

# LAND USE DOCUMENTS

FOR

## HARPER'S TERRACE SUBDIVISION

PREPARED FOR

LF 10, LLC

### PROJECT TEAM

#### OWNER/APPLICANT

LF 10, LLC  
C/O: J.T. SMITH COMPANIES  
5285 MEADOWS ROAD, SUITE #171  
LAKE OSWEGO, OR 97035  
CONTACT: JOHN WYLAND  
jwyland@smithco.com

#### CIVIL ENGINEER

3J CONSULTING, INC.  
10445 SW CANYON ROAD, SUITE 245  
BEAVERTON, OR 97005  
CONTACT: BRIAN FEENEY  
PHONE: (503) 946-9365  
brian.feeneey@3j-consulting.com

#### PLANNING CONSULTANT

3J CONSULTING, INC.  
10445 SW CANYON ROAD, SUITE 245  
BEAVERTON, OR 97005  
CONTACT: ANDREW TULL  
PHONE: 503-946-9365  
EMAIL: andrew.tull@3j-consulting.com

#### GEOTECHNICAL CONSULTANT

GEOPACIFIC ENGINEERING, INC.  
14835 SW 72ND AVENUE  
PORTLAND, OR 97224  
CONTACT: SCOTT HARDMAN  
PHONE: (503) 625-4455  
shardman@geopacificeng.com

#### LAND SURVEYOR

COMPASS SURVEYING  
4107 SE INTERNATIONAL WAY, SUITE 705  
MILWAUKIE, OR 97222  
CONTACT: DON DEVLAEINCK, PLS  
PHONE: 503-653-9093  
dond@compass-engineering.com

### SITE INFORMATION

#### SITE ADDRESS

4997 SUMMIT STREET  
WEST LINN, OR 97068

#### TAX LOT

2S1E25DB 500

#### FLOOD HAZARD

MAP NUMBER: 41005C0257D ZONE X (UNSHADED)

#### JURISDICTION

CITY OF WEST LINN

#### ZONING

R-10

### UTILITIES & SERVICES

#### WATER, STORM, SEWER

CITY OF WEST LINN

#### POWER

PGE  
CONTACT: MIKE HIEB  
503-570-4412

#### GAS

NORTHWEST NATURAL  
503-706-0159: DAN

#### CABLE

COMCAST  
503-793-9981: KEN

#### TELEPHONE

CENTURY LINK  
CONTACT: THERESA COLEMAN  
503-242-3952

#### FIRE

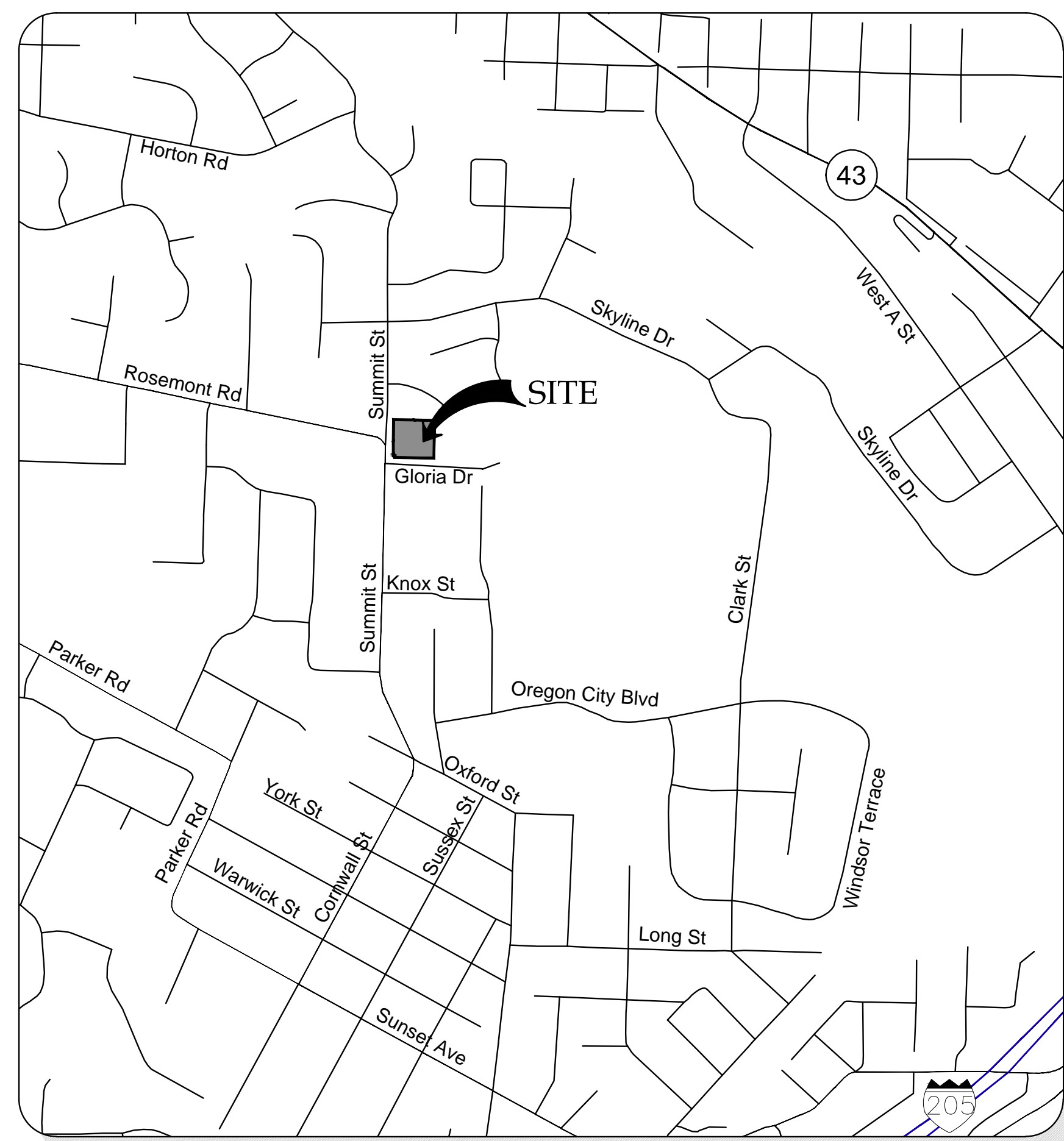
TUALATIN VALLEY FIRE & RESCUE

#### POLICE, SCHOOLS, ROADS, PARKS

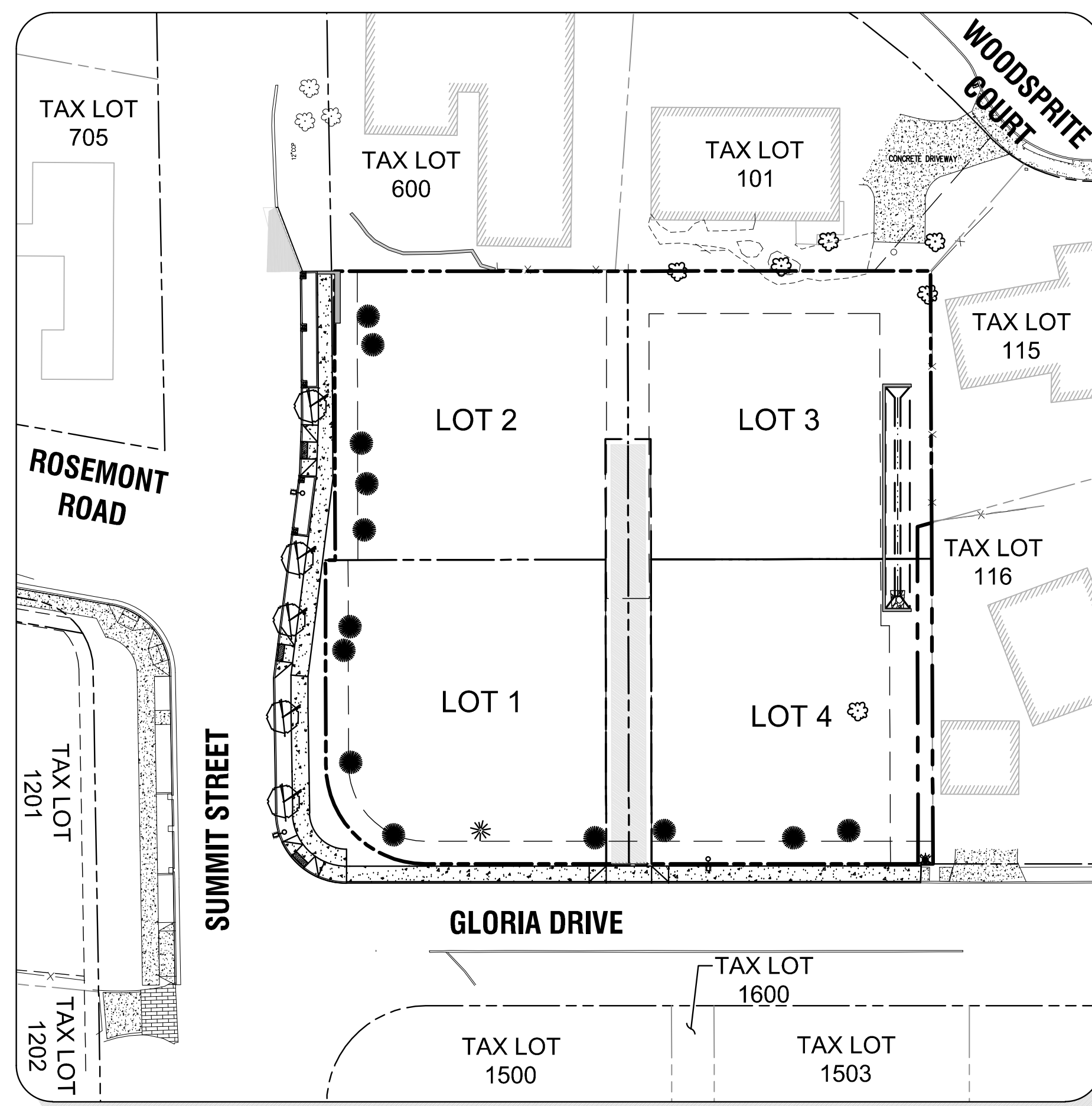
CITY OF WEST LINN

### SHEET INDEX

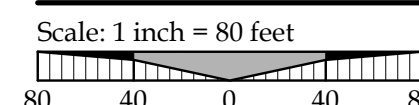
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C1.1	DEMOLITION PLAN
C1.2	TREE PROTECTION AND REMOVAL PLAN
C1.3	SLOPE ANALYSIS PLAN
C2.0	TENTATIVE SUBDIVISION PLAT - PH 1
C2.0A	TENTATIVE SUBDIVISION PLAT - PH 2
C2.1	SITE PLAN
C2.2	GRADING AND EROSION CONTROL PLAN
C3.0	COMPOSITE UTILITY PLAN
C3.1	STREET LIGHTING PLAN
L1.0	MITIGATION PLANTING



VICINITY MAP  
NOT TO SCALE



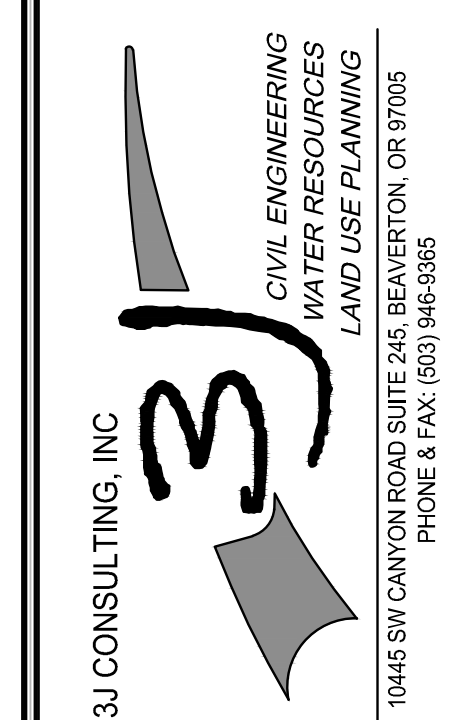
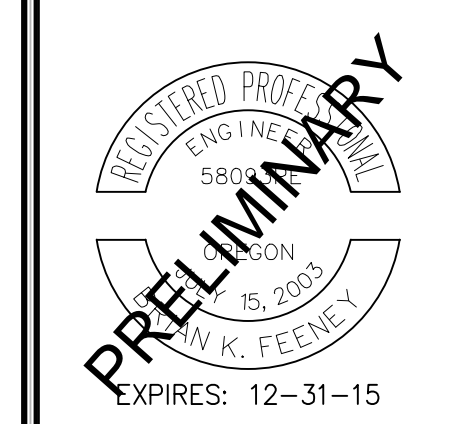
SITE MAP



TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF  
SECTION 25, T.2S., R.1E., W.M.  
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

LAND USE REVISION SUMMARY BY DATE  
01/28/14

COVER SHEET  
HARPER'S TERRACE  
SUBDIVISION  
LF 10, LLC  
WEST LINN, OR



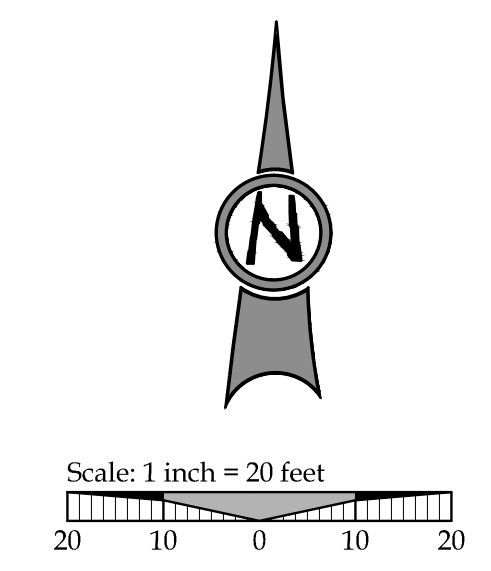
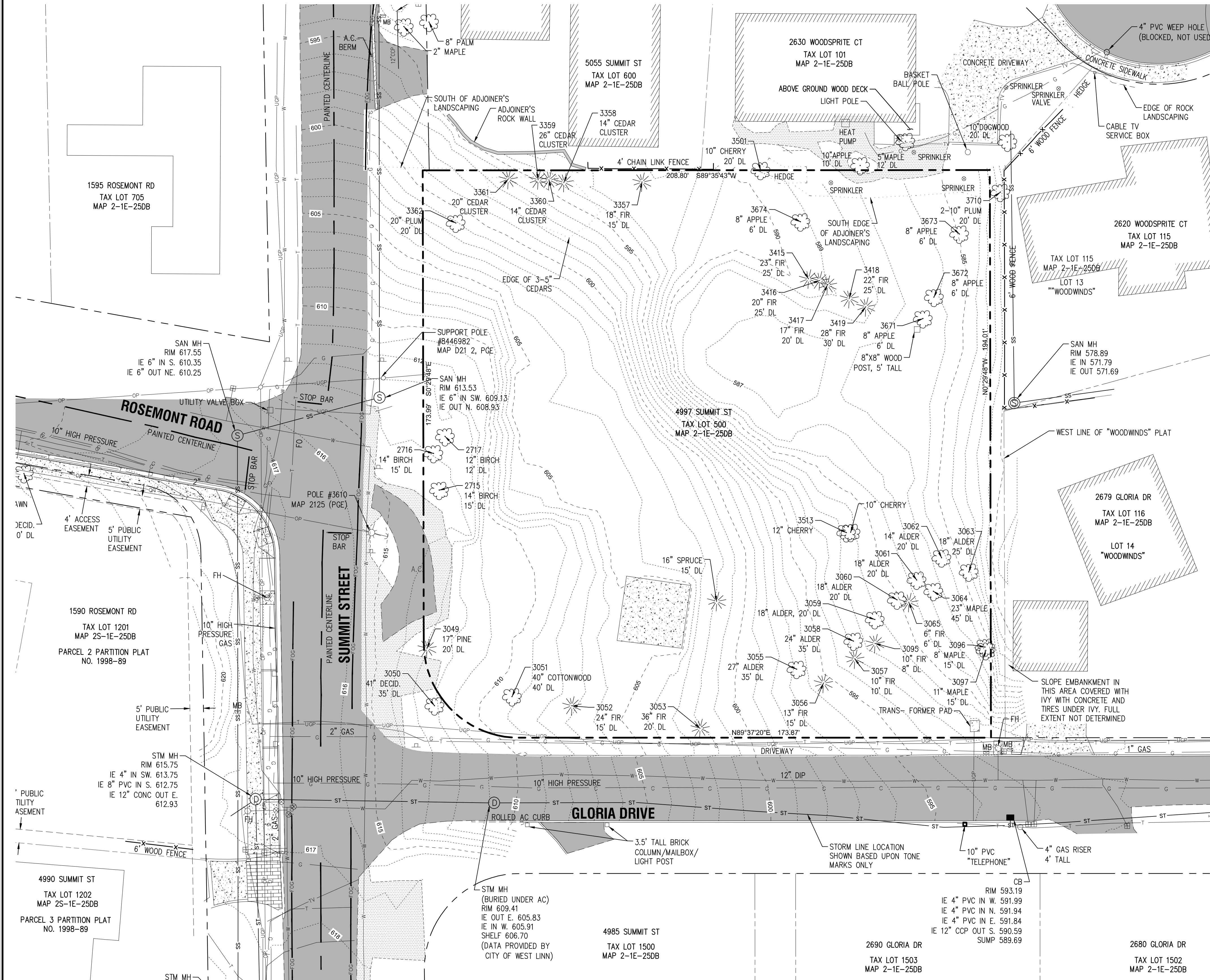
3J JOB ID # | 13123  
LAND USE # |  
TAX LOT # | 2S1E25DB 500  
DESIGNED BY | BCH  
CHECKED BY | BKF

SHEET TITLE  
COVER SHEET

SHEET NUMBER  
C0.0

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M.  
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

**EXISTING CONDITIONS PLAN**  
THIS PLAN IS INTENDED FOR USE AS AN EXISTING CONDITIONS PLAN SHOWING THE CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. INFORMATION SHOWN ON THIS PLAN WAS DEVELOPED FROM THE TOPOGRAPHIC SURVEY, AERIAL PHOTOS, AND SITE OBSERVATIONS BY THE ENGINEER. NOT ALL SURFACE FEATURES OR UTILITIES MAY BE SHOWN. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION TO DETERMINE WORK SPECIFIC DETAILS. TOPOGRAPHIC INFORMATION PROVIDED BY COMPASS ENGINEERING DATED APRIL, 2013.



**LEGEND**

---	BOUNDARY LINE	---	CURB
- - - -	RIGHT-OF-WAY	▨	ASPHALT
—+—+—+—	CENTERLINE	▨	SIWALK
---	LOT LINE	▨	GRAVEL
▭	BUILDING	☼	EXISTING TREES
---	1 FT CONTOUR	☼	LIGHT POLE
---	5 FT CONTOUR	☼	TRAFFIC SIGN
SS	SANITARY SEWER	☼	WATER VALVE
ST	STORM SEWER	☼	WATER METER
W	WATER LINE	☼	FIRE HYDRANT
G	GAS LINE	☼	STORM MANHOLE
UGP	UNDERGROUND POWER	☼	SANITARY MANHOLE
TEL	UNDERGROUND PHONE LINE	☼	
OP	OVERHEAD POWER	☼	

- NOTES**
- UTILITY INFORMATION SHOWN ON THIS MAP IS BASED UPON OBSERVED FEATURES, RECORD DATA AND TONE MARKS PROVIDED BY PUBLIC UTILITY LOCATION SERVICES. NO WARRANTIES ARE MADE REGARDING THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. ADDITIONAL UTILITIES MAY EXIST. INTERESTED PARTIES ARE HEREBY ADVISED THAT UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION OF ANY CRITICAL ITEMS.
  - BASIS OF ELEVATIONS: NAVD '88.
  - VERTICAL DATUM: NAVD '88 UTILIZING GPS POSITIONING TIED TO THE ORGN WITH REAL TIME CORRECTORS REFERENCED TO NAD '83 (2011).
  - TOPOGRAPHIC FEATURES SHOWN ON THIS MAP WERE LOCATED USING STANDARD PRECISION TOPOGRAPHIC MAPPING PROCEDURES. THIRD PARTY USERS OF DATA FROM THIS MAP PROVIDED VIA AUTOCAD DRAWING FILES OR DATA EXCHANGE FILES SHOULD NOT RELY ON ANY AUTOCAD GENERATED INFORMATION WHICH IS BEYOND THE LIMITS OF PRECISION OF THIS MAP. THIRD PARTIES USING DATA FROM THIS MAP IN AN AUTOCAD FORMAT SHOULD VERIFY ANY ELEMENTS REQUIRING PRECISE LOCATIONS PRIOR TO COMMENCEMENT OF ANY CRITICAL DESIGN OR CONSTRUCTION. CONTACT COMPASS ENGINEERING FOR FURTHER INFORMATION. FURTHERMORE, COMPASS ENGINEERING WILL NOT BE RESPONSIBLE NOR HELD LIABLE FOR ANY DESIGN OR CONSTRUCTION RELATED PROBLEMS THAT ARISE OUT OF THIRD PARTY USAGE OF THIS MAP (IN AUTOCAD OR OTHER FORMAT) FOR ANY PURPOSE OTHER THAN SPECIFICALLY STATED HEREIN. THIS STATEMENT IS AN OFFICIAL PART OF THIS MAP.

LAND USE  
REVISION SUMMARY  
DATE  
01/28/14

EXISTING CONDITIONS  
**HARPER'S TERRACE**  
SUBDIVISION  
LF 10, LLC  
WEST LINN, OR

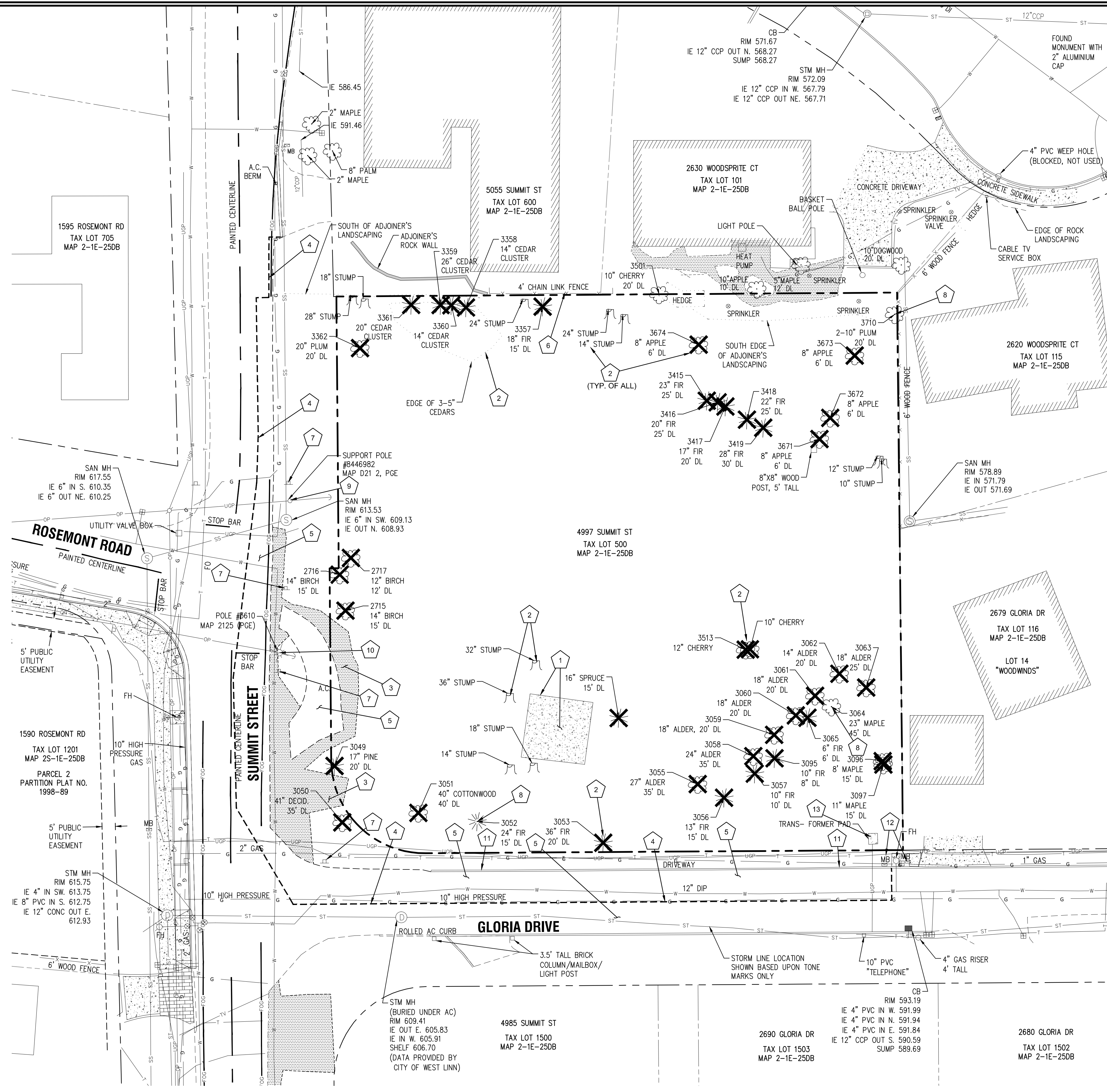
J.T. SMITH  
companies

REGISTERED PROFESSIONAL ENGINEER  
PRELIMINARY  
EXPIRES: 12-31-15

3J CONSULTING, INC.  
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING  
10445 SW CANYON ROAD SUITE 245 BEAVERTON, OR 97005  
PHONE & FAX: (503) 946-5685

3J JOB ID # | 13123  
LAND USE # |  
TAX LOT # | 251E25DB 500  
DESIGNED BY | BCH  
CHECKED BY | BKF

SHEET TITLE  
**EXISTING**  
SHEET NUMBER  
**C1.0**



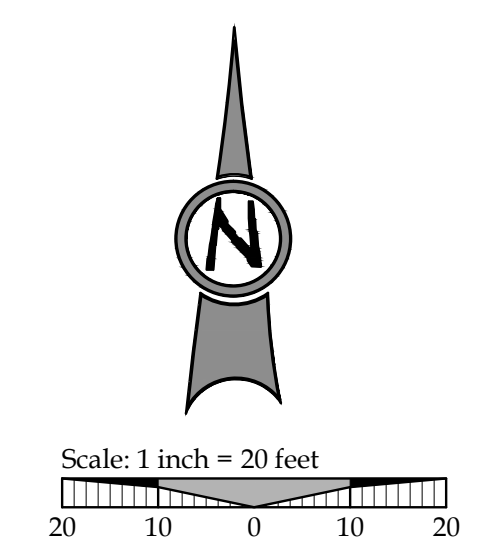
**LEGEND**

--- (dashed line)	BOUNDARY LINE	--- (dashed line)	SAWCUT LINE
--- (dashed line)	RIGHT-OF-WAY	--- (dashed line)	ASPHALT
--- (dashed line)	CENTERLINE	--- (dashed line)	SIDEWALK/CONCRETE
--- (dashed line)	LOT LINE	--- (dashed line)	GRAVEL
--- (dashed line)	BUILDING	--- (dashed line)	EXISTING TREES
--- (dashed line)	EXISTING EDGE OF WETLAND	--- (dashed line)	LIGHT POLE
--- (dashed line)	CREEK CENTERLINE	--- (dashed line)	TRAFFIC SIGN
--- (dashed line)	SANITARY SEWER	--- (dashed line)	WATER VALVE
--- (dashed line)	STORM SEWER	--- (dashed line)	WATER METER
--- (dashed line)	GAS LINE	--- (dashed line)	SPRINKLER VALVE
--- (dashed line)	UNDERGROUND POWER	--- (dashed line)	FIRE HYDRANT
--- (dashed line)	UNDERGROUND PHONE LINE	--- (dashed line)	EXISTING TREE TO BE REMOVED
--- (dashed line)	OVERHEAD POWER		
--- (dashed line)	CURB		

- CONSTRUCTION KEY NOTES**
- DEMOLISH AND REMOVE EXISTING CONCRETE BUILDING PAD. DEBRIS AND REFUSE TO BE DISPOSED OFF-SITE AT AN APPROVED LOCATION.
  - REMOVE EXISTING TREE/LANDSCAPING NECESSARY TO INSTALL IMPROVEMENTS. SEE SHEET C2.0. ALL EXISTING TREE STUMPS TO BE REMOVED AND DISPOSED OF OFF-SITE.
  - REMOVE EXISTING GRAVEL SHOULDER/DRIVEWAY. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
  - SAWCUT EXISTING ASPHALT PAVEMENT.
  - REMOVE EXISTING ASPHALT SURFACING AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF SITE.
  - PROTECT EXISTING FENCING TO REMAIN.
  - REMOVE AND REPLACE EXISTING STREET SIGNS.
  - PROTECT EXISTING TREE TO REMAIN (TYPICAL) , SEE SHEET C1.2.
  - RELOCATE EXISTING SUPPORT POLE.
  - REMOVE EXISTING POWER POLE. CONTRACTOR TO COORDINATE WITH PGE.
  - REMOVE EXISTING CONCRETE CURB. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
  - RELOCATE EXISTING MAILBOXES.
  - REMOVE AND RELOCATE EXISTING TRANSFORMER AND TRANSFORMER PAD.

- GENERAL DEMOLITION NOTES**
- DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
  - ALL EXISTING PROPERTY UTILITY SERVICES TO BE TERMINATED AND CAPPED AT THE RIGHT OF WAY PRIOR TO DEMOLISHING ANY EXISTING BUILDINGS.
  - CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
  - CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
  - CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.
  - CONSTRUCTION AND DEMOLITION ACTIVITIES SHALL BE PHASED IN SUCH A MANNER AS TO ENSURE THAT PUBLIC ACCESS ROADS ARE NOT BLOCKED AND REMAIN OPERATIONAL.
  - SEE TREE PROTECTION AND REMOVAL PLAN (SHEET C1.2) FOR ALL TREE REMOVAL INFORMATION.

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LAND USE**

01/28/14	DATE
	BY
	REVISION SUMMARY

**DEMOLITION PLAN**  
**HARPER'S TERRACE**  
**SUBDIVISION**  
 LF 10, LLC  
 WEST LINN, OR

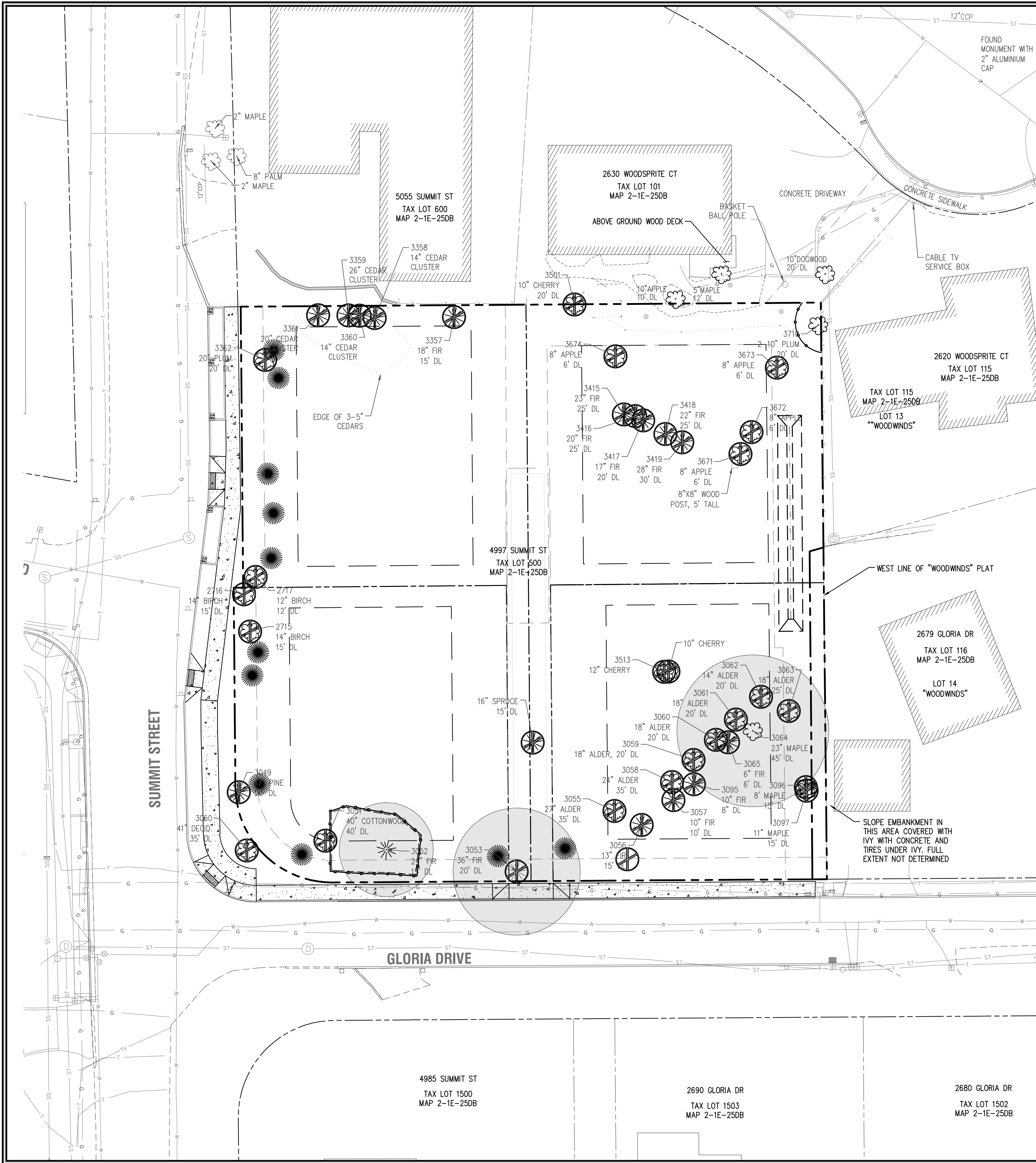


**3J CONSULTING, INC**  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 10445 SW CANYON ROAD, SUITE 245, BEAVERTON, OR 97005  
 PHONE & FAX: (503) 946-6385

3J JOB ID #	I 13123
LAND USE #	I
TAX LOT #	251E25DB 500
DESIGNED BY	I BCH
CHECKED BY	I BKF

SHEET TITLE  
**DEMOLITION**  
 SHEET NUMBER

**C1.1**

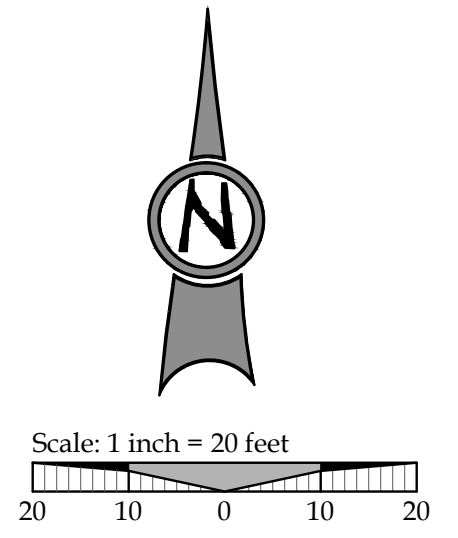


TREE INVENTORY					
SURVEY NUMBER	TREE SPECIES	NOMINAL CALIPER SIZE (INCHES)	PROPOSED ACTION	SIGNIFICANT DESIGNATION	REMOVE DUE TO CONDITION
2715	EUROPEAN WHITE BIRCH	14	REMOVE	NO	INVASIVE SPECIES
2716	EUROPEAN WHITE BIRCH	14	REMOVE	NO	INVASIVE SPECIES
2717	EUROPEAN WHITE BIRCH	12	REMOVE	NO	INVASIVE SPECIES
3049	LOGGE POLE PINE	17	REMOVE	NO	MECHANICAL DAMAGE
3050	PRINCESS TREE	41	REMOVE FROM ROW	NO	INVASIVE SPECIES
3051	BLACK COTTONWOOD	40	REMOVE	NO	BROKEN TOP, DECAY
3052	DOUGLAS FIR	24	SAVE	NO	NO MAJOR DEFECTS
3053	DOUGLAS FIR	36	REMOVE	NO	NO MAJOR DEFECTS
3054	SPRUCE	16	REMOVE	NO	POOR STEM STRUCTURE
3055	RED ALDER	27	REMOVE	NO	FORKED TOP BRANCH DECAY
3056	GRAND FIR	13	REMOVE	NO	FORKED TOP BRANCH DECAY
3057	GRAND FIR	10	REMOVE	NO	DEAD BRANCHES POOR CROWN BROKEN TOP, MULTI NEW TOPS
3058	RED ALDER	24	REMOVE	NO	12 DEG. LEAN
3059	RED ALDER	18	REMOVE	NO	BASAL STEM DECAY
3060	RED ALDER	18	REMOVE	NO	BASAL STEM DECAY
3061	RED ALDER	18	REMOVE	NO	MECH. DAMAGE, DECAY
3062	RED ALDER	14	REMOVE	NO	OVER-GROWN IVY
3063	BIGLEAF MAPLE	23	SAVE IF POSSIBLE	NO	8 DEG. LEAN, DECAY
3064	DOUGLAS FIR	6	REMOVE	NO	OVER-TOPPED, SUPPRESSED
3095	GRAND FIR	10	REMOVE	NO	SMALL CROWN, DECAY
3096	BIGLEAF MAPLE	8	REMOVE	NO	POOR CONDITION
3097	BIGLEAF MAPLE	11	REMOVE	NO	POOR CONDITION
3357	NOBLE FIR	18	REMOVE	NO	SUSPECT INFESTATION
3358	PORT-ORFORD-CEDAR	14	REMOVE	NO	VERY POOR STRUCT.
3359	PORT-ORFORD-CEDAR	14	REMOVE	NO	VERY POOR STRUCT.
3360	PORT-ORFORD-CEDAR	26	REMOVE	NO	VERY POOR STRUCT.
3361	PORT-ORFORD-CEDAR	20	REMOVE	NO	VERY POOR STRUCT. DECAY IN JUNCTURE, NOT MAINTAINED
3415	DOUGLAS FIR	23	REMOVE	NO	TOPPED IN PAST, POOR STRUCT.
3416	DOUGLAS FIR	20	REMOVE	NO	TOPPED IN PAST, POOR STRUCT.
3417	DOUGLAS FIR	28	REMOVE	NO	TOPPED IN PAST, POOR STRUCT.
3418	DOUGLAS FIR	17	REMOVE	NO	CODOM STEMS, HISTORY OF FAILURE
3419	DOUGLAS FIR	22	REMOVE	NO	BROKEN TOP, DECAY IN JUNCTURE
3501	SWEET CHERRY	10	REMOVE	NO	INVASIVE SPECIES
3513	SWEET CHERRY	10,12	REMOVE	NO	INVASIVE SPECIES
3671	APPLE	8	REMOVE	NO	DECAY
3672	APPLE	8	REMOVE	NO	DECAY
3673	APPLE	8	REMOVE	NO	DECAY
3674	APPLE	8	REMOVE	NO	DECAY
3710	PLUM	2'10	PROTECT ADJACENT TREE	NO	PROTECTION FENCING AT PROPERTY LINE

GENERAL TREE INVENTORY STATISTICS	
TOTAL TREE INVENTORY:	41 ea
TOTAL TREES RETAINED:	4 ea
TOTAL TREES REMOVED:	37 ea
TREES REMOVED DUE TO CONDITION:	34 ea
TOTAL TREE CALIPER INCHES:	738 inches
TOTAL CALIPER INCHES RETAINED:	103 inches
TOTAL CALIPER INCHES REMOVED:	635 inches

SIGNIFICANT TREE STATISTICS	
SIGNIFICANT TREE INVENTORY:	3 ea
SIGNIFICANT TREES RETAINED:	2 ea
SIGNIFICANT TREES REMOVED:	1 ea
SIGNIFICANT TREE CALIPER INCHES:	83 inches
SIGNIFICANT CALIPER INCHES RETAINED:	47 inches
SIGNIFICANT CALIPER INCHES REMOVED:	36 inches
SIGNIFICANT TREE CANOPY COVERAGE:	3,061 Sq. Ft.
SIGNIFICANT TREE CANOPY RETAINED:	2,043 Sq. Ft.
SIGNIFICANT TREE CANOPY RETENTION:	67%
PRESERVATION EASEMENT AREA PROVIDED:	612 Sq. Ft.

- LEGEND**
- EXISTING SIGNIFICANT DECIDUOUS TREE
  - EXISTING SIGNIFICANT CONIFEROUS TREE
  - TREE POINT, TYPE, CALIPER AND DRIP LINE
  - SIGNIFICANT TREE CANOPY
  - TREE TO BE REMOVED
  - TREE PROTECTION FENCING
  - TREE PRESERVATION EASEMENT



LAND USE  
01/28/14  
BY DATE  
REVISION SUMMARY

TREE PROTECTION AND REMOVAL PLAN  
**HARPER'S TERRACE**  
SUBDIVISION  
LF 10, LLC  
WEST LINN, OR

J.T. SMITH companies

REGISTERED PROFESSIONAL ENGINEER  
PRELIMINARY  
EXPIRES: 12-31-15

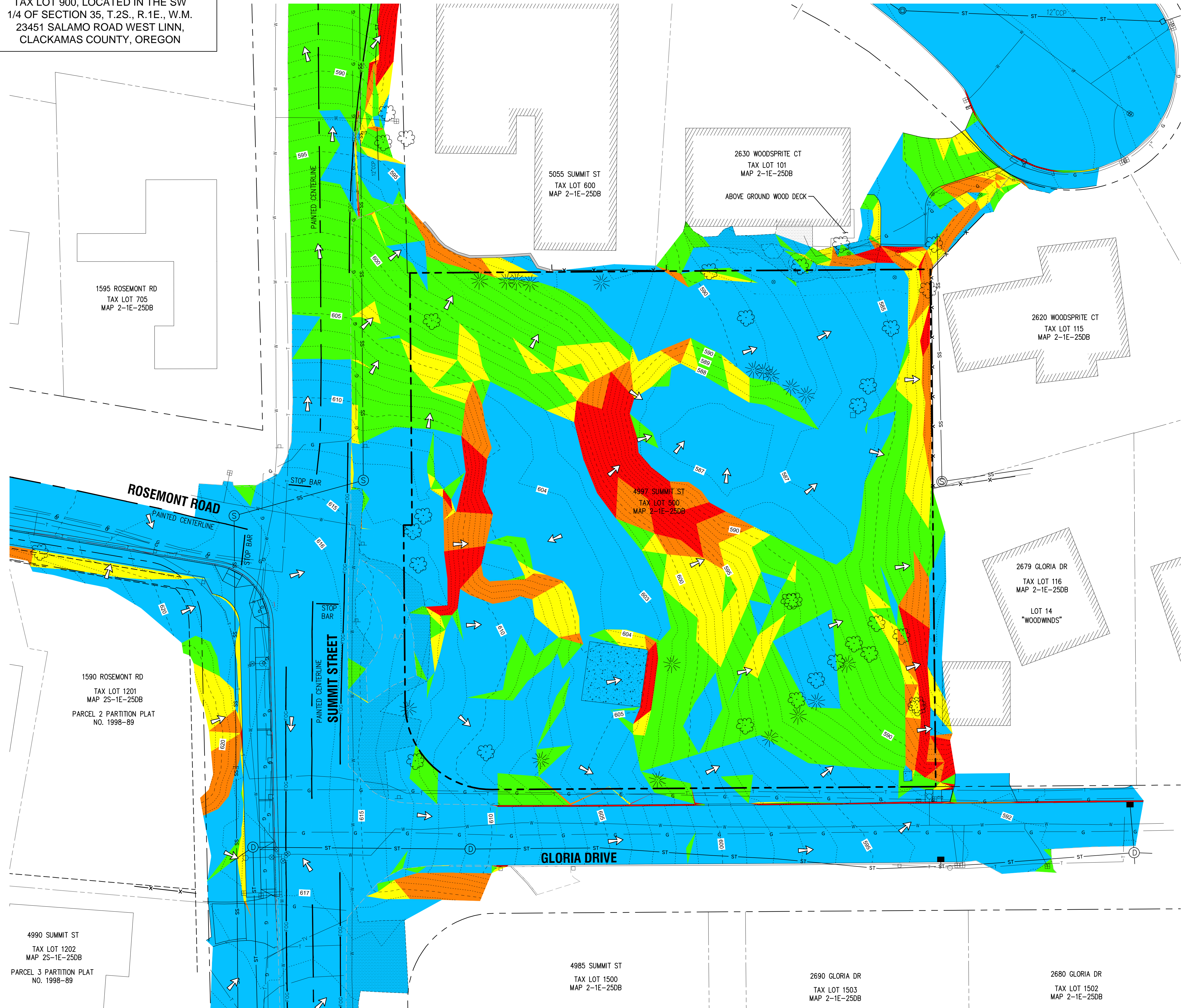
3J CONSULTING, INC  
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING  
10445 SW CANYON ROAD SUITE 245, BEAVERTON, OR 97005  
PHONE & FAX: (503) 946-5385

3J JOB ID # | 13123  
LAND USE # |  
TAX LOT # | 251E25DB 500  
DESIGNED BY | BCH  
CHECKED BY | BKF

SHEET TITLE  
**TREE PLAN**  
SHEET NUMBER

**C1.2**

TAX LOT 900, LOCATED IN THE SW  
1/4 OF SECTION 35, T.2S., R.1E., W.M.  
23451 SALAMO ROAD WEST LINN,  
CLACKAMAS COUNTY, OREGON



**LEGEND**

- BOUNDARY LINE
- ..... 1 FOOT CONTOUR
- 5 FOOT CONTOUR
- ☼ EXISTING TREES
- ➔ RUNOFF FLOW DIRECTION

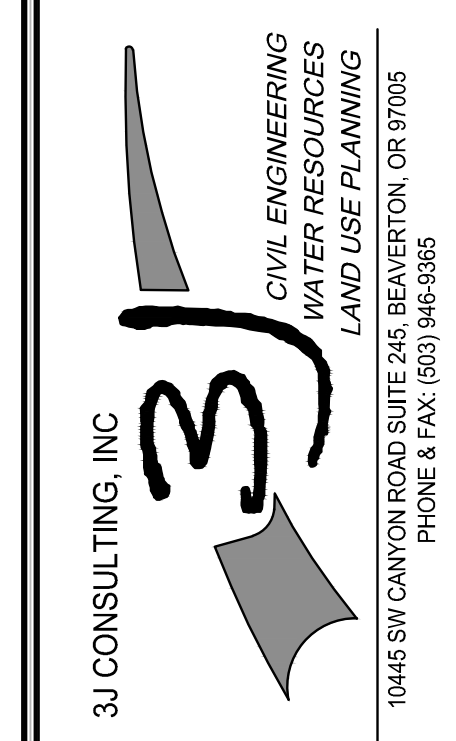
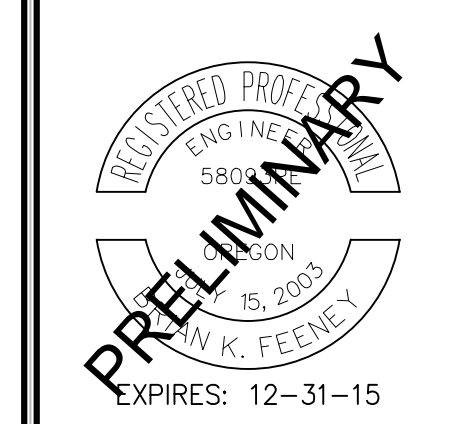
**SITE SLOPE ANALYSIS TABLE**

Minimum Slope	Maximum Slope	Area (sf)	%	Color
0%	15%	69,047	66.1	Blue
16%	25%	22,348	21.4	Green
26%	35%	5,777	5.5	Yellow
36%	50%	3,897	3.7	Orange
>50%	--	3,352	3.2	Red

LAND USE

01/28/14
BY DATE
REVISION SUMMARY
A

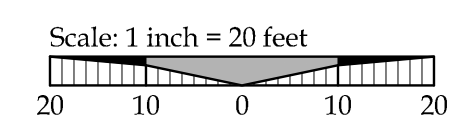
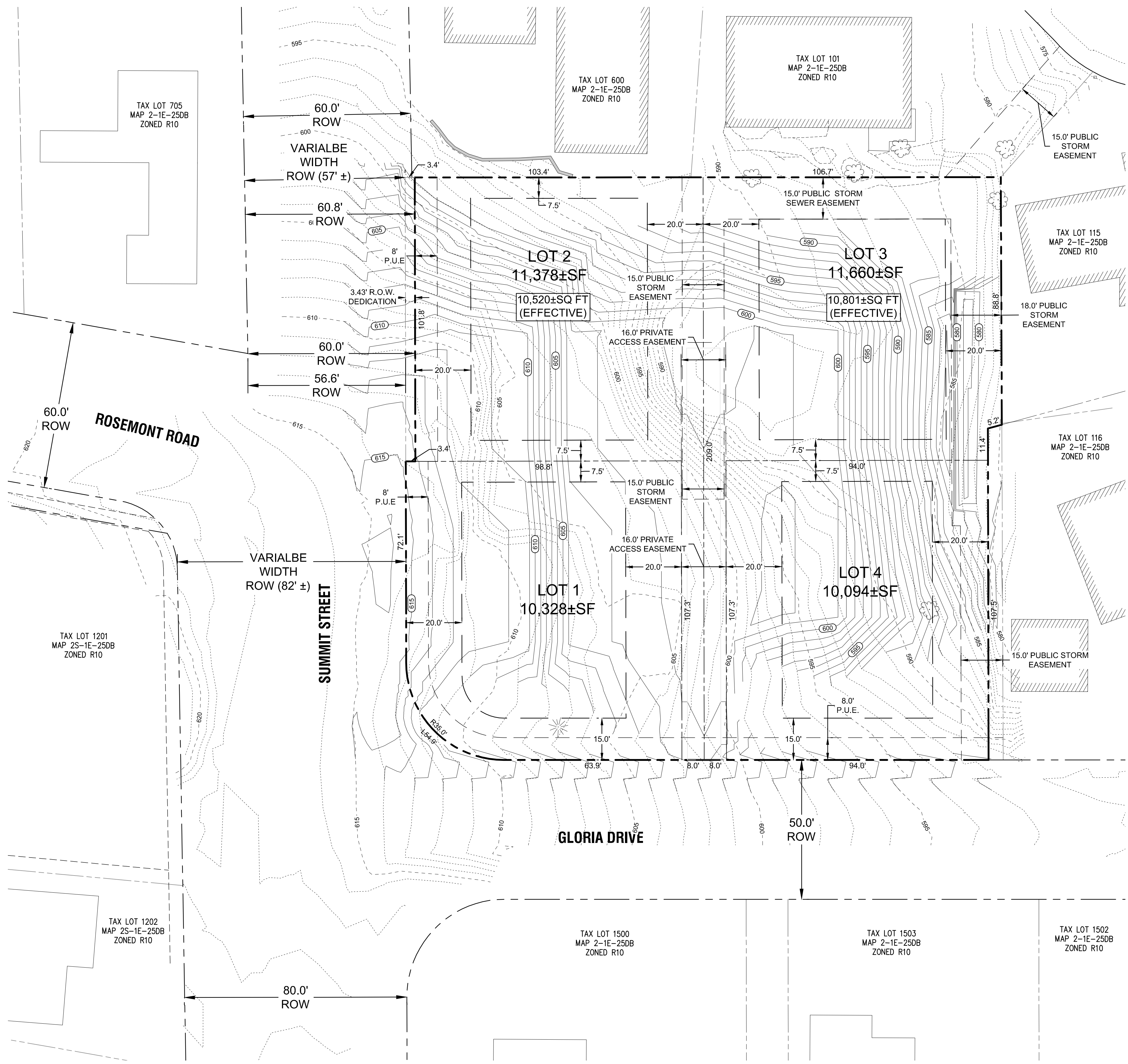
**SLOPE ANALYSIS PLAN**  
**HARPER'S TERRACE**  
**SUBDIVISION**  
LF 10, LLC  
WEST LINN, OR



3J JOB ID #	13123
LAND USE #	
TAX LOT #	2S1E25DB 500
DESIGNED BY	BCH
CHECKED BY	BKF

SHEET TITLE  
**SLOPE ANALYSIS**  
SHEET NUMBER  
**C1.3**

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

---	BOUNDARY LINE
- - - -	EXISTING RIGHT-OF-WAY
---	EXISTING LOT LINE
---	EXISTING CURB
---	PROPOSED LOT LINE
---	PROPOSED SETBACK LINE

**SITE STATISTICS**

SITE ADDRESS	4997 SUMMIT STREET WEST LINN, OR 97068
TAXLOT	2S1E25DB 500
JURISDICTION	CITY OF WEST LINN
GROSS SITE AREA	1.02 ACRES
PROPERTY ZONING	R-10
FLOOD HAZARD MAP NUMBER	41005C0257D ZONE X (UNSHADED)

**SUBDIVISION STATISTICS**

RIGHT OF WAY DEDICATION	3,132 SF
MINIMUM ALLOWABLE EFFECTIVE LOT SIZE	10,000 SF
MINIMUM LOT DENSITY	3.2 UNITS
MAXIMUM LOT DENSITY	4.58 UNITS
PROPOSED LOT DENSITY	4.21 UNITS/ NET ACRE
MINIMUM LOT DENSITY (PER R-10 ZONING)	3.05 UNITS/ NET ACRE
MAXIMUM LOT DENSITY (PER R-10 ZONING)	4.35 UNITS/ NET ACRE
<b>SETBACKS:</b>	
FRONT	20 FEET
SIDE	7.5 FEET
REAR	20 FEET
STREET SIDE	15 FEET
MAX. HEIGHT	35 FEET

**PROJECT TEAM**

**OWNER/APPLICANT**  
 LF 10, LLC  
 C/O: J.T. SMITH COMPANIES  
 5285 MEADOWS ROAD, SUITE #171  
 LAKE OSWEGO, OR 97035  
 CONTACT: JOHN WYLAND  
 jwyland@jtsmithco.com

**PLANNING CONSULTANT**  
 3J CONSULTING, INC  
 10445 SW CANYON ROAD, SUITE 245  
 BEAVERTON, OR 97005  
 CONTACT: ANDREW TULL  
 PHONE: 503-946-9365  
 EMAIL: andrew.tull@3j-consulting.com

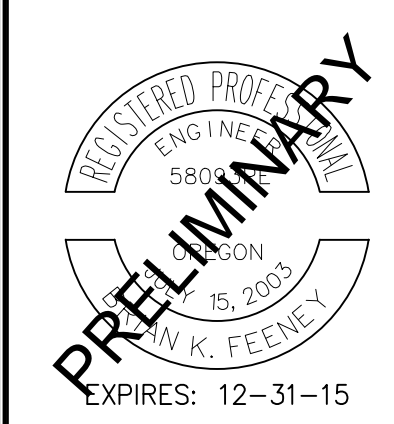
**LAND SURVEYOR**  
 COMPASS SURVEYING  
 4107 SE INTERNATIONAL WAY, SUITE 705  
 MILWAUKIE, OR 97222  
 CONTACT: DON DEVLAMINCK, PLS  
 PHONE: 503-653-9093  
 dond@compass-engineering.com

**CIVIL ENGINEER**  
 3J CONSULTING, INC.  
 10445 SW CANYON ROAD, SUITE 245  
 BEAVERTON, OR 97005  
 CONTACT: BRIAN FEENEY  
 PHONE: (503) 946-9365  
 brian.feeneey@3j-consulting.com

**GEOTECHNICAL CONSULTANT**  
 GEOPACIFIC ENGINEERING, INC.  
 14835 SW 72ND AVENUE  
 PORTLAND, OR 97224  
 CONTACT: SCOTT HARDMAN  
 PHONE: (503) 625-4455  
 shardman@geopacificeng.com

LAND USE 01/28/14  
 REVISION SUMMARY BY DATE

TENTATIVE SUBDIVISION PLAT - PH 1  
**HARPER'S TERRACE**  
 SUBDIVISION  
 LF 10, LLC  
 WEST LINN, OR

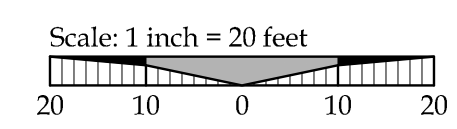
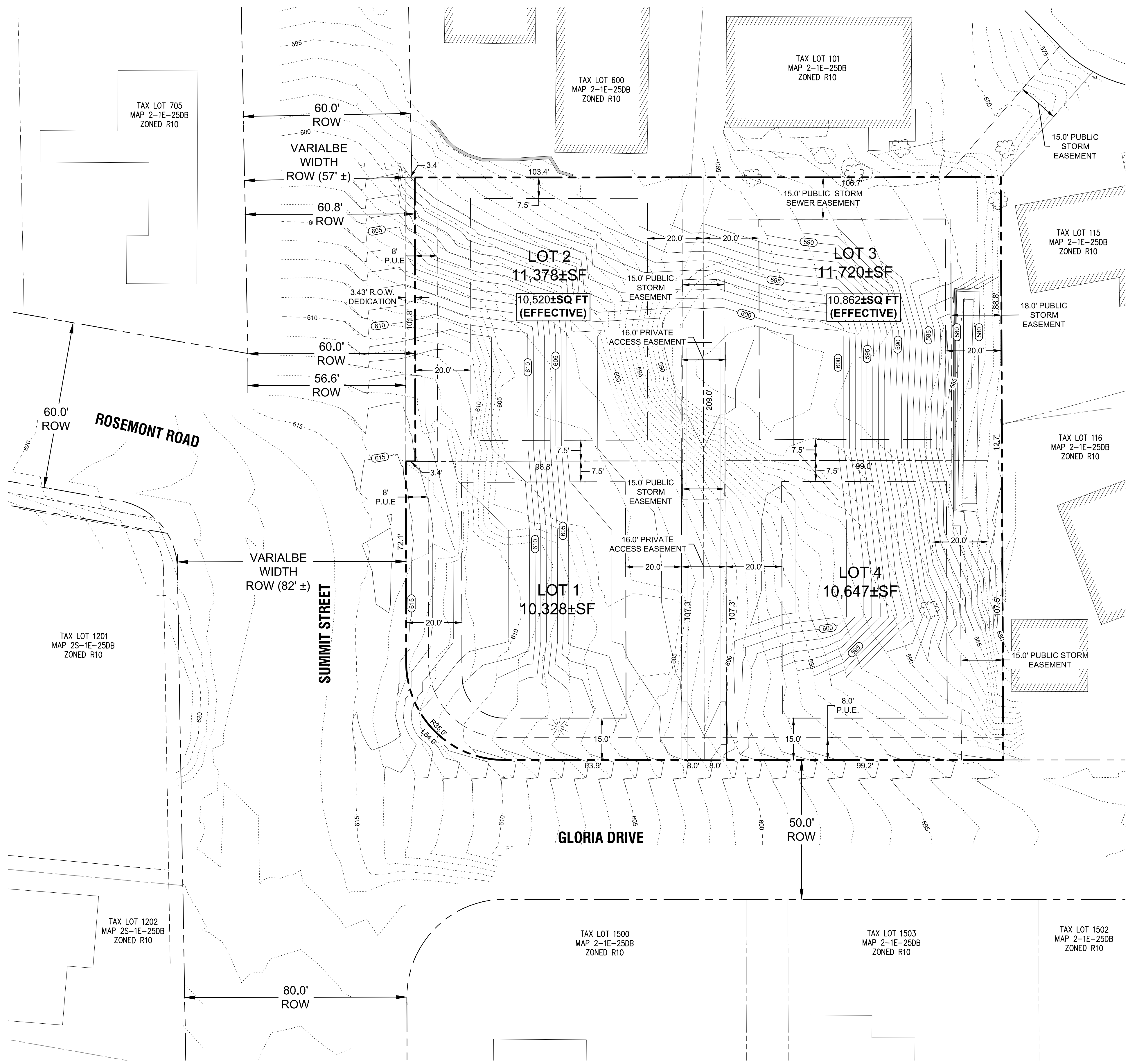


3J JOB ID # | 13123  
 LAND USE # |  
 TAX LOT # | 2S1E25DB 500  
 DESIGNED BY | BCH  
 CHECKED BY | BKF

SHEET TITLE  
 SUB. DIV. PLAT - PH 1  
 SHEET NUMBER

**C2.0**

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

---	BOUNDARY LINE
- - - -	EXISTING RIGHT-OF-WAY
---	EXISTING LOT LINE
---	EXISTING CURB
---	PROPOSED LOT LINE
---	PROPOSED SETBACK LINE

**SITE STATISTICS**

SITE ADDRESS	4997 SUMMIT STREET WEST LINN, OR 97068
TAXLOT	2S1E25DB 500
JURISDICTION	CITY OF WEST LINN
GROSS SITE AREA	1.02 ACRES
PROPERTY ZONING	R-10
FLOOD HAZARD MAP NUMBER	41005C0257D ZONE X (UNSHADED)

**SUBDIVISION STATISTICS**

RIGHT OF WAY DEDICATION	3,132 SF
MINIMUM ALLOWABLE EFFECTIVE LOT SIZE	10,000 SF
MINIMUM LOT DENSITY	3.2 UNITS
MAXIMUM LOT DENSITY	4.58 UNITS
PROPOSED LOT DENSITY	4.21 UNITS/ NET ACRE
MINIMUM LOT DENSITY (PER R-10 ZONING)	3.05 UNITS/ NET ACRE
MAXIMUM LOT DENSITY (PER R-10 ZONING)	4.35 UNITS/ NET ACRE
<b>SETBACKS:</b>	
FRONT	20 FEET
SIDE	7.5 FEET
REAR	20 FEET
STREET SIDE	15 FEET
MAX. HEIGHT	35 FEET

**PROJECT TEAM**

**OWNER/APPLICANT**  
 LF 10, LLC  
 C/O: J.T. SMITH COMPANIES  
 5285 MEADOWS ROAD, SUITE #171  
 LAKE OSWEGO, OR 97035  
 CONTACT: JOHN WYLAND  
 jwyland@jtsmithco.com

**CIVIL ENGINEER**  
 3J CONSULTING, INC.  
 10445 SW CANYON ROAD, SUITE 245  
 BEAVERTON, OR 97005  
 CONTACT: BRIAN FEENEY  
 PHONE: (503) 946-9365  
 brian.feeneey@3j-consulting.com

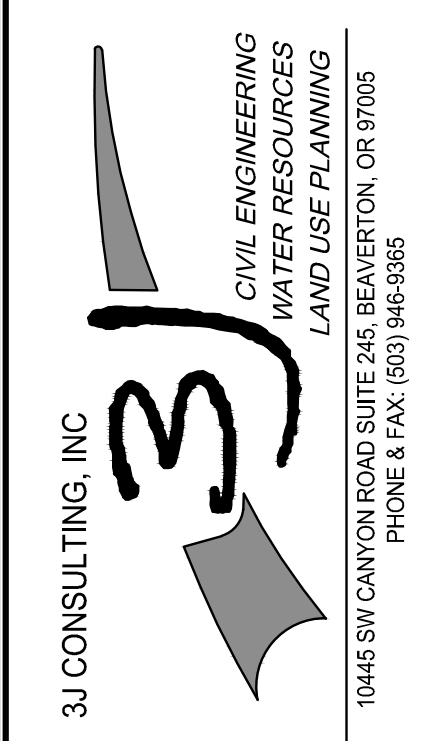
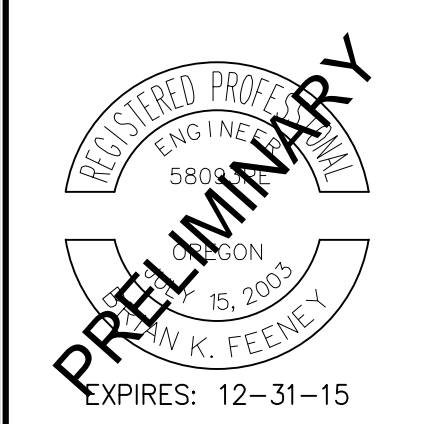
**PLANNING CONSULTANT**  
 3J CONSULTING, INC.  
 10445 SW CANYON ROAD, SUITE 245  
 BEAVERTON, OR 97005  
 CONTACT: ANDREW TULL  
 PHONE: 503-946-9365  
 EMAIL: andrew.tull@3j-consulting.com

**GEOTECHNICAL CONSULTANT**  
 GEOPACIFIC ENGINEERING, INC.  
 14835 SW 72ND AVENUE  
 PORTLAND, OR 97224  
 CONTACT: SCOTT HARDMAN  
 PHONE: (503) 625-4455  
 shardman@geopacificeng.com

**LAND SURVEYOR**  
 COMPASS SURVEYING  
 4107 SE INTERNATIONAL WAY, SUITE 705  
 MILWAUKIE, OR 97222  
 CONTACT: DON DEVLAMINCK, PLS  
 PHONE: 503-653-9093  
 dond@compass-engineering.com

LAND USE 01/28/14  
 REVISION SUMMARY BY DATE

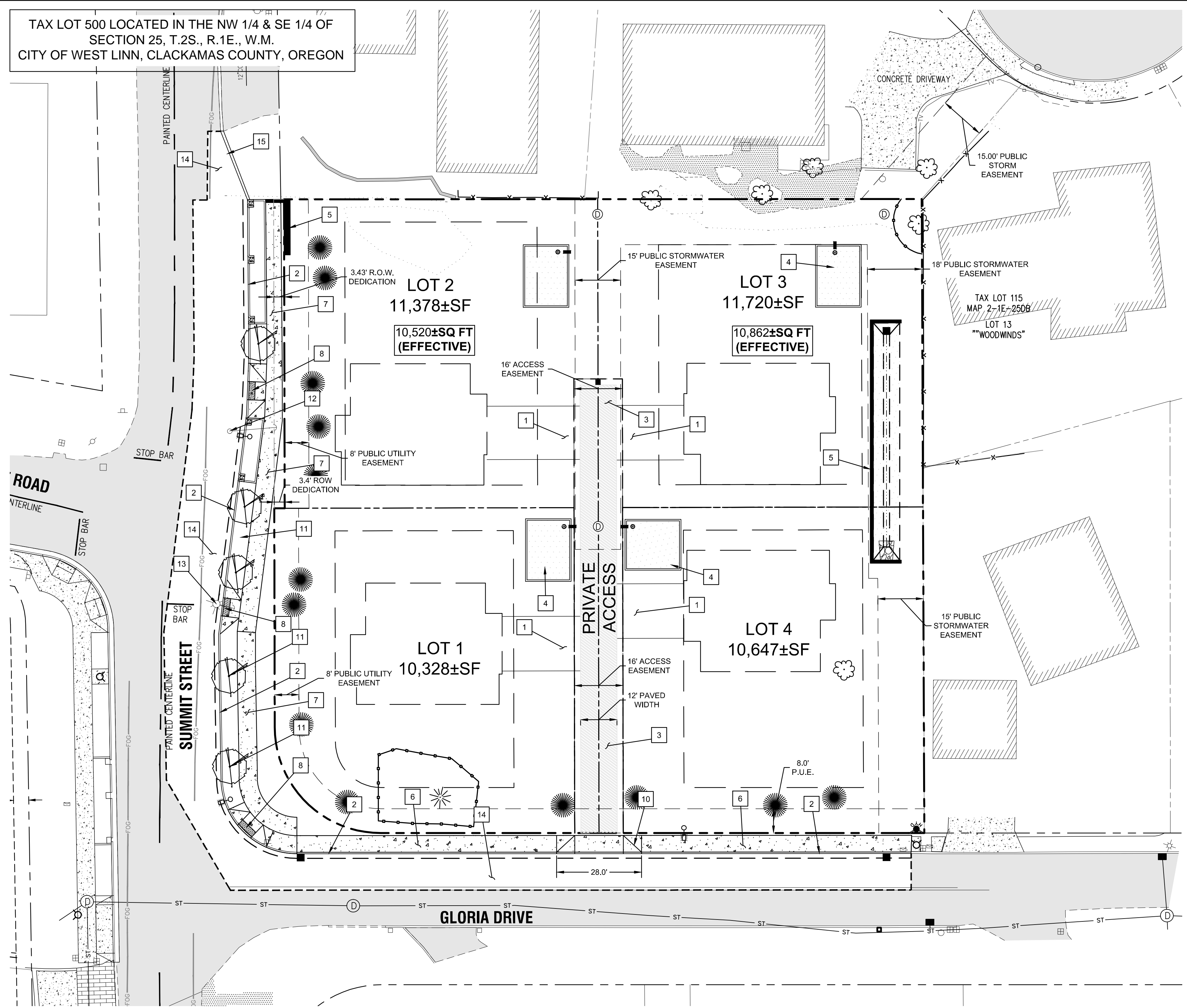
TENTATIVE SUBDIVISION PLAT - PH 2  
**HARPER'S TERRACE**  
 SUBDIVISION  
 LF 10, LLC  
 WEST LINN, OR



3J JOB ID # | 13123  
 LAND USE # |  
 TAX LOT # | 2S1E25DB 500  
 DESIGNED BY | BCH  
 CHECKED BY | BKF

SHEET TITLE  
 SUB. DIV. PLAT - PH 2  
 SHEET NUMBER  
**C2.0A**

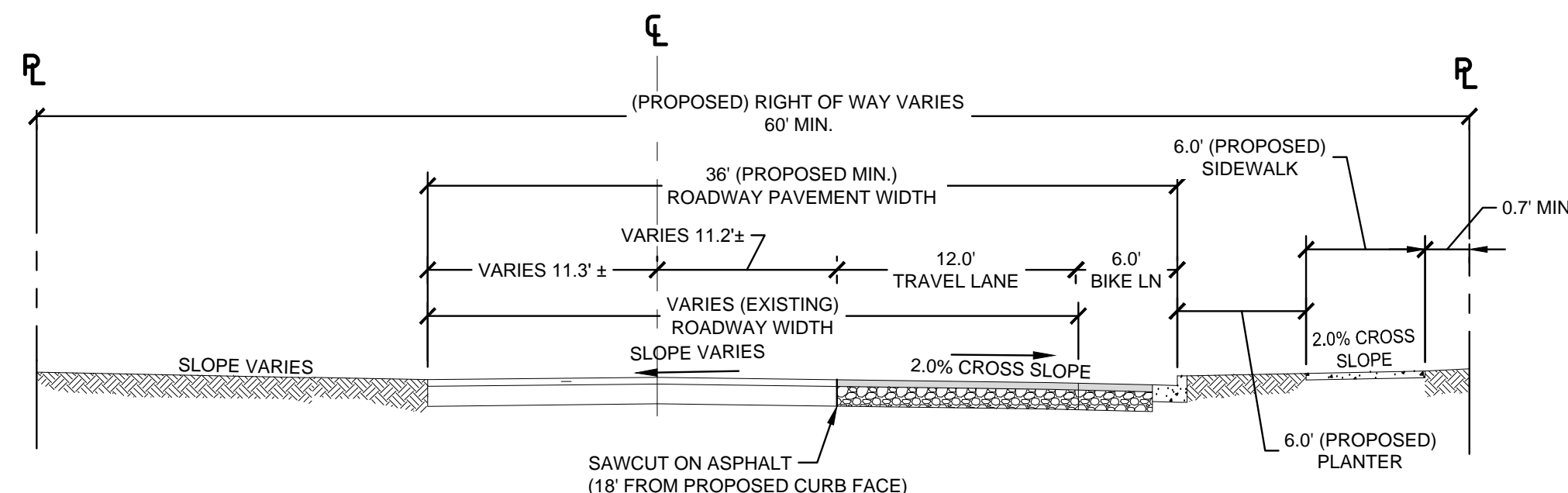
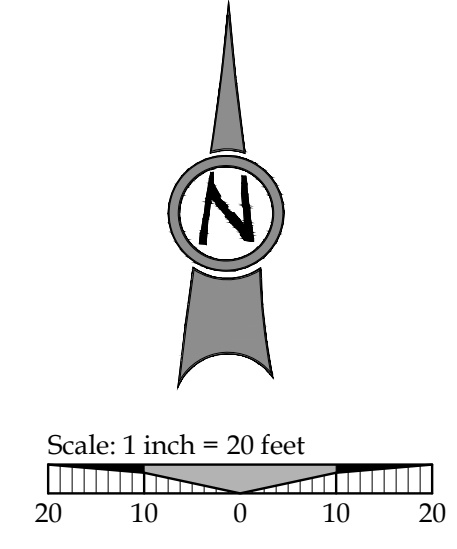
TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



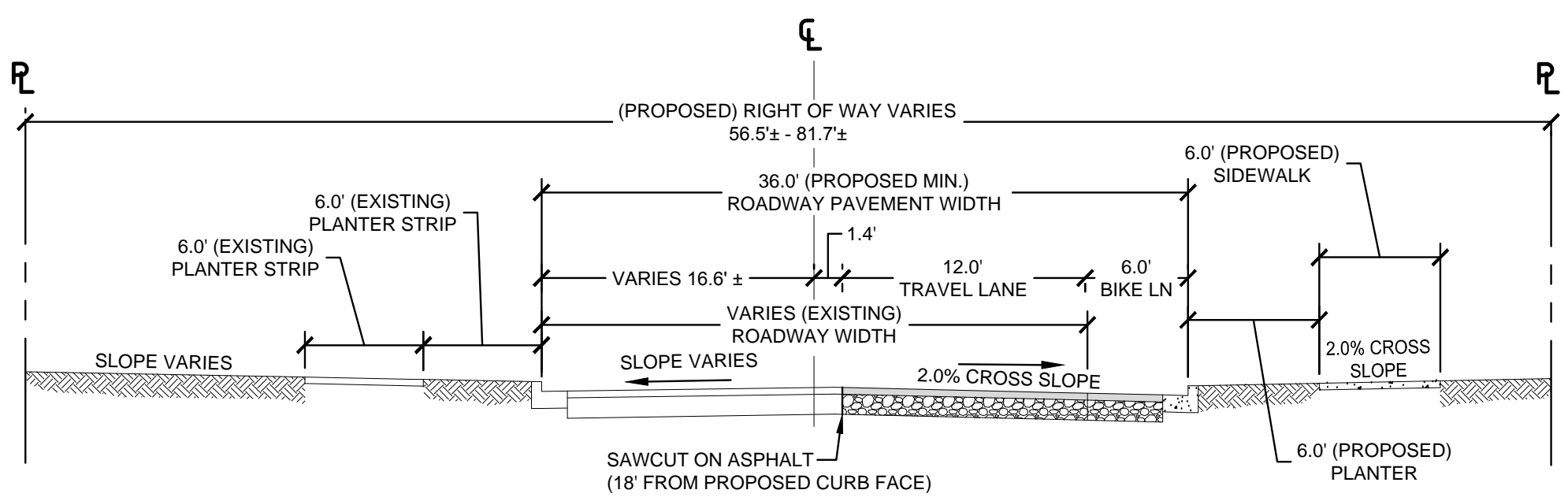
LEGEND			
	BOUNDARY LINE		PROPOSED LOT LINE
	RIGHT-OF-WAY		PROPOSED BUILDING SETBACK
	EXISTING CENTERLINE		PROPOSED CURB AND GUTTER
	EXISTING EASEMENT LINE		PROPOSED CONCRETE
	EXISTING LOT LINE		PROPOSED PERVIOUS CONCRETE
	EXISTING CURB AND GUTTER		PROPOSED RAIN GARDEN
	EXISTING EDGE OF WETLAND		PROPOSED RETAINING WALL
	EXISTING EDGE OF CREEK		PROPOSED STREET FRONTAGE TREE
	EXISTING TREES TO REMAIN		PROPOSED ACCESS / UTILITY EASEMENT
	EXISTING ASPHALT		PERMANENTLY STABILIZE APPROX. 440 SF OF DISTURBED AREA WITHIN STRUCTURAL SETBACK
	EXISTING SIDEWALK		
	EXISTING LIGHT POLE		
	EXISTING TRAFFIC SIGN		
	EXISTING FIRE HYDRANT		

**CONSTRUCTION KEY NOTES**

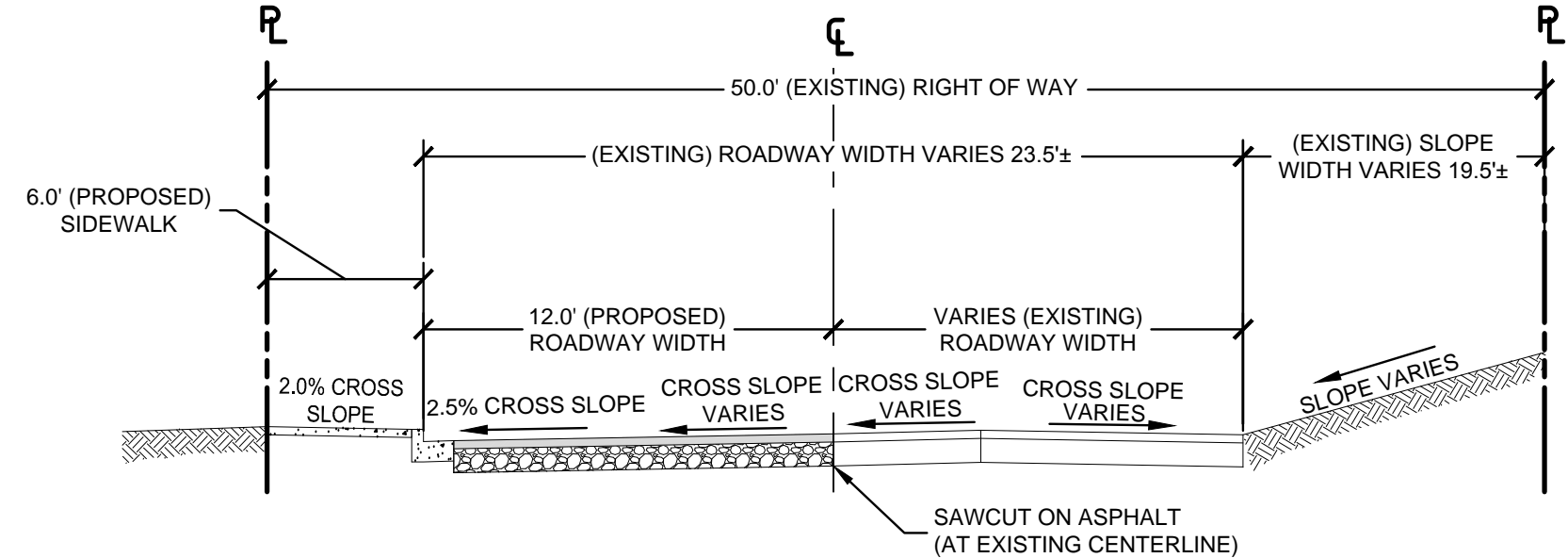
- 1 PROPOSED LOT ACCESS LOCATION
- 2 CONSTRUCT STANDARD CURB AND GUTTER PER CITY OF WEST LINN STANDARD DETAIL WL-501 (TYPICAL CURBS).
- 3 PROPOSED PERVIOUS PAVEMENT ACCESS / DRIVEWAY. SEE "PRIVATE ACCESS" TYPICAL SECTION DETAIL THIS SHEET.
- 4 CONSTRUCT RAIN GARDEN FOR STORM WATER MANAGEMENT. SEE C3.0 FOR UTILITY CONNECTIONS.
- 5 CONSTRUCT RETAINING WALL FOR GRADE RETENTION. (NON-STRUCTURAL).
- 6 CONSTRUCT 6 FT WIDE CURB TIGHT SIDEWALK PER CITY OF WEST LINN STANDARD DETAIL WL-508 (CONCRETE SIDEWALK CROSS SECTION).
- 7 CONSTRUCT 6 FT WIDE DETACHED SIDEWALK PER CITY OF WEST LINN STANDARD DETAIL WL-508 (CONCRETE SIDEWALK CROSS SECTION).
- 8 CONSTRUCT CURB RAMP PER CITY OF WEST LINN STANDARD DETAIL WL-506A (PARALLEL CURB RAMP).
- 9 INSTALL FLOW-THROUGH PLANTER BOX.
- 10 CONSTRUCT SINGLE RESIDENTIAL DRIVEWAY ACCESS TO GLORIA DRIVE (28FT) PER CITY OF WEST LINN STANDARD DETAIL WL-503B (RESIDENTIAL DRIVEWAY WITH SIDEWALK ADJACENT TO CURB).
- 11 INSTALL STREET TREE AT LOCATION SHOWN.
- 12 RELOCATE EXISTING SUPPORT POLE BEHIND ADJACENT SIDEWALK. COORDINATE WITH PGE.
- 13 REMOVE EXISTING POWER POLE. EXISTING OVERHEAD UTILITIES TO BE PLACED UNDERGROUND. COORDINATE WITH PGE.
- 14 INSTALL NEW PAVEMENT.
- 15 INSTALL 8" WIDE BY 4" TALL ASPHALT PAVEMENT BERM FROM END OF PROPOSED CONCRETE CURB AND GUTTER AND CONNECT TO EXISTING PAVEMENT BERM.



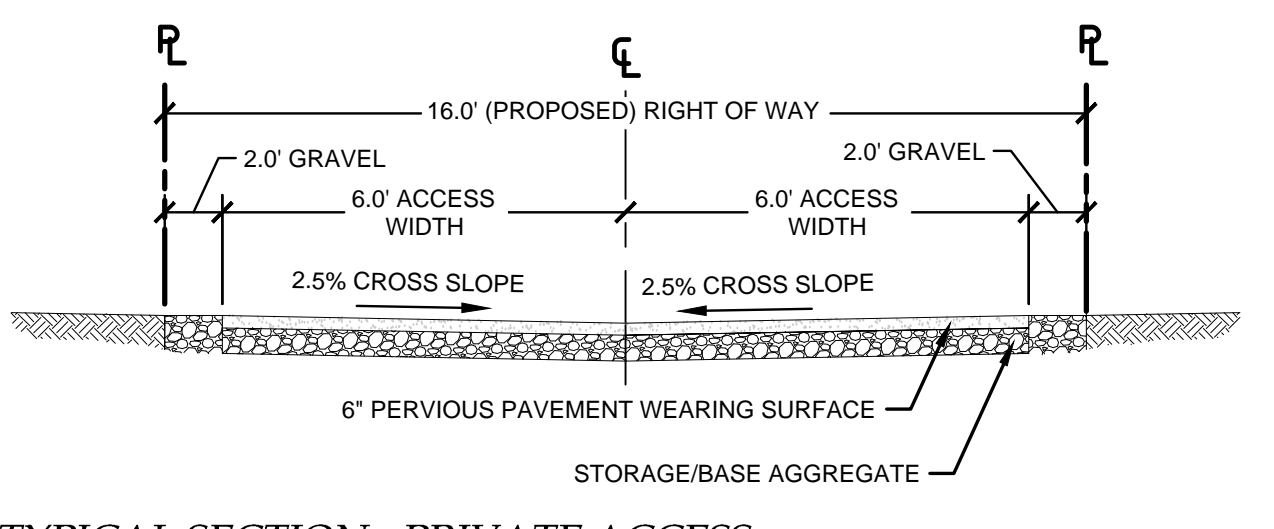
**TYPICAL SECTION - SUMMIT STREET (NORTH OF ROSEMONT ROAD)**  
SCALE: N.T.S.



**TYPICAL SECTION - SUMMIT STREET (SOUTH OF ROSEMONT ROAD)**  
SCALE: N.T.S.



**TYPICAL SECTION - GLORIA DRIVE IMPROVEMENTS**  
SCALE: N.T.S.

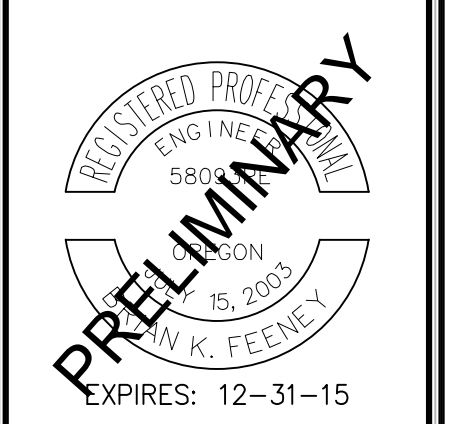


**TYPICAL SECTION - PRIVATE ACCESS**  
SCALE: N.T.S.

LAND USE	01/28/14
REVISION SUMMARY	BY DATE

**SITE PLAN**  
**HARPER'S TERRACE**  
**SUBDIVISION**  
LF 10, LLC  
WEST LINN, OR

J.T. SMITH  
companies



3J CONSULTING, INC  
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING  
10445 SW CANYON ROAD, SUITE 245, BEAVERTON, OR 97005  
PHONE & FAX: (503) 946-5686

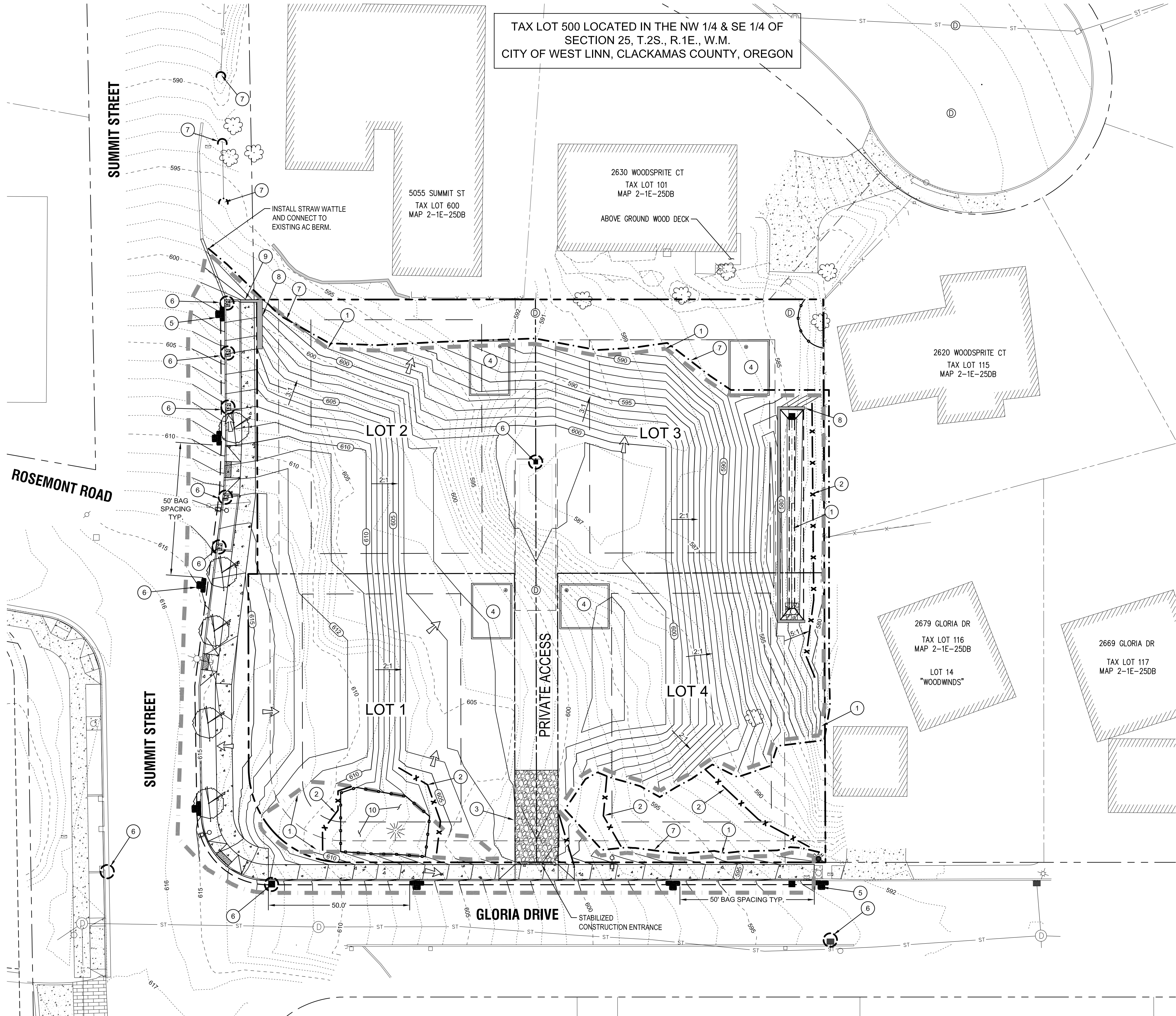
3J JOB ID # | 13123  
LAND USE # |  
TAX LOT # | 251E250B 500  
DESIGNED BY | BCH  
CHECKED BY | BKF

SHEET TITLE  
**SITE PLAN**  
SHEET NUMBER

**C2.1**



TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING EASEMENT LINE
	EXISTING LOT LINE
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING TREES TO REMAIN
	EXISTING 1FT CONTOUR
	EXISTING 5FT INDEX CONTOUR
	PROPOSED LOT LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE
	PROPOSED RETAINING WALL
	PROPOSED STREET FRONTAGE TREE
	PROPOSED 1FT CONTOUR
	PROPOSED 5FT INDEX CONTOUR
	EROSION CONTROL: SILT FENCING (BLACK)
	EROSION CONTROL: FESCUE STRAW WATTLE
	EROSION CONTROL: BIO BAG CHECK DAM
	EROSION CONTROL: CONSTRUCTION ENTRANCE
	LIMITS OF GRADING/DISTURBANCE
	TREE PROTECTION FENCING
	SURFACE RUN-OFF FLOW ARROW
	EROSION CONTROL: INLET PROTECTION
	WALLED RAIN GARDEN FOR INDIVIDUAL LOT RUNOFF AND TREATMENT

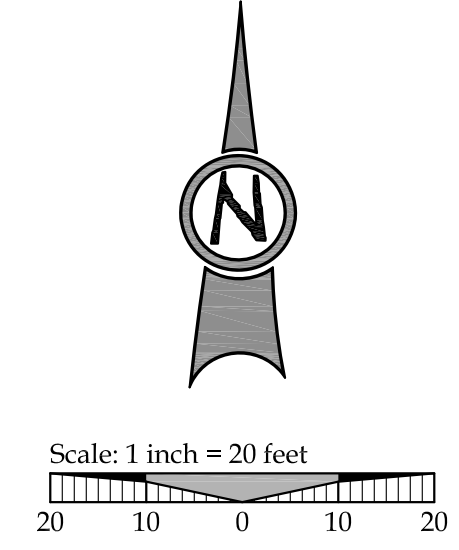
**SITE GRADING INFORMATION**

NEAT LINE CUT	576 CY
NEAT LINE FILL	4,605 CY
MAXIMUM CUT DEPTH	6.2 FT
MAXIMUM FILL DEPTH	14.6 FT
MAXIMUM PROPOSED SLOPE	2:1 (H:V)
TOTAL AREA OF DISTURBANCE	0.99 ACRES

**GRADING KEY NOTES**

1	LIMITS OF GRADING AND CONSTRUCTION WHERE SHOWN
2	PLACE SILT FENCING AT LIMITS OF GRADING AND CONSTRUCTION WHERE SHOWN
3	STABILIZED CONSTRUCTION ENTRANCE & SHARED DRIVEWAY
4	WALLED STORM WATER PLANTER, FOR INDIVIDUAL LOT RUNOFF CONTROL AND TREATMENT
5	PLACE BIO-BAG CHECK DAM FOR SEDIMENT CONTROL ADJACENT TO ALL NEW CONCRETE WORK WITHIN RIGHT OF WAY
6	INSTALL INLET PROTECT
7	INSTALL STRAW WATTLE
8	INSTALL RETAINING WALL.
9	CONSTRUCT THICKENED EDGE AT END OF CONCRETE SIDEWALK.
10	ALL GRADING AND DISTURBANCE ACTIVITIES ADJACENT TO SIGNIFICANT TREES SHALL BE COMPLETED UNDER SUPERVISION AND DIRECTION BY THE PROJECT ARBORIST AND THE CITY OF WEST LINN.

- GRADING GENERAL NOTES:**
- ALL GRADING ACTIVITIES SHALL CONFORM TO THE UNIFORM BUILDING CODE AND THE OREGON SPECIALTY CODE AMENDMENTS, INCLUDING APPENDIX J.
  - ALL PROPOSED WATTLES, CHECK DAMS AND SILT FENCING SHALL BE MOVED WHILE CONSTRUCTION PROGRESSES IN ORDER MAINTAIN PROPER EROSION CONTROL PREVENTION.
  - ALL PROPOSED WATTLES, CHECK DAMS AND SILT FENCING SHALL BE INSTALLED AT GRADING EXTENTS, AND OR AT 50' INTERVALS, UNLESS NOTED OTHERWISE ON PLANS.

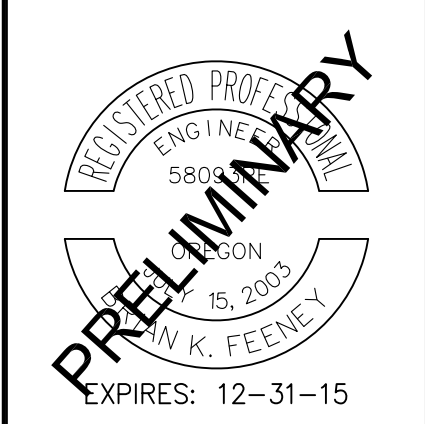


**811**  
Know what's below.  
Call before you dig.

LAND USE	01/28/14
REVISION SUMMARY	BY DATE
A	

GRADING AND EROSION CONTROL PLAN  
**HARPER'S TERRACE**  
SUBDIVISION  
LF 10, LLC  
WEST LINN, OR

**J.T. SMITH**  
companies

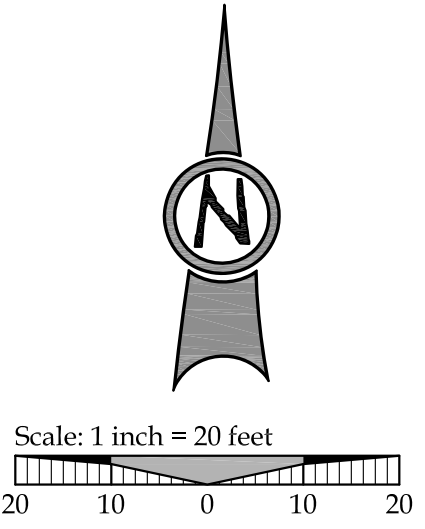
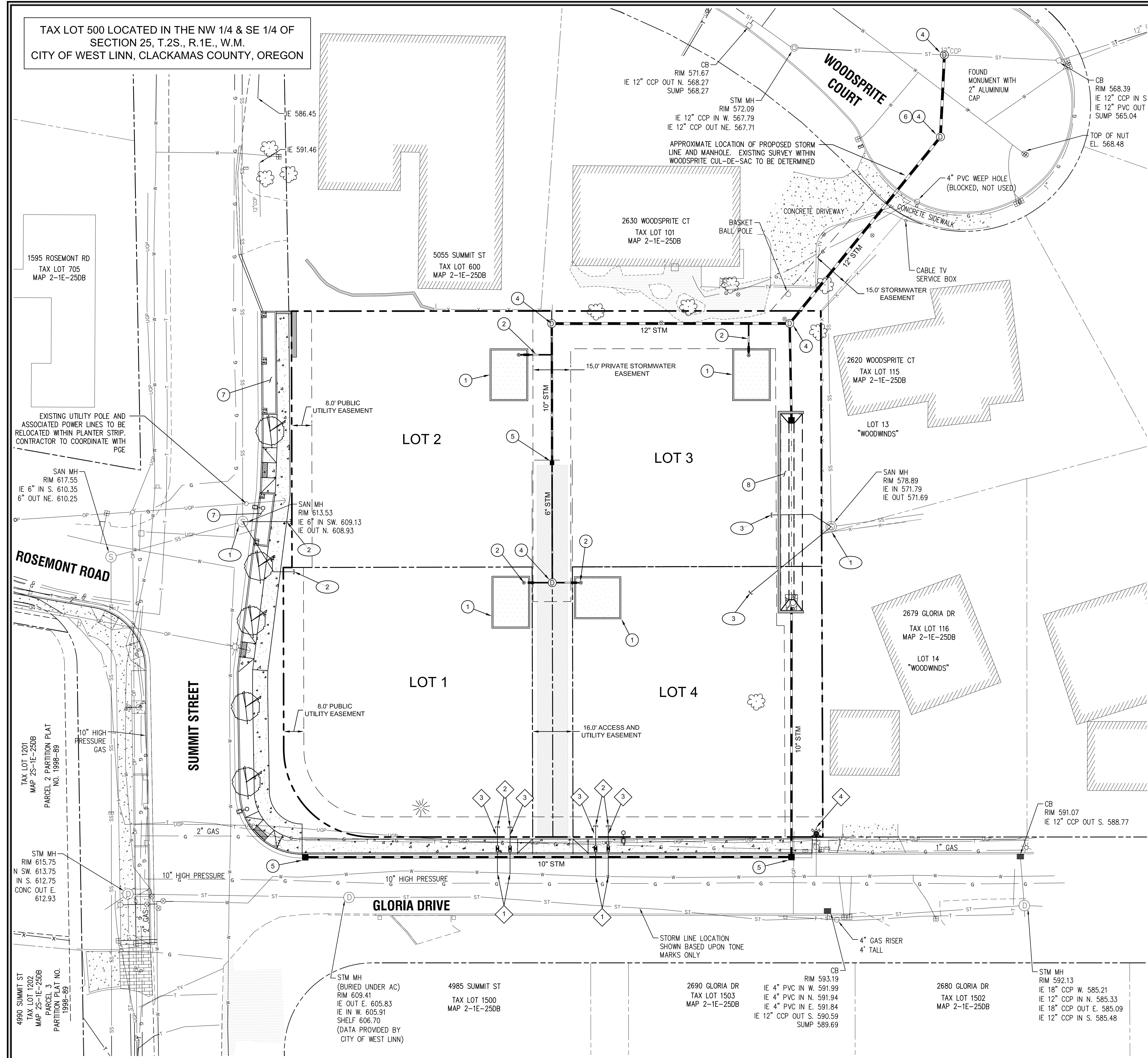


**3J CONSULTING, INC**  
CIVIL ENGINEERING  
WATER RESOURCES  
LAND USE PLANNING  
10445 SW CANYON ROAD, SUITE 245, BEAVERTON, OR 97005  
PHONE & FAX: (503) 946-6365

3J JOB ID #	13123
LAND USE #	
TAX LOT #	251E25DB 500
DESIGNED BY	BCH
CHECKED BY	BKF
SHEET TITLE	GRADING / ESCP
SHEET NUMBER	

**C2.2**

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

	BOUNDARY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING CENTERLINE
	EXISTING LOT LINE
	EXISTING CURB
	EXISTING SIDEWALK
	EXISTING LIGHT POLE
	EXISTING TRAFFIC SIGN
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CATCHBASIN
	EXISTING TREES TO REMAIN
	PROPOSED RIGHT-OF-WAY
	PROPOSED LOT LINE
	PROPOSED CURB
	PROPOSED SIDEWALK
	PROPOSED SETBACK LINE
	STORM DRAIN LINE AND MANHOLE
	DOMESTIC WATER SERVICE & METER
	STORM SEWER LATERAL AS NOTED
	SANITARY SEWER LATERAL AS NOTED
	PROPOSED CLEAN-OUT
	STORM SEWER CURB INLET
	PROPOSED STREET LIGHT
	PROPOSED RETAINING WALL
	UTILITY/ACCESS EASEMENT
	TREE PRESERVATION EASEMENT
	PROPOSED STREET FRONTAGE TREE
	PROPOSED RAIN GARDEN
	PROPOSED PERVIOUS CONCRETE

**STORM SEWER CONSTRUCTION NOTES**

- STORMWATER INFILTRATION PLANTER FOR MANAGEMENT OF FUTURE PROPERTY IMPROVEMENTS.
- ROUTE WATER QUALITY PLANTER OVERFLOWS TO PROPOSED STORMWATER LINE
- INSTALL 6" CLEAN OUT AS SPECIFIED.
- CONSTRUCT STANDARD 48" STORM SEWER MANHOLE.
- CONSTRUCT CURB INLET WITH 10" STORM LINE.
- CONSTRUCT 12" STORM LINE FROM PROPOSED 48" MANHOLE TO EXISTING STORM SYSTEM WITHIN CUL-DE-SAC.
- STORMWATER INFILTRATION PLANTER FOR MANAGEMENT OF PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- STORMWATER TREATMENT SWALE FOR MANAGEMENT OF PUBLIC RIGHT-OF-WAY IMPROVEMENTS.

**SANITARY SEWER CONSTRUCTION NOTES**

- CONNECT TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR TO COORDINATE WITH CITY OF WEST LINN PUBLIC WORKS.
- PROVIDE 4" SANITARY SEWER LATERALS FOR LOTS #1 AND #2 AT LOCATIONS SHOWN. EXTEND SERVICE LATERAL 3' BEYOND PUE.
- PROVIDE 4" SANITARY SEWER LATERALS FOR LOTS #3 AND #4 AT LOCATIONS SHOWN. EXTEND SERVICE LATERAL 3' BEYOND PUE.

**WATER CONSTRUCTION NOTES**

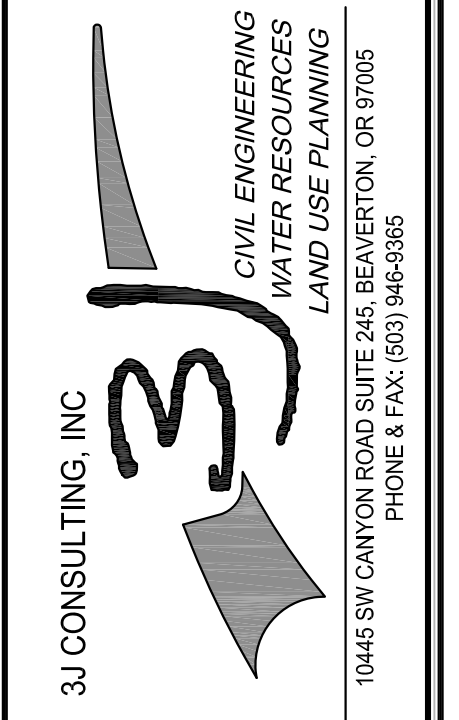
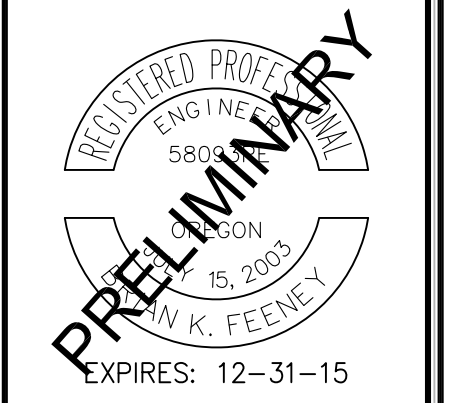
- CONNECT TO EXISTING CITY WATER MAIN. CONTRACTOR TO COORDINATE WITH CITY OF WEST LINN PUBLIC WORKS.
- PROVIDE 1" WATER SERVICE LINE TO LOCATION SHOWN.
- INSTALL SINGLE WATER METER FOR INDIVIDUAL LOT SERVICE. EXTEND 1" SERVICE LATERAL 3' BEYOND PUE.
- REMOVE AND RELOCATE EXISTING FIRE HYDRANT. COORDINATE WITH CITY OF WEST LINN PUBLIC WORKS.

- GENERAL SITE NOTES**
- WATER QUALITY TREATMENT AND STORM WATER QUANTITY ATTENUATION FOR FUTURE HOMES TO BE HANDLED INDIVIDUALLY ON A PER LOT BASIS.
  - ALL OVERHEAD UTILITIES TO BE ROUTED UNDERGROUND ALONG PROJECT FRONTAGE.
  - EXISTING TOPOGRAPHY WITHIN WOODSPRITE COURT IS YET TO BE DETERMINED. PROPOSED STORM CONNECTION IS APPROXIMATE, AND EXISTING UTILITY TIE-IN LOCATIONS TO BE DETERMINED IN THE FUTURE.

LAND USE: 01/28/14  
 REVISION SUMMARY: BY: DATE

COMPOSITE UTILITY PLAN  
**HARPER'S TERRACE**  
 SUBDIVISION  
 LF 10, LLC  
 WEST LINN, OR

J.T. SMITH  
 companies



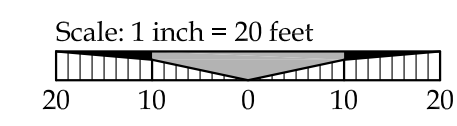
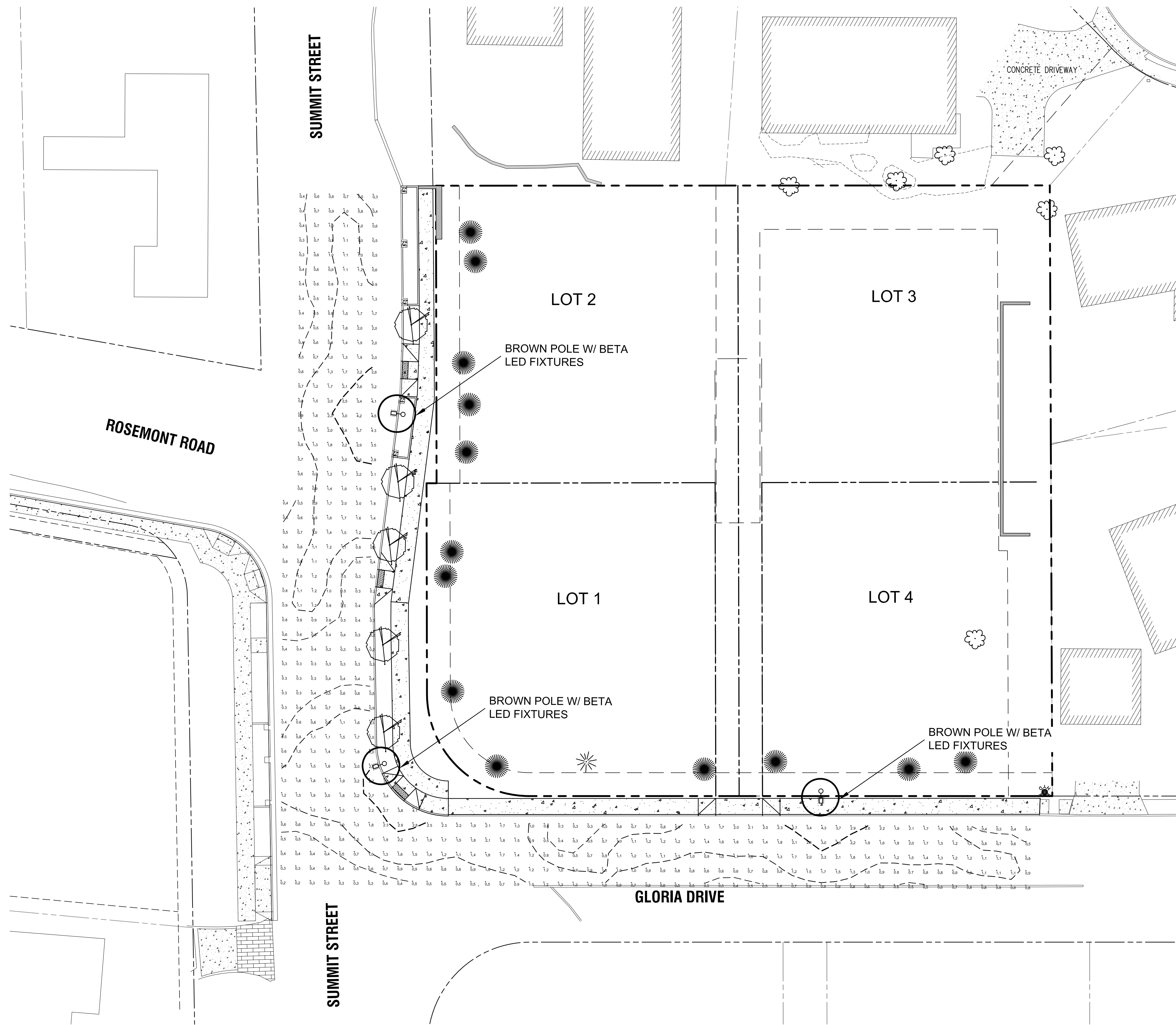
3J JOB ID # | 13123  
 LAND USE # |  
 TAX LOT # | 251E25DB 500  
 DESIGNED BY | BCH  
 CHECKED BY | BKF

SHEET TITLE  
**UTILITY PLAN**

SHEET NUMBER  
**C3.0**

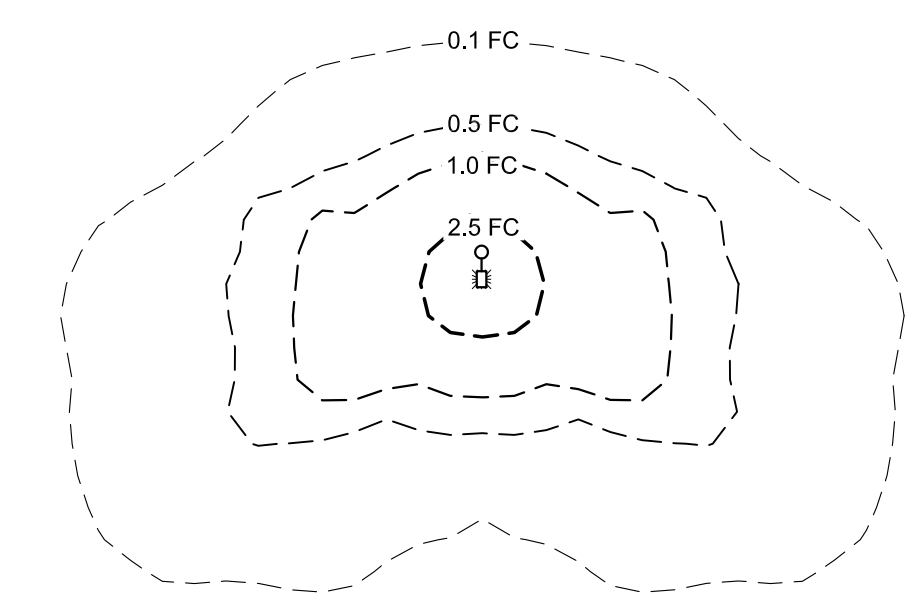


TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

- - - - - SUBDIVISION BOUNDARY LINE
- - - - - EXISTING RIGHT OF WAY
- - - - - EXISTING PROPERTY LINE
- - - - - PROPOSED LOT LINE
- ILLUMINATION ANALYSIS POINT (FC)
- FC FOOT CANDLE UNIT

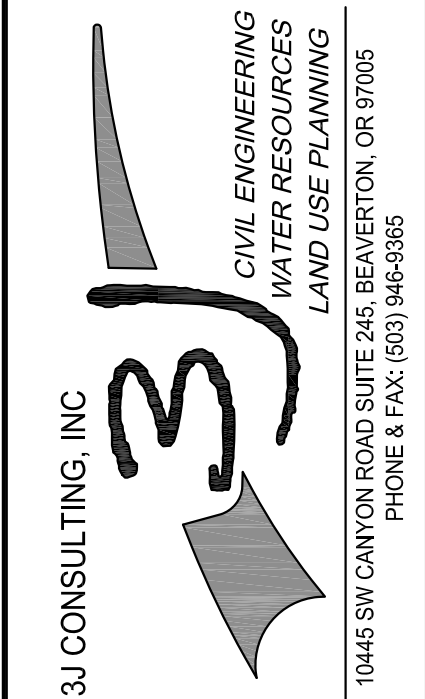
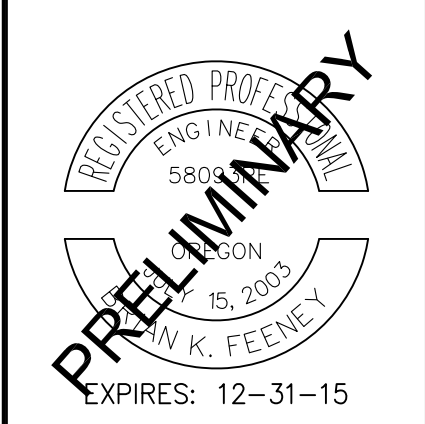


**STREET LIGHTING STATISTICS**

ROAD CLASSIFICATION (SUMMIT ST)	COLLECTOR
ROAD CLASSIFICATION (GLORIA DR)	LOCAL
EXISTING LIGHT(S) INCLUDED	0
MAX. ILLUMINATION	4.5FC
MIN. ILLUMINATION	0.2FC
AVERAGE ILLUMINATION	1.15FC
UNIFORMITY (AVG/MIN)	5.75

LAND USE 01/28/14  
REVISION SUMMARY BY DATE

STREET LIGHTING PLAN  
**HARPER'S TERRACE**  
SUBDIVISION  
LF 10, LLC  
WEST LINN, OR

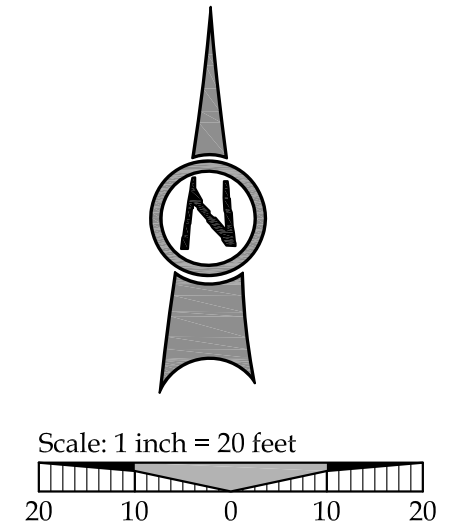
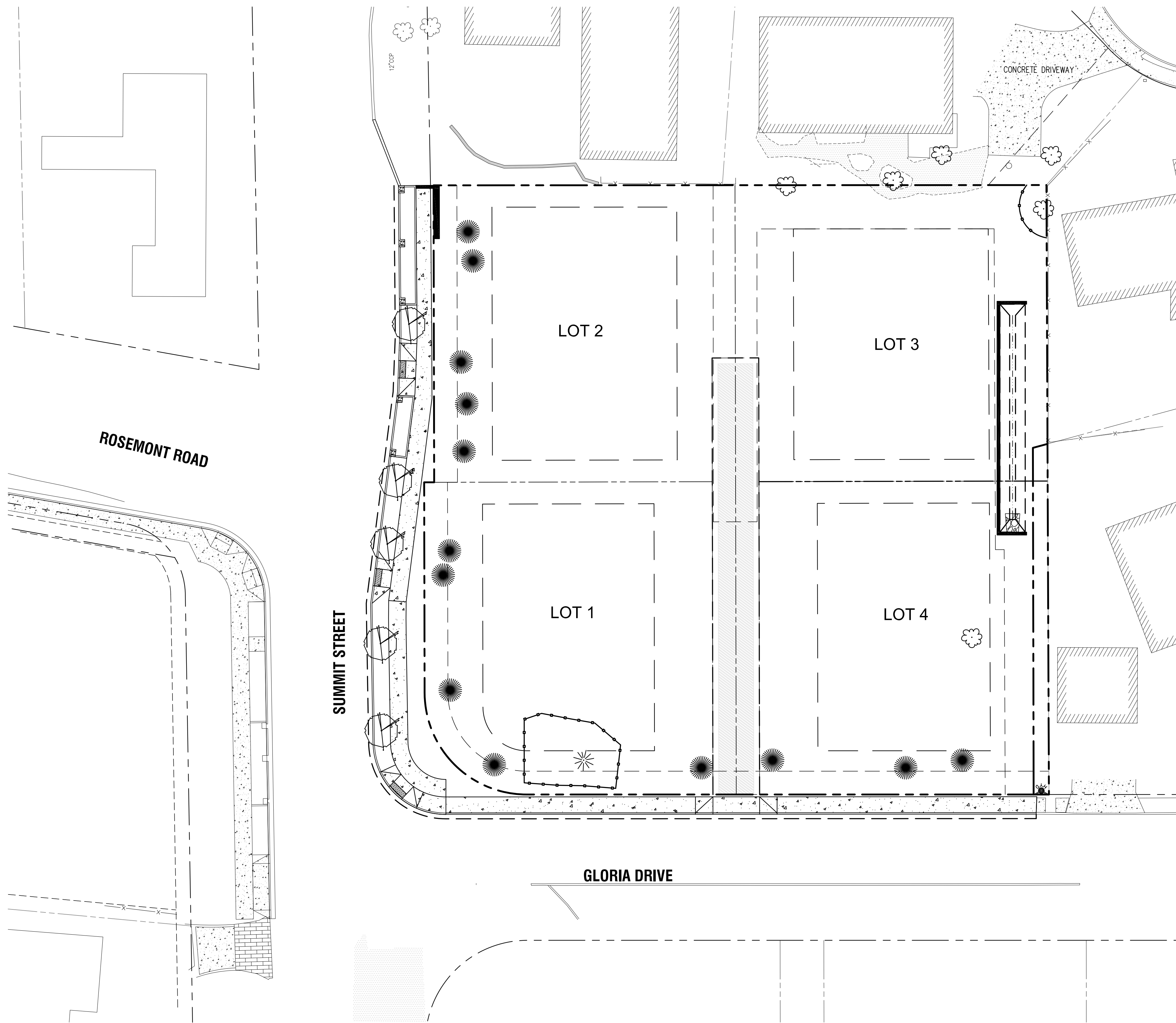


3J JOB ID # | 13123  
LAND USE # |  
TAX LOT # | 251E250B 500  
DESIGNED BY | BCH  
CHECKED BY | BKF

SHEET TITLE  
**LIGHTING PLAN**

SHEET NUMBER  
**C3.1**

TAX LOT 500 LOCATED IN THE NW 1/4 & SE 1/4 OF SECTION 25, T.2S., R.1E., W.M. CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



**LEGEND**

- - - - - SUBDIVISION BOUNDARY LINE
- - - - - EXISTING RIGHT OF WAY
- - - - - EXISTING PROPERTY LINE
- - - - - PROPOSED RIGHT OF WAY
- - - - - PROPOSED LOT LINE
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED SETBACK LINE
- - - - - TREE PROTECTION FENCING
- ▨ PROPOSED ASPHALT PAVING
- ▨ PROPOSED CONCRETE PAVING

**PLANT MATERIALS SCHEDULE**

COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITY
SCARLET OAK	QUERCUS COCCINIA	2" CAL.	22' MIN	5
WESTERN RED CEDAR	THUJA PLICATA	2" CAL.	12' MIN	13

TOTAL PROPOSED TREE COUNT: 18  
 TOTAL MITIGATION REQUIREMENT: 36" (CALIPER MEASUREMENT)

**GENERAL LANDSCAPING NOTES**

- LANDSCAPE PLANTING SHALL CONFIRM TO THE STANDARDS ESTABLISHED UNDER THE WEST LINN STANDARDS FOR LANDSCAPE PLANTING
- ALL PLANT BEDS SHALL HAVE A 3" DEPTH OF BARK MULCH
- ALL PLANT MATERIAL DELIVERED TO THIS SITE SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE CIVIL ENGINEER PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THESE DRAWINGS.

LAND USE 01/28/14  
 REVISION SUMMARY BY DATE

MITIGATION PLANTING PLAN  
**HARPER'S TERRACE**  
 SUBDIVISION  
 LF 10, LLC  
 WEST LINN, OR



3J CONSULTING, INC  
  
 CIVIL ENGINEERING  
 WATER RESOURCES  
 LAND USE PLANNING  
 10445 SW CANYON ROAD SUITE 245 BEAVERTON, OR 97005  
 PHONE & FAX: (503) 946-9365

3J JOB ID # | 13123  
 LAND USE # |  
 TAX LOT # | 251E250B 500  
 DESIGNED BY | BCH  
 CHECKED BY | BKF

SHEET TITLE  
**MITIGATION PLAN**

SHEET NUMBER  
**L1.0**