Youth Music Project

West Linn, Oregon

An Application For: Conditional Use Permit Class II Design Review

Class II Design Review Submitted November 12, 2013

Supplemental Information

In response to November 26 Letter: City of West Linn List of Incomplete Items Submitted December 23, 2013

Applicant:

Marie Lamfrom Charitable Foundation

2015 8th Avenue, Suite 202 West Linn, OR 97068

Phone: (503) 616-5967 Contact: Charles Lewis

Prepared by:

Siteworks Design|Build

1255 NW 9th Ave, # 17 Portland, Oregon 97209 Phone: 503-230-2337

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Lic/bond/ins CCB# 113920

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P4.1 EROSION CONTROL NOTES AND DETAILS

I. INTRODUCTION

General Information

Applicant: Marie Lamfrom Charitable Foundation

2015 8th Avenue, Suite 202 West Linn, OR 97068 Phone: (503) 616-5967 Contact: Charles Lewis

Property Owner

Marie Lamfrom Charitable Foundation

2015 8th Avenue, Suite 202 West Linn, OR 97068 Phone: (503) 616-5967 Contact: Charles Lewis

Applicant's Representative Siteworks Design|Build

1255 NW 9th Ave.
Portland, OR 97209
Phone: (503) 230-2337
Contact: Jessamyn Griffin

Jessamyn@siteworksportland.com

Tax Lot Information: Tax Lot 0100 on Map 31E02BA0

Location: NW Corner of Willamette Falls &

10th Street West Linn, Oregon

Current Zoning Districts: Mixed Use (MU)

Project Site Area: +/-0.94 acres



II. SUMMARY OF RESPONSE

The applicant is seeking Conditional Use, Enlargement/Alteration to a Non-conforming Structure and Class II Design Review approval to allow for revisions to the existing Youth Music Project building and site, located at Willamette Falls and 10th Street in West Linn. In response to the City of West Linn list of Outstanding Items required for Design Review approval, the enclosed documents, narratives, and supplemental material are provided, arranged in the order outlined in the November 26, 2013 West Linn Incomplete List, and by West Linn CDC Section Number:

99.038 (E)

Submit all neighborhood meeting materials listed in this section

Response:

See Attachment A – Neighborhood Materials:

- Copy of letter to president of neighborhood association & property owners
- Affidavit of mailing and mailing list containing names and addresses of owners/residents (have list, still need to make affidavit)
- Copy of posted notice at property
- Copy of Neighborhood Meeting presentation
- Copy of Meeting minutes
- Audio tape of meeting (enclosed / attached on delivery)

58.090(C)(1)(a)

The building is not conforming to this provision; the changes will make it less non-conforming but still non-conforming.

- Please apply for a permit to Enlarge/Alter a Non-Conforming Structure for a \$3,000 fee,
- Responding in narrative form to Section 66.080(B). This must be done concurrently with the CUP/DR application as they regard the same proposed changes.

Response:

- See Attachment B Development Review Application Form
- See Enclosed Section III Narrative Response: Permit to Enlarge / Alter a Non-Conforming Structure
- \$3,000 Application fee (enclosed / attached on delivery)

58.090(C)(8)

The plan adds a new gable in front. This does not conform to this section. The building front and rear is already non-conforming to this section, so this can be addressed in the Non-Conforming permit discussed in the previous item. But adding an additional gable would increase the non-conformity, so a Class II Variance is necessary (\$2,900 fee and responding to 75.060 criteria). Alternately the plans could be changed so the addition does not have a gable, e.g. giving it a flat or hip roof compatible with Chapter 58 criteria.

Response:

- See Attachment B Development Review Application Form
- See Enclosed Section V Narrative Response: Class II Variance
- \$2,900 Application fee (enclosed / attached on delivery)

60.070(A)(1)(a & b)

Respond to these criteria specifically, since they touch on the effects of new additions more than the other 60.070(A) criteria.

Response:

 See Enclosed Section III – Narrative Response: Permit to Enlarge / Alter a Non-Conforming Structure

60.080(B)(1)

Provide the subdivision name, block, and lot number or the section, township, range, and tax lot number on the site plan.

Response:

See Attached Attachment C – Site Plan
Please Note: Per city of West Linn files, no such documentation exists for subdivision name,
block, township or range. The following was available and has been added to enclosed Site
Plan: "Willamette tracts, MAP# 31E02BA TAX LOT 100"

55.100(A)(9)

Regardless of compatibility issues, differing from the sign regulations of Chapter 58 also requires a variance. This would be a Class I Variance. Unless you were to alter or no longer propose the signs, please pay the \$825 Class I Variance fee and respond to the 75.060 criteria with respect to this issue also.

Response:

- See Attachment B Development Review Application Form
- See Enclosed Section IV Narrative Response: Class I Variance
- \$825 Application fee (enclosed / attached on delivery)

55.100(A)(10)

The parking lot landscaping is non-conforming and is proposed to be changed in a way that makes it still non-conforming, but less so. Like what was discussed for 58.090(C)(1)(a) above, this requires the permit to Enlarge/Alter a Non-Conforming Structure. It can be covered under the same application and related fee for this permit, under which the 58.090(C)(1)(a) issue is covered (meaning you only need to apply for one permit to Enlarge/Alter etc. even though this will cover more than one issue).

Response:

- See Attachment B Development Review Application Form
- See Enclosed Section III Narrative Response: Permit to Enlarge / Alter a Non-Conforming Structure

55.100(B)(6)(e)

The permit to Enlarge/Alter a Non-Conforming Structure should also cover this issue because this is another section for which the building will be changed to be more conforming, but will still be non-conforming.

Response:

See Attachment B - Development Review Application Form

 See Enclosed Section III – Narrative Response: Permit to Enlarge / Alter a Non-Conforming Structure

55.120(G)(7)

Put sign locations on site plan (i.e. indicating on building footprint edge where they will be, etc.).

Response:

• See Attachment D – Landscape Drawings: L1.2 Site Plan

55.130(B)

Put engineering stamp on grading plan to show that it is prepared by registered civil engineer. Have engineer provide data statement as described in this section.

Response:

See Attachment C – Engineering Submittal:

- Property Drainage Memo
- Civil Engineering Data Statement

See Attachment E – Civil Drawings:

- P4.0 Stamped Erosion Control Plan
- P4.1 Erosion Control Notes and Details

ENGINEERING

Submit a storm drainage report. Since the building is being expanded, new impervious area must be included in the report.

Response:

See Attachment C – Engineering Submittal:

- Property Drainage Memo/Storm Drainage Report
- Civil Engineering Data Statement

See Attachment E – Civil Drawings:

- P3.0 Storm Drain Plan
- P3.1 Storm Drain Notes and Details

TRAFFIC

Address that there will be no more traffic in relation to previous approval.

Response:

Changes to Design Review Submittal not required, per below considerations:

- Zero increase in planned enrollment / attendance = Zero increase in traffic.
- Proposed Additions to Building Area are vestibules only, and do not add to existing Building Occupancy.

III. NARRATIVE – PERMIT TO ENLARGE / ALTER NON-CONFORMING STRUCTURE

CDC Section: 60.070(A)(1)(a & b) – Conditional Use Approval Standards and Conditions – Adequate area for needs of proposed use and for aesthetic design treatment to mitigate possible adverse effect from the use on surrounding properties and uses.

Issue: The effect of New Additions on Conditional Use Approval

Response: The design under review proposes an enhancement and functional upgrade to the building exterior and surrounding landscape of the Youth Music Project, with no change or addition to its existing approved use. As such, the design proposes not merely to conform, but to improve upon the conditions listed in this section.

60.070(A)(1)a – 'Adequate area...': The proposed design improves this standard by providing improved and increased site access, function, circulation, ADA compliant entry paths and parking stalls, new entry vestibules providing safe public access and clear, identifiable entry points for students and visitors, and new secure outdoor areas for better student and staff use.
60.070(A)(1)b – 'Aesthetic design treatment to mitigate effect on surrounding properties and uses...': Current effects of the existing building and site on surrounding properties can be described as aloof and under-utilized, resulting in an unwelcoming end-piece to an otherwise vibrant Willamette Falls Drive streetscape. The proposed design solves this dilemma and improves upon the approval standard by providing increased landscaping, sculpture/art installations, exterior plazas, contextually respectful porticoes, enhanced entries, and improved exterior paint colors to provide a stronger, more positive community identity for the institution, re-connecting its streetscape to the neighborhood and anchoring its presence as a positive addition and cultural amenity to the Willamette Falls Drive Commercial District.

The proposed design has received unanimous approval from the Willamette Neighborhood Association in their August 14, 2013 meeting.

CDC Section: 58.090(C)(1)(a) – Willamette Falls Drive Commercial District Design Standards: Dimensional Standards: Front: zero-foot setback.

Issue: "The building is not conforming to this provision; the changes will make it less non-conforming but still non-conforming."

Response (Section 66.080(B)): The Design subject to review proposes an enlargement to an existing non-conforming structure containing a conforming use. Under Section 66.080(B)(2) "The enlargement, in and of itself, does not meet all provisions of the code...will not change the non-conformity, (but) all other applicable ordinance provisions will be met." The existing structure, designed and built prior to the implementation of the Design Standards, is set back substantially and at an angle from its street frontage along Willamette Falls Dr. Its existing entrance at this street frontage is currently under-emphasized and denies any sense of presence or identity to the streetscape. While not shifting this frontage up to the zero-foot setback standard, the proposed design follows the intent of the Standard and brings the building closer to conformance by enhancing the sense of entry and greatly improving the pedestrian experience, safety, and access

to the entrance at this façade with a gabled portico and improved landscape features and pathways that meet current building and accessibility code, and contextually respect the building's existing architecture (55.100.B.6).

CDC Section: 55.100(A)(10) – Class II Design Review Approval Standards – Landscaping, per CDC Chapter 54

Issue: "The parking lot landscaping is non-conforming and is proposed to be changed in a way that makes it still non-conforming, but less so."

Response: The Design under review proposes to modify the existing parking lot and landscaping. Under Section 66.080.B.2: "If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards. a. The enlargement or alteration will not change the non-conformity; and all other applicable ordinance provisions will be met". The existing parking area landscaping has been modified to respond to new requirements of access to the building. The parking spaces on the south edge of the lot are proposed to be flipped closer to the building and the slope of the parking lot reduced by adding a curb wall and hedge set back from the sidewalk. The proposed adjustments to the parking landscape include decreasing paved area in order to increase the landscaping around the parking lot by approximately 1,500 sf, adding a 24" wide planter/buffer strip along 8th avenue, replacement of rock fill with trees and plantings at ROW, and new trees along west parking/property line.

Per Section 54.020.E.3.a the requirement is: "The landscaping shall be located in defined landscaped areas which are uniformly distributed throughout the parking or loading area. There shall be one shade tree planted for every eight parking spaces. These trees shall be evenly distributed throughout the parking lot to provide shade. Parking lots with over 20 spaces shall have a minimum 10 percent of the interior of the parking lot devoted to landscaping. Pedestrian walkways in the landscaped areas are not to be counted in the percentage. The perimeter landscaping, explained in subsection (E)(3)(d) of this section, shall not be included in the 10 percent figure. Parking lots with 10 to 20 spaces shall have a minimum five percent of the interior of the parking lot devoted to landscaping. The perimeter landscaping, as explained above, shall not be included in the five percent. Parking lots with fewer than 10 spaces shall have the standard perimeter landscaping and at least two shade trees. Non-residential parking areas paved with a permeable parking surface may reduce the required minimum interior landscaping by one-third for the area with the permeable parking surface only." Landscape areas and stormwater mitigation structures are being added to partially conform to the interior parking lot standards, however the location of the existing structure renders it impractical to provide the minimum square footage of interior landscape and parking lot trees. The improvements will greatly improve the landscape quality of the site, buffering of the parking to the street, and greatly reduce the surface runoff characteristics of the site.

Per Section 54.020.E.3.b "The landscaped areas shall not have a width of less than five feet" The width requirements of the parking lanes, pathways and existing structures do not allow for a full five foot width of the buffer. However the landscape areas are maximized and greatly improve the quality and amount of landscaped areas where feasible.

Per Section 54.020.E.3.c: "The soils, site, proposed soil amendments, and proposed irrigation system shall be appropriate for the healthy and long-term maintenance of the proposed plant species." The design complies with this requirement.

Per Section 54.020.E.3.d: "A parking, loading, or service area which abuts a street shall be set back from the right-of-way line by perimeter landscaping in the form of a landscaped strip at least

10 feet in width." The width of the new buffer along the north edge of the site is less than 10 feet in width. The proposed buffer is 4.75 feet in width and contains a proposed hedge to fill to 3 feet in height with vegetative groundcover. Due to limitations indicated above the width is less than 10' but provides an improved buffer condition to the existing condition. Street trees are added outside the sidewalk at a spacing of less than 50'.

Per Section 54.020E.3.d. "If over 50 percent of the lineal frontage of the main street or arterial adjacent to the development site comprises parking lot, the landscape strip between the right-of-way and parking lot shall be increased to 15 feet in width and shall include terrain variations (e.g., one-foot-high berm) plus landscaping. This extra requirement only applies to one street frontage." The existing site is bordered on three sides by streets. The main street frontage (along Willamette Falls Drive) is comprised of the upper building entry elevation and landscaping. The arterial street frontage (along 10th St.) is comprised of the side building elevation and landscaping, although the parking lot here does not exceed 50% of the lineal frontage, a proposed 25' wide landscape berm/buffer at the corner of 10th St. and 8th Ave, would contribute to the overall parking lot buffering and help to bring the site into better general compliance with these requirements.

Section 54.020.E.3.f "A parking, loading, or service area which abuts a property line shall be separated from the property line by a landscaped area at least five feet in width and which shall act as a screen and noise buffer, and the adequacy of the screen and buffer shall be determined by the criteria set forth in CDC $\underline{55.100}(C)$ and (D), except where shared parking is approved under CDC $\underline{46.050}$. For the width limitations indicated above the 5 foot minimum is not attained but the intent of the buffer requirement is provided.

The remaining sections of the 54.020 Approval criteria are not related to the parking lot, or have been met by the proposed design.

CDC Section: 55.100(B)(6)(e) – Class II Design Review Approval Standards – Relationship to the natural and physical environment – Architecture – Window percentage at main front elevations of commercial and office buildings

Issue: "this is another section for which the building will be changed to be more conforming, but will still be non-conforming."

Response (Section 66.080(B)): The Design subject to review proposes an alteration to an existing non-conforming structure containing a conforming use. Under Section 66.080(B)(2) "The enlargement, in and of itself, does not meet all provisions of the code...will not change the non-conformity, (but) all other applicable ordinance provisions will be met." Existing conditions of the building do not meet the requirements for Commercial or Office building window design, however the proposed design upgrades the building closer to conformance by including new windows at both entry additions to better engage the streetscape and pedestrian level. Clear glazing is proposed for typical new windows. New stained glass windows proposed at south side elevation along Willamette Falls Drive in reference to the building's original use as a church and to increase the visual interest and attractiveness of the building.

IV. NARRATIVE - CLASS I VARIANCE

CDC Section: 55.100(A)(9) – Class II Design Review Approval Standards – Signs, per CDC Chapter 52

Issue: "Regardless of compatibility issues, differing from the sign regulations of Chapter 58 also requires a (Class I) variance."

Response: The applicant requests approval for three wall mounted signs, all of which comply with the 10% max sf. ft. of the relative building elevation. The applicant requests a variation from the sign type-face requirements. The strict adherence to Section 52.210.K *Signs in the Willamette Falls Drive Commercial District* should not apply, as it would not suit compatibility with the existing architectural style. The applicant is requesting approval for new signage based on complimenting the architecture of the existing building, and identity of the Youth Music Project.

Per Variance Approval Standards 75.060:

- A. "Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this code, topography, or other circumstances over which the applicant has no control."
 - Response: The existing siting, massing, and architectural style of the building differs significantly from other properties in the Willamette Falls Drive Commercial District, from which the Design Standards are derived, posing an "exceptional or extraordinary circumstance…over which the applicant has no control". In order to remain compatible with the architectural style of the building, the proposed signage type-face differs from the strict requirements in Section 52.210.K to a more immediately contextual style, while conforming with all other signage standards.
- B. "The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity."
 - **Response:** The proposed design applies to this standard insofar as it requests the ability to post signage and identify the property use to the same quantitative extent as that enjoyed by surrounding properties, and to provide signage which is compatible with its supporting architecture.
- C. "The authorization of the variance will not be materially detrimental to the purposes and standards of this code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan."

 Response: The proposed design meets all other standards of Section 52, 58, and the CDC, differing from the standards only in its typeface, which will be more compatible with the supporting architecture of the building.
- D. "The variance request is the minimum variance which would alleviate the exceptional and extraordinary circumstance."
 - **Response:** The proposed design meets all other standards of Section 52, 58, and the CDC, differing from the standards only in its typeface, which will be more compatible with the supporting architecture of the building. Its non-conformity is minimal in variance from the standard, while alleviating the 'exceptional and extraordinary circumstance" posed by the building's unique siting and architectural style. By remaining consistent with the supporting

- style, the signage typeface avoids the imposition of an incongruent image at the property, which in turn avoids the possibility of undermining the aesthetic goals of the Willamette Falls Drive Commercial District Design Standards.
- E. "The exceptional and extraordinary circumstance does not arise from the violation of this code."

 Response: The "exceptional and extraordinary circumstance" posed by the existing siting and architectural style of the building pre-dates the implementation of the Willamette Falls Drive Commercial District Design Standards, and therefore does not arise from a violation of a code which did not exist at the time of its design and construction.
- F. "The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification. (Ord. 1442, 1999)"
 Response: As the proposed variance applies only to a change in signage type-face confined to the building face and the immediate property, the proposed variance does not impose physical limitation on other properties, and on future use of neighboring vacant or underdeveloped properties.

V. NARRATIVE - CLASS II VARIANCE

CDC Section: 58.090(C)(8) – Willamette Falls Drive Commercial District Design Standards – New Construction and Remodels – Facades

Issue: "The plan adds a new gable in front. This does not conform to this section. The building front and rear is already non-conforming to this section, so this can be addressed in the Non-Conforming permit discussed in the previous item. But adding an additional gable would increase the non-conformity."

Response: The design at issue proposes an enhancement and functional upgrade to the building exterior and surrounding landscape of the Youth Music Project, with no change or addition to its existing approved use. The existing building's roof does not currently meet the Willamette Falls Drive Commercial District Design Standards. The proposed additions/alterations are designed to reflect the existing building's roof form/style, and therefore pose a variance to these standards. The applicant proposes that enhancing and upgrading the building in a manner which is consistent with and respectful of its existing style will optimize its beneficial impact on the surrounding neighborhood, announcing its cultural presence in a positive manner, and providing a clear and easily identifiable entry and access path for visitors and students. Despite the non-conformance of the gabled portico and vestibules at-issue, their proposed design has received unanimous approval from the Willamette Neighborhood Association in their August 14, 2013 meeting.

Per Variance Approval Standards 75.060:

- A. "Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this code, topography, or other circumstances over which the applicant has no control."
 - **Response:** The existing siting, massing, and architectural style of the building differs significantly from other properties in the Willamette Falls Drive Commercial District, from which the Design Standards are derived, posing an "exceptional or extraordinary circumstance…over which the applicant has no control". In order to remain compatible with the architectural style of the building, the proposed gable entry differs from the strict requirements of Section 58.090(C)(8) to a style and form more consistent with the building's existing roofline.
- B. "The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity."
 - **Response:** The proposed design applies to this standard insofar as it requests the ability to make functional improvements and upgrades to the property, compatible with its supporting architecture, to the same extent as that afforded to surrounding properties.
- C. "The authorization of the variance will not be materially detrimental to the purposes and standards of this code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan."

 Response: The proposed design meets all other standards of the CDC, notably Section 55.100(B)(6)(a.):
 - "The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing, materials and colors of surrounding buildings in the proposed structure."

While the existing building's massing and architecture preclude inclusion of compatibility with "adjoining sites" and "surrounding buildings" (see "exceptional and extraordinary circumstance", part (a) above), the proposed design meets all other criteria for Contextual design described in the section, and therefore is consistent with all other regulatory requirements and will not conflict with the goals and policies of the West Linn Comprehensive Plan.

- D. "The variance request is the minimum variance which would alleviate the exceptional and extraordinary circumstance."
 - **Response:** The proposed design meets all other standards of Section 55, 58, and the CDC, differing from the standards only in its gable shape--will be more compatible with the supporting architecture of the existing building. Its non-conformity is minimal in variance from the standard, and alleviates the "exceptional and extraordinary circumstance" posed by the building's unique siting and architectural style by improving its street presence and providing a more clear and legible pedestrian entry sequence, thus bringing the "exceptionally" sited building into greater conformance with the storefront, setback, and building entry goals established by the Willamette Falls Drive Commercial District Design Standards.
- E. "The exceptional and extraordinary circumstance does not arise from the violation of this code."

 Response: The "exceptional and extraordinary circumstance" posed by the existing siting and architectural style of the building pre-dates the implementation of the Willamette Falls Drive Commercial District Design Standards, and therefore does not arise from a violation of a code which did not exist at the time of its design and construction.
- F. "The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification. (Ord. 1442, 1999)"

 Response: As the proposed variance applies to a minor addition to the building's street frontage, which is designed to reflect the building's architectural style and scale, and not dominate or noticeably enlarge its perceived existing mass and roofline. As this proposed variance is confined to the building's face and the immediate property and is contained within its overall height and massing, it does not impose physical limitation on other properties, and on future use of neighboring vacant or underdeveloped properties.

VI. CONCLUSION

As demonstrated by the responses provided in this narrative and the supporting exhibits and the attached drawings, the applicant meets all provisions applicable to the West Linn Incomplete List of November 26, 2013, for Completion of the Design Review Submittal and Conditional Use Permitting and Class II Design Review approval.

As an organization, Youth Music Project provides a well-respected non-profit in the Willamette Falls commercial area that brings more users and visitors to the area. Based on input received from the Willamette Neighborhood Association meeting held on August 14th 2013, this project continues to be fully supported with all proposed alterations/revisions identified as greatly improving the existing site and building, providing a much better face to the community. Therefore, the applicant requests both CUP and Class II design review recommendation for approval to the Planning Commission.

ATTACHMENT A: NEIGHBORHOOD MATERIALS

ENCLOSED:

- Copy of letter to president of neighborhood association & property owners
- Affidavit of mailing and mailing list containing names and addresses of owners/residents
- · Copy of posted notice at property and Affidavit of posting
- Copy of Neighborhood Meeting presentation
- Copy of Meeting minutes
- Audio tape of meeting (enclosed / attached on delivery)

SITEWORKS

DESIGN | BUILD

Julia Simpson President, Willamette Neighborhood Association 1671 Killarney Drive West Linn, OR 97068 July 19, 2013

Dear Ms. Simpson,

This letter is to confirm our plans for the August 14th Willamette Neighborhood Association meeting, at Pacific West Bank community room at 7pm in West Linn.

We will be there to present our proposal for exterior renovations and site work at the Youth Music Project, located at 2015 8th Ave. The general scope of the project will include two new main entry additions to the existing building (a 325 sf open/covered portico entry along Willamette Falls Drive and a 750 sf enclosed entry at the northwest corner), as well as revisions to the existing parking and landscape to better address public access and create a more attractive streetscape and urban environment.

We look forward to sharing our full proposal with the association and interested neighbors and we will come prepared to discuss in detail any questions and comments the community may have. We will provide conceptual plans and other support material we intend to present at least 10 days prior to the meeting.

If you should have additional questions on concerns before the meeting, please feel free to contact me at 503,545,9289.

Sincerely,

Jessamyn L. Griffin

SITEWORKS

DESIGN | BUILD

Owner of property adjacent to 2015 8th Avenue West Linn, 97070 July 19, 2013

Dear Property Owner,

This letter is to inform you of our proposal for exterior renovations and site work at the Youth Music Project, located at 2015 8th Ave. The general scope of the project will include two new main entry additions to the existing building (a 325 sf open/covered portico entry along Willamette Falls Drive and a 750 sf enclosed entry at the northwest corner), as well as revisions to the existing parking and landscape to better address public access and create a more attractive streetscape and urban environment.

You have been notified of this proposal because records indicate that you own property within 500 feet of the proposed site.

We will be presenting our full proposal at the next Willamette Neighborhood Association meeting, scheduled for 7pm, August 14th at Pacific West Bank community room (2040 8th Ave.). This meeting is scheduled as part of the association's regular monthly meeting, and therefore our proposal may not be the only topic of discussion on the meeting agenda. We invite interested neighbors to attend this meeting, or contact their association president, or their association designee, with any questions that they may want to relay to us as the applicant.

We look forward to sharing our full proposal with the association and interested neighbors and we will come prepared to discuss in detail any questions and comments the community may have.

Sincerely,

Jessamyn L. Griffin

Architect

Affidavit of Jessamyn Griffin

STATE OF OREGON COUNTY OF MULTNOMAH

The undersigned, JESSAMYN GRIFFIN, being duly sworn, hereby deposes and says:

- 1. I am over the age of 18 and am a resident of the State of Oregon. I have personal knowledge of the facts herein, and, if called as a witness, could testify completely thereto.
- 2. I suffer no legal disabilities and have personal knowledge of the facts set forth below.
- 3. I, Jessamyn Griffin, of Siteworks Design | Build, being first duly sworn on oath, state that on July 24, 2013,I personally mailed the following: Notice to Willamette Neighborhood Association president and surrounding property owners / residences within 500 feet of proposed exterior renovations and site work at 2015 8th Ave. West Linn, OR, plus an invitation to a presentation of the proposed work at an upcoming Willamette Neighborhood Association meeting--in a LETTER by certified, first-class mail via the U.S. Postal Service, postage paid in the City of Portland, County of Multnomah, State of Oregon. The referenced was addressed as follows: Julia Simpson, President, Willamette Neighborhood Association (plus those residents / property owners listed in attached mailing list) 1671 Kilarney Dr. West Linn, Oregon 97068 United States of America

I declare that, to the best of my knowledge and belief, the information herein is true, correct, and complete.

NOTARY ACKNOWLEDGEMENT

STATE OF OREGON, COUNTY OF MULTNOMAH, ss:

2013 by Jessamyn Griffin, who, being first duly sworn on oath according to law, deposes and says that he/she has read the foregoing Affidavit subscribed by him/her, and that the matters stated herein are true to the best of his/her information, knowledge and belief.

Many Grace Lueble
Notary Public

NOTARY PUBLIC - OPESON

My commission expires FB 27,2016



21E35C 01601 Sfp-F LLC Po Box 5350

Bend, OR 97708-5350

21E35C 02200 City Of West Linn 22500 Salamo Rd #100 West Linn, OR 97068-8301

21E35C 02500 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35C 90000 Vpc-Or West Linn Limited Partnership 125 Sir Francis Drake Boulevard Larkspur, CA 94939-0000

21E35C 90222 John Galt Holdings LLC 3857 Southhampton Ct West Linn, OR 97068-3780

21E35D 00902 Tamer Willamette LLC 3560 SW Troy St Portland, OR 97219-1616

21E35D 00906 Albert Tekander 465 SW Borland Rd West Linn, OR 97068-9139

21E35C 90101 & 90111 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35C 90212 & 90215 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35D 01002 Ronald Powell 12296 S Carus Rd Oregon City, OR 97045-7509 21E35C 02300 Cynthia & Don Morton 1970 8th Ave West Linn, OR 97068-4669

21E35C 02502 Pacific West Bank 2040 8th Ave West Linn, OR 97068-4612

21E35C 90010 & 90100 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35D 00901 McDonalds Corporation 8655 SW Citizens Dr #201 Wilsonville, OR 97070-7695

21E35D 00904 & 00905 Fisher Properties LLC Po Box 823210

Vancouver, WA 98682-0067 21E35C 01601A1

Les Schwab Tire Ctr Pdx Inc Po Box 5350 Bend, OR 97708-5350

21E35C 90121 & 90200 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35C 90218 & 90221 Karlin Willamette LLC 901 NE Glisan St Portland, OR 97232-2730

21E35D 01803 City Of West Linn 22500 Salamo Rd #600 West Linn, OR 97068-8306 Michael Custer 2185 Willamette Falls Dr West Linn, OR 97068-4610

Robert Love 20321 Noble Ln West Linn, OR 97068-7216

Lee Guelette 1553 10th St West Linn, OR 97068-4630

Matthew & Sarah Hellems 1523 10th St West Linn, OR 97068-4630

Handris Holdings LLC 1980 Willamette Falls Dr #200 West Linn, OR 97068-4671

Jenny Pakula Scot Gelfand 2500 Crestview Dr West Linn, OR 97068-8290

Willamette Falls Holdings LLC 1980 Willamette Falls Dr #200 West Linn, OR 97068-4671

Javad Farza Zahra Mafar 7110 SW Clinton St Tigard, OR 97223-2530

Steve Tekander 465 SW Borland Rd West Linn, OR 97068-9139

Kirk & Claire Becker 25120 SW Petes Mountain Rd West Linn, OR 97068-4552 Chester & Lela Carpenter 2113 Willamette Falls Dr West Linn, OR 97068-4610

Gary & Laurel Moon 1537 10th St West Linn, OR 97068-4630

Lizabeth Dunnington 2136 5th Ave West Linn, OR 97068-4618

Clement & Patricia Moles Jr 1995 8th Ave West Linn, OR 97068-4604

Irene Anderson 1693 12th St West Linn, OR 97068-4637

Handris Enterprises LLC 2008 Willamette Falls Dr #B West Linn, OR 97068-4658

Willamette Falls Holdings LLC 1980 Willamette Falls Dr #200 West Linn, OR 97068-4671

Ctb Investments LLC 25120 SW Petes Mountai 97068-455n Rd West Linn, OR 97068-4552

Willamette Falls Entrps LLC 1919 Willamette Falls Dr West Linn, OR 97068-4606 Donna Kay & Kenneth Potter 22841 SW Stafford Rd Tualatin, OR 97062-6783

Albert & Laura Secchi Jr 1920 6th Ave West Linn, OR 97068-4602

Paul & Ethel Sloma 1992 6th Ave West Linn, OR 97068-4602

Peter O'Brien 1547 11th St West Linn, OR 97068-4636

Maria Luisa Blanc-Gonnet 2057 Willamette Falls Dr West Linn, OR 97068-4608 Audra & Ian Brown 5111 SE Glen Echo Ave Milwaukie, OR 97267-6930

David Lawrence 1553 11th St West Linn, OR 97068-4636

Dar-Bon LLC 149 Shyrina Ct N Keizer, OR 97303-4695 PORTLAND MAIN OFFICE PORTLAND, Oregon 972088097

4067870008-0099

07/24/2013 (800)275-8777 02:35:36 PM

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(Forever) A Flag for All Seasons PSA Bklt/20	1	\$9.20	\$9.20			
(Forever) A Flag for All Seasons PSA Bklt/20	1	\$9.20	\$9.20			
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U.S. Postal Service™ CERTIFIED MAIL. RECEIPT (Domestic Mail Only; No Insurance Coverage Provided) 5402 For delivery information visit our web WEST LINN OR 97068 9582 S 0008 \$0.46 Postage Certified Fee \$3.10 1000 \$2.55 Return Receipt Fee (Endorsement Required) Restricted Delivery Fee (Endorsement Required) \$0.00 PONW 1090 07/24/2013 \$6.11 Total Postage & Fees Sent To m Street, Apt. No. or PO Box No. City, State, ZIP+4

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 Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature Agent Andresse B. Refered by (Printed Name) D. Is delivery address different from term 17 If YES, enter delivery address below:		
1, Article Addressed to: Julia Simpson			
1671 Killarney De.			
WEST Linn, OR 97068	3. Service Type Certified Mail Registered Return Receipt for Merchandise C.O.D.		
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Sender: Please print your name, address, and ZIP+4 in this box

Siteworks Design-Builds
Yo Jessamyn Griffin
1255 NW 944 #17
Pornano, OR 97209

<u>- Ոլիիրիկիկիկիկիկինի իրանդիր արևանիին իրանդինի</u>

PUBLIC NOTICE

This site (2015 8th Ave., West Linn) is subject to a proposed renovation, including Conditional Use, Class II Design Review and permit to Enlarge/Alter a Non-Conforming Structure. The general scope of the project will include two new main entry additions to the existing building (a 325 sf open/covered portico entry along Willamette Falls Drive and a 750 sf enclosed entry at the northwest corner), as well as revisions to the existing parking and landscape to better address public access and create a more attractive streetscape and urban environment.

The name and telephone number where the applicant can be reached for additional information is as follows:

Siteworks Design Build
Jessamyn L. Griffin, Architect
503.230.2337

Affidavit of Posting

STATE OF OREGON COUNTY OF MULTNOMAH

The undersigned, JESSAMYN GRIFFIN, being duly sworn, hereby deposes and says:

- 1. I am over the age of 18 and am a resident of the State of Oregon. I have personal knowledge of the facts herein, and, if called as a witness, could testify completely thereto.
- 2. I suffer no legal disabilities and have personal knowledge of the facts set forth below.
- 3. I, Jessamyn Griffin, of Siteworks Design | Build, being first duly sworn on oath, state that on July 24, 2013, I personally created and posted the following on-site at 2015 8th Ave., West Linn, OR: PUBLIC NOTICE of proposed renovation subject to Class II Design Review and Permit to Enlarge / Alter a Non-Conforming Structure, including a description of the scope of the renovation, and applicant contact information including name, title, and telephone number, in conformance with West Linn Community Development Code (CDC) section 99.038.D.

I declare that, to the best of my knowledge and belief, the information herein is true, correct, and complete.

Executed this 2 nd day of JANUARY , 20 14

STATE OF OREGON, COUNTY OF MULTNOMAH, ss:

This Affidavit was acknowledged before me on this 2~7 day of JAHVARY, 2014 by Jessamyn Griffin, who, being first duly sworn on oath according to law, deposes and says that he/she has read the foregoing Affidavit subscribed by him/her, and that the matters stated herein are true to the best of his/her information, knowledge and belief.

Mary Grace Luebke

Notary Public May P. duelle

Notare Public of Oroson

Title (and Rank)

My commission expires 2 27 2016















- "...bringing people together through music."
- Aligned values with the West Linn community
- Provide enhanced gateway to Willamette Falls Drive Commercial District
- Provide accessible and welcoming site to encourage public interaction and community involvement

community



- MONUMENT SIGN
- B LOWER TERRACE
- XYLOPHONE FENCE
- FESTOON LIGHTS
- ACCESSIBLE PARKING
- SPEED BUMP
- SERVICE ACCESS
- NEW ENTRY PORCH
- **NEW ENTRY COURT**
- SCULPTURE
- KEYBOARD WALK
- CHANGE TO PARALLEL PARKING
- M GRILL
- N EXISTING SIDEWALK PLANTING TO REMAIN

1 RAIN GARDEN



2 FRONT YARD



3 MULTI-USE SPACE

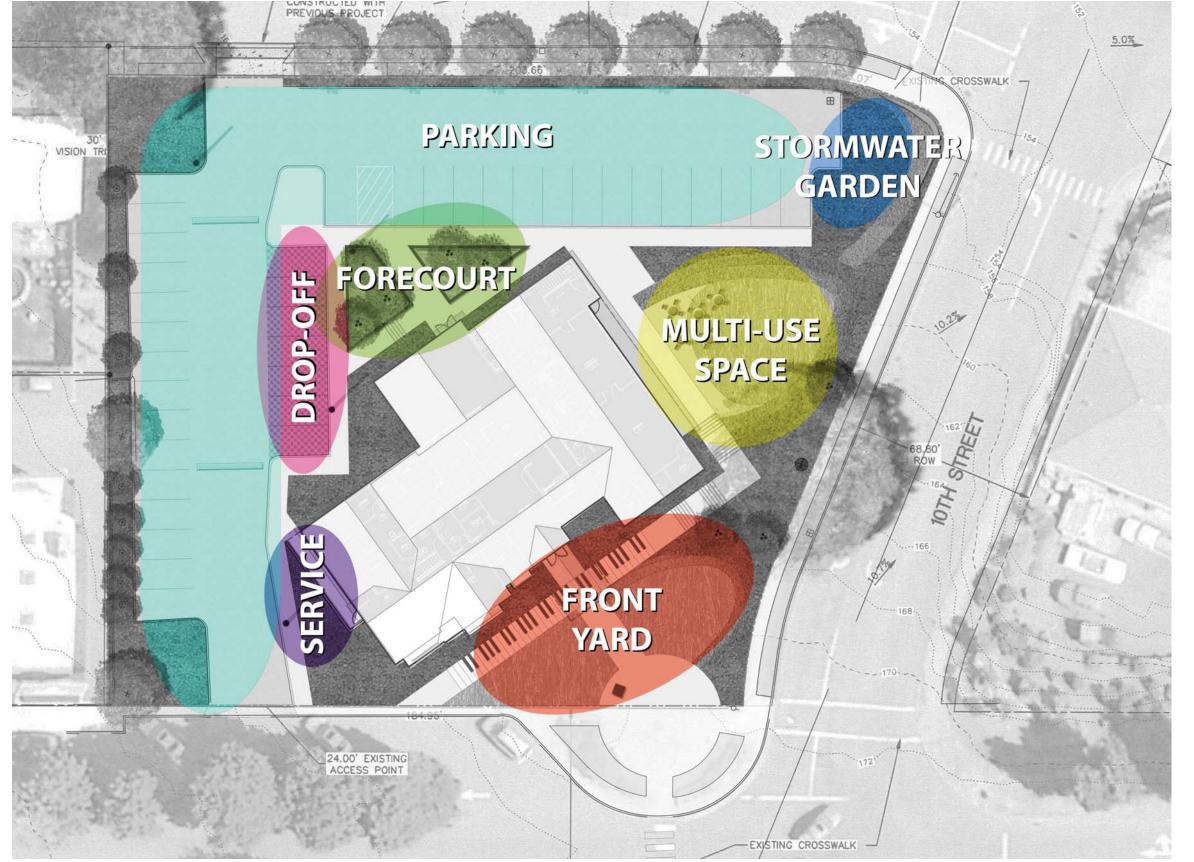


4 PERIMETER



5 DROP-OFF / TEMPORARY EVENT PARKING





General site improvements

- Reduce pavement
- Increase garden area / trees
- Activate exterior spaces
- Improve access & arrival
- Promote sustainable practices

Improved site safety/access

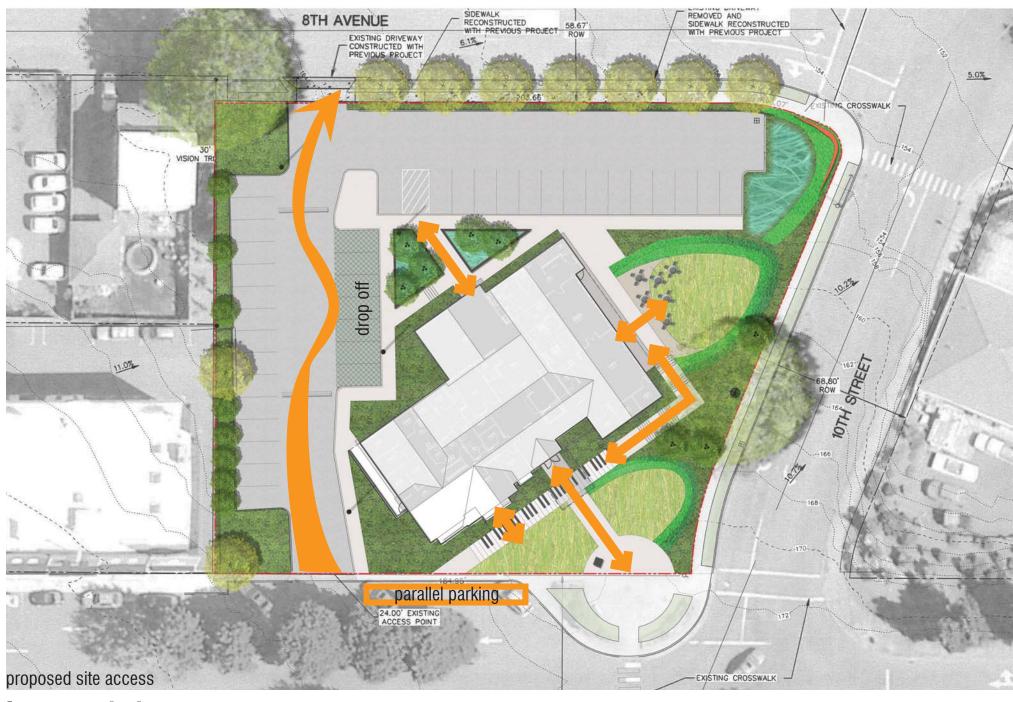
- Safer pedestrian access with code compliant paths/stairs
- Perimeter fence at multi-use space
- ADA accessibility addressed
- Added speed bumps
- New drop-off zone
- Safer vehicle access with parallel parking along Willamette Falls Drive

site diagram









Improved site access

- Increased ADA accessibility at parking lot and building entries
- Enhanced pedestrian access, allowing for better site circulation and function
- Renovation of parking lot for safer drop off and pedestrian use

access













Two new entry additions

- Contextual design respecting the existing architecture
- New portico entry along Willamette Falls Drive, provides stronger public identity from the street
- New entry vestibule from the parking lot provides safe, public access and clear entry point for students/parents

sense of entry







Brand as place

- Proposed signage identifying Youth Music Project, suiting of the existing building / neighborhood
- Proposed landscape revisions to enhance site and use as well as buffer / screen parking lot
- Proposed guitar sculpture, musical note trellis & fence

From: Elizabeth Rocchia < erocchia@comcast.net >

Date: August 19, 2013 6:30:39 PM PDT

To: kwyatt@westlinnoregon.gov Subject: WNA minutes 8/14.2013

Willamette Neighborhood Assn meeting....August 14, 2013

The meeting was called to order by president, Juila Simpson, at 7pm in the Pacific West Bank community room. Minutes of July 10 were reviewed and approved. Treasurer's report:

WNA acct at Pacific West Bank.. \$2,109.03 which reflects the 2013-2014 stipend WNA acct at US Bank..\$2,764.45 of which WNA has \$437.30 and balance belongs to yoga group

Roberta and Ed Schwarz presented for the White Oak Savannah Acquisition Fund. They hope to acquire additional 5.65 acres to supplement 14 acres now in conservation. They have a pledge of \$500,000 from Metro if they can match that amount 2:1.

A fund raising event will be held at Fiala Farm on September 14, 10am to 6pm, with booths and activities. In addition a benefit concert is scheduled, 3:30 to 5:30, August 17th in Willamette Park at \$20 a person. Attendance and support for this project is encouraged as a restoration endeavor benefiting all of West Linn.

The Youth Music Project at 10th and WF Drive presented a plan for exterior restoration. Jessamynn Griffin of Siteworks Design led the discussion and explained the improvements with graphics. The program was described by principal supporter, Sally Bany, who offered tours of the facility (salbany@hotmail.com).

Jim Milne moved that The Willamette Neighborhood Assn strongly urge acceptance of the proposal when it is presented for Design Review. Motion passed.

Ken McLarty of Tenacious Training Events described a Triathalon event on August 18th that will begin in Willamette Park, wind through neighboring streets and finish in the park by late morning. Volunteers and certified flaggers will be stationed along the route for safety and smooth traffic flow. Ken has staged many such events and anticipates 100 entrants.

Julia Simpson read a resolution from the Savannah Oaks NA opposing certain proposed changes in the WL Comprehensive Plan that would compromise citizen input and interests. This resolution was discussed and met with endorsement by those present. The resolution will be attached to these minutes.

Julia Simpson met with Linda Neace and others to discuss parking options for the baseball activities at Fields Bridge Park. A representative from the West Linn Baseball Assn will come to our meeting early next spring to describe the game schedule so neighbors and Willamette businesses can be prepared for the crowds and hopefully mitigate parking problems.

Elizabeth Rocchia had a chat with Ken Warner who described the location of 50 new grasscrete parking places at the park. These will be near the old farm house as indicated on the 2005 Master Plan and not in the open field adjacent as occurred this summer. Zac Pelz of WL planning staff is forming a parking task force.

Andy Rocchia has been in communication with John Sonnen of the Planning Dept. Andy emphasized the need for more crosswalks on Willamette Falls Drive because of increased pedestrian use of the roads to the park. He also commented on the stagnant pond in Fields Bridge Park that was once flushed by the river but now is blocked off. In the summer months when the water level is very low, this area exhibits oil scum from abandoned tanks once dumped there. Andy came way thinking his concerns were low priorities to the City.

In general discussion that ensued, it was felt by all present that there was very little opportunity for conversation or dialogue with Council, Commissions or City staff. Citizens' concerns and thoughtful suggestions need more receptive attention.

The meeting adjourned at 8:50pm. Respectfully submitted, Elizabeth Rocchia

Those present were:

Roberta and Ed Schwarz
Margaret Matthies
Jim Milne
Elizabeth and Andy Rocchia
Ken McLarty
Mauricio Villarreal
Todd and Chris Jones
Jessamyn Griffin
Charles Lewis
Dave and Sally Bany
Jean Pierre Veaulet
Julia Simpson

ATTACHMENT B: APPLICATION FORM

COMBINED IN SAME FORM:

- PERMIT TO ENLARGE / ALTER A NON-CONFORMING STRUCTURE
- CLASS I VARIANCE
- CLASS II VARIANCE



DEVELOPMENT REVIEW APPLICATION

5242	LOI WILITI ITE	VIEW / till EleAll	514	
STAFF CONTACT	For Office PROJECT No(s).	Use Only		
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSI	т(s)	TOTAL	
Appeal and Review (AP) * Legist Conditional Use (CUP) Lot I Design Review (DR) Mino X Non Easement Vacation Plan	oric Review Slative Plan or Chang Line Adjustment (LLA or Partition (MIP) (Pre Conforming Lots, Us ned Unit Developme	e	Subdivision (SUB) Temporary Uses * Time Extension * Variance (VAR) Vater Resource Area Protect Vater Resource Area Protect	ion/Wetland (WAP)
		Permit, and Temporary	Willamette & Tualatin River Zone Change Sign Permit applications r	
Site Location/Address:		Asse	ssor's Map No.: 31E02	BA0
2015 8th Ave. West Linn, OR 97068		Tax	_ot(s): 0100	
		Tota	l Land Area: 0.94 acres	
Brief Description of Proposal: Per Design Nov. 2013: (1) Permit to Enlarge/Alter a Non-Co Approval Criteria in CDC Section 66.080(B); (2) work meets Approval Criteria in CDC Section 7	onforming Structure Variance, Class I a	: Required narrative ex	olaining how proposed w	ork meets
Applicant Name: Jessamyn L. Griffin (please print)			Phone: 503 230 2337	
Address: 1255 NW 9th Ave. #17			Email: jessamyn@sitewor	ksportland.com
City State Zip: Portland, OR 97209			D I	
Owner Name (required): Marie Lamfrom Cha (please print)	ritable Foundation		Phone: 503 616 5967	
Address: 2015 8TH Ave.			Email:	
City State Zip: West Linn, OR 97068				
Consultant Name: (please print)			Phone:	
Address:			Email:	
City State Zip:				
 All application fees are non-refundable (exclusion fees). The owner/applicant or their representative in the state of the	should be present at eal. No permit will b led) of application r laterials must also b	all public hearings. De in effect until the app naterials must be submi De submitted on CD in PC	eal period has expired. tted with this applicatior	
No CD required / ** Only one hard-copy se	t needed			
The undersigned property owner(s) hereby authorizes comply with all code requirements applicable to my a to the Community Development Code and to other re Approved applications and subsequent development	pplication. Acceptance gulations adopted afte	e of this application does no r the application is approve	t infer a complete submittal. d shall be enforced where ap	All amendments
Applicant's signature	Date	Owner's signatur	re (required)	Date

ATTACHMENT C: CIVIL ENGINEERING REPORT

Technical Memorandum

otak.

HanmiGlobal Partner

808 SW Third Avenue Suite 300

Portland, OR 97225 Phone (503) 287-OTAK Fax (503) 415-2304 To: Gary Alfson, PE

From: Ashley Cantlon, PE

Copies: Project File

Date: December 19, 2013

Subject: Youth Music Project - Preliminary Drainage Report

Project No: 17058 (Otak)

Introduction

This memorandum outlines the results for a preliminary drainage plan for the Youth Music Project (YMP) site in the City of West Linn. Alterations and additions to the existing site have been proposed including reconfiguring parking, reducing the asphalt paving area by 3,270 sf, adding approximately 1,070 sf. of non-pollution generating impervious area (covered porch entry and entry vestibule) and reconstructing the existing site landscaping and walkways. With an overall reduction to impervious area, runoff is not expected to increase as a result of this project. Two surface water quality treatment facilities have been proposed as an addition to the existing site, which currently receives no water quality treatment.

Site Description

The existing YMP site is developed and provides minimal structured drainage for onsite runoff collection and conveyance. Impervious areas include a parking lot (pollution generating), a building, sidewalks, and covered storage (non-pollution generating). Some existing parking lot space will be removed under the new configuration, allowing space for water quality facilities to be constructed. Pollution generating surfaces will be reduced overall between existing and proposed conditions. Landscaping will also be enhanced as a result of this project. Two water quality facilities will be located adjacent to the parking lot to allow for in-line surface facilities to effectively intercept runoff for treatment, passing larger flows through the facilities into the new drainage conveyance system.

Basins and Hydrology

The YMP property currently slopes from southwest to the northeast, and is currently developed including an existing building and parking lot. The site was divided into 6 onsite subbasins for the purpose of evaluating area contributing to each proposed raingarden facility, as well as for conveyance calculations. Onsite subbasins representing runoff (shown in Figure 1) do not currently

differentiate between impervious and pervious areas, and are evaluated as impervious area for preliminary sizing calculations.

The following assumptions were made for the preliminary hydrologic modeling effort:

- Santa Barbara Urban Hydrograph (SBUH) methodology was used to perform hydrologic calculations.
- NCRS Type 1A 24-hour storm event with a 25-year precipitation depth of 3.83-inches.
- Impervious areas are based on measured areas from the site layout.
- Time of concentration = 5 minutes for impervious areas.
- Curve Number (CN) = 98 for all impervious areas.

Water Quality Treatment

Runoff from the YMP site will be treated with storm water planters and rain gardens onsite to the maximum extent practicable. Topography, parking, and vegetated areas will limit the amount of treatment that can be provided, however the spaces available for treatment facilities have been maximized to accept as much runoff as possible. The City of Portland simplified approach method was used to approximate areas needed to provide water quality treatment for each onsite drainage subbasin. Conversation with City staff has indicated that this project may be treated using a best management approach to treat as much runoff as possible considering that there is no treatment currently provided and the topography of the developed site limits the ability to provide 100% treatment. An improved drainage conveyance system will be provided for the rest of the site drainage to bypass the proposed water quality facilities.

This simplified method assumes that a water quality planter facility will require a footprint area equal to 6 percent of the contributing impervious area, and a raingarden will require a footprint area equal to 9 percent of the contributing area. Overflows within each planter and raingarden facility will direct large flows into the main conveyance system, and then to the downstream connection to an offsite conveyance system. Underdrains are recommended to be included in these facilities to direct runoff into the conveyance system after it has been treated through water quality media. The water quality facilities have been designed to accept mainly parking lot runoff, as roof runoff will discharge directly into the conveyance system.

A schematic of the proposed vegetated facilities for the YMP property is included in Figure 1.

Table 1 summarizes drainage areas with respect to available treatment area. Drainage basins DB Northwest and DB North will be intercepted by storm inlets and conveyed directly offsite. Drainage basins DB South and DB East will be collected and conveyed to treatment facilities. A planter facility will be located near the northwest corner of the site to treat runoff from DB South,

and a raingarden facility will be located at the east end of the site to treat runoff from DB East.

Table I – Drainage Basin Summary

Drainage Basin (DB)	Drainage Area (sf.)	Treatment Facility	Treatment Facility
ID		Area Needed (sf.)	Area Provided (sf.)
DB South	5,026	302	248
		(Drainage Area X 6%)	
DB East	4,426	398	412
		(Drainage Area X 9%)	

The remaining area will drain into the proposed conveyance system untreated. This will result in the stormwater planter and raingarden facilities providing treatment of runoff for approximately 58% of the total parking lot area.

Conveyance

A storm drainage conveyance system has been developed for the YMP property to represent a proposed drainage system alignment. Inlets and pipes were located based on proposed contributing impervious areas, and locations of planter and raingarden facilities. For the onsite conveyance system, it was proposed that runoff from some impervious areas would be routed through a water quality facility before entering the main conveyance system, while other areas will bypass the treatment facilities.

Preliminary pipe sizes were estimated using HydroCAD ® and Hydraflow Express. Vertical components (i.e., slopes, rim elevations, and invert elevations) were not established. Figure 1 shows the proposed conveyance system and drainage basin schematic, and Attachment A includes preliminary pipe sizing calculations.

Detention

This project will result in a net reduction in impervious area, which correlates to a reduction in future runoff rates. Per conversations with City staff and due to the expected reduction in runoff under the new site configuration, it has been determined that water quantity control will not be necessary for this site.

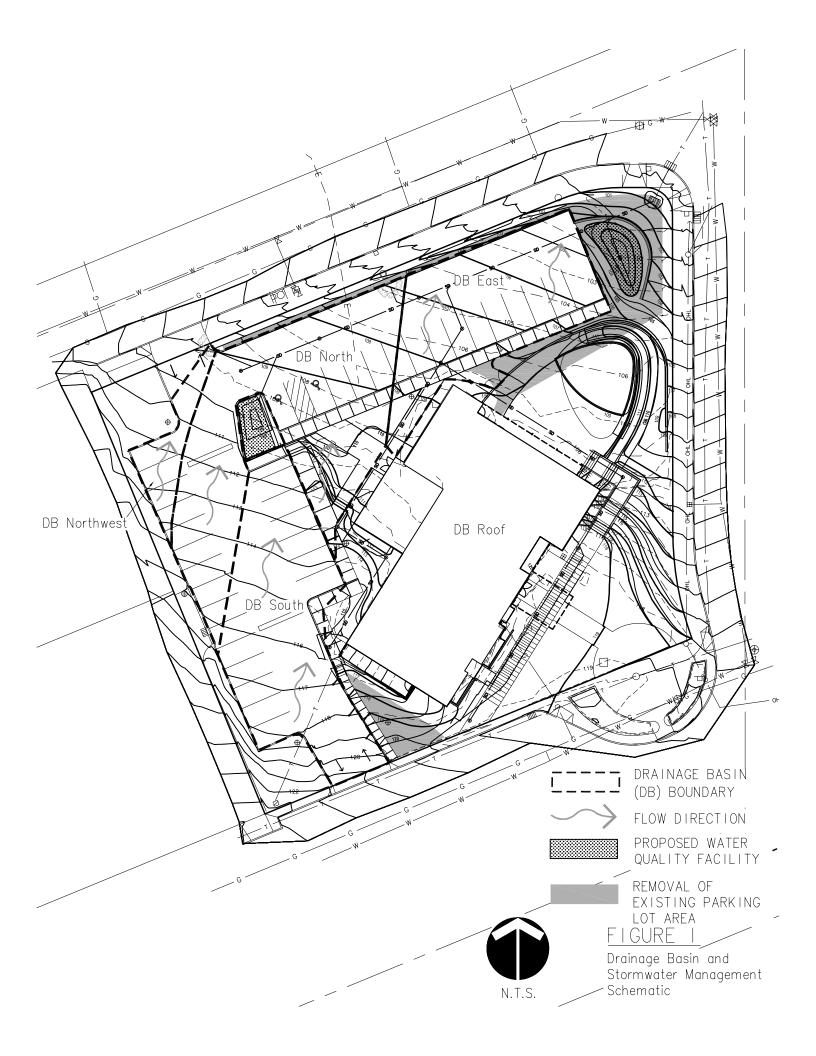
Conclusion

The stormwater management system for the YMP property will include a stormwater planter and a raingarden to provide water quality treatment, and standard inlets and conveyance pipes, and manholes to convey runoff. A preliminary layout, including sizing and placement of water quality facilities was developed using the City of Portland simplified approach method, and a pipe design shows the intended flow path between basins and to the offsite connection at the east end of the

Page 4 *December 19, 2013*

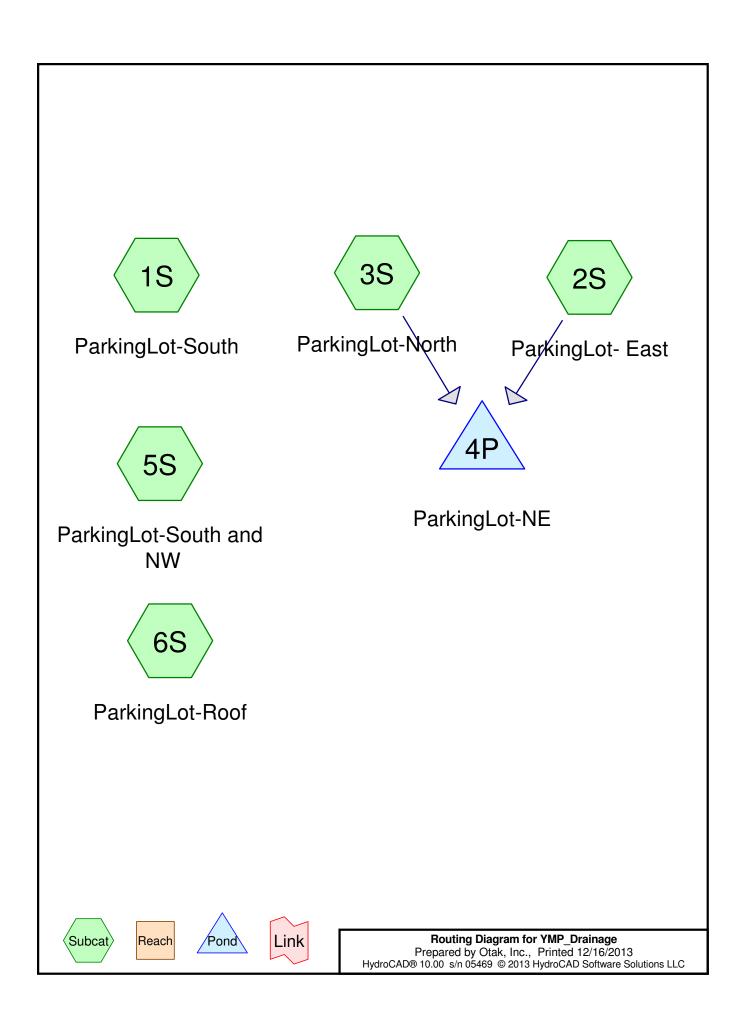
site. The proposed facilities will provide treatment for approximately 58% of the total parking lot and adjacent sidewalk areas.

Water quantity control is assumed not to be needed for this site, and water quality treatment will be provided to the maximum extent practicable.



Attachment A — HydroCAD Model Schematic and Model Results, and Preliminary Pipe Sizing





YMP_Drainage
Prepared by Otak, Inc.
HydroCAD® 10.00 s/n 05469 © 2013 HydroCAD Software Solutions LLC

Printed 12/16/2013 Page 2

Area Listing (all nodes)

Area	CN	Description
 (acres)		(subcatchment-numbers)
0.708	98	(1S, 2S, 3S, 5S, 6S)
0.708	98	TOTAL AREA

Prepared by Otak, Inc. HydroCAD® 10.00 s/n 05469 © 2013 HydroCAD Software Solutions LLC

Page 3

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SBUH method, Split Pervious/Imperv.
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: ParkingLot-South Runoff Area=5,020 sf 100.00% Impervious Runoff Depth>1.84"

Tc=5.0 min CN=0/98 Runoff=0.07 cfs 0.018 af

Subcatchment 2S: ParkingLot- East Runoff Area=4,426 sf 100.00% Impervious Runoff Depth>1.84"

Tc=5.0 min CN=0/98 Runoff=0.06 cfs 0.016 af

Subcatchment 3S: ParkingLot-North Runoff Area=7,439 sf 100.00% Impervious Runoff Depth>1.84"

Tc=5.0 min CN=0/98 Runoff=0.10 cfs 0.026 af

Subcatchment 5S: ParkingLot-South and Runoff Area=5,857 sf 100.00% Impervious Runoff Depth>1.84"

Tc=5.0 min CN=0/98 Runoff=0.08 cfs 0.021 af

Subcatchment 6S: ParkingLot-Roof Runoff Area=8,101 sf 100.00% Impervious Runoff Depth>1.84"

Tc=5.0 min CN=0/98 Runoff=0.11 cfs 0.029 af

Pond 4P: ParkingLot-NE Inflow=0.16 cfs 0.042 af Primary=0.16 cfs 0.042 af

Total Runoff Area = 0.708 ac Runoff Volume = 0.109 af Average Runoff Depth = 1.84" 0.00% Pervious = 0.000 ac 100.00% Impervious = 0.708 ac

Type IA 24-hr 10-yr Rainfall=3.35" Printed 12/16/2013

Prepared by Otak, Inc. HydroCAD® 10.00 s/n 05469 © 2013 HydroCAD Software Solutions LLC

Page 4

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SBUH method, Split Pervious/Imperv.
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: ParkingLot-South Runoff Area=5,020 sf 100.00% Impervious Runoff Depth>2.50"

Tc=5.0 min CN=0/98 Runoff=0.09 cfs 0.024 af

Subcatchment 2S: ParkingLot- East Runoff Area=4,426 sf 100.00% Impervious Runoff Depth>2.50"

Tc=5.0 min CN=0/98 Runoff=0.08 cfs 0.021 af

Subcatchment 3S: ParkingLot-North Runoff Area=7,439 sf 100.00% Impervious Runoff Depth>2.50"

Tc=5.0 min CN=0/98 Runoff=0.13 cfs 0.036 af

Subcatchment 5S: ParkingLot-South and Runoff Area=5,857 sf 100.00% Impervious Runoff Depth>2.50"

Tc=5.0 min CN=0/98 Runoff=0.11 cfs 0.028 af

Subcatchment 6S: ParkingLot-Roof Runoff Area=8,101 sf 100.00% Impervious Runoff Depth>2.50"

Tc=5.0 min CN=0/98 Runoff=0.15 cfs 0.039 af

Pond 4P: ParkingLot-NE Inflow=0.21 cfs 0.057 af Primary=0.21 cfs 0.057 af

Total Runoff Area = 0.708 ac Runoff Volume = 0.147 af Average Runoff Depth = 2.50" 0.00% Pervious = 0.000 ac 100.00% Impervious = 0.708 ac

Type IA 24-hr 100-yr Rainfall=4.70"

Prepared by Otak, Inc. HydroCAD® 10.00 s/n 05469 © 2013 HydroCAD Software Solutions LLC Printed 12/16/2013

Page 5

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SBUH method, Split Pervious/Imperv.

Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: ParkingLot-South Runoff Area=5,020 sf 100.00% Impervious Runoff Depth>3.54"

Tc=5.0 min CN=0/98 Runoff=0.13 cfs 0.034 af

Subcatchment 2S: ParkingLot- East Runoff Area=4,426 sf 100.00% Impervious Runoff Depth>3.54"

Tc=5.0 min CN=0/98 Runoff=0.11 cfs 0.030 af

Subcatchment 3S: ParkingLot-North Runoff Area=7,439 sf 100.00% Impervious Runoff Depth>3.54"

Tc=5.0 min CN=0/98 Runoff=0.19 cfs 0.050 af

Subcatchment 5S: ParkingLot-South and Runoff Area=5,857 sf 100.00% Impervious Runoff Depth>3.54"

Tc=5.0 min CN=0/98 Runoff=0.15 cfs 0.040 af

Subcatchment 6S: ParkingLot-Roof Runoff Area=8,101 sf 100.00% Impervious Runoff Depth>3.54"

Tc=5.0 min CN=0/98 Runoff=0.21 cfs 0.055 af

Pond 4P: ParkingLot-NE Inflow=0.30 cfs 0.080 af Primary=0.30 cfs 0.080 af

Total Runoff Area = 0.708 ac Runoff Volume = 0.209 af Average Runoff Depth = 3.54" 0.00% Pervious = 0.000 ac 100.00% Impervious = 0.708 ac

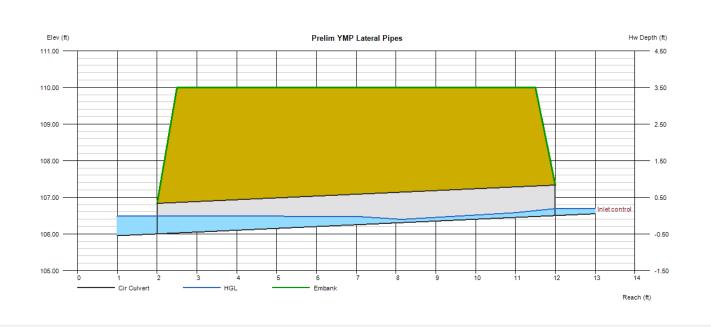
Culvert Report

Hydraflow Express Extension for AutoCAD® Civil 3D® 2010 by Autodesk, Inc.

Monday, Dec 16 2013

Prelim YMP Lateral Pipes

Invert Elev Dn (ft)	= 106.00	Calculations	
Pipe Length (ft)	= 10.00	Qmin (cfs)	= 0.11
Slope (%)	= 5.00	Qmax (cfs)	= 0.31
Invert Elev Up (ft)	= 106.50	Tailwater Elev (ft)	= 0
Rise (in)	= 10.0	, ,	
Shape	= Cir	Highlighted	
Span (in)	= 10.0	Qtotal (cfs)	= 0.11
No. Barrels	= 1	Qpipe (cfs)	= 0.11
n-Value	= 0.013	Qovertop (cfs)	= 0.00
Inlet Edge	= 0	Veloc Dn (ft/s)	= 0.33
Coeff. K,M,c,Y,k	= 0.0045, 2, 0.0317, 0.69, 0.5	Veloc Up (ft/s)	= 1.76
		HGL Dn (ft)	= 106.49
Embankment		HGL Up (ft)	= 106.64
Top Elevation (ft)	= 110.00	Hw Elev (ft)	= 106.69
Top Width (ft)	= 9.00	Hw/D (ft)	= 0.23
Crest Width (ft)	= 50.00	Flow Regime	= Inlet Control



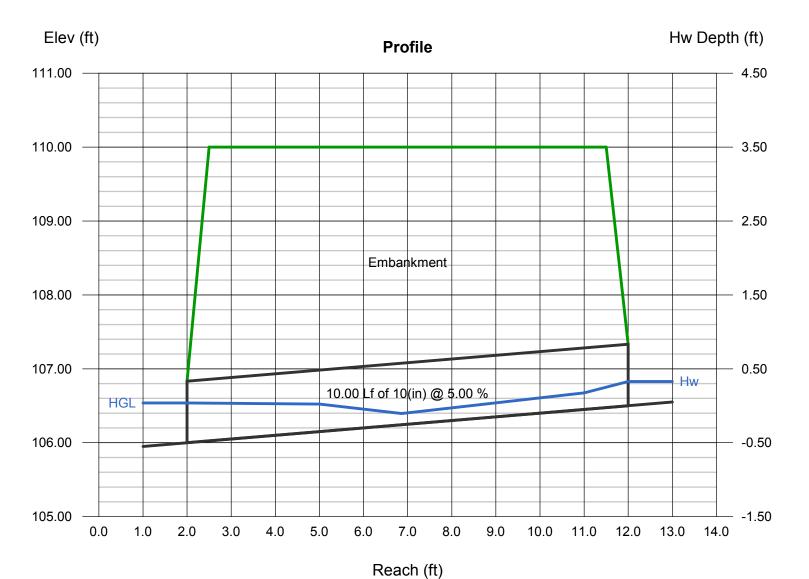
Culvert Report

Hydraflow Express Extension for AutoCAD® Civil 3D® 2010 by Autodesk, Inc.

Monday, Dec 16 2013

Prelim YMP Lateral Pipes

Invert Elev Dn (ft)	= 106.00	Calculations	
Pipe Length (ft)	= 10.00	Qmin (cfs)	= 0.11
Slope (%)	= 5.00	Qmax (cfs)	= 0.31
Invert Elev Up (ft)	= 106.50	Tailwater Elev (ft)	= 0
Rise (in)	= 10.0	, ,	
Shape	= Cir	Highlighted	
Span (in)	= 10.0	Qtotal (cfs)	= 0.31
No. Barrels	= 1	Qpipe (cfs)	= 0.31
n-Value	= 0.013	Qovertop (cfs)	= 0.00
Inlet Edge	= 0	Veloc Dn (ft/s)	= 0.83
Coeff. K,M,c,Y,k	= 0.0045, 2, 0.0317, 0.69, 0.5	Veloc Up (ft/s)	= 2.35
		HGL Dn (ft)	= 106.54
Embankment		HGL Up (ft)	= 106.74
Top Elevation (ft)	= 110.00	Hw Elev (ft)	= 106.83
Top Width (ft)	= 9.00	Hw/D (ft)	= 0.39
Crest Width (ft)	= 50.00	Flow Regime	= Inlet Control



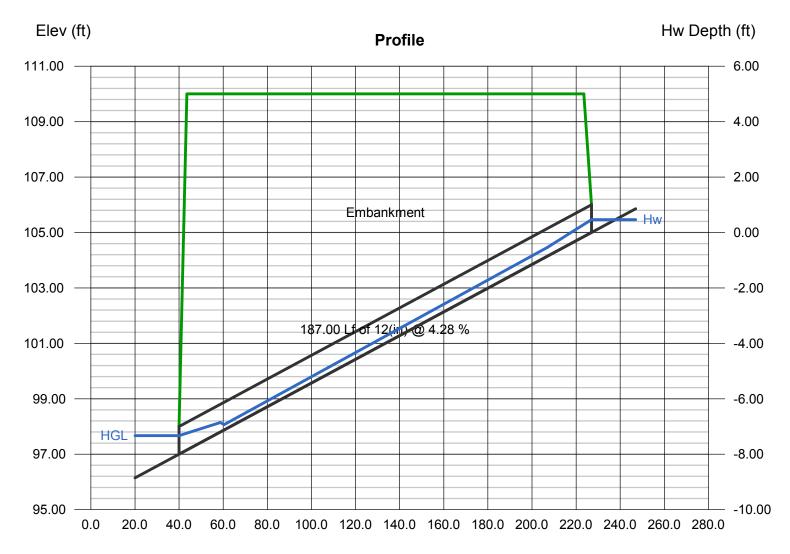
Culvert Report

Hydraflow Express Extension for AutoCAD® Civil 3D® 2010 by Autodesk, Inc.

Monday, Dec 16 2013

Prelim YMP Main Storm Sewer Line

Invert Elev Dn (ft)	= 97.00	Calculations	
Pipe Length (ft)	= 187.00	Qmin (cfs)	= 0.11
Slope (%)	= 4.28	Qmax (cfs)	= 0.71
Invert Elev Up (ft)	= 105.00	Tailwater Elev (ft)	= 0
Rise (in)	= 12.0	, ,	
Shape	= Cir	Highlighted	
Span (in)	= 12.0	Qtotal (cfs)	= 0.66
No. Barrels	= 1	Qpipe (cfs)	= 0.66
n-Value	= 0.013	Qovertop (cfs)	= 0.00
Inlet Edge	= 0	Veloc Dn (ft/s)	= 1.18
Coeff. K,M,c,Y,k	= 0.0045, 2, 0.0317, 0.69, 0.5	Veloc Up (ft/s)	= 2.80
		HGL Dn (ft)	= 97.67
Embankment		HGL Up (ft)	= 105.34
Top Elevation (ft)	= 110.00	Hw Elev (ft)	= 105.46
Top Width (ft)	= 180.00	Hw/D (ft)	= 0.46
Crest Width (ft)	= 2.00	Flow Regime	= Inlet Control



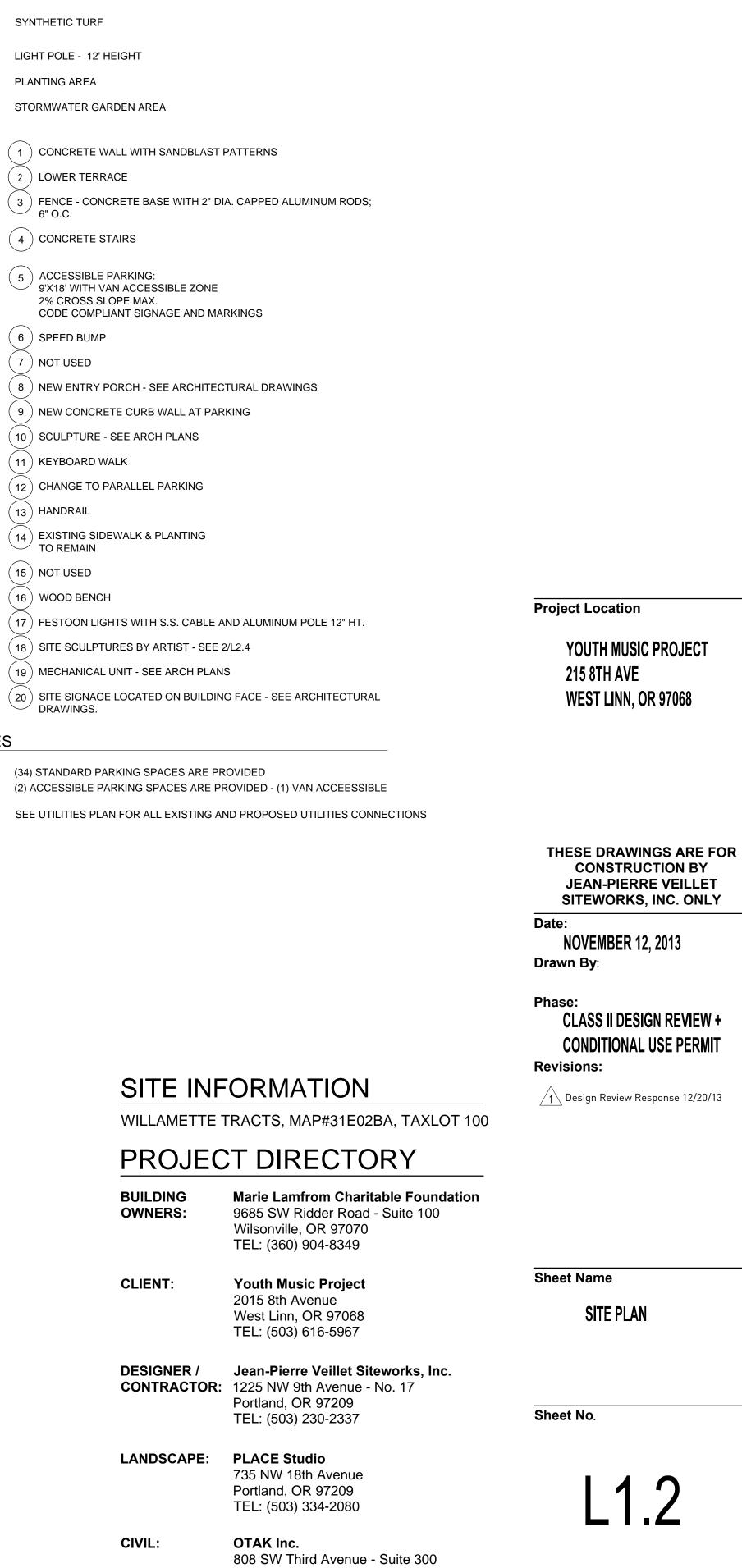
ATTACHMENT D: LANDSCAPE DRAWINGS

(ATTACHED: 11X17 COPIES; FULL-SIZED COPIES UNDER SEPARATE COVER)

PLACE

OTAK Inc. Portland, OR 97204

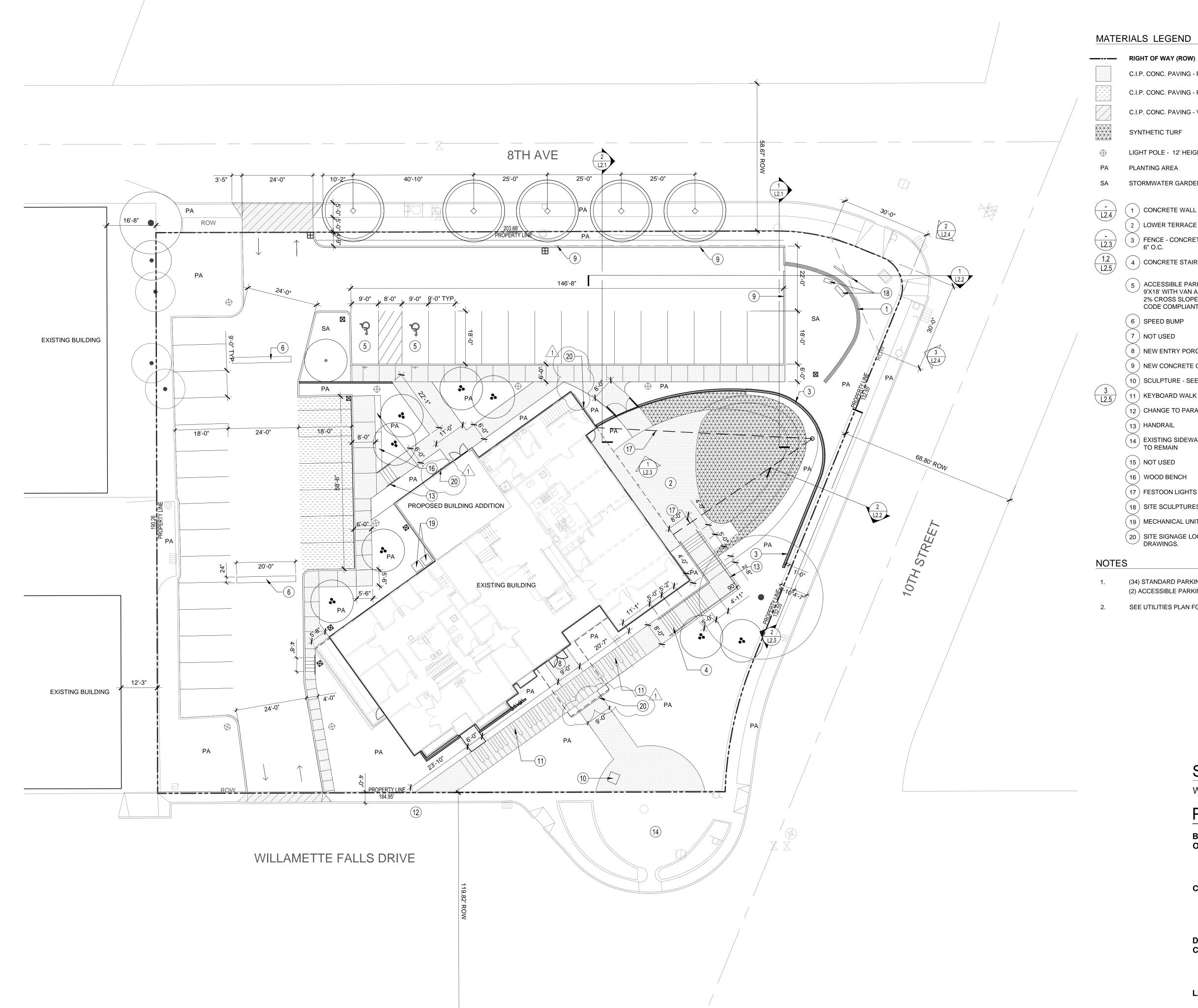
TEL: (503) 415-2319



C.I.P. CONC. PAVING - PEDESTRIAN

C.I.P. CONC. PAVING - VEHICULAR

C.I.P. CONC. PAVING - PEDESTRIAN SPECIAL FINISH



SITE PLAN

Wilsonville, OR 97070

Marie Lamfrom Charitable Foundation

9685 SW Ridder Road - Suite 100

TEL: (360) 904-8349

Youth Music Project 2015 8th Avenue West Linn, OR 97068 TEL: (503) 616-5967

Jean-Pierre Veillet Siteworks, Inc. DESIGNER / CONTRACTOR: 1225 NW 9th Avenue - No. 17 Portland, OR 97209

INFORMATION.

BUILDING

OWNERS:

CLIENT:

SEE SHEET P3.0 FOR STORMWATER / DRAINAGE

PROJECT DIRECTORY

TEL: (503) 230-2337 LANDSCAPE: PLACE Studio 735 NW 18th Avenue

Portland, OR 97209 TEL: (503) 334-2080

> OTAK Inc. 808 SW Third Avenue - Suite 300 Portland, OR 97204 TEL: (503) 415-2319

215 8TH AVE WEST LINN, OR 97068

THESE DRAWINGS ARE FOR **CONSTRUCTION BY** JEAN-PIERRE VEILLET

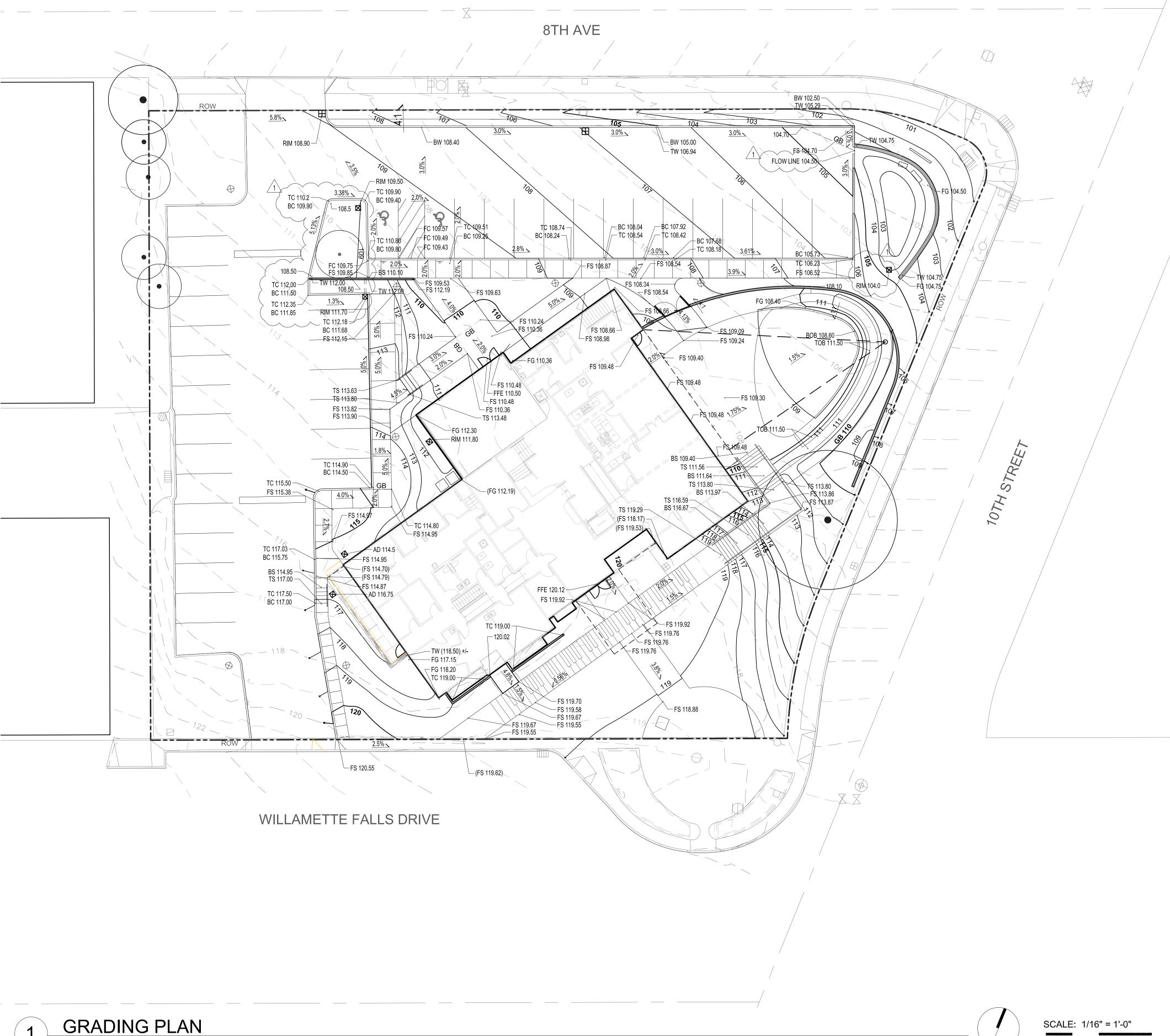
NOVEMBER 12, 2013

CLASS II DESIGN REVIEW + CONDITIONAL USE PERMIT Revisions:

Design Review Response 12/20/13

Sheet Name

Sheet No.



BOTTOM OF SLOPE **BOTTOM OF WALL** FINISH FLOOR ELEVATION FINISH SURFACE

GRADING LEGEND

• 75 PROPOSED MAJOR CONTOUR

• 76 PROPOSED MINOR CONTOUR

(78.68) EXISTING SPOT ELEVATION

78.68 PROPOSED SPOT ELEVATION

__<u>GB</u> ___ PROPOSED GRADE BREAK

ABBREVIATIONS

BOTTOM OF CURB BOTTOM OF BERM

AD AREA DRAIN

2.5% PROPOSED DIRECTION AND PERCENT SLOPE

RIGHT OF WAY (ROW)

—114— EXISTING CONTOUR

MATCH EXISTING POLE FOOTING

TOP OF STEP

TOP OF WALL

Project Location

YOUTH MUSIC PROJECT

SITEWORKS, INC. ONLY

Date:

Drawn By:

GRADING PLAN

PLACE

ATTACHMENT E: CIVIL ENGINEERING DRAWINGS

(ATTACHED: 11X17 COPIES; FULL-SIZED COPIES UNDER SEPARATE COVER)





HanmiGlobal Partner 808 SW 3rd Ave., Ste. 300 Portland, OR 97204 Phone: (503) 287-6825 Fax: (503) 415-2304 www.otak.com

Project Location Youth Music Project 2015 8th Ave West Linn, OR 97068

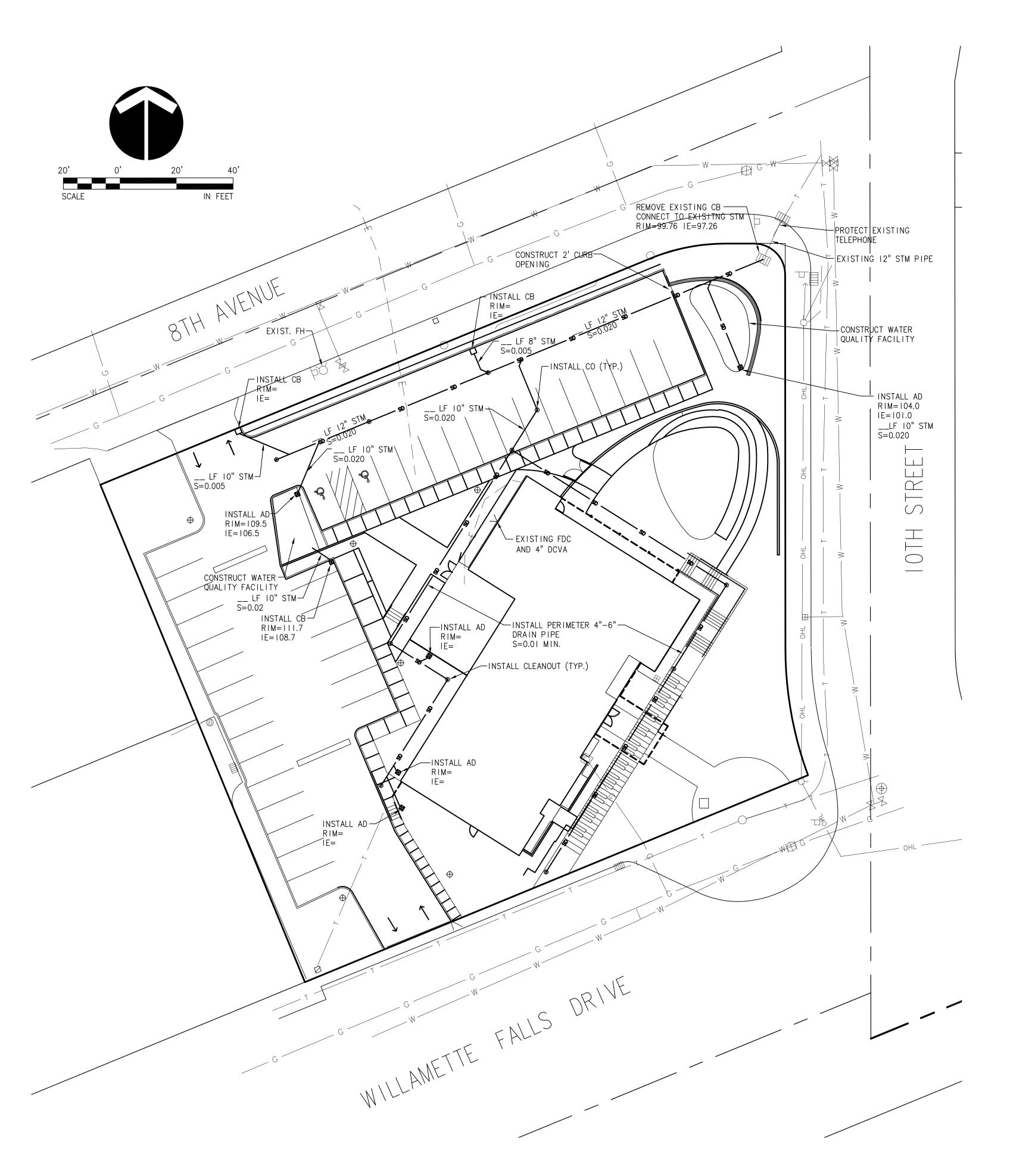
> THESE DRAWINGS ARE FOR CONSTRUCTION BY JEAN-PIERRE VEILLET SITEWORKS, INC. ONLY

2013.10.10

DESIGN DEVELOPMENT

Sheet Name STORM DRAIN PLAN

Sheet No.



STORM DRAIN

SHEET C7.01.

3. STORM SEWER PIPE, AS NOTED ON PLANS:

OF BASE ROCK, AND THE LINES ARE THOROUGHLY CLEANED.

I. THE ENDS OF STORM DRAIN LATERALS OR PIPE STUBS SHALL BE MARKED WITH A ONE PIECE 2"x4"

LENGTH OF 2"x4" AT EXPOSED END. ATTACH MAGNETIC TAPE ALONGSIDE THE 2"x4" MARKER.

2. ALL STORM SEWER PIPE SHALL BE INSTALLED WITH WATER-TIGHT JOINTS.

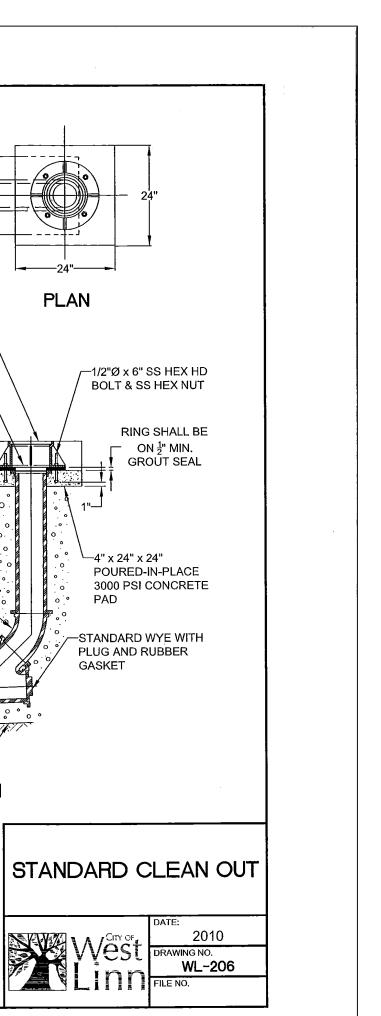
MARKER EXTENDING A MINIMUM 36" ABOVE THE GROUND WITH THE END PAINTED WHITE. MARK TOTAL

4. BACKFILL MUST BE COMPACTED TO A DENSITY NOT LESS THAN 95% STRUCTURAL FILL AREAS. MINIMUM COMPACTION IN UNPAVED, NON-STRUCTURAL FILL AREA IS 90%. COMPACTION IS TO BE PER AASHTO T-180 UNLESS OTHERWISE NOTED IN GEOTECHNICAL REPORT. BACKFILL MATERIAL PER DETAIL 280,

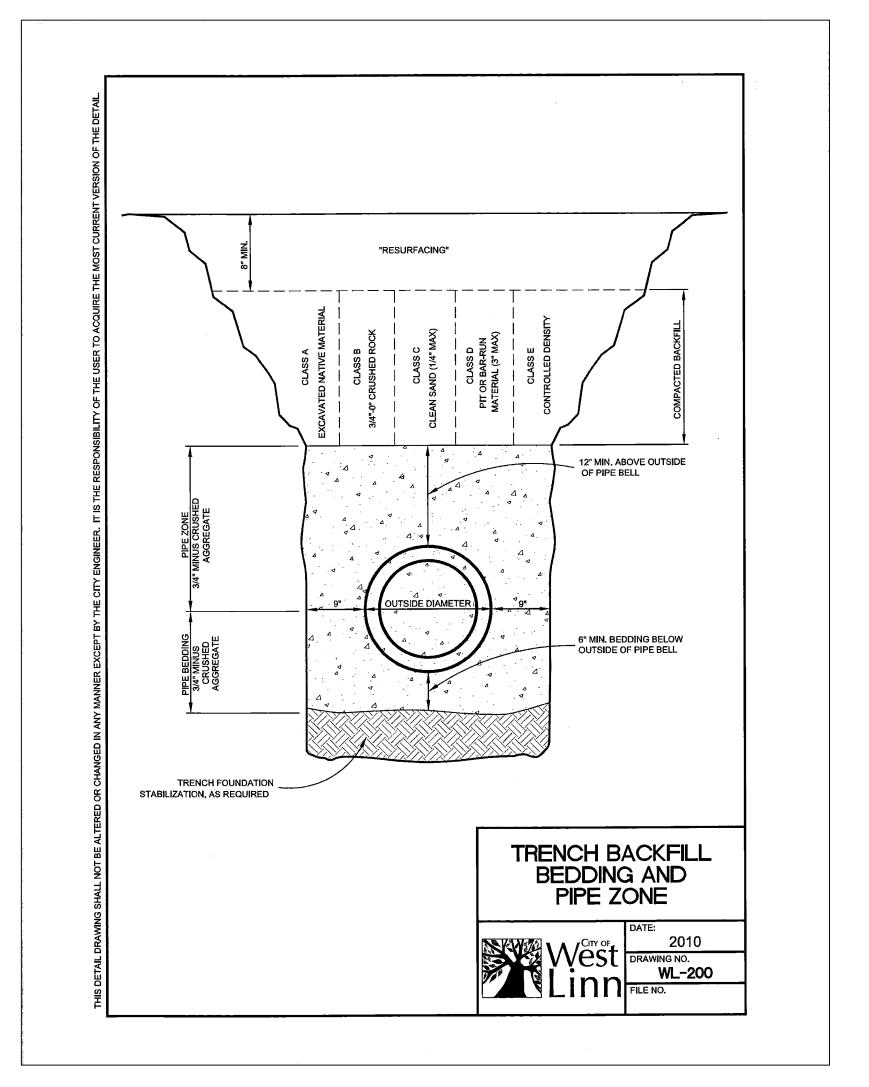
5. STORM DRAIN LINES SHALL BE TESTED ACCORDING TO THE REQUIREMENTS OF CITY OF WEST LINN.

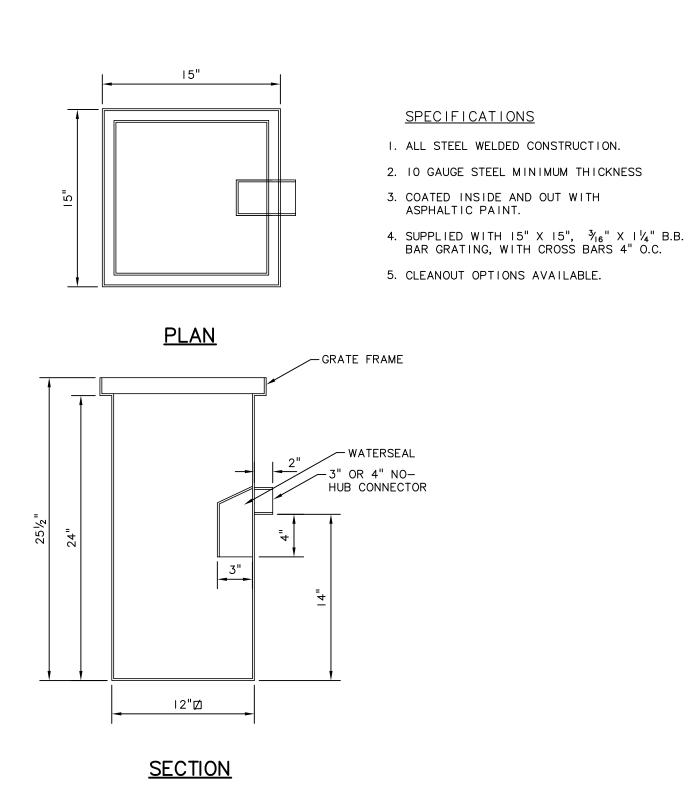
6. ALL NON-METALLIC STORM DRAIN PIPE SHALL BE INSTALLED WITH MAGNETIC LOCATING TAPE.

TESTING SHALL BE PERFORMED AFTER CONSTRUCTION IS COMPLETED INCLUDING BACKFILL, COMPACTION



─4" x 24" x 24"





COVER TO HAVE EMBOSSED "C.O."-

> CAST IRON CLEAN-OUT-RING AND COVER

INSTALL MECHANICAL SEAL-

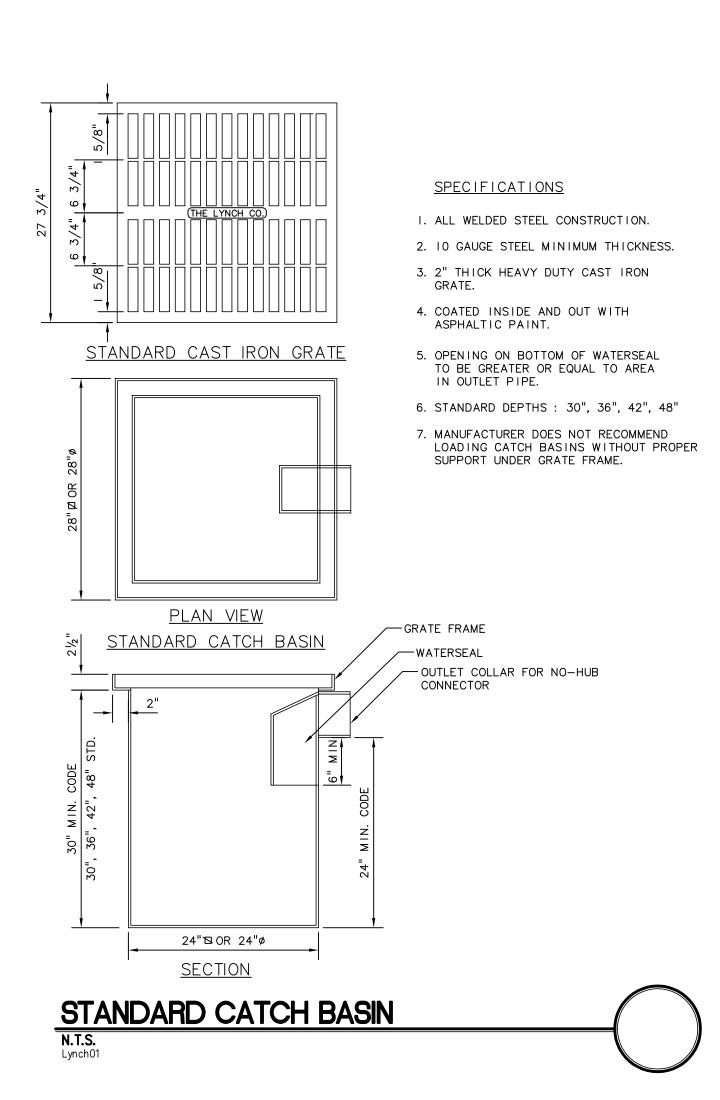
45° SHORT BEND-

UNDISTURBED EARTH BASE-

ELEVATION

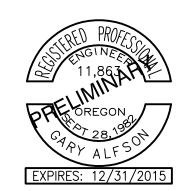
ENCASE IN 2' BY 2' CONCRETE PAD--IF LOCATED OUTSIDE OF PAVED AREA







HanmiGlobal Partner 808 SW 3rd Ave., Ste. 300 Portland, OR 97204 Phone: (503) 287-6825 Fax: (503) 415-2304 www.otak.com



Project Location Youth Music Project 2015 8th Ave

West Linn, OR 97068

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2013.10.10

Drawn By: MDH

DESIGN DEVELOPMENT

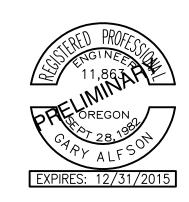
Sheet Name

STORM DRAIN NOTES AND DETAILS

Sheet No.



HanmiGlobal Partner
808 SW 3rd Ave., Ste. 300
Portland, OR 97204
Phone: (503) 287-6825
Fax: (503) 415-2304
www.otak.com



Project Location
Youth Music Project
2015 8th Ave
West Linn, OR 97068

THESE DRAWINGS ARE FOR CONSTRUCTION BY JEAN-PIERRE VEILLET SITEWORKS, INC. ONLY

Date: 2013.10.10

Phase: DESIGN DEVELOPMENT

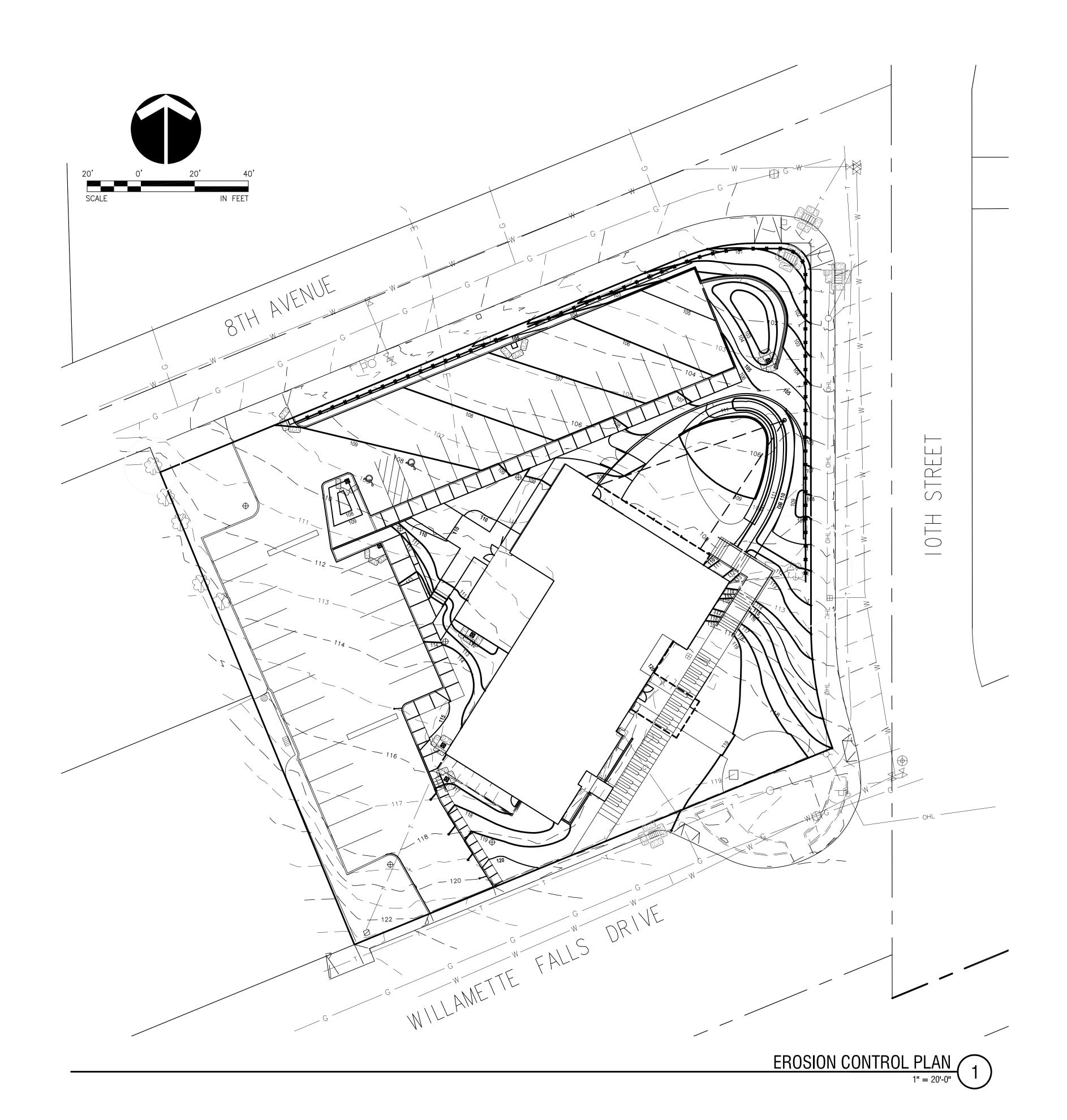
Revisions

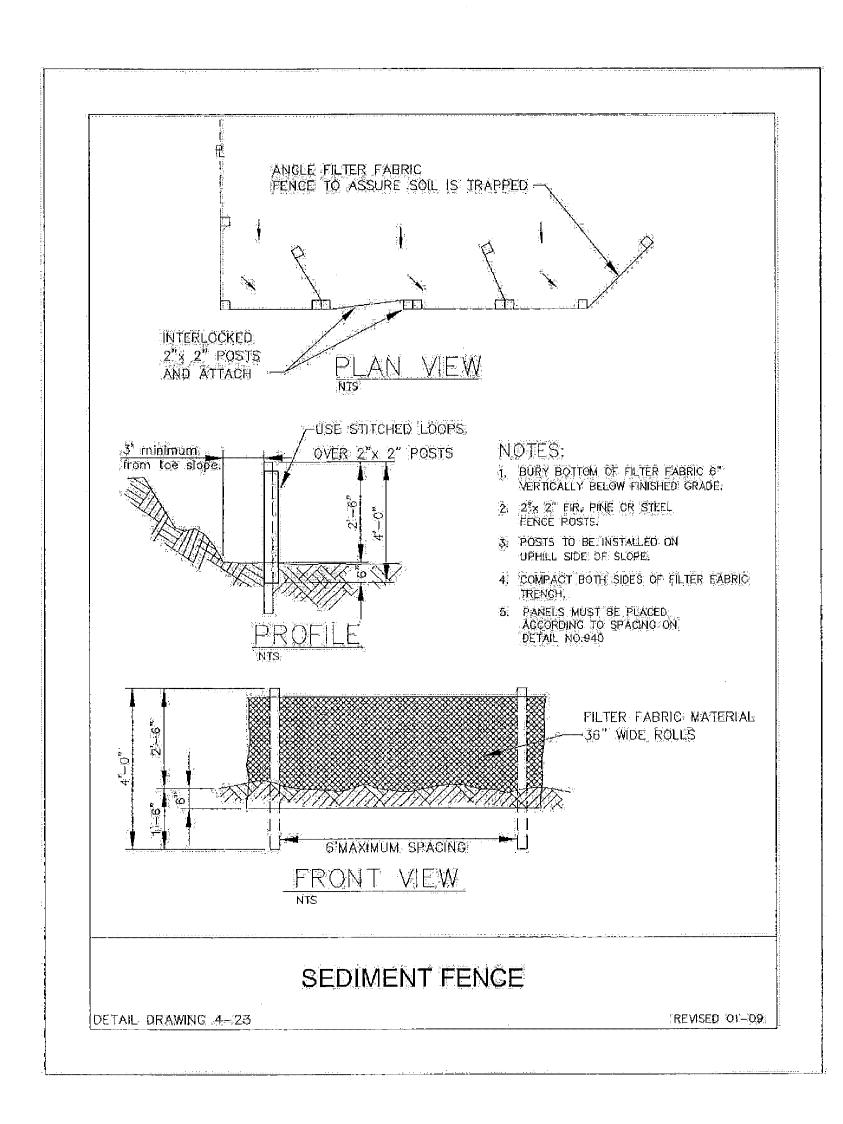
per Description [

Sheet Name EROSION CONTROL PLAN

Sheet No.

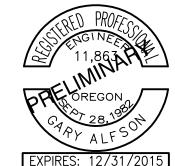
P4.0







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STANDARD EROSION AND SEDIMENT

KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.

2. CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION

3. DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR

4. SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF

5. ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH

6. SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP

DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM

IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PREFORMED ACCORDING TO THE OREGON

7. SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE

IT HAS REACHED A HEIGHT OF I/3RD THE BARRIER HEIGHT, AND PRIOR TO THE

9. CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT

10. ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER

II. THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS,

TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.

RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.

CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER

12. THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST

CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY

WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL

BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.

IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.

DESIGNATED LOCATION USING APPROPRIATE BMPS; SOIL MUST BE DRAINED

18. ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN

SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.

FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO

SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND

13. OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE

14. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING

LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL

BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN

THE DELINEATION FOR THE DURATION OF THE PROJECT. NOTE: VEGETATED CORRIDORS TO

15. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPS THAT MUST BE INSTALLED

ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET

THAN SEPTEMBER IST; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS

PROTECTION. THESE BMPS MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.

16. IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER

17. WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE

CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A

UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP

19. THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A

20. THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR

ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.

21. WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ONSITE AND AVAILABLE TO

22. IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPS MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING,

23. ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

8. SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN

WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY

CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY

DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.

OF BARE GROUND FROM OCTOBER I THROUGH MAY 31 EACH YEAR.

AT THE END OF EACH WORK DAY.

EXPOSED SOIL IS ESTABLISHED.

WAYS, OR WATER BODIES.

CONTROL MEASURES REMOVAL.

RIPARIAN ZONE.

REGULATIONS.

STORAGE, APPLICATION, AND DISPOSAL.

SUFFICIENTLY FOR MINIMAL SPILLAGE.

DISTRICT INSPECTORS UPON REQUEST.

MULCHING, OR OTHER APPROVED MEASURES.

(I.E. FILTER BAG).

BASINS.

CONTROL PLAN DRAWING NOTES:

I. WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE

Project Location 2015 8th Ave

> THESE DRAWINGS ARE FOR CONSTRUCTION BY **JEAN-PIERRE VEILLET**

2013.10.10

Sheet Name

SITEWORKS, INC. ONLY

Drawn By:

DESIGN DEVELOPMENT

MDH

Date

EROSION CONTROL NOTES AND DETAILS

Sheet No.