**

street & number 4891 Willamette Falls Drive

n/a not for publication

city, town West Linn vicinity of \_\_\_\_\_

state Oregon code \_\_\_\_\_ county Clackamas code \_\_\_\_\_

**3. Classification**

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input checked="" type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input checked="" type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
		<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

**4. Owner of Property**

name Lucille Beck and Frank B. Smith

street & number 1230 Chandler Road

city, town Lake Oswego vicinity of \_\_\_\_\_ state Oregon

**5. Location of Legal Description**

courthouse, registry of deeds, etc. Clackamas County Courthouse

street & number 807 Main Street

city, town Oregon City state Oregon

**6. Representation in Existing Surveys**

title Clackamas County Historic Resources Survey has this property been determined eligible?  yes  no

date 1985  federal  state  county  local

depository for survey records Clackamas County Planning Department

city, town Oregon City state Oregon



# 7. Description

<b>Condition</b>		<b>Check one</b>	<b>Check one</b>
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		

## Describe the present and original (if known) physical appearance.

Paper mill superintendent John Lewthwaite ~~built his home~~ high atop the west bluff along the Willamette River overlooking Oregon City and the Willamette Falls. The 2-1/2 story wood frame structure with octagonal corner bays and full front porch is an excellent example of local Queen Anne design, and has been a prominent landmark since construction in 1896.

Residential use is still dominant along the west ridge. Four houses built in the early 1900s - two by other members of the large Lewthwaite family - extended south to Crown Zellerbach property. A fifth house built by William Lewthwaite, John's older brother, was razed in recent years for paper mill expansion. Fronting the houses along the sloping face of the bluff is a mature stand of oak, maple, and other deciduous trees, and some evergreens. The only encroachment is at the north toward the town of West Linn where a small office building has replaced an earlier house.

## STRUCTURE AND PLAN

The basic plan is "T"-shaped at all stories with the top of the "T" facing the river to the east. Basement foundation walls are of rock faced native basalt, 18" thick. The first floor structure is divided into three north/south bays with 4 x 6 beams, 4 x 6 posts (some 6 x 8 posts were added later) and 2 x 10 joists running east/west. Upper stories are supported by 2 x 4 wood stud bearing walls, 2 x 10 floor joists and 2 x 6 roof rafters.

The front of the house faces the east, opposite the street side. A central entry stair led to a seven foot deep porch that extended from the northeast corner bay, across the front and around the octagonal bay at the southeast corner.

Paired entry doors open to the central stair hall. To the north through a sliding doorway was the "Library" with projecting bays at the corner and north end. At the south end, also through a sliding door, was the "Parlor" with the octagonal corner bay and a diagonal fireplace at the northwest. An opening in the west Parlor wall led to the Dining Room, Kitchen and Pantry in the stem of the "T".

The central stairway rises four steps to a landing then returns east to the second floor stair hall. Over the main entry porch is a small partially enclosed, "Piazza" with a grand view to the river, the hills of Oregon City and Mount Hood in the distance.

Four bedrooms occupied the second floor - three across the front above the "Parlor", "Entry" and "Library" on the east, and one over the Dining/Kitchen area. Access to the unfinished attic is only through a ceiling hatch.

Ceilings are 10'-1" high at the first floor, and 9'-1" high at the second.

<sup>circa</sup>  
In 1943 the house was converted to apartments to accommodate the influx of mill workers and others during World War II. Each major space was converted to a one bedroom or studio apartment - three on the first floor and three on the second. Bathrooms and small kitchenettes were inserted in each unit. On the first floor the "Library" space was expanded into the entrance hall and the octagonal portion of the front porch was enclosed a part of the original "Parlor" unit.

(See Continuation Sheets)

# 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/ humanitarian
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> transportation
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input checked="" type="checkbox"/> industry	<input checked="" type="checkbox"/> politics/government	<input type="checkbox"/> other (specify)
		<input type="checkbox"/> invention		

Specific dates 1896 Builder/Architect Unknown

**Statement of Significance (in one paragraph)**

The 2-1/2 story wood frame house built in West Linn for John Lewthwaite in 1896, is situated high on the west bluff of the Willamette River overlooking Oregon City to the east, and Willamette Falls, site of the region's first navigation locks, first hydro-electric generating plant, and the first paper mill. Its prominent setting, octagonal corner bays and corner tower, full width columned porch, second floor "Piazza", scroll brackets, and intact period interior millwork and other detailing qualify the house for consideration under criterion "c" as a relatively intact example of locally significant Queen Anne architecture. (Historical consultants currently involved in the Clackamas County Historic Resources Survey state that the Lewthwaite/Moffatt residence is the largest and best extant example of Queen Anne design in West Linn, and that it may have been the grandest ever built in the town.) The property also achieves significance under criterion "b" for its association with John Lewthwaite, the Lewthwaite family, and their connection with the development of the regional paper industry. John Lewthwaite and his older brother William were descendants of a prominent paper-making family from England and the Isle of Man whose connection with paper manufacturing has been traced back to the 17th century. William became part owner and superintendent of the region's first operating paper mill in 1871. John Lewthwaite operated mills in California during the 1870s and 80s and joined the Willamette Pulp & Paper Co. (WP&P Co.) at West Linn as superintendent in 1893. WP&P Co., through acquisitions and mergers, became the Crown Zellerbach Corporation, one of the world's largest manufacturers of paper products. Members of the Lewthwaite family were active in the industry into the 1950s. John Lewthwaite also became the first mayor of West Linn when it was incorporated in 1913 as a result of merging four older communities: West Oregon City, Bolton, Sunset, and Willamette Heights.

Since before recorded history the area around Willamette Falls, as it was called by early pioneers, had been an Indian settlement. Dr. John McLaughlin, chief factor, Hudson's Bay Co., claimed the area along the east bank in 1829 and it became the home of several of the Company's hunters and trappers. By 1840 Willamette Falls was the center of trade and political life in the area. McLaughlin platted his town in 1842 and renamed it Oregon City. Also in 1840, Robert Moore, a pioneer from Missouri, platted "Robins Nest", later Linn City, on the west bank of the Willamette just below the Falls. The community prospered until 1861 when it was destroyed by the spring flood.

The first paper mill in the Northwest was established at Oregon City in 1866 on the site of the present Publishers Paper Co. mill. Organized by W. W. Buck, an Ohio native, and Thomas Charman and Arthur Warner of Oregon City, the venture was under capitalized and lacked skilled papermakers. Before any paper was produced the mill was sold at a sheriff's auction in 1867. Buck then formed a partnership with Henry L. Pittock, publisher of the Portland Oregonian, to develop a mill at Park Place on the Clackamas River, two miles north of Oregon City. Pittock bought out Buck's interest in 1871 and

(See Continuation Sheets)

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Page 1

reorganized the company as the Clackamas Paper Manufacturing Co. William Lewthwaite joined the operation from California as a partner and mill superintendent.

In 1868 the Willamette Falls Canal and Locks Co. ((WFC&L CO.) was incorporated to build a canal and locks to improve transportation and trade with the fast growing Willamette Valley to the south. The locks and canal were sited along the west bank near the old Linn City townsite, and were opened to river traffic on 1 January 1873. Part of the Company's land holdings included John Lewthwaite's future homesite along the ridge. WFC&L Co. was reorganized in 1875 as the Willamette Transportation & Locks Co. and again in 1879 when it became part of Henry Villard's vast transportation empire under the aegis of the Oregon Railway & Navigation Co. (OR&N Co.).

In 1888, E. L. Eastham formed the Oregon City Electric Co. which developed the first hydro-electric generator in the region, a 450-light Edison dynamo in the Excelsior and Shoddy Mill which was located to the existing water wheel at the Falls. Eastham, foreseeing the future importance of hydro-electric power formed a syndicate that acquired several hundred acres contiguous to the Falls including the locks and all surrounding properties owned by WT&L Co. and OR&N Co. Also that year a new company was formed, the Willamette Falls Electric Co. (WFE Co.), a merger of the Oregon City Electric Co. and Portland's U. S. Electric Lighting & Power Co. The new company was awarded a street lighting franchise for Portland and in June 1889 WFE Co. generated the first long distance (13 miles) commercial transmission of direct hydro-electric power in the United States. The generating plant, known as Station "A" was located at Black Point, a rocky island below the Falls. After reorganization as Portland General Electric Co. a second generating plant, Station "B", was built in 1892 on the west bank at the head of the Locks.

In 1883 the Park Place paper mill closed and H. L. Pittock developed a new and much larger paper mill at Camas, Washington. It was incorporated as the Columbia River Paper Co. (CRP Co.) with William Lewthwaite as superintendent.

The second generation of the paper industry at the Falls began in 1888 with the organization of the Willamette Falls Pulp & Paper Co., later named Willamette Pulp & Paper Co. (WP&P Co.), by New York and San Francisco interests. Pulp mill production began the following year. In 1890 WP&P Co. expanded operations with completion of a sulphite and a paper mill, and a new company arrived, The Crown Paper Co., also financed out of New York and San Francisco. Their mill was situated on the west bank immediately north of the WP&P Co. plant. (See map.)

John Lewthwaite joined WP&P Co. in 1893 as mill superintendent after many years service in the same capacity at the California Paper Co. mill in Stockton which had most of the same owners as WP&P Co. In 1896 John Lewthwaite bought his home site from the Portland General Electric Co. who till then had maintained ownership of all west bank property in order to secure their water rights for power generation. John Lewthwaite's house

(See Continuation Sheets)

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was the first structure on the west bluff and the first of four Lewthwaite homes that overlooked the Falls. William Lewthwaite built his house a year or two later to the south above the locks (razed in the 1970s). John B. Lewthwaite, William's son, erected his house in 1903 a few lots to the south, and William Lewthwaite, John's son, built a home in 1914 on a lot adjacent to the house built by his father. Both son's houses are still standing.

John Lewthwaite was apparently a very popular superintendent. When No. 4 paper machine was installed in 1898 it was christened the "John Lewthwaite" during a champagne ceremony, a rare event according to contemporary accounts.

A series of mergers and acquisitions began in 1904 that eventually evolved into the giant Crown Zellerbach Corporation. That year WP&P Co. bought the Lebanon Paper Company which had been organized in 1890. The following year the Crown Paper Co. merged with the CRP Co. of Camas to form the Crown Columbia Pulp & Paper Co. In 1911 Crown Columbia merged with the Floriston Pulp & Paper Co. of California under the name, Crown Columbia Paper Co.

The Crown Willamette Paper Co. (CWP Co.) was formed in 1914 as a result of the merger of the Crown Columbia Paper Co. and the Willamette Pulp & Paper Co. John Lewthwaite became Assistant Manager of the merged operations at West Linn, a year after he had been elected the first mayor of West Linn.

The final merger began in 1928 with the joining of Crown Willamette and the Zellerbach Corporation of San Francisco. In addition to the mills in Camas, Lebanon and West Linn, Crown Zellerbach had plants in Port Townsend, Port Angeles, and Somner, Washington, Ocean Falls, B. C., as well as operations in California and New York.

John Lewthwaite sold his house in 1901 to John ("Jack") W. Moffatt, an engineer who, during his early years, was employed in the local paper industry. He later formed his own contracting firm and is known to have engineered and built Willamette Falls Drive along the west bank, and South End Road in Oregon City. Moffatt also served as Quarter-master Sergeant of Co. I, 2nd Regiment, Oregon Volunteers, during the Spanish American War.

Moffatt and his family lived in the house for more than 40 years. He was responsible for converting it to apartments during the early years of WWII, and it is believed that he lived in one of the first floor units with his wife until he sold it in 1946.

**PROPOSED REHABILITATION**

The present owner plans to rehabilitate the house for office use during 1985. Proposed work will include: preservation and rehabilitation of all interior and exterior architectural elements; restoration of the rooms to the configuration prior to apartment conversion; removal of asbestos shingles and rehabilitation of original siding; and restoration of the original porch at the southeast corner.

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Though many non-bearing partitions were added to create the apartments the original spatial arrangement is clearly evident in the present configuration.

The site was also altered during the 1940s apartment remodeling - the rear portion facing Willamette Falls Drive to the west was converted to a parking lot. The front and side yards - mainly grass and trees - remain essentially as originally developed.

INTERIOR FINISHES

Most original finish work is intact in remaining original walls and ceilings. Some original doors and trim were relocated during the apartment conversion. Original walls are wood lath and plaster, generally in good condition - wallpaper has been added in several rooms. "Library" walls have a panelled wainscot, 50" high. Sash, doors, casings, baseboard and other wood trim were Douglas Fir or Western Red Cedar with a natural varnish finish - all wood surfaces have been subsequently painted. Typical doors are paneled, two over two. Door and window casings are in the "Eastlake" manner, 5-1/2" wide with corner blocks and "crown" elements at the jamb extensions. (Local legend has it that the "crowns" were symbols of the Crown Paper Company located at the Falls below the house. However, the original owner John Lewthwaite, was associated with the Willamette Pulp & Paper Co, also located at the Falls, and it seems unlikely that he would purposely install symbols of a competitor mill. ((The two companies were merged as the Crown Willamette Pulp & Paper Co. in 1914.)) It should also be noted that the "crown" elements were standard catalogue items at the time the house was built.) Original casings and trim are intact except in the northeast corner apartment on the second floor where all original trim has been removed.

Typical baseboards are 10" high with top and shoe moldings. Typical flooring is face nailed oak, 2" wide, at the first floor and tongue and groove fir on the second floor.

The only fireplace in the house (there is no existing evidence of other fireplaces that may have been removed) is situated at the northwest corner of the "Parlor". Dark blue ceramic tile in a brick pattern surrounds the opening and fills the floor level hearth. Trim around the tile is hardwood - originally varnished - and features pilasters, architrave, and mantel with a mirror above, also with wood surround. Carved festoons and foliage patterns in bas-relief decorate the wood surfaces.

Stairway trim remains as originally built - treads, risers, baseboard and skirting are fir with varnish finish. The molded rail, turned balusters and newel posts are hardwood, also varnished. Typical newels are six inches square with a ball finial. The main newel at the first floor - 9" x 9" - is richly decorated with turned corners, fluting, dentils, incised patterns, medallions with carved patera, and a crowning ball with modified egg and dart carved in the base.

There is no remaining evidence of original lighting or heating systems.

(See Continuation Sheets)

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EXTERIOR

Gable roofs, modified with hips at the north and south, cover the T-shaped structure. Composition shingles presently overlay the 8 in 12 slopes - original shingles were cedar. The roof over the northeast projecting bay is hipped into the main roof. At the southeast the corner tower has a hipped octagonal roof crowned with a simple finial, modified from the original.

The interior chimney is brick with stucco finish and corbelled top. Condition is poor.

Eaves are boxed, and a frieze board is continuous around the building to the gable end at the west. Original siding is beveled clapboards, 4-1/2" to weather, and is intact under the present asbestos shingles that were installed during the 1940s remodeling.

Projecting bays supported by scroll work brackets can be seen at the "Library" on the north, and at the second floor south where the top of the "T" intersects with the stem.

Typical windows are double-hung, one light over one, some paired. Sash is surrounded by plain casings with shingle molds. At the second floor, jamb casings terminate at the frieze boards. Projecting bays at the northeast and southeast corners are panelled.

The front porch roof is supported by a perimeter beam and 6 x 6 posts with capitals, except at the entry bay which is flanked by paired modified Tuscan columns on paneled pedestals. This design is repeated at the second story porch above where posts and beams carry a pedimented gable with a central 12 light window. Porch railings are molded and have simple rectangular balusters. Newel posts at the bottom of the porch stair are 6 x 6 fir with ball finials. Porch flooring is 1 x 4 tongue and groove fir. The ceiling is the same with a v-groove joint. Paired entry doors from the porch feature one large light with two small lights at the top and three raised panels, one over two, below. The door off the "Piazza" above is similar.

Early photographs indicate single columns at the angled corners of the presently enclosed octagonal porch.

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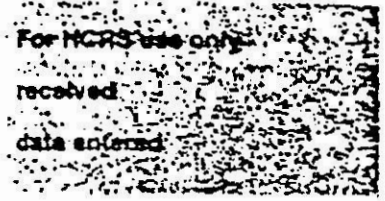
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Heritage Conservation and Recreation Service

National Register of Historic Places  
Inventory—Nomination Form



Continuation sheet

Item number 10

Page 1

PROPERTY DESCRIPTION - LEWTHWAITE/MOFFATT RES  
( from Stewart Title Co., Beaverton OR )

EXHIBIT A

PARCEL I

A part of Section 31, Township 2 South, Range 2 East, of the Willamette Meridian, more particularly described as follows:

BEGINNING at a point (hereinafter referred to as "said beginning point") and which said beginning point is located as follows:

COMMENCING at a stone monument on the center line (if extended) of the Suspension Bridge between Oregon City and west bank of Willamette River, 75.40 feet North, 35 30'00" West from the West end of said bridge; thence West 270 feet; thence North 26.06 feet to said beginning point; thence West 192 feet; thence South 17 30'00" West 80 feet; thence South 76 30'00" East 191.50 feet; thence North 15 00'00" East 125.50 feet to the point of beginning.

EXCEPT the North 12.8 feet thereof conveyed to Crown Willamette Paper Company, by Deed recorded April 30, 1927, in Book 188, page 334, Deed Records.

PARCEL II

A part of Section 31, Township 2 South, Range 2 East, of the Willamette Meridian, more particularly described as follows:

A certain strip of land approximately 12.6 feet in width, which lies between that tract of land described in the Deed from Portland General Electric Company to J. W. Moffatt, dated October \_\_, 1901, recorded November 6, 1901 in Book 78, page 320, Deed Records and that tract of land described in the Deed from the Western Improvement Company, a corporation, to Gertrude S. Lewthwaite, dated July 27, 1912, recorded August 2, 1912, in Book 124, page 400, Deed Records, which said strip of land is more particularly described as follows:



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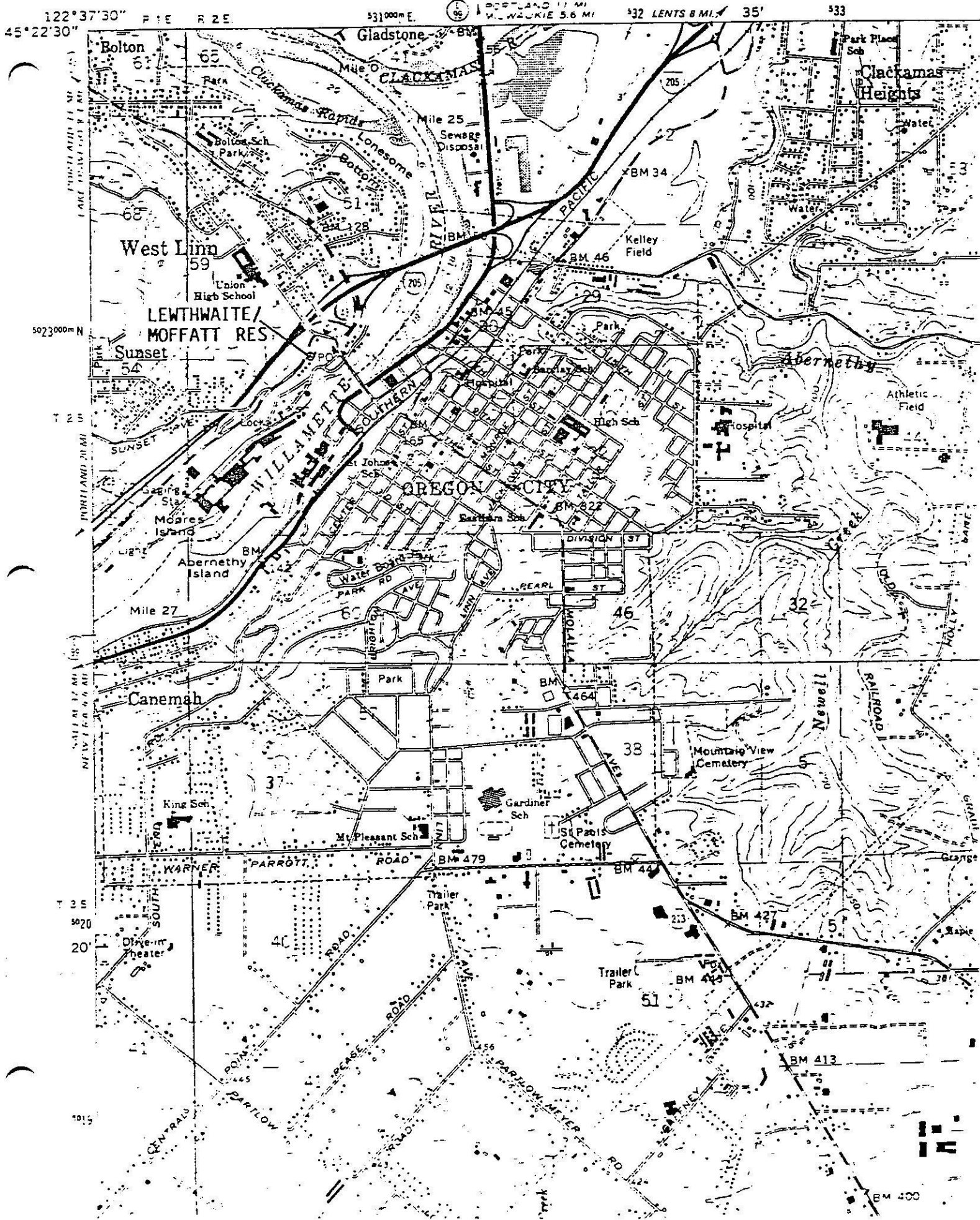
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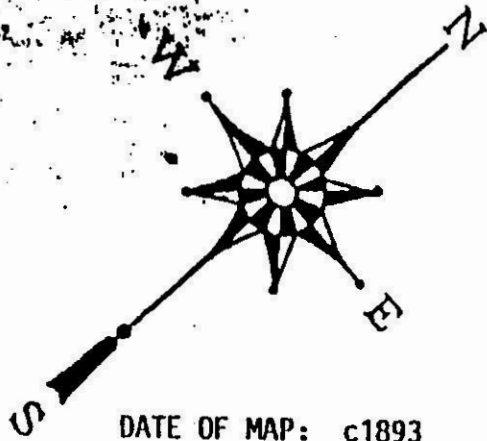
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Page 2

BEGINNING at an iron pin monument set on the center line (if extended) of the Suspension Bridge crossing the Willamette River on Seventh Street in Oregon City, Oregon, to the west bank of the Willamette River, North 34 45'00" West 75.4 feet from the West end of said bridge; thence North 34 45'00" West 90.6 feet to an iron pipe set in the center line of the main track of the Southern Pacific Company, as now operated; thence South 44 06'00" West along the center line of said tract, 450.4 feet; thence North 45 54'00" West 55 feet to an iron pipe; thence North 44 06'00" East 136.4 feet to a stone 8 x 10 inches marked by an "X" on top; thence North 15 46'00" East 11.3 feet to the point of beginning of the tract herein described; thence following the North line of the said tract described in said Deed from the Western Improvement Company to Gertrude S. Lewthwaite, North 76 30'00" West 191.5 feet to the East line of the County Road; thence Northerly following the East line of said County Road, 12.6 feet to the most Westerly corner of that tract of land described in said Deed from the Portland General Electric Company to J. W. Moffatt; thence following the Southerly line of the tract described in said last mentioned Deed, South 76 30'00" East 191.5 feet; thence South 15 00'00" West 12.6 feet to the point of beginning.

UNITED STATES  
DEPARTMENT OF THE INTERIOR  
GEOLOGICAL SURVEY





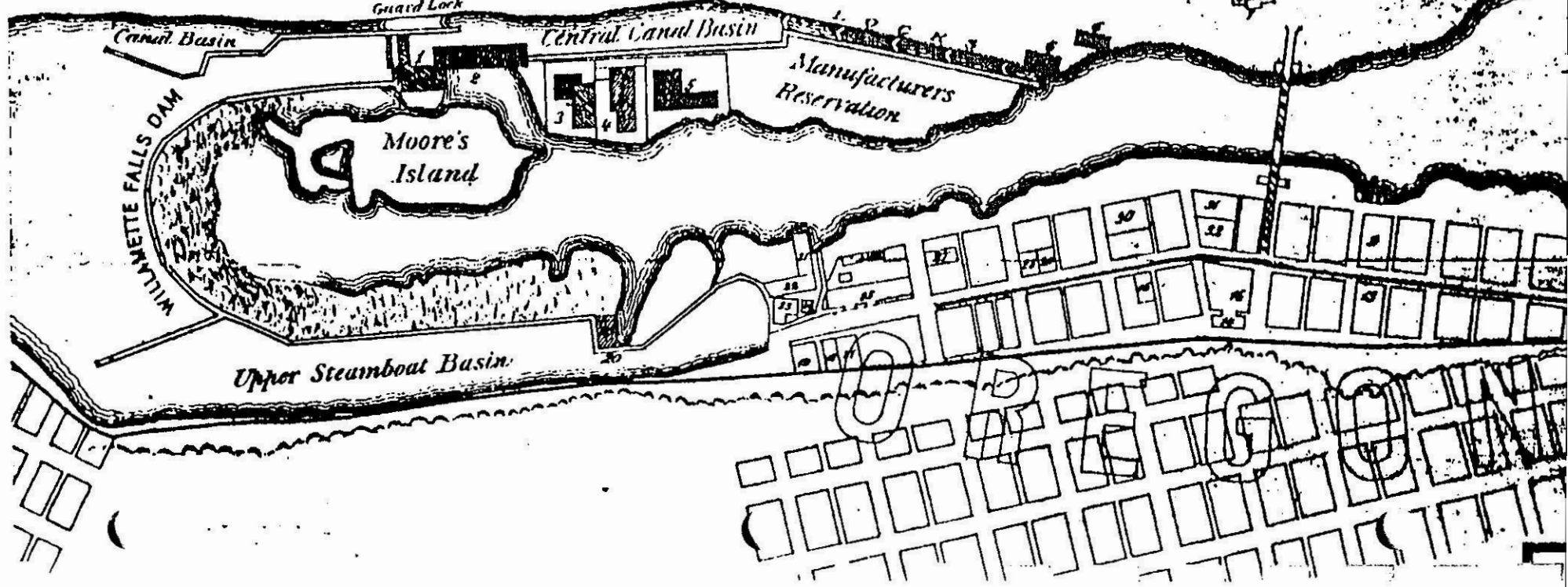
DATE OF MAP: c1893

SCALE: 1"=60'

1. Willamette Pulp & Paper Co Pulp Mill (1889)
2. Portland General Electric Co Power Station "B" (1892)
3. Willamette Pulp & Paper Co Sulphite Mill (1890)
4. Willamette Pulp & Paper Co Paper Mill (1890)
5. Crown Paper Co Paper Mill (1890)
20. Portland General Electric Power Station "A" (1889)

LEWTHWAITE/MOFFATT RES  
(House added to c1893 map)

FALLS RAILWAY  
FACTURING SITES

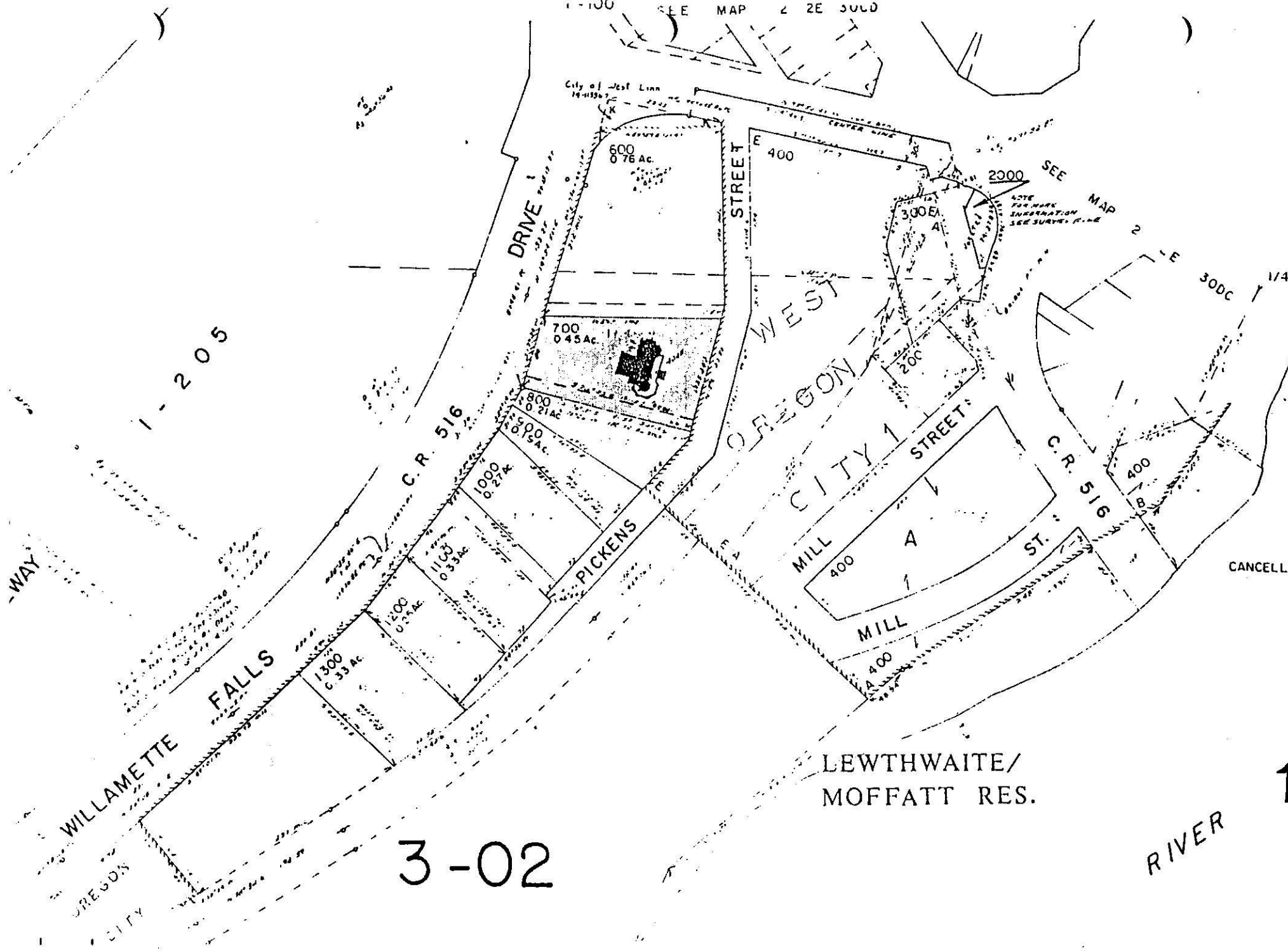


SEE MAP 2 ZE 300D

City of West Linn  
19-11397

SEE MAP 2  
NOTE FOR WORK INSPECTION SEE SURVEY PLANS

CANCELLED  
10  
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160  
170



3-02

LEWTHWAITE/  
MOFFATT RES.

RIVER

205

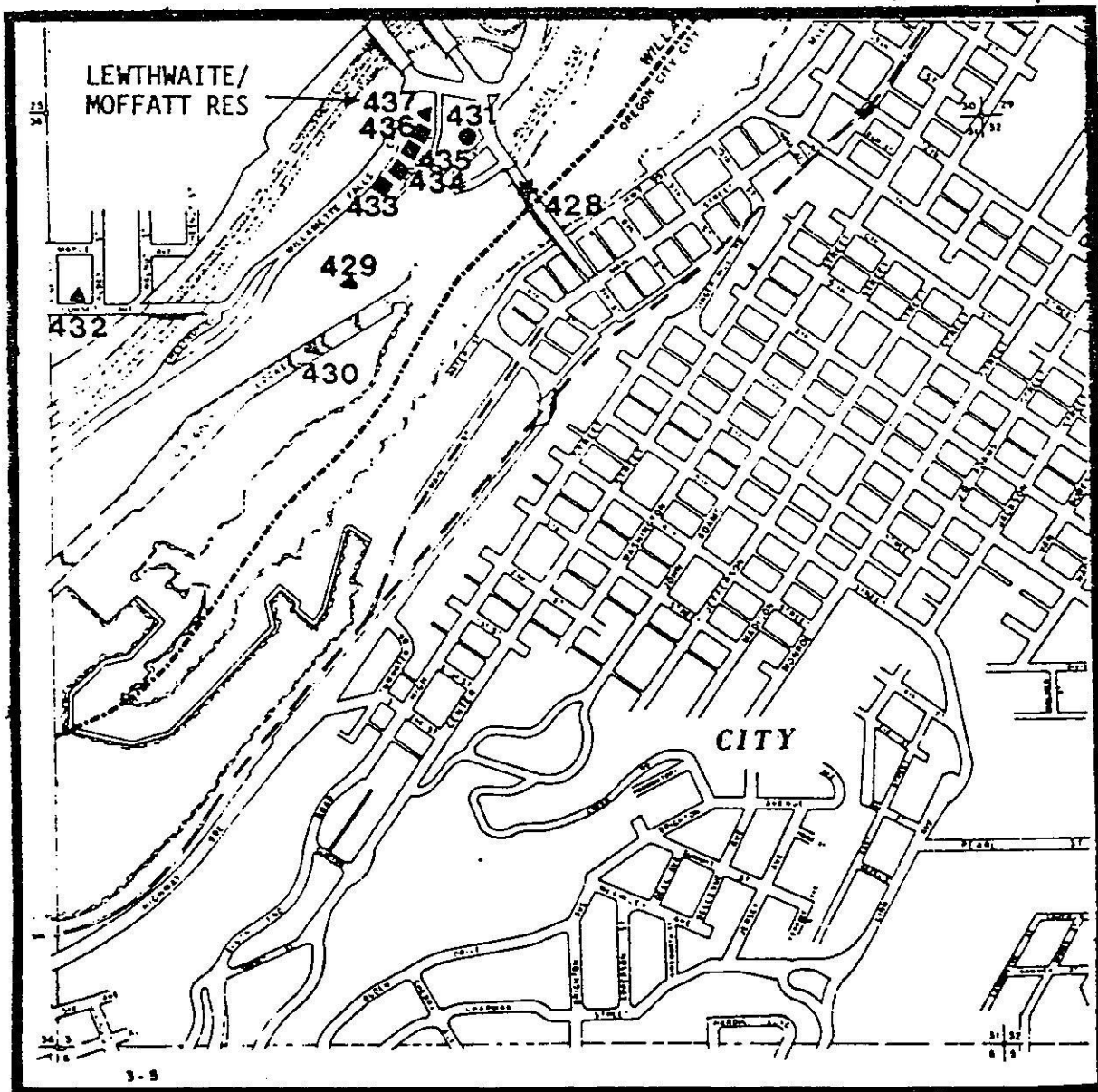
WILLAMETTE  
FALLS

WILLAMETTE  
FALLS  
CITY

Area: WEST LINN

Legal Description:

T. 2 S.      R. 2 E.      S. 31  
TOWNSHIP      RANGE      SECTION



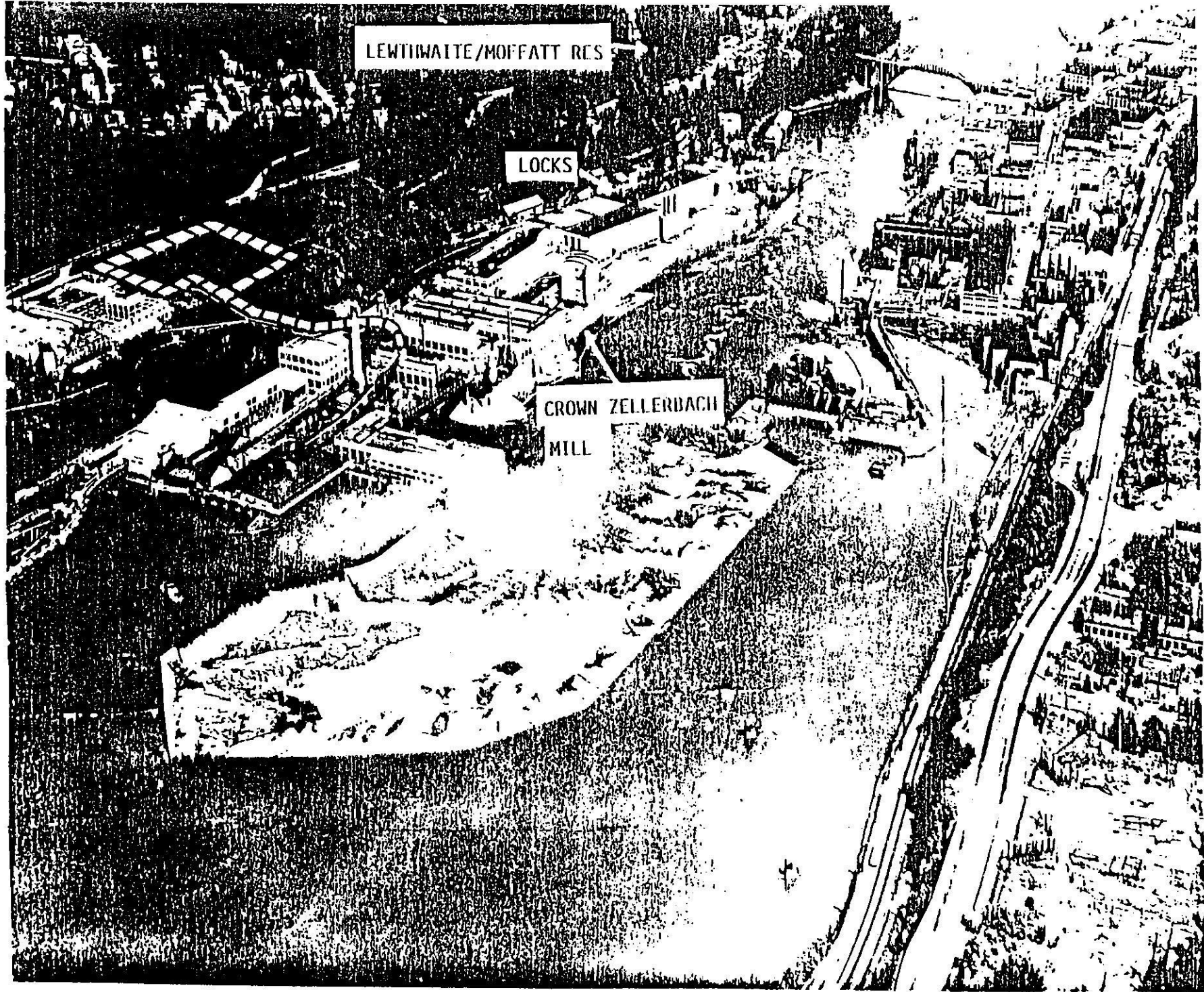
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≤ 1900  
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(PAGE FROM WEST LINN  
HISTORIC RESOURCES INVENTORY  
1984)

[ #'S CORRESPOND TO INVENTORY PAGE #. ]



LEWTHWAITE/MOFFATT RES

LOCKS

CROWN ZELLERBACH  
MILL

STATE ADVISORY COMMITTEE ON HISTORIC PRESERVATION  
GERLINGER HALL, UNIVERSITY OF OREGON, EUGENE

May 10, 1985

Present were:

Robertson Collins, Chairman, presiding  
David Brauner  
Linda Dodds  
Virginia Ferriday  
Charles Coate  
Marion Dean Ross  
Sharr Prohaska

Excused were:

Thomas Bunn

Absent:

Charles Jackson

Staff:

David Powers, Deputy State Historic Preservation Officer  
Elisabeth Potter, Nominations Coordinator  
James Hamrick, Preservation Specialist  
Kimberly Lakin, Grants Manager  
Suzie Haylock, Preservation Assistant

Guests and Proponents:

William Davis, Oregon State System of Higher Education,  
Eugene, OR 97403  
Richard Paulin, Director, University of Oregon Museum of Art,  
Eugene, OR 97403  
Kay Atwood, 102 S. Pioneer, Astoria, OR 97520  
Thomas & Claire Met, 504 Sixth St., Oregon City, OR 97045  
Carol Wood, c/o 504 Sixth St., Oregon City, OR 97045  
Elizabeth Atly, 14890 S. Redland Road., Oregon City, OR 97045  
Jean Wilson, 491 N. 2nd St., Coos Bay, OR 97420  
Marion Harris, 687 NW 3rd St., Coos Bay, OR 97420  
Patricia Berl, 3795 E. 22nd St., Eugene, OR 97403  
Tada Suttitum, 550 E. 14th, #1, Eugene, OR 97401  
Ginger Morrison, 636 Jefferson Ave., Metolius, OR 97741

8. Lewthwaite-Moffatt House (1896), 4891 Willamette Falls Drive, West Linn, Clackamas County.

Mrs. Potter gave the introductory remarks. George McMath, representative of the proponent, was present and confirmed that the recent asbestos siding was going to be removed in several months time. His photographs of sample areas indicated the original siding is intact. Mrs. Dodds inquired whether restoration involving partial replacement of original siding is allowable. It is. It is a question of degree, said Mr. Collins.

Mrs. Prohaska moved for approval of the nomination, and the motion was seconded by Professor Ross. When the question was called, the motion for approval passed unanimously. As per the understanding between staff and proponent, the nomination will not be forwarded to Washington until photos are made available to SHPO documenting the house in its restored state.

Average rating: 40

9. Myrtle Arms Apartment Building (1914), Sixth and Central Streets, Coos Bay, Coos County.

Mrs. Potter gave the customary summary. Steve Clay, preparer of the nominated property, was present. In response to a question from staff, he said F. E. Conway, the original building proprietor, was a California developer and silent partner. He added that examples of the California Mission style were rare in Coos Bay. While it may not be the oldest multiple housing structure in Coos Bay, it has the most architectural pretension of any of the early apartment buildings.

Mrs. Dodds felt that it was an outstanding example of its type locally and moved for approval of its nomination. The motion was seconded by Mrs. Prohaska.

When the question was called, the motion for approval passed with one nay vote from Mrs. Ferriday, who felt the building lacked architectural merit.

Average rating: 34.66

10. Tower, Major Morton, House (1869, 1892), 486 Schetter Avenue, Coos Bay, Coos County.

Mrs. Potter gave the customary opening remarks, stating that the house could be nominated under criterion "b" for its association with the important local figure Major Morton Tower. Steve Clay, preparer of the nomination, told the Committee that according to Stephen Beckham, that the ell represented the oldest continually occupied house on the southern Oregon coast. It is noteworthy also as an unofficial customs house during the time Major Tower was Collector of Customs at Coos Bay. A discussion of restoration plans





*Department of Transportation*  
**STATE HISTORIC PRESERVATION OFFICE**

Parks and Recreation Division

525 TRADE STREET S.E., SALEM, OREGON 97310

May 17, 1985

Lucille Beck  
Frank B. Smith  
1230 Chandler Road  
Lake Oswego, OR 97034

Dear Friends:

This is to notify you that during its meeting on May 10 the State Advisory Committee on Historic Preservation reviewed and approved the following property for nomination to the National Register of Historic Places:

Lewthwaite-Moffatt House (1896)  
4891 Willamette Falls Drive  
West Linn, Oregon

As we complete final production work on the nomination, it may be necessary to secure additional documentation. If questions are appended to this notification letter, we would appreciate your pursuing them and reporting your information to us as soon as possible.

The nomination will be signed and forwarded to the National Register upon completion of the production work and after due consideration of any comments received. Property owners concerned will be notified when final action on the nomination has been taken in Washington, D.C

Owners of properties approved for nomination to the National Register who are interested in learning about the benefits offered under the State Historic Property Tax Law (ORS. 358.475 - .565) are encouraged to request an information/application packet from the State Historic Preservation Office. It should be remembered that participation in the program for special assessment of historic properties is optional and involves an entirely separate application process.

If questions about the National Register nomination process arise, I can be reached at the following number: 378-5001.

Sincerely,

*Elisabeth Walton Potter*

Elisabeth Walton Potter  
National Register Nominations Coordinator

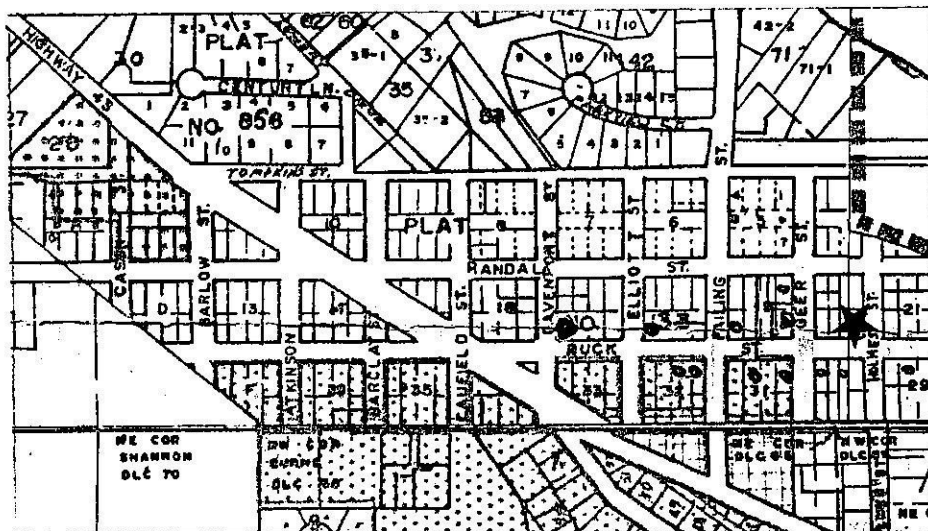
EWP:tsb  
6367C

cc: George A. McMath, FAIA

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Tanzer House  
Address: 1615 N.E. Buck

Negative No.: 15  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Britton Barn  
Location: 1739 Dollar Avenue  
Owner: Arthur Borland  
Address: Same 97068

T/R/Sec: 2/1E/25AA  
Addition: Bolton  
Block: Lot:

Common Name:  
Date of Construction: c. 1900  
Original Use: Barn  
Present Use: Storage  
Arch/Builder:  
Style:  
Resource Type: Building  
Theme: Agriculture  
Condition: Good

Plan Type/Shape: Rectangle  
Foundation Material: Post & beam on brick pier  
Roof Form: Gable  
Roof Material: Wood shingle  
Wall Construction: Wood  
Primary Window Type:  
Exterior Surfacing Materials: Board and batten  
Number of Stories: 2  
Basement: No  
Structural Frame: Stud

Decorative Features:

Other: Central louvered cupola in ridge of gable; vertical board doors on overhead rollers in side (west) elevation; single hinged doors on east and north elevations

Exterior Alterations/Additions (dated):

Noteworthy Landscape Features: Massive laurel hedge obscures south end of building

Associated Structures: House and garage of post World War II vintage located to south of barn

Setting: Barn is set well back from street behind house and garage on a large lot. Area adjacent to north of barn recently developed for housing. Scattered turn-of-the-century houses in neighborhood to south.

DATE: 4/88  
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

1. For new single family construction (including added square footage) in the Willamette Historic District, the Planning Director shall use the following design standards in reaching a decision:

- a. SITING:

Front yard: A distance, measured to the dominant vertical face of the building, equal to the average of the front setbacks of adjacent "primary" or "secondary" structures. Where there are no adjacent primary or secondary structures, the setback shall be 15 feet.

Side Yard: 5 feet shall be the standard, however, where adjacent structures encroach into the required sideyard, the Planning Director may reduce one of the side yards to a minimum of 3 feet to center a new structure between existing buildings provided no spaces between buildings are reduced below eight (8) feet.

Rear Yard: The rear yard setback shall be minimum of 20 feet, except for accessory structures, which may be sited to within 3 feet of the side or rear property lines.

- b. PARKING STANDARDS:

Garages: Garages shall be accessed from the alleys or "streets". No garage door may face or access onto an "avenue" except where no alley access is available.

Parking: No residential lot shall be converted solely to parking use. No rear yard area shall be converted solely to parking use. At least one paved parking space, which may be covered, shall be provided on-site.

- c. BUILDING HEIGHT

Standards: No building shall exceed the height of any primary structure in the district.

No building shall exceed 2-1/2 stories. Cupolas and towers are excluded from the aforementioned height limitation however, no such structure may exceed the height of any existing cupola or tower in the district.

d. BUILDING SHAPES AND SIZES  
Standards: No building shall exceed 35 feet in overall width. End - wall (street facing) gables should not exceed 28 feet in overall width. Buildings should avoid a horizontal orientation in their roof and window designs, unless the design can be shown to respond to nearby primary structures.

e. ROOF PITCH  
Standards: Roofs shall have a pitch of at least 6/12. A pitch of 8/12 to 12/12 is recommended.

f. ARCHITECTURAL DETAILS  
Entryways:  
Standards: Buildings shall have a permanently protected entry. (Awnings are not permanent protection.)  
All main entrances should face the avenues.  
Flush (flat) doors are prohibited.  
Doors with windowed areas are recommended.  
Windows:  
Standards: Wood sash windows are preferred.  
"Mill aluminum" (shiny) windows are prohibited.  
Windows shall be surrounded by exterior trim on the top and sides; window trim shall be at least 4-1/2 inches minimum width.  
Siding and Exterior Finish:  
Standards: Horizontal wood siding shall be the primary exterior finish. Shingles should only be used in conjunction with horizontal wood siding. Single color exteriors are discouraged.

Painted exteriors - rather than stained are recommended.

- E. Partitions and Subdivisions: The Historic Review Board shall review and make recommendations on all proposed partitions or subdivisions of sites designated as a Landmark site. Review of the proposed subdivisions or partition shall be based on the following criteria:
1. The partition or subdivision does not allow a significant feature of the original site, as identified in the designation action and Inventory, to be located on a separate site from the landmark.
  2. The partition or subdivision allows adequate setbacks from landmark improvements to provide for buffering and mitigation of impacts associated with development of the new parcels.

26.070 BUILDING CODE REQUIREMENTS

- A. Permits Required: Any alteration or relocation of Historic Landmark shall be subject to the applicable regulations under the Uniform Building Code.
- B. Waivers: As provided in Section 104(f) of the Uniform Building Code, repairs, alterations, and additions necessary for the preservation, restoration, rehabilitation, or continued use of a Historic Landmark may be made without conformance to all the requirements of the Uniform Building Code when authorized by the building official, provided:
1. Any unsafe conditions as described in the Uniform Building Code are corrected;
  2. The restored building or structure will be no more hazardous, based on life safety, fire safety, and sanitation, than the existing building; and

3. The building official seeks the advice of the Oregon State Historic Preservation Officer, or designee.

C. Appeals. In the case of appeals related to the application of the Uniform Building Code to a Historic Landmark, the County appeals board or the appropriate State appeals board shall seek the advice of the State Historic Preservation Officer.

26.080 DEMOLITION

A. Purpose: The intent of this Subsection is to protect Historic Landmarks from destructive acts and to provide the citizens of the City time to review the significance of a Historic Landmark and to pursue options to preserve such building(s) if historic preservation is deemed in the best interest of the community.

B. Review Required: No building identified as a Historic Landmark, shall be intentionally destroyed or demolished unless such action is approved by the Historic Review Board. Application for permit to demolish or otherwise destroy such building shall be made to the Department of Development Services when applicable.

C. Public Hearing Review: The Historic Review Board shall hold a public hearing, under the provisions and procedures in Section 98.000 to review the request to demolish or destroy a Historic Landmark, and shall make written findings supporting its decision to approve or deny the request.

D. Criteria and Findings: In determining the appropriateness of the request to destroy or demolish a Historic Landmark, the Historic Review Board shall consider the following:

1. All plans, drawings, and photographs submitted by the applicant;
2. Information presented at the public hearing concerning the proposed work;
3. The West Linn Comprehensive Plan;

4. The purposes of this Ordinance as set forth in Section 26.010.
5. The criteria used in the original designation of the Historic Landmark in which the property under consideration is situated.
6. The historical and architectural style, the general design, arrangement, materials of the structure is question, or its appurtenant fixtures; the relationship of such features to the other buildings within the district; and the position of the building in relation to public rights-of-way and to other buildings and structures in the area;
7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district which cause it to possess a special character or special historical or aesthetic interest or value;
8. Whether denial of the permit will involve substantial hardship to the applicant, and whether approval of the request would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this Ordinance;
9. When applicable, the findings of the Building Official in determining the status of the subject building as a "dangerous building" under the most recent Uniform Code for the Abatement of Dangerous Buildings, and the feasibility of correcting the deficiencies to meet the requirements of the Building Official rather than demolishing the building.

E. Approval of Demolition Request/Appeals:  
This Historic Review Board may approve the demolition request in consideration of the provisions under 26.090(D), above. The action of the Historic Review Board shall be transmitted to the applicant in writing



within ten (10) days of the decision on the request, and shall be final after a period of 10 days from the date of the letter and finding approving the request, unless a notice of appeal is filed by any aggrieved party, pursuant to Section 99.250.

- F. Denial/Appeals: The Historic Review Board may deny the request for demolition or destruction of an Historic Landmark if it determines that in the interest of preserving historic values, the building should not be demolished or destroyed. Written findings supporting the denial of the request shall be transmitted to the applicant within seven (7) days of the final public hearing on the request. The action of the Historic Review Board denying the request may be appealed to the City Council within 30 days of the date of the letter and written findings denying the request. This extended appeal period is provided to allow time for evaluation of the alternatives to destruction or demolition of the subject building by the applicant and/or the Historic Review Board.
- G. Stay of Demolition: If the subject of the demolition request is under a Notice and Order of the Building Official, as provided under Chapter 4 of the Uniform Code for the Abatement of Dangerous Buildings, and the application is denied by the Historic Review Board, the written findings supporting the action to deny the request shall be transmitted to the building official along with a request that the enforcement of the Notice and Order for the Building Official be stayed during the pendency of an appeal, or for a period of not more than sixty (60) days from the date of the letter and findings supporting the denial. During this stay of demolition period, the following actions may be taken:
1. The Building Office may require the owner or other party responsible for the subject building to take appropriate actions, other than demolition, to protect the public from hazardous conditions associated with the building.

2. The Historic Review Board may research programs or projects underway which could result in public or private acquisition of the subject building and site, and assess the potential for the success of these programs or projects.
  - a. If the Board determines that there is reasonable grounds to believe that such program or project may be successful, it may extend the suspension period up to thirty (30) additional days per extension, not to exceed more than a total of 120 days from the date of the letter and finding denying the request.
  - b. If the Board determines that all such programs or projects are unlikely to be successful, and the applicant has not withdrawn his application for a demolition permit or taken appropriate alternative action to correct the hazards associated with the subject building as provided in the Notice and Order of the building official, then, at the end of the stay of demolition period, the building official may issue such a permit, subject to all other applicable codes and ordinances.
3. Action of the Historic Review Board in suspending issuance of the permit for demolition may be appealed by the applicant to the City Council by filing a notice of appeal as provided in Section 99.250.

26.090 SUBMITTAL REQUIREMENTS

- A. Standard Requirements: All applications for alteration, relocation, development, or demolition made pursuant to this Section shall include:
  1. A list of exterior materials pertinent to the application request.

2. Drawings:
    - a. Side elevation for each side of any affected structure.
    - b. Drawings shall indicate dimensions and be to scale.
    - c. Photographs may be used in lieu of drawings for small projects.
  3. Plot plans shall be required when new structures, fences, relocations, or additions exceeding fifty (50) square feet are proposed.
- B. Evidence and Criteria Materials: An application shall include written evidence and other materials necessary to address the specific criteria in support of the request, and other information necessary to allow complete review of the proposal.
- C. Nothing in this chapter shall be construed to prevent the ordinary maintenance or repair of any architectural features which does not involve a change in design, material or the outward appearance of such feature which the Building Inspector shall certify is required for the public safety because of its unsafe or dangerous condition.

/par  
cdc25



The City of  
**West Linn**

2042 8th Avenue  
West Linn, Oregon 97068

Development Services (503) 656-4211

June 6, 1988

Mr. Paul Davisson  
1448 Buck Street  
West Linn, OR 97068

Dear Mr. Davisson:

Your building at 1448 Buck Street is being considered for designation as a local landmark, due to outstanding qualities of historic or architectural interest. The West Linn Historic Task Force has recommended it for designation under the City's revised historic preservation program.

Enclosed is a copy of the Historic Resource Inventory form for your building. We hope that you will review it for completeness and accuracy.

Please be sure to read the accompanied flyer which describes the proposed program and what it means to have your historic building designated as a landmark.

We hope you will attend the upcoming public hearing to be held by the Planning Commission on June 20, 1988, at 7:30 p.m. in the Council Chambers of City Hall (located at 22825 Willamette Drive).

If you have additional information about your building or have questions about the program, please feel free to call Michael Butts, Planning Director, at 656-4211.

Sincerely,

DEANNE TROUTMAN, CHAIRMAN  
HISTORIC LANDMARK TASK FORCE

/par  
j&j8801

CITY OF WEST LINN  
 PROPOSED HISTORIC  
 PRESERVATION PROGRAM



DOES . . .

- Offer free restoration and rehabilitation information to interested individuals and property owners.
- Require review of exterior alterations to designated historic properties.
- Require review of all demolitions to designated historic properties.
- Preserve important buildings in the community.
- Improve the economy of the City by promoting tourism and interest in the City's history.
- Encourage additional historic research and the distribution of information about historic buildings and districts.
- Stabilize and improve property values in historic neighborhoods.

DOES NOT . . .

- Prevent property owners from making changes to their building.
- Pertain to the interior of the building.
- Usurp individual property rights.
- Affect property taxes.
- Force businesses to change signage.
- Require improvements or restoration of the building.
- Demand the purchase or placement of a historical sign or plaque.
- Restrict ordinary maintenance.
- Transform your house into the Pittock Mansion.

## CITY OF WEST LINN



"BUT MY HOUSE ISN'T LIKE THE PITTOCK MANSION..."



No, it isn't, but it is a special house nonetheless. Whether your house is a small bugalow or a stately Colonial Revival, it is an important part of the development of your neighborhood and West Linn. It is West Linn's collection of historic buildings that helps make the city unique and we are fortunate to have some fine examples of late 19th and early 20th century homes. It is important that we recognize our historic and architectural heritage and preserve it for future generations so that they may enjoy and appreciate history.

Each home in the city helps to make up a neighborhood and it is the quality of a neighborhood that makes a community a good place to live, work, raise a family and retire. West Linn and its historic neighborhoods offer a quality of life that directly affects property values in the neighborhood. To maintain property values, as well as neighborhood quality, historic character, housing choices, and architectural diversity, the City is developing an historic preservation program that will govern changes to significant historic buildings.

Features of this program include an Historic Review Board made up of residents who volunteer their time to review proposed exterior changes to historic buildings. They also review plans for demolition.

"DOES THIS MEAN I CAN'T PAINT MY HOUSE GREEN?"

No it doesn't. You can paint your house any color you like. The City's proposed preservation ordinance specifically states that ordinary maintenance such as house painting does not fall under review of the Historic Review Board.

Of course, there are certain things that do require review. Any exterior alterations which would change the appearance of the building are subject to the review process. Something that may seem insignificant, such as the replacement of a window or addition of new siding, can permanently damage the historic value of the house.

The City's historic preservation regulations are not designed to force you to maintain your property in a certain way or to restore your house. The preservation regulations have nothing to do with mowing or not mowing your grass, allowing trash to pile up, and so forth. These are code enforcement issues that the City deals with under an entirely separate program and there is no connection with the historic preservation program.

HISTORIC LANDMARKS

Amend the Comprehensive Plan, Page 49, by inserting the following Specific Policies:

- "4. Preserve and enhance the City's Historic Resources through the development and administration of Design Review Standards, and the designation of the following Historic Landmarks:

1. 4600 ALDER STREET
2. 1448 BUCK STREET
3. 1562 BUCK STREET
4. 1646 BUCK STREET
5. 1690 BUCK STREET
6. 1715 BUCK STREET
7. 1850 BUCK STREET
8. 1739 DOLLAR STREET
9. 5495 GROVE STREET
10. 5350 RIVER STREET
11. 5575 RIVER STREET
12. 4708 RIVERVIEW AVENUE
13. 4742 RIVERVIEW AVENUE
14. 5797 ROBERT MOORE STREET
15. 4918 SUMMIT ROAD
16. 20375 WILLAMETTE DRIVE
17. 20685 WILLAMETTE DRIVE
18. 20725 WILLAMETTE DRIVE
19. 22825 WILLAMETTE DRIVE - CITY HALL
20. 22830 WILLAMETTE DRIVE
21. 22840 WILLAMETTE DRIVE
22. 21420 WILLAMETTE DRIVE
23. 4835 WILLAMETTE FALLS DRIVE
24. 4845 WILLAMETTE FALLS DRIVE
25. 4865 WILLAMETTE FALLS DRIVE
26. 4891 WILLAMETTE FALLS DRIVE
27. 1352 7TH AVENUE
28. 1742 7TH AVENUE
29. 1832 7TH AVENUE"

- "5. Obtain "Certified Local Government" status in the National Historic Preservation Program."

/par  
mb8867

## 26.000 HISTORIC DISTRICT AND LANDMARKS

## 26.010 PURPOSE

The intent and purpose of this overlay district is to implement the goals and policies of the Comprehensive Plan for Historic Landmarks and promote the public health, safety, and general welfare by safeguarding the City's heritage as embodied and reflected in its historic resources. The provisions of this section are intended to:

- A. Provide for the identification, protection, enhancement, and use of sites, structures, corridors, objects, and buildings within the City that reflect special elements of the City's architectural, archeological, artistic, cultural, engineering, aesthetic, historical, political, social, and other heritage.
- B. Facilitate restoration and upkeep of historic buildings, structures or other physical objects or geographical areas;
- C. Encourage public knowledge, understanding and appreciation of the City's history and culture;
- D. Foster community and neighborhood pride and sense of identity based on recognition and use of cultural resources;
- E. Promote the enjoyment and use of historic and cultural resources appropriate for the education and recreation of the people of the City.
- F. Preserve diverse architectural styles reflecting phases of the City's history; and encourage complimentary design and construction impacting cultural resources;
- G. Enhance property values and increase economic and financial benefits to the City and its inhabitants;
- H. Identify and resolve conflicts between the preservation of cultural resources and alternative land uses; and



- I. Integrate the management of cultural resources and relevant data into public and private land management and development processes.

26.020 AREA OF APPLICATION

- A. The provisions of Section 25.000 shall apply to all designated Historic Landmarks or Historic Districts within the City.
- B. Historic Landmark: A site, structure, or object may be zoned Historic Landmark if it is listed on the "National Register of Historic Places", or approval of an Historic District designation shall be made when the Planning Commission finds that any of the following criteria have been met.
  - 1. Whether the proposed district or landmark would serve the purpose of the Historic District as stated in 26.010.
  - 2. Reflects the broad cultural or natural history of the community, state, or nation.
  - 3. Is identified with historic personages, or with important events in national, state or local history.
  - 4. Embodies the distinguishing characteristics of an architectural specimen inherently valuable for a study of a period, style, or method of construction.
  - 5. Is a notable work of a master builder, designer, or architect.
- B. The age of a specific building shall not be deemed sufficient in itself to warrant designation as historic.

26.030 USES PERMITTED

- A. Primary Uses: A Historic Landmark may be used for any use which is allowed in the underlying district, including home occupations, provided such use is not detrimental to the preservation of the historic resource, subject to the specific requirements for the use, and all other requirements of this section.

B. Conditional Use Findings: Uses listed below under 25.030(C), which are not otherwise allowed in the underlying district, may be allowed, subject to the specified review procedure. Approval shall not be granted unless the proposal satisfies the criteria under Section 60.000 and the applicant demonstrates that the use, if allowed:

1. Will preserve or improve a resource which would probably not be preserved or improved otherwise;
2. Will not require the extension or development of urban services in rural areas;
3. Will not adversely affect surrounding natural resource uses; and
4. Will utilize existing structures rather than new structures. Alterations and additions to existing structures shall satisfy the provisions of 60.

C. Public Hearing Review: The following uses may be permitted by the Planning Commission after a public hearing conducted pursuant to Section 99.000 when the proposal satisfies the requirements under Subsection 25.030(B) above:

1. Art and music studios.
2. Galleries
3. Offices
4. Craft shops
5. Bed and Breakfast establishments.
6. Gift shops
7. Museums
8. Catering Services
9. Book Stores
10. Boutiques
11. Restaurants
12. Antique shops
13. Community Center for Civic or Cultural Events.
14. Other uses determined by the Planning Commission to be similar to those listed above.

26.040 HISTORIC REVIEW BOARD

- A. For the purpose of this ordinance the decisions regarding alterations to Historic Landmarks and within Historic District and recommendations for designation of Historic Landmarks or Districts shall be accomplished by the Clackamas County Historic Review Board.
- B. Appointment & Composition. The City Council shall appoint one individual who has demonstrated an interest in Historic Preservation and has experience and/or special expertise or knowledge in the field of historic preservation and may fulfill the requisites of the Historic Review Board and composition pursuant to 707.04 of the County's Code.
- C. Terms of Service. The member of the Historic Review Board shall be appointed for three (3) years, and may be reappointed or removed at the discretion of the City Council.
- D. Duties & Responsibilities. It is the responsibility of the Historic Review Board to insure that the purposes of this Section are implemented and to perform the following duties:
1. Adopt rules to govern its deliberations and decisions, including a method or recording of proceedings.
  2. Carry out the duties described for it in this Ordinance and otherwise assist the Board of County Commissioner's and West Linn City Council on historic preservation matters.
  3. Review and render decisions on proposals to alter the exterior of a Historic Landmark subject to the procedures and criteria set forth in 26.060.

## HISTORIC REVIEW BOARD

- A. For the purpose of this ordinance the decisions regarding alterations to Historic Landmarks and within Historic District and recommendations for designation of Historic Landmarks or Districts shall be accomplished by the Clackamas County Historic Review Board.
- B. Appointment & Composition. The City Council shall appoint two individuals who has demonstrated an interest in Historic Preservation and has experience and/or special expertise or knowledge in the field of historic preservation and may fulfill the requisites of the Historic Review Board and composition pursuant to 707.04 of the County's Code.
- C. Terms of Service. The members of the Historic Review Board shall be appointed for three (3) years, and may be reappointed or removed at the discretion of the City Council.
- D. Duties & Responsibilities. It is the responsibility of the Historic Review Board to insure that the purposes of this Section are implemented and to perform the following duties:
1. Adopt rules to govern its deliberations and decisions, including a method or recording its proceedings.
  2. Carry out the duties described for it in this Ordinance and otherwise assist the Board of County Commissioner's and West Linn City Council on historic preservation matters.
  3. Review and render decisions on proposals to alter the exterior of a Historic Landmark subject to the procedures and criteria set forth in 26.060.

4. Review and render decisions on all proposed new construction on property on which a Historic Landmark is located, subject to the procedures and criteria set forth in 26.060.
5. Review and make recommendations on all applications for zoning of a Historic Landmark, as provided under Section 26.050.
6. Review all requests for demolition or removal of a Historic Landmark, as provided under Section 26.080.
7. Review and make recommendations to the Planning Commission on all Conditional Use applications under Section 26.030(B).
8. Review and make recommendations on all partitions and subdivisions of designated properties.
9. Disseminate information to educate the public as to State and Federal Laws protecting antiquities and historic places.
10. Act as a coordinator for local preservation groups, educational workshops, signing and monumentation projects, and other similar programs.
11. Advise interest groups, agencies, boards, commissions, and citizens on matters relating to historic preservation within the City.
12. Insure that information on inventoried historic properties is updated and maintained.

**26.050 PROCESS FOR DESIGNATION OF A HISTORIC LANDMARK**

- A. City Initiated Action: The Historic Review Board, City Council or interested parties may initiate the process for designation of a Historic Landmark. If the Historic Review Board or City Council initiates the process, notice shall be as required under Section 98.000.

- B. Quasi-Judicial Application: The owner(s) of property, or properties, may request the zoning of their property, or properties, as a Historic Landmark(s) by making application to the City. Notice requirements shall be as provided for Zone Change/Plan Change actions under Section 99.000.
- C. Historic Review Board Evaluation. The Historic Review Board shall evaluate the proposed zoning action and shall enter findings and make a written recommendation to the City Council.
- D. City Council Public Hearing. The City Council shall conduct a public hearing to consider the proposed zoning action and shall either approve or deny the request. The Council shall enter written findings supporting its decision.
- E. Pending Permits. No building permit for altering or moving any proposed Historic Landmark shall be issued while any advertised public hearing or any appeal affecting the proposed designation of the area or building is pending. In addition, demolition of a building affected by a pending public hearing or appeal under this Section shall be a violation of this Ordinance.

26.060 ALTERATION AND DEVELOPMENT CRITERIA

- A. Purpose. It is the intent of this Subsection to provide for the appropriate level of review for proposed alterations and development within Historic Districts, or those affecting Historic Landmarks, and to provide criteria insuring effective and efficient review of proposed alterations and development.
- B. Minor Alterations and Maintenance. The Planning Director shall determine the status of a proposed alteration. Minor alterations shall be reviewed and approved by the Planning Director, who may consult with the Historic Review Board, or any member thereof, in applying the provisions of this Section.

An alteration shall be considered "minor" when the result of the proposed action is to maintain, or restore portions of the exterior to, the original historic appearance while performing normal maintenance and repairs, such as:

1. Replacement of gutters and downspouts, or the addition of gutters and downspouts, using materials that match those that were typically used on similar style buildings;
2. Repairing, or providing a compatible new foundation that does not result in raising or lowering the building elevation.
3. Replacement of building material, when required due to deterioration of material, with building material that matches the original material;
4. Repair and/or replacement of roof materials with the same kind of roof materials existing, or with materials which are in character with those of the original roof;
5. Application of storm windows made with wood, bronze or flat finished anodized aluminum, or baked enamel frames which complement or match the color detail and proportions of the building; and
6. Replacement of wood sashes with new wood sashes, or the addition of wood sashes when such is consistent with the original historic appearance.
7. Additions of solar equipment that, when removed, does not destroy essential elements of the building's character define features, may be allowed if such equipment is not visible from the public right-of-way.

C. Alterations and Relocations: The Historic Review Board shall review all proposed relocations and all alterations which exceed a "minor" status under 26.060(B), above.

A request for a relocation or alteration permit under this provision shall be made on the appropriate application form provided by the Department of Development Services. Review and approval of an application shall be based on findings of adherence to the following criteria:

1. Retention of original construction: Distinguishing original qualities defining a structure's character shall not be destroyed. Removal or alteration of historic materials or distinctive architectural features should be avoided when possible.
2. Time Period Consistency: Structures shall be recognized as products of their own time. Alterations that have no historical basis or which seek to create an earlier appearance shall be avoided.
3. Visual Integrity/Style: Distinctive stylistic features, such as a line of columns, piers, spandrels, or other primary structural elements, or examples of skilled craftsmanship which characterize a structure, shall be maintained or restored as far as is practicable.
4. Replacement or Addition Materials: Whenever possible, deteriorated architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, or an addition is proposed, new materials should match those of the original structure, to the extent possible in composition, design, color, texture, and other visual qualities.
5. Building Height: Existing building heights should be maintained. Alteration of roof pitches shall be avoided. Raising or lowering a structure's permanent elevation when constructing a foundation shall be avoided, except as required by Building Code or Flood Plain Overlay Zone.



6. Horizontal Additions: The scale and proportion of building additions, including the relationship of windows to walls, shall be visually compatible with the traditional architectural character of the historic building. Contemporary construction for alterations and additions are acceptable if the design respects the building's original design and is compatible with the original scale, materials, window and door opening proportions of the structure.
  7. Windows: Window replacements, shall match the visual qualities of original windows as closely as possible. Wood window frames are preferred in meeting this standard. However, if non-wood replacements exhibit similar visual qualities as their wooden counterparts, they may be acceptable. The original number of window panes shall be maintained or restored when replacements are required.
  8. Restoration Possible: Except where Building Code precludes it, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the original structure could be restored.
  9. Signs, Lighting: Signs, lighting, and other appurtenances, such as walls, fences, awnings, and landscaping shall be visually compatible with the scale and traditional architectural character of the historic building.
- D. New Construction: This Historic Review Board shall review all building permits for proposed structures on a Landmark Site or within a Historic District. Review and approval of an application shall be based on the following criteria:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Tanzer House  
Location: 1615 N.E. Buck  
Owner: Marvin Reilley Tr  
Address: Same 97068

T/R/Sec: 2/1E/25AA TL: 9500  
Addition: Bolton  
Block: 20 Lot: 7,8

Common Name:  
Date of Construction: c. 1912  
Original Use: Residence  
Present Use: Residence  
Arch/Builder:  
Style: Craftsman  
Resource Type: Building  
Theme: Arch.-20th Century  
Condition: Good

Plan Type/Shape: Rectangle      Number of Stories: 2 1/2  
Foundation Material: Concrete  
Roof Form: Gable      Basement: No  
Roof Material: Composition shingle  
Wall Construction: Wood      Structural Frame: Stud  
Primary Window Type: Double-hung sash  
Exterior Surfacing Materials: Shiplap with cornerboards

Decorative Features: Purlins and braces; serpentine balustrade with built-in bench; scuppers; polygonal bay on east elevation; flashglass in attic window

Other: Full-width hip-roof porch on facade with battered posts

Exterior Alterations/Additions (Dated): Exterior chimney added on west elevation; sideporch altered west elevation (n.d.)

Noteworthy Landscape Features:

Associated Structures: One and one-half story garage attached by breezeway to northeast of house; gable roof; horizontal lap siding

Setting: Prominently sited on large corner lot at intersection of Holmes and Buck. Surrounding residential neighborhood consists largely of early 20th century houses.

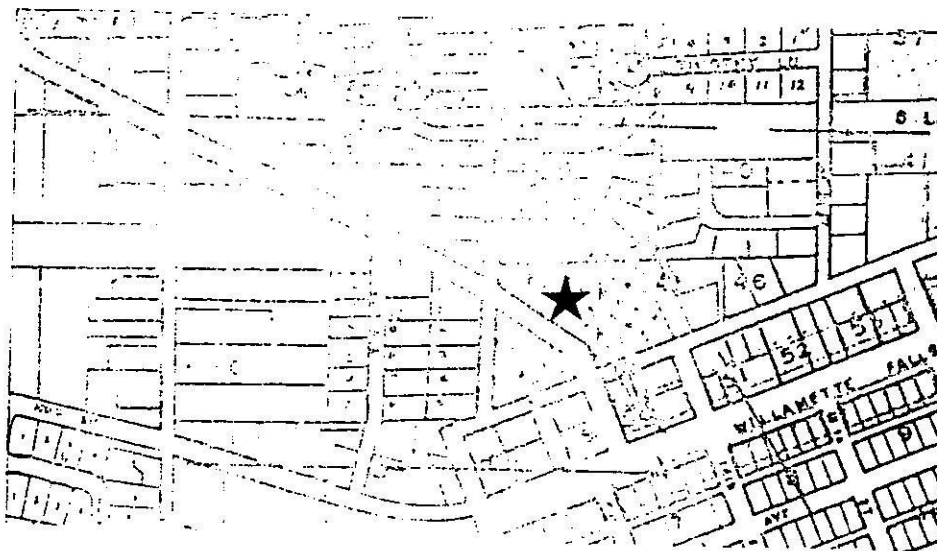
DATE: 4/88  
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Britton Barn  
Address: 1729 Dollar Avenue

Negative No.:  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Hisell House	Common Name:
Location: 6280 N.E. Geer Street	Date of Constuction: c. 1915
Owner: James C. Morton	Original Use: Residence
Address: Same 97068	Present Use: Residence
	Arch/Builder:
T/R/Sec: 2/1E/25AA TL: 8300	Style: Bungalow
Addition: Bolton	Resource Type: Building
Block: 19 Lot: N 3/4 of 1	Theme: Architecture-20th C.
E 32' of 2	Condition: Good.

Plan Type/Shape: Rectangle	Number of Stories: 1 1/2
Foundation Material: Concrete	
Roof Form: Gable	Basement: Yes
Roof Material: Wood shingle	
Wall Construction: Wood	Structural Frame: Stud
Primary Window Type: Double-hung sash	
Exterior Surfacing Materials: Horizontal lap	

Decorative Features: Paired porch posts; muntins in upper sash of facade windows

Other: Full-width recessed porch on facade; shed-roof dormer

Exterior Alterations/Additions (Dated): Side porch altered on north elevation (n.d.)

Noteworthy Landscape Features: Mature deciduous trees in parking strip; foundation plantings

Associated Structures: One-story gabled garage north of house

Setting: West side of Geer Street at northern terminus; Burnside Park adjacent to north. Surrounding residential area consists predominantly of early 20th century houses.

DATE: 4/88

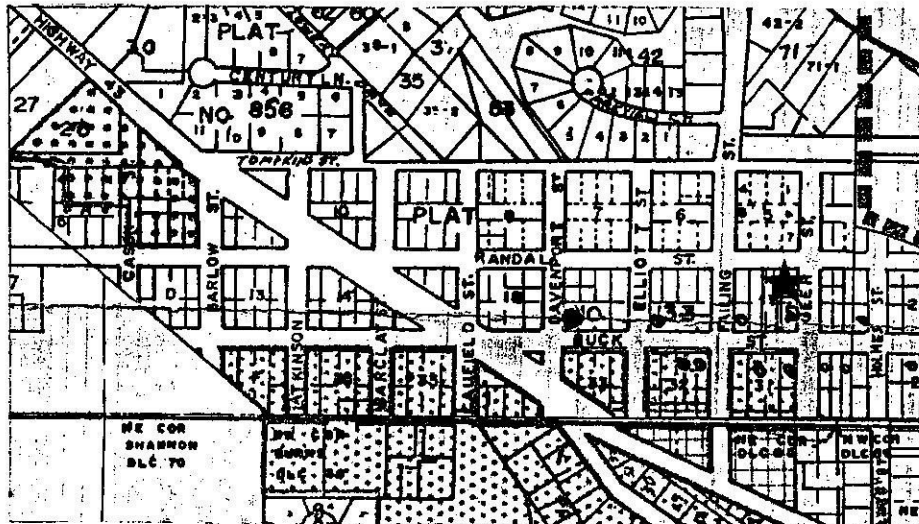
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Hisell House  
Address: 6280 N.E. Geer

Negative No.: 14  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Jack House  
Location: 5495 Grove Street  
Owner: Alan R. Jack  
Address: Same 97068  
T/R/Sec: 2/2E/30DB TL: 1700  
Addition: Plat of Tracts 1-34  
Block: Lot: Unit "D" of West  
Oregon City Plat

Common Name:  
Date of Construction: c. 1925  
Original Use: Residence  
Present Use: Residence  
Arch/Builder:  
Style: Arts and Crafts  
Resource Type: Building  
Theme: Arch.-20th Century  
Condition: Good

Plan Type/Shape: Asymmetrical  
Foundation Material: Concrete  
Roof Form: Multi-gable with partial returns  
Roof Material: Composition shingle  
Wall Construction: Masonry  
Primary Window Type: Multi-light double-hung sash  
Exterior Surfacing Materials: Stucco

Number of Stories: 2  
Basement: Yes  
Structural Frame: Stud

Decorative Features: Paired polygonal bays on west elevation with flat roofs; round-headed door and entrance flanked by Tuscan columns with balconette above; brick stoop

Other: Battered, stuccoed endwall chimney; eaveless, gabled dormers

Exterior Alterations/Additions (Dated): None apparent

Noteworthy Landscape Features: Perimeter fence covered with ivy; mature deciduous trees; brick path (basket weave); rock perimeter wall

Associated Structures: One-story attached garage on east elevation; stucco siding gabled roof

Setting: Prominently sited on large corner lot at intersection of Holly and Grove Streets; surrounding residential area consists of early to mid 20th century homes. One block north of Highway 43.

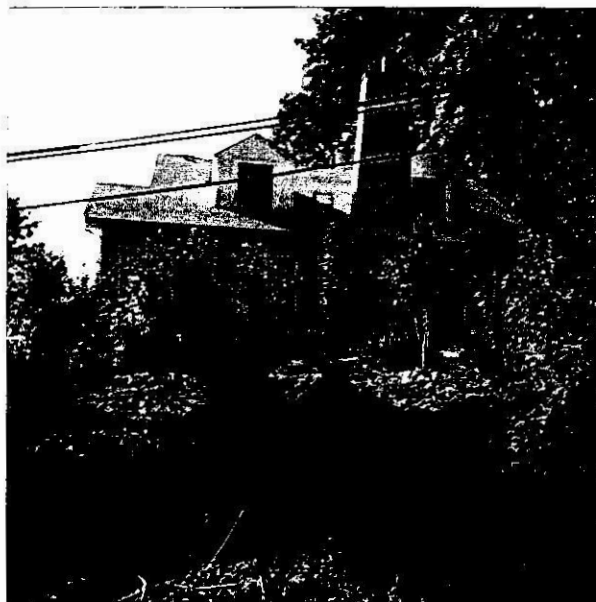
DATE: 4/88  
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Jack House  
Address: 5495 Grove

Negative No.:  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name:	Common Name:
Location: 20375 Willamette Drive	Date of Construction: c. 1930
Owner: Heinz G. Grimm	Original Use: Residence
Address: Same 97068	Present Use: Residence
	Arch/Builder:
T/R/Sec: 2/1E/24CA TL: 300	Style: Mediterranean
Addition: D.D. Tompkins DLC #61	Resource Type: Building
Block: Lot:	Theme: Arch.-20th Century
	Condition: Good

Plan Type/Shape: Asymmetrical	Number of Stories: 1 1/2
Foundation Material: Concrete	Basement: Yes
Roof Form: Gable and hip	
Roof Material: Red tile	
Wall Construction: Masonry	Structural Frame: Wood
Primary Window Type: Multi-light casement	
Exterior Surfacing Materials: Stucco	

Decorative Features: Round-headed blind transom; decorative mullions; arcaded entrance; wrought iron fence along basement steps; wrought iron balustrade front patio; bullseye window

Other:

Exterior Alterations/Additions (Dated): Windows replaced with picture glass in facade (n.d.)

Noteworthy Landscape Features: Large deciduous and coniferous trees in frontyard. Stuccoed garden wall, with lamp posts, across frontage

Associated Structures: One-story, stuccoed garage east of house, attached by breezeway; garage doors removed.

Setting: Surrounding area is predominantly residential in character with scattered small commercial centers along the right-of-way. Houses on west side of highway tend to be quite large--like subject house--and are sited on large parcels which slope to the east toward the highway.

DATE: 4/88  
RECORDED BY: Koler/Morrison Consultants

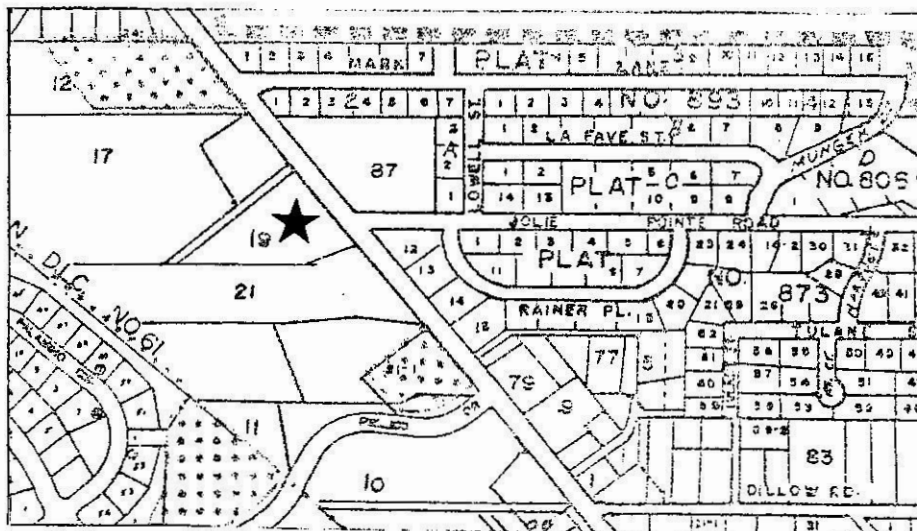
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CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name:  
Address: 20375 Willamette Drive

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Slide No.:

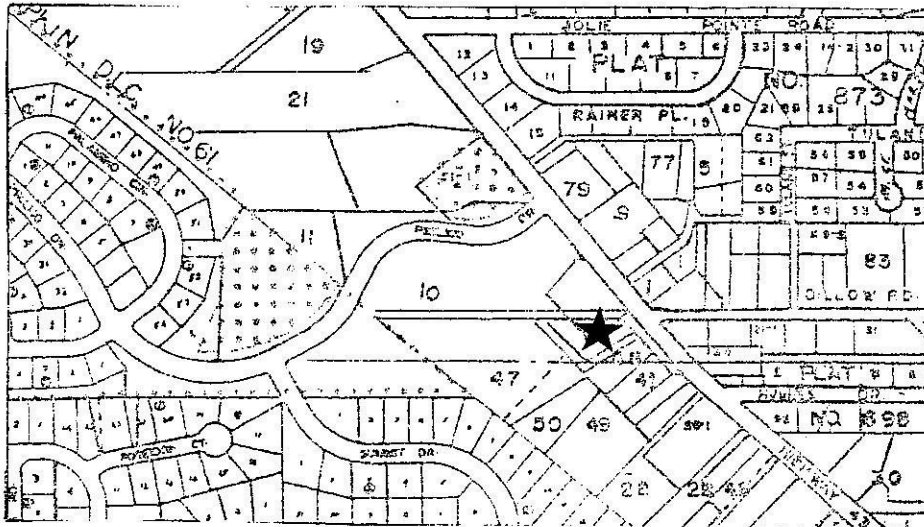


Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: BAUERSFELD HOUSE  
Address: 20685 Willamette Drive

Negative No.: 11  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Magone House	Common Name:
Location: 20725 Willamette Drive	Date of Constuction: 1922
Owner: Robert H. Montgomery	Original Use: Residence
Address: 33605 SE Stevens	Present Use: Residence
Corbett, OR 97019	Arch/Builder:
T/R/Sec: 2/2E/25BA TL: 900	Style: Norman Farmhouse
Addition: D.D. Tompkins DLC #61	Resource Type: Building
Block: Lot:	Theme: Arch.-20th Century
	Condition: Good

Plan Type/Shape: Asymmetrical Number of Stories: 1  
Foundation Material: Concrete/Concrete Block  
Roof Form: Intersecting gables Basement: No  
Roof Material: Composition shingle  
Wall Construction: Wood Structural Frame: Stud  
Primary Window type: 6/1 double-hung sash  
Exterior Surfacing Materials: Wide wood shingles and combed  
brick

Decorative Features: Leaded glass windows; metal hood over  
entrance

Other: End wall chimney; shed-roof dormer

Exterior Alterations/Additions (Dated): None apparent

Noteworthy Landscape Features: Foundation plantings; ivy on  
facade of house; heavily wooded natural area to south of house

Associated Structures:

Setting: Surrounding area is predominantly residential in  
character with scattered small commercial centers along the  
right-of-way. Houses on west side of highway tend to be quite  
large and are sited on large parcels which slope to the east  
toward the highway.

DATE: 4/88

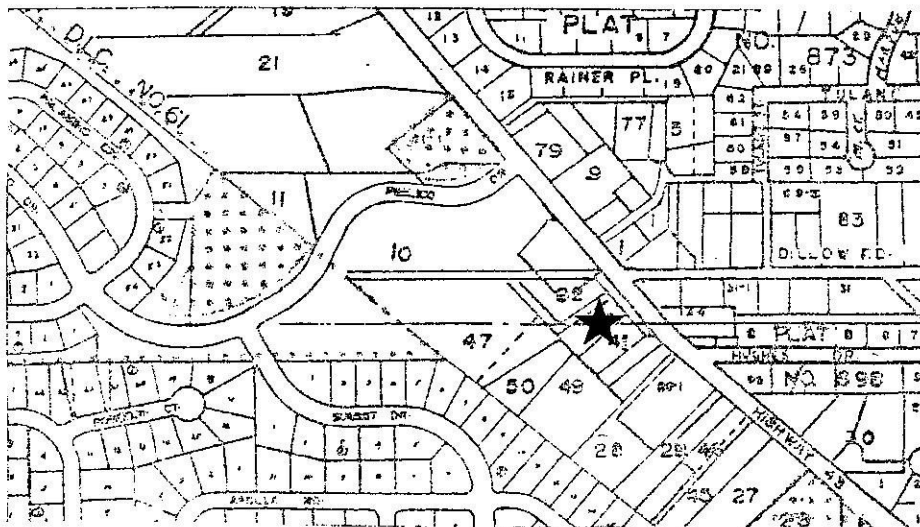
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Magone House  
Address: 20725 Willamette Drive

Negative No.: 12,13  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Batdorf-Buckles                      Common Name:  
Location: 1742 S.W. 7th Avenue                      Date of Construction: c. 1914  
Original Use: Residence  
Owner: Albert Wm. Buckles                              Present Use: Residence  
Address: 1819 S.E. 6th 97068                          Arch/Builder:  
T/R/Sec: 3/1E/02BA                      TL: 1900                      Style: Bungalow  
Addition: Willamette Tracts                          Resource Type: Building  
Block: 51 Lot: 2/3 of S 1/2 of 51                      Theme: Arch.-20th Century  
Condition: Good

Plan Type/Shape: Rectangular                      Number of Stories: 1  
Foundation Material: Concrete                      Basement: Yes  
Roof Form: Low-pitched intersecting gable  
Roof Materials: Composition shingle  
Wall Construction: Wood                              Structural Frame: Stud  
Primary Window Type: Multi-light fixed sash and double-hung sash  
Exterior Surfacing Materials: Varigated shingles

Decorative Features: Gabled single bay front porch with massive square posts and ornamental truss; exposed rafters

Other: Multi-light front door; enclosed back porch

Exterior Alterations/Additions (Dated): Windows replaced (c. 1984)

Noteworthy Landscape Features: Mature Yucca plant in front-yard

Associated Structures:

Setting: Located on the north side of 7th Avenue, a moderately trafficked right-of-way, in center of Willamette commercial area.

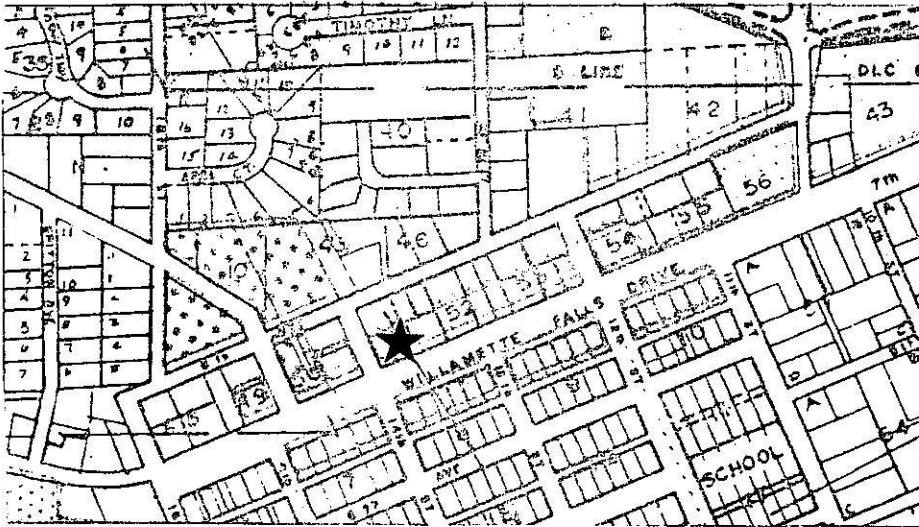
DATED: 4/88  
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Batdorf-Buckles House  
Address: 1742 S.W. 7th Avenue

Negative No.: 8  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name: Werner Residence      Common Name:  
Location: 1352 S.W. 7th Avenue      Date of Construction: c. 1905  
Original Use: Residence  
Owner: Laureen Nicolich      Present Use: Residence  
Address: Same 97068      Arch/Builder:  
T/R/Sec: 3/1E/03AA      TL: 1100      Style: Bungalow  
Addition: Wllmtt. Falls Acre Tract      Resource Type: Building  
Block: G      Lot: 3      Theme: Arch.-20th Century  
Condition: Good.

Plan Type/Shape: Asymmetrical      Number of Stories: 1  
Foundation Material:  
Roof Form: Multi-gable      Basement: No  
Roof Materials: Composition shingles  
Wall Construction: Wood      Structural Frame: Stud  
Primary Window Type: Multi-light casement  
Exterior Surfacing Materials: Varigated shingles flared at  
base of wall

Decorative Features: Knotted rafter ends; bargeboards; exposed  
rafters; encircling porch with river rock bases and battered  
posts; river rock endwall chimney; multi-light front door  
flanked by multi-light sidelights

Other: Multi-light windows flank fireplace

Exterior Alterations/Additions (Dated): None apparent

Noteworthy Landscape Features:

Associated Structures: Gabled one-story garage with attachment  
west of house

Setting: Located on large lot on north side of 7th Avenue. In  
area composed primarily of mid-20th century residences. Seventh  
Avenue is a moderately trafficked right-of-way (Highway 212).

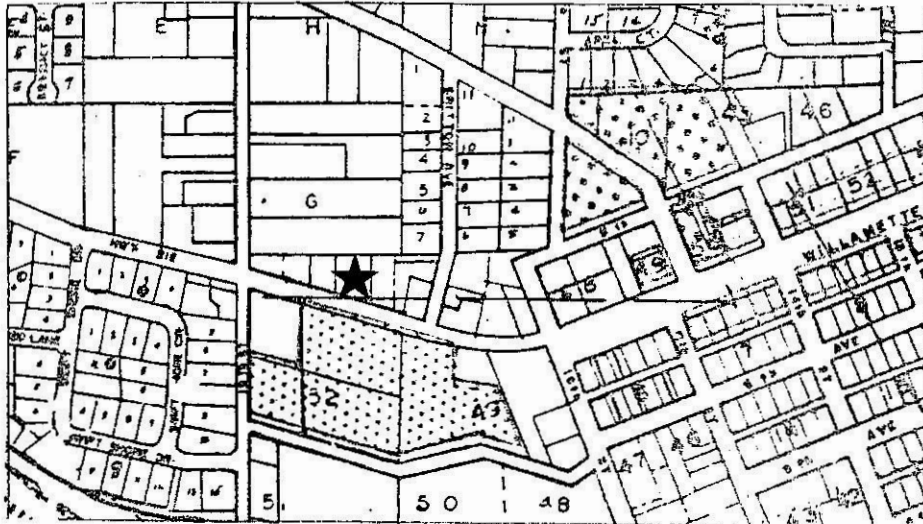
DATE: 4/88  
RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name: Werner House  
Address: 1352 S.W. 7th Avenue

Negative No.: 2  
Slide No.:



Graphic and Photo Sources: City of West Linn Zoning Map, 1983



CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY

Historic Name:	Common Name:
Location: 1832 S.W. 7th Avenue	Date of Construction: c. 1910
Owner: Mildred F. Younge	Original Use: Residence
Address: Same 97068	Present Use: Residence
T/R/Sec: 3/1E/02BA TL: 1200	Arch/Builder:
Addition: Willamette Tracts	Style: Bungalow
Block: 52 Lot: E 1/3 of block	Resource Type: Building
	Theme: Arch.-20th Century
	Condition: Good

Plan Type/Shape: Rectangle	Number of Stories: 1 1/2
Foundation Material: Concrete	
Roof Form: Gable	Basement: No
Roof Materials: Composition shingle	
Wall Construction: Wood	Structural Frame: Stud
Primary Window Type: Double-hung sash with decorative muntins	
Exterior Surfacing Materials: Horizontal lap siding, variegated shingles	

Decorative Features: Massive rafter ends; variegated shingles

Other: Recessed full-width front porch with battered supports and polychrome brick pedestals and balustrade; rectangular bay-window

Exterior Alterations/Additions (Dated): None apparent

Noteworthy Landscape Features:

Associated Structures: Contemporary garage/carport, east of house

Setting: Located on the north side of 7th Avenue, a moderately trafficked right-of-way, in center of Willamette commercial area.

DATE: 4/88

RECORDED BY: Koler/Morrison Consultants

SHPO Inventory #:

CITY OF WEST LINN  
HISTORIC RESOURCE INVENTORY  
GRAPHICS PAGE

Name:  
Address: 1832 S.W. 7th Avenue

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Slide No.:

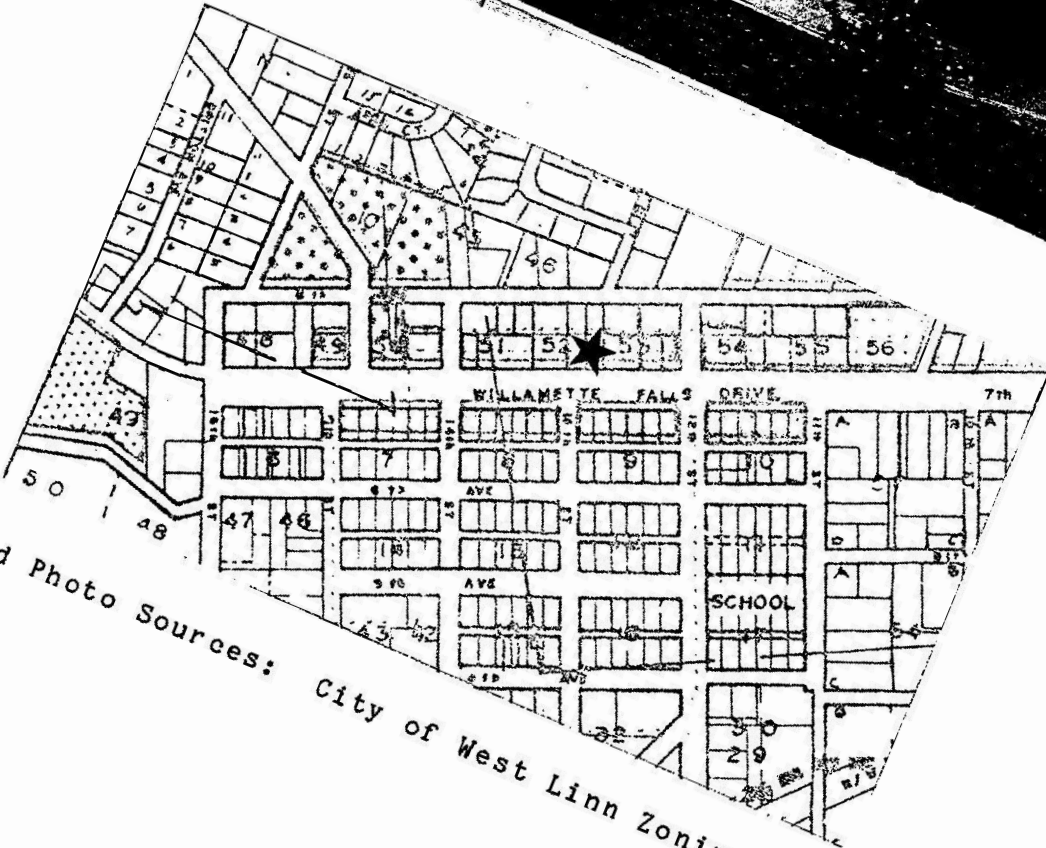


Photo and Photo Sources: City of West Linn Zoning Map, 1983

## INTERGOVERNMENTAL COOPERATIVE AGREEMENT

THIS AGREEMENT is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 1988 by and between the CITY OF WEST LINN, an Oregon municipal corporation (hereinafter "City") and CLACKAMAS COUNTY, a political subdivision of the State of Oregon (hereinafter "County").

W I T N E S S E T H:RECITALS.

1. City and County are desirous of entering into an intergovernmental cooperative agreement whereby County's historic review board would act as the reviewing body for historic preservation projects and application for historic status within the City. The parties acknowledge that the County's historic review board has considerable expertise in this specialized area which would be of benefit to City and would provide a uniform reviewing body.

2. The parties acknowledge that they have authority to execute this cooperative intergovernmental agreement pursuant to the terms of ORS 190.010.

NOW, THEREFORE, the premises being in general as stated in the foregoing recitals, it is agreed by and between the parties hereto as follows:

(1) Delegation to County Historic Review Board. The County historic review board shall serve as the historic review board for City in regard to reviewing historic preservation projects and historic status applications as provided in City's historic landmark's ordinance. City shall appoint two residents of City to serve as additional voting members of County's historic review board when that review board serves as the historic review board for City.

(2) Staff Report. It is contemplated that City staff would in most cases process applications and present them to the historic review board. City staff may also be involved in writing grant requests for certified local government funds for City projects. In the event that County staff time is required for these purposes, City shall pay County a fee for service, basis for such services rendered.

(3) Amendment Provisions. The terms of this agreement may be amended by mutual agreement of the parties. Any amendments shall be in writing and shall refer specifically to this agreement, and shall be executed by the parties.

(4) Termination. This agreement may be terminated by either party by providing thirty days prior written notice of such termination.

(5) Effective Date of Agreement. The effective date of this agreement shall be the day following the date of the last signature of a party to this agreement.

(6) Written Notice Addresses. All written notices required under this agreement shall be sent to:

City: City Administrator  
City of West Linn  
P.O. Box 48  
West Linn, OR 97068

County: Chief Executive Officer  
906 Main Street  
Oregon City, OR 97045

IN WITNESS WHEREOF, the parties have set their hands and affixed their seals as of the date and year hereinabove written.

The City of West Linn has acted in this matter pursuant to Resolution No. \_\_\_\_\_, adopted by the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 1988.

Clackamas County has acted in this matter pursuant to Order No. \_\_\_\_\_, adopted by its Commissions on the \_\_\_\_\_ day of \_\_\_\_\_, 1988.

CITY OF WEST LINN, by and  
through its city officials

By: \_\_\_\_\_  
Mayor

By: \_\_\_\_\_  
City Recorder

CLACKAMAS COUNTY, by and through  
its Board of Commissioners

By: \_\_\_\_\_  
Chair: Ed Lindquist

By: \_\_\_\_\_  
Commissioner: Dale Harlan

By: \_\_\_\_\_  
Commissioner: Darlene Hooley

**CITY OF WEST LINN**

**PERIODIC REVIEW ORDER**

**JANUARY 1989**



WEST LINN

HISTORIC LANDMARKS

PERIODIC REVIEW

SEPTEMBER, 1988



## WEST LINN HISTORIC LANDMARKS

West Linn is fortunate to have a number of historic resources worthy of preservation. The Willamette Falls Locks and the City owned McLean House (5350 River Street) are on the National Registrar of Historic places, and protected under this Federal program. The City has established the Willamette Historic District for an eight-block area previously platted in 1883 as the Town of Willamette Falls. Structures within this district are protected through Standards of Design.

In March, 1984, Clackamas County completed the "Cultural Resources Inventory, Book V," which included a survey and inventory of cultural and historic resources for West Linn. This survey identified resources that were both within the Willamette Historic District and, therefore, protected and several resources located outside the district which lacked preservation measures. The background information, proposed plan policies and code amendments that follow, represent a review of the Clackamas County Cultural Resources Inventory and establishes policies and implemented measures for significant historic landmarks located outside of the Willamette Historic District.

- EXHIBIT A: KOLER/MORRISON HISTORIC RESOURCE UPDATE REPORT
- EXHIBIT B: CLACKAMAS COUNTY CULTURAL RESOURCES INVENTORY
- EXHIBIT C: HISTORIC RESOURCE INVENTORY MASTER LIST
- EXHIBIT D: CULTURAL RESOURCES EVALUATION FORM
- EXHIBIT E: HISTORIC RESOURCES INVENTORY OF SELECTED PROPERTIES
- EXHIBIT F: HISTORIC RESOURCE INVENTORY STATEMENTS OF SIGNIFICANCE
- EXHIBIT G: NATIONAL REGISTER OF HISTORIC PLACES INVENTORY AND NOMINATION FORM FOR 4891 WILLAMETTE FALLS DRIVE
- EXHIBIT H: LETTER TO AFFECTED PROPERTY OWNERS
- EXHIBIT I: FLYER ON HISTORIC PRESERVATION (ENCLOSED WITH LETTER TO AFFECTED PROPERTY OWNERS)
- EXHIBIT J: PROPOSED COMPREHENSIVE PLAN POLICIES
- EXHIBIT K: PROPOSED COMMUNITY DEVELOPMENT CODE AMENDMENT FOR HISTORIC LANDMARK PRESERVATION
- EXHIBIT L: CLACKAMAS COUNTY HISTORIC REVIEW BOARD AGREEMENT

HISTORIC RESOURCE UPDATE

CITY OF WEST LINN, OREGON

by

Koler/Morrison Preservation and Planning Consultants  
P.O. Box 592  
Oregon City, Oregon 97482

Prepared for

The City of West Linn

1988

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    Statements of Significance . . . . . B-1

## INTRODUCTION

This report presents the findings of an update of historic resources in the City of West Linn and preliminary development of protective measures for significant resources. It was conducted from March 1988 through June 1988 by Koler/Morrison Historic Preservation and Planning Consultants, Portland, Oregon, under contract with the City of West Linn.

The project provides an updated data base for the ongoing management of the City's historic resources.<sup>1</sup> It also facilitates compliance with state land use law, which requires identification and protection of significant historic resources.

The inventory is a major step toward encouraging the preservation of historic resources for the benefit of present and future generations of West Linn citizens. When integrated with additional planning information, the data will be useful in guiding the development of the community including: identification and preservation of local landmarks, historic districts, and creation of a preservation plan to guide ongoing preservation activities.

Properties which were added to the existing inventory in the course of this project should be included in the Statewide Inventory of Historic Sites, the pool from which nominations to the National Register of Historic Places are drawn. The National Register is the official list of the nation's historic resources worthy of preservation. It is maintained by the National Park Service and may include any building, site, object, structure, or district of local, state, or national significance, as measured against specific criteria.

Listing in the National Register in and of itself does not impose any restrictions on property owners. It is simply federal recognition that a property is worthy of preservation and it assures some measure of protection from adverse effect by Federally funded projects. The Register is a planning tool which attempts to take into account historic resources prior to initiation of federal projects which change the environment. State and local laws and ordinances that establish landmark commissions, special design review committees, restrictive zones, and so forth are not part of the National Register program. They have a separate and distinct function from the National Register, which is a planning tool for use by federal agencies.

This project represents the first update of historic resources in

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<sup>1</sup>Archaeological resources are not included in this inventory.

the City of West Linn. It consisted of five major phases: review of the existing inventory, identification of additional resources, basic historic and architectural research on all resources, task force evaluation of resources, and ordinance review and revision. In the first phase, March 1-8, the Clackamas County Inventory of Cultural Resources was reviewed for adequacy and accuracy. Phase two began on March 14, 1988 and was completed on April 29, 1988. During this period a windshield survey<sup>2</sup> was conducted and ten new properties were identified and added to the existing inventory. Coinciding with this survey, a literature search was conducted to identify repositories of historical information.

The third phase of the project consisted of documenting architectural descriptions and historical information for each identified resource as well as updating information on existing inventoried properties. For methodology used to research and document resources, see Methodology Section. During the fourth phase properties were evaluated by a citizen task force and the final report and inventory forms were completed. In the fifth phase the existing historic preservation ordinance was reviewed and additional ordinance provisions were recommended.

This report consists of four sections and appendices. The introduction is followed by section two which describes the methodology used to conduct the survey and inventory as well as the evaluation techniques used to rank properties. The third section consists of a synthesis of the findings and section four is recommendations.

Inventory forms for the new properties are appended which are followed by the statements of significance for all inventoried properties.

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<sup>2</sup>A visual reconnaissance, conducted by car, to identify architecturally interesting resources.

## METHODOLOGY

The City of West Linn Historic Resource update was conducted by Julie Koler, Jane Morrison, and Dana Koler, of Koler/Morrison Historic Preservation and Planning Consultants, Portland, Oregon. Ms. Koler served as the project manager. Trained as a historian with specialty in cultural resource management, she has been conducting survey and inventory work throughout the Northwest since 1981. Her primary responsibilities included identification of resources, research, and evaluation. Ms. Morrison assisted in writing architectural descriptions, photographing resources, and ordinance review. Mr. Koler was responsible for basic historic research on all the properties.

The study area lies entirely within the City's urban growth boundary, excluding the Willamette Historic District which is protected under the existing ordinance. The inventory consists of buildings that possess historic and/or architectural significance. All inventoried properties were evaluated to determine potential for local landmark designation. The project, which began in March 1988, and was completed in June 1988, consisted of five major phases.

Phase one consisted of reviewing the Clackamas County Cultural Resource Inventory which was conducted in 1984.<sup>3</sup> Thirty-five resources were included in that inventory: thirty-one buildings, one industrial complex (James River Corp.), two structures (the Oregon City-West Linn Bridge and the Willamette Falls Locks) and the Camassia natural area. Of these resources five were excluded including the bridge which is state-owned, the natural area which is dealt with under a separate state-wide planning goal, two properties which are on the National Register of Historic Places (Willamette Locks and 4891 Willamette Falls Drive) and one building which was destroyed by fire (1672 7th Avenue). On-site visits were made to the remaining properties to determine if they retained sufficient physical integrity to warrant local landmark designation. Six properties were removed from the list due to extensive alterations (2047 Oak, 4609 Riverview, 4703 Riverview, 2590 Warwick, 2692 Warwick, 6533 Portland Avenue, and 4805 Willamette Falls Drive).

Following this initial review the properties were reviewed a second time to determine what, if any, additional data was

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<sup>3</sup>All buildings within the boundaries of the Willamette Historic District were excluded from this study.

required in order to evaluate the resource. In most instances the properties had insufficient historical information.

Phase two began with a windshield survey which consisted of driving throughout the study area in order to identify properties constructed prior to 1938 which are of architectural and/or historical significance and which were not included in the initial inventory. Buildings with extensive alterations and/or additions were not included. Ten new properties were added to the inventory.

Basic research for each identified resource was also conducted during this phase which began in April and was completed in June. Primary and secondary source materials were consulted including Ticor Title Co. records, Sanborn Insurance maps, business directories, newspapers, and photographs. Photographs were taken and a physical inspection and written description of each new resource was completed.

When all data had been accumulated a statement of significance was written for each property. The number, type, and quality of each resource was examined and a summation of each resource's architectural and/or historical merit was completed.

In phase four all properties were evaluated by the Citizen Task Force. A number of task force members visited the sites prior to the evaluation which consisted of viewing slides of each resource and working from the updated survey forms and statements of significance. Evaluation was based on the system used in San Francisco by Charles Hall Page and Associates, Inc., for the Foundation of San Francisco's Architectural Heritage (Splendid Survivors, 1979). This system was also used in the Josephine County Historical Resource Inventory 1983-1984, conducted by Kay Atwood, and the Portland Historic Resource Inventory 1982, coordinated by Virginia Guest Ferriday. Koler/Morrison Consultants have used this system in the cities of Independence, Newberg, Beaverton, Seaside, Roseburg, Milwaukie, and Monmouth, Oregon as well as Yamhill and Clackamas counties, Oregon.

Criteria for evaluation are based on those established by the National Park Service for inclusion in the National Register of Historic Places. The criteria fall into three broad categories: historical significance, architectural significance, and environmental significance. Each of these is in turn broken into sub-categories which are considered separately.

The criteria within the three general categories were rated using a four level scale. The scale differed slightly for each category but basically corresponded with the following: Excellent; Very Good; Good; or Of little Interest. A progression of numerical values were assigned to each of the above ratings for each separate criteria. While the basic rating of Excellent,

Very Good, Good, or Of Little Interest were used for each criteria, the numerical values differed. Historical significance had thirty (30) possible points, architectural significance had thirty-five (35) possible points, and environmental significance had twenty-one (21) possible points. Based on total cumulative points, each resource was placed in one of the following categories:

1. Primary Significance: Individually the most important resources in the city, distinguished by outstanding qualities of architecture, historical association, and relationship to the environment. Highest priority for local landmark designation. Some may be potentially eligible for the National Register.

2. Contributory Significance: Resources which provide the setting for more important buildings and/or which add richness and character to the neighborhood; properties associated with people or events of secondary importance or which illustrate particular periods in the development of the city. These resources are of secondary importance for landmark designation.

In the final phase of the project the consultants reviewed the existing historic preservation ordinance. Because the ordinance dealt only with resources in the Willamette Historic District it was revised to include individual landmarks throughout the city. During this phase the City initiated discussion with Clackamas County regarding the development of a joint city-county Historic Review Board.



## FINDINGS

Forty-five resources are included in this Inventory including thirty-nine residences, two commercial buildings, two public buildings, one industrial complex and one barn. The majority of the buildings date to the period 1900 to 1930. Thematic associations are as follows:

Architecture	44
Agriculture	1
Education	1
Commerce	2
Manufacturing/Industry	1
Government	1
Health/Medicine	1

The city of West Linn is notable for a rich concentration of historic resources, particularly those found in the Willamette Historic District. There are numerous other resources, however, scattered throughout the city which individually represent important elements of the city's history and architectural development. There are few "pure" examples of architectural styles in the residential buildings represented here. People did not generally hire architects nor did they buy expensive plans. Most residences were constructed by local carpenters who probably worked from designs found in pattern books and other publications such as the Craftsman Magazine. Many of the buildings are hybrids, incorporating features of a variety of different styles. For the purpose of this inventory buildings are categorized by style based on the most prominent feature.<sup>4</sup>

In the late 19th century improved transportation made standard building materials, including mass-produced decorative elements, readily available to builders in West Linn. At the same time mail order house material and pattern books were becoming more widespread in use, resulting in increased standardization of styles and more elaborate detailing. Styles common to the period which reflect the improved transportation system are the Queen Anne, Eastlake, and Stick styles. As noted above there are few pure examples of these styles in the study area; however, there

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<sup>4</sup>All styles are based on guidelines established by the State Historic Preservation Office.

are a number of houses which exhibit a combination of features representing several different styles. Among these are the houses at 4708 Riverview and 1850 Buck Street.

A wide variety of architectural styles were popular in the early years of the 20th Century from a continuation of the exuberant and romantic Victorian building types to a return to classicism as illustrated in the Colonial style McLean House (5350 River Street). The emergence of the ubiquitous Bungalow style also took place during this time. This style was popularized throughout the nation by trade magazines, especially The Craftsman, published by Gustav Stickley from 1901 to 1916. Stickley, influenced by the English Arts and Crafts movement, advocated fine craftsmanship, structural honesty, and the use of natural materials. The Bungalow ethic also promoted clean living and good health. Many companies offered pre-cut houses which could be delivered by rail and constructed on arrival. Characteristic elements of the style are low-pitched gable roofs with deep eaves, exposed rafters, and decorative purlins and braces. The Batdorf-Buckles House (1742 S.W. 7th Avenue) and the Werner House (1352 S.W. 7th Avenue) represent two good examples of the style.

One of the finest concentrations of 20th Century residential building is found on Holly and Grove Streets. This area is notable for the consistent scale and uniformity of its buildings and landscape features, most of which date to the late thirties and early forties. The area was not included in the current update because the buildings are not within the historic period (up to 1938).

Another area of interest is Buck Street south of the Bolton Elementary School. It consists of a number of turn-of-the-century houses, generally small "worker's cottages", which were constructed to house people who came to work in the local mills. Although many buildings have been altered, to varying degrees, most have retained some amount of physical integrity and contribute to the overall charm and "sense of place" within this unique area. The most common alterations are changes to windows and replacement of original siding material.

Other styles represented in this inventory include the Arts and Crafts style illustrated in the elegant house at 5495 Grove Street; the picturesque English Cottage and Norman Farmhouse, as seen in 5575 River Street and 20725 Willamette Drive respectively; and a handsome representative of the Mediterranean style at 20375 Willamette Drive. There are a number of these "20th Century Revival Styles" which were not included in this inventory because they are less than fifty years old; however, they should be reviewed for possible inclusion in the next update.

## RECOMMENDATIONS

West Linn has a number of fine examples of late 19th and early 20th Century architectural styles represented in buildings located throughout the city. Thirty of these buildings (including the house at 4891 Willamette Falls Drive which is currently listed on the National Register of Historic Places) are recommended for local landmark designation:

1. 4600 Alder
2. 1448 Buck Street
3. 1562 Buck Street
4. 1646 Buck Street
5. 1690 Buck Street
6. 1615 Buck Street
7. 1850 Buck Street
8. 1739 Dollar Street
9. 5495 Grove Street
10. 5350 River Street
11. 5575 River Street
12. 4708 Riverview
13. 4742 Riverview
14. 5797 Robert Moore
15. 4918 Summit Road
16. West Linn High School--West "A" St.
17. 20375 Willamette Drive
18. 20685 Willamette Drive
19. 20725 Willamette Drive
20. 22825 Willamette Drive
21. 22830 Willamette Drive
22. 22840 Willamette Drive
23. 21420 Willamette Drive
24. 4835 Willamette Falls Dr.
25. 4845 Willamette Falls Dr.
26. 4865 Willamette Falls Dr.
27. 4891 Willamette Falls Dr.
28. 1352 7th Avenue
29. 1742 7th Avenue
30. 1832 7th Avenue

Also of note is the Holly-Grove Street area (see Findings), which appears potentially eligible for local district designation. In addition there are a number of resources, including the Willamette Historic District, which appear to meet National Register Criteria. These include 5350 River Street, 5495 Grove Street, 21420 Willamette Drive, and possibly the large Craftsman houses on Willamette Falls Drive. The City should pursue nomination of these important resources. Listing on the National Register would benefit both the individual property owners and the city at large.

The City of West Linn should proceed as soon as possible with measures to protect and preserve its significant historic resources. The City can realize these goals by adopting preservation policies to serve as a guide for future preservation activities and implementing them through preservation programs. The public information elements of such programs are equally if not more important than the regulatory aspects.

Although protection of the Oregon City-West Linn Bridge is not the City's responsibility it is nonetheless an important part of local history. Task Force members expressed a great deal of interest in organizing a "Friends of the Bridge" committee to foster community appreciation and recognition of this prominent landmark. Components of such a program might include restoration of original lighting standards and restrooms. City leadership regarding issues such as this could be an important element of a progressive preservation program.

Future programs should also focus on the vital role that the Crown-Willamette Mill (James River Corp.) has played in the development of the community. This extensive complex was categorized as a 1B in the evaluation. Intensive research, outside the scope of this project, is necessary in order to fully document and evaluate the significance of this large industrial complex.

The City should consider revising the existing inventory forms to conform with those currently required by the State Historic Preservation Office. The new properties inventoried in this update are documented on this form. Future updates should also use this format.

The City may qualify for Certified Local Government (CLG) status. This program is administered by the State Historic Preservation Office and makes available funds which can be used for financing basic preservation projects as well as special projects such as those described above. The enclosed brochure outlines the benefits and responsibilities of a Certified Local Government.