

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Tom Soppe</i>	PROJECT NO(S). <i>CU-12-03 / DR-12-07</i>	
NON-REFUNDABLE FEE(S) <i>200 / 300</i>	REFUNDABLE DEPOSIT(S) <i>1500 / 1050</i>	TOTAL <i>6050</i>

Type of Review (Please check all that apply):

- | | | |
|--|--|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input checked="" type="checkbox"/> Conditional Use (CUP)
<input checked="" type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses *
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|--|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address:

**1403 12TH STREET
WEST LINN OREGON 97068**

Assessor's Map No.: 31E02BA06300

Tax Lot(s): 6300

Total Land Area: 3.58 acres

Brief Description of Proposal: REPLACE LEAKING WINDOWS, PROVIDE ADA EGRESS, ENCLOSE TRASH AREA, PROVIDE LANDSCAPE AND SITE IMPROVEMENTS

Applicant Name: TIM WOODLEY
(please print)

Address: 2755 SW BORLAND RD

City State Zip: TUALATIN, OR 97062

Phone: 503-673-7995

Email: woodleyt@wlwv.k12.or.us

Owner Name (required): WEST LINN WILSONVILLE
(please print)

Address: 22210 SW STAFFORD RD

City State Zip: TUALATIN, OR 97062

Phone: 503-673-7995

Email: woodleyt@wlwv.k12.or.us

Consultant Name: TRAVIS BUTLER, DOWA-IBI GROUP
(please print)

Address: 907 SW STARK ST

City State Zip: PORTLAND OR 97205

Phone: 503-226-6950

Email: travis.butler@dowa-ibigroup.com

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Tim Woodley
Applicant's signature

2-15-12
Date

Tim Woodley
Owner's signature (required)

2-15-12
Date

PARSONS BRINCKERHOFF

400 SW Sixth Avenue Suite 802
Portland, OR 97204

Transmittal

Tel: (503) 274-8772
Fax: (503) 274-1412

to: Tom Soppe

from: Keith Liden

City of West Linn Planning Department

date: 2.15.12

22500 Salamo Road

project: Willamette Primary School CU/DR I

West Linn, OR 97068

file number:

via:

☐ mail

☐ messenger

☐ fed-ex

for your:

☐ Information/use

☒ approval

☐ review/comment

the following:

☐ shop drawings

☐ copy of letter

☐ prints

☐ change order

☐ plans

☐ samples

☐ specifications

☐ CD

☒ application packages

Signed application form	1	2.15.12
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Public notice and WNA meeting minutes	1	-
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CD of all materials and WMA meeting audio	1	-
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Application packet including:	4	2.15.12
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1. Narrative

2. Plan sheets (full size) – Cover Sheet, L100, L101, A2.01, A2.02, A2.20, and A3.01

3. Plan sheets (11x17 reductions)

4. Attachment A – Compactor Information

Comments:

Fee to be paid by contacting the District – Amy Berger 503.673.7195

Thank you!

Keith Liden, 503.224.4066 / liden@pbworld.com

copy to:

amas County School District 3Jt
Linn-Wilsonville Public Schools
MINISTRATION BUILDING
SW Stafford Rd.
in, Oregon 97062

Vue



To Our Neighbor at:

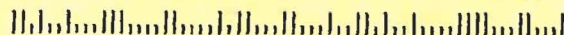
1968 6TH ST

WEST LINN 97068

NIXIE 970 DE 1 00 12/21/11

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

BC: 97062773810 *0129-03315-15-36



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

BETH SMOLENS
1452 4TH AVE
WEST LINN OR 97068

2. Article Number

(Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *in cody*

☐ Agent

☐ Addressee

B. Received by (Printed Name)

ARON HELWIGS 12-17-11

C. Date of Delivery

D. Is delivery address different from item 1? ☐ Yes

If YES, enter delivery address below: ☐ No

3. Service Type

☒ Certified Mail ☐ Express Mail

☐ Registered ☐ Return Receipt for Merchandise

☐ Insured Mail ☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

PS Form 3811, February 2004

Domestic Return Receipt

102585-02-M-1541

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

WEST LINN OR 97068

Postage	\$	\$0.44
Certified Fee		\$2.85
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.59

0155

05

Postmark
Here

12/16/2011

Sent To

Street, Apt. No.,
or PO Box No.

City, State, ZIP+4

PS Form 3800, August 2006

See Reverse for Instructions

UNITED STATES POSTAL SERVICE

17 DEC 2011 PM 5

First-Class Mail
Postage & Fees Paid
Permit No. G-10

• Sender: Please print your name, address, and ZIP+4 in this box •

REMO DOUGLAS
2755 SW BORLAND RD
TUALATIN OR 97062

Certified Mail Provides:

- A mailing receipt
- A unique identifier for your mailpiece
- A record of delivery kept by the Postal Service for two years

Important Reminders:

- Certified Mail may ONLY be combined with First-Class Mail® or Priority Mail®.
- Certified Mail is not available for any class of international mail.
- NO INSURANCE COVERAGE IS PROVIDED with Certified Mail. For valuables, please consider Insured or Registered Mail.
- For an additional fee, a Return Receipt may be requested to provide proof of delivery. To obtain Return Receipt service, please complete and attach a Return Receipt (PS Form 3811) to the article and add applicable postage to cover the fee. Endorse mailpiece "Return Receipt Requested". To receive a fee waiver for a duplicate return receipt, a USPS® postmark on your Certified Mail receipt is required.
- For an additional fee, delivery may be restricted to the addressee or addressee's authorized agent. Advise the clerk or mark the mailpiece with the endorsement "Restricted Delivery".
- If a postmark on the Certified Mail receipt is desired, please present the article at the post office for postmarking. If a postmark on the Certified Mail receipt is not needed, detach and affix label with postage and mail.

IMPORTANT: Save this receipt and present it when making an inquiry.

PS Form 3800, August 2006 (Reverse) PSN 7530-02-000-9047



West Linn – Wilsonville Schools

PUBLIC NOTICE

**THE PUBLIC IS INVITED to attend a Willamette Neighborhood Association
Meeting to discuss the proposed
Interior Renovations and Learning Garden Project at
West Linn – Wilsonville School District's
Willamette Primary School Site**

**January 11, 2012 at 7:00 pm
Pacific West Bank
2040 8th Avenue
West Linn, OR 97068**

Property Information:

- **LOCATION:** Willamette Primary School
- **ADDRESS:** 1403 12th St
West Linn, OR 97068
- **DESCRIPTION:** Parcel Number 00749382
Assessor's Map 31E02BA06300

Site Improvement Description:

The major elements of this site improvement work include:

- Interior renovation
- Window replacement
- Construction of learning garden

This is an informal meeting to discuss the site improvements planned for the Willamette Primary School site. This meeting is in support of a Conditional Use and Class I Design Review application to the city of West Linn. The plan may be modified or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn – Wilsonville School District 504-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice Dated December 16, 2011

Department of Operations
2755 SW Borland Road • Tualatin OR 97062 • 503-673-7995 • www.wlww.k12.or.us

AFFIDAVIT

I, Tim Woodley so hereby solemnly attest that the following statement is true.

A copy of the letter to officers of the Willamette Neighborhood Association and property owners within 500 feet of the proposed structure was mailed on December 16, 2011. A copy of the mailing list with names and addresses is attached.

Tim Woodley: *Tim K. Woodley* Date: 1.19.12

State of Oregon

County of Clackamas

Signed or attested before me on January 19, 2012
by Tim Woodley, Notary Public State of Oregon.
My Commission expires: Feb 4, 2014

Notary: *Amy Berger*



To Our Neighbor at:
1889 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1849 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1969 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1403 12TH ST
WEST LINN 97068

To Our Neighbor at:
1870 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1891 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1888 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1521 11TH ST
WEST LINN 97068

To Our Neighbor at:
2062 5TH AVE
WEST LINN 97068

To Our Neighbor at:
2014 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1877 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1833 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1949 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1330 10TH ST
WEST LINN 97068

To Our Neighbor at:
1549 12TH ST
WEST LINN 97068

To Our Neighbor at:
1744 4TH AVE
WEST LINN 97068

To Our Neighbor at:
1728 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1740 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1201 12TH ST
WEST LINN 97068

To Our Neighbor at:
1831 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1873 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1817 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1919 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1220 13TH ST
WEST LINN 97068

To Our Neighbor at:
1788 4TH AVE
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1753 6TH AVE
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To Our Neighbor at:
1898 5TH AVE
WEST LINN 97068

To Our Neighbor at:
2041 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1295 12TH ST
WEST LINN 97068

To Our Neighbor at:
1914 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1980 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1820 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1742 WILLAMETTE FALLS DR
WEST LINN 97068

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1785 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1731 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1242 13TH ST
WEST LINN 97068

To Our Neighbor at:
1818 6TH AVE
WEST LINN 97068

To Our Neighbor at:
2057 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1892 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1862 4TH AVE
WEST LINN 97068

To Our Neighbor at:
2008 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1793 8TH AVE
WEST LINN 97068

To Our Neighbor at:
1860 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1795 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1705 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1722 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1830 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1882 5TH AVE
WEST LINN 97068

To Our Neighbor at:
2011 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1738 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1832 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1754 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1880 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1751 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
2075 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
2092 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1920 6TH AVE
WEST LINN 97068

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1204 12TH ST
WEST LINN 97068

To Our Neighbor at:
1409 14TH ST
WEST LINN 97068

To Our Neighbor at:
1790 6TH AVE
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1260 12TH ST
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1865 6TH AVE
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1296 12TH ST
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1872 5TH AVE
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To Our Neighbor at:
1542 10TH ST
WEST LINN 97068

To Our Neighbor at:
1822 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1825 TUALATIN AVE
WEST LINN 97068

To Our Neighbor at:
1767 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1769 4TH AVE
WEST LINN 97068

To Our Neighbor at:
1247 12TH ST
WEST LINN 97068

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1547 11TH ST
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1541 11TH ST
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1883 5TH AVE
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1892 4TH AVE
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1235 11TH ST
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1847 6TH AVE
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To Our Neighbor at:
1852 4TH AVE
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To Our Neighbor at:
1723 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1992 6TH ST
WEST LINN 97068

To Our Neighbor at:
2069 WILLAMETTE FALLS DR
WEST LINN 97068

To Our Neighbor at:
1975 8TH AVE
WEST LINN 97068

To Our Neighbor at:
1724 4TH AVE
WEST LINN 97068

To Our Neighbor at:
1273 11TH ST
WEST LINN 97068

To Our Neighbor at:
1249 14TH ST
WEST LINN 97068

To Our Neighbor at:
1968 6TH ST
WEST LINN 97068

To Our Neighbor at:
1780 6TH AVE
WEST LINN 97068

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1850 6TH AVE
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To Our Neighbor at:
1782 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1245 13TH ST
WEST LINN 97068

To Our Neighbor at:
1360 10TH ST
WEST LINN 97068

To Our Neighbor at:
2045 LESLIES WAY
WEST LINN 97068

To Our Neighbor at:
2050 5TH AVE
WEST LINN 97068

To Our Neighbor at:
1819 6TH AVE
WEST LINN 97068

To Our Neighbor at:
1731 6TH AVE
WEST LINN 97068

To Our Neighbor at:
2020 LESLIES WAY
WEST LINN 97068

To Our Neighbor at:
1943 4TH AVE
WEST LINN 97068

To Our Neighbor at:
1340 10TH ST
WEST LINN 97068

To Our Neighbor at:
2089 5TH AVE
WEST LINN 97068

To Our Neighbor at:
2055 LESLIES WAY
WEST LINN 97068

To Our Neighbor at:
1296 13TH ST
WEST LINN 97068

To Our Neighbor at:
1380 10TH ST
WEST LINN 97068

To Our Neighbor at:
1345 11TH ST
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1798 4TH AVE
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1745 4TH AVE
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1315 11TH ST
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1293 14TH ST
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1215 14TH ST
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1288 11TH ST
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2035 LESLIES WAY
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1709 5TH AVE
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1250 13TH ST
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To Our Neighbor at:
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1213 12TH ST
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1290 10TH ST
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2050 LESLIES WAY
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1937 4TH AVE
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1790 5TH AVE
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2051 WILLAMETTE FALLS DR
WEST LINN 97068

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2069 5TH AVE
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1397 11TH ST
WEST LINN 97068

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2030 LESLIES WAY
WEST LINN 97068

To Our Neighbor at:
1257 11TH ST
WEST LINN 97068

To Our Neighbor at:
1234 11TH ST
WEST LINN 97068

To Our Neighbor at:
1847 5TH AVE
WEST LINN 97068

AFFIDAVIT

I, Tim Woodley so hereby solemnly attest that the following statement is true.

Signage for the public notice of the West Linn – Wilsonville School District land use application presentation to the Willamette Neighborhood Association was posted on December 16, 2011. A copy of sign is attached.

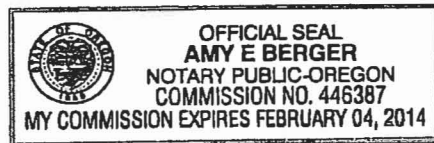
Tim Woodley: *Tim K. Woodley* Date: 1.19.12

State of Oregon

County of Clackamas

Signed or attested before me on January 19, 2012
by Tim K. Woodley, Notary Public State of Oregon.
My Commission expires: Feb 4, 2014

Notary: *Amy Berger*





West Linn – Wilsonville Schools

PUBLIC NOTICE

**THE PUBLIC IS INVITED to attend a Willamette Neighborhood
Association
Meeting to discuss the proposed
Interior Renovations and Learning Garden Project at
West Linn – Wilsonville School District's
Willamette Primary School Site**

**January 11, 2012 at 7:00 pm
Pacific West Bank
2040 8th Avenue
West Linn, OR 97068**

Property Information:

- **LOCATION:** Willamette Primary School
- **ADDRESS:** 1403 12th St
West Linn, OR 97068
- **DESCRIPTION:** Parcel Number 00749382
Assessor's Map 31E02BA06300

Site Improvement Description:

The major elements of this site improvement work include:

- Interior renovation
- Window replacement
- Construction of learning garden

This is an informal meeting to discuss the site improvements planned for the Willamette Primary School site. This meeting is in support of a Conditional Use and Class I Design Review application to the city of West Linn. The plan may be modified or altered prior to actual submittal.

For further information, please contact Amy Berger, West Linn – Wilsonville School District 504-673-7195; or visit us on the web at www.bond.wlww.k12.or.us

Notice Dated December 16, 2011

Willamette Neighborhood Association

Willamette Neighborhood Association

Pacific West Bank

Date: January 11, 2012

Call to order at 7:05PM

Attendance:

Beth Smolens (formerly Kieres), Jim Milne, Elizabeth Rocchia, Elizabeth Hall, Shannen Knight, Julia Simpson, Travis Butler, Remo Douglas, Kevin Bryck

Minutes from November 9, 2011 reviewed and accepted.

Treasurer's Report (Elizabeth Rocchia)

a. US Bank balance: \$2,901.28

Checks Written:

WL/WVL School District for Yoga: \$163.87

Lindsey George: \$200.00

b. Pacific West Bank balance: \$250.89

Speakers:

Willamette Primary School, West Linn - Wilsonville School District presented Class 1 Design review for new proposed learning garden.

Motion:

WNA approves the addition of the learning gardens and the capital improvements on the school. Motion Passed. Unanimous.

Speakers:

Robinwood Neighborhood Association member Kevin Bryck presented current activity addressing the Lake Oswego Water Treatment Facility proposed in the neighborhood.

Motion:

WNA urges the West Linn City Council to support the efforts of the RNA- GNC- in addressing the mitigation proposals presented to the LOTWP- Lake Oswego Tigard Water Partnership. Motion Passed. Unanimous.

Old Business:

Mailbox/PostBox Placement

Follow up on earlier discussions regarding mailbox/post box placement in Willamette on 12th and WFD.

No options for the post box to be moved to accommodate drive-up mail deposits.

New Business:

Willamette Neighborhood Association

Letter of Support to Willamette Falls Heritage Coalition

Motion:

Elizabeth Smolens to write a letter of support for Willamette Falls Heritage Coalition. Motion Passed. Unanimous.

Elizabeth Rocchia presents photos of paper boxes/advertising bins in Willamette

Motion:

The WNA represented by Elizabeth Rocchia will address the proliferation of advertising materials in bright containers (tabloid materials) as it clutters sidewalks, planters and is not aesthetically pleasing to the historic appeal.

Motion Passed. Unanimous.

Meeting Adjourned 9:00 PM

Respectfully Submitted by,

Elizabeth Hall, Secretary

WILLAMETTE PRIMARY SCHOOL

Class I Design Review and Conditional Use

February 15, 2012

APPLICATION SUMMARY

Class I Design Review and Conditional Use approval to make a number of site and minor building improvements including conversion of lawn to garden area, providing ADA access, replacing several leaking windows, and enclosing the existing trash and recycling facilities.

GENERAL INFORMATION

Location

1403 12th St. (3S 1E Section 2 BA, Tax Lot 6300). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
P. O. Box 35
West Linn, OR 97068
Phone: 503-673-7976
Fax: 503-638-9360
E-mail: woodleyt@wlwv.k12.or.us

Applicant's Representatives

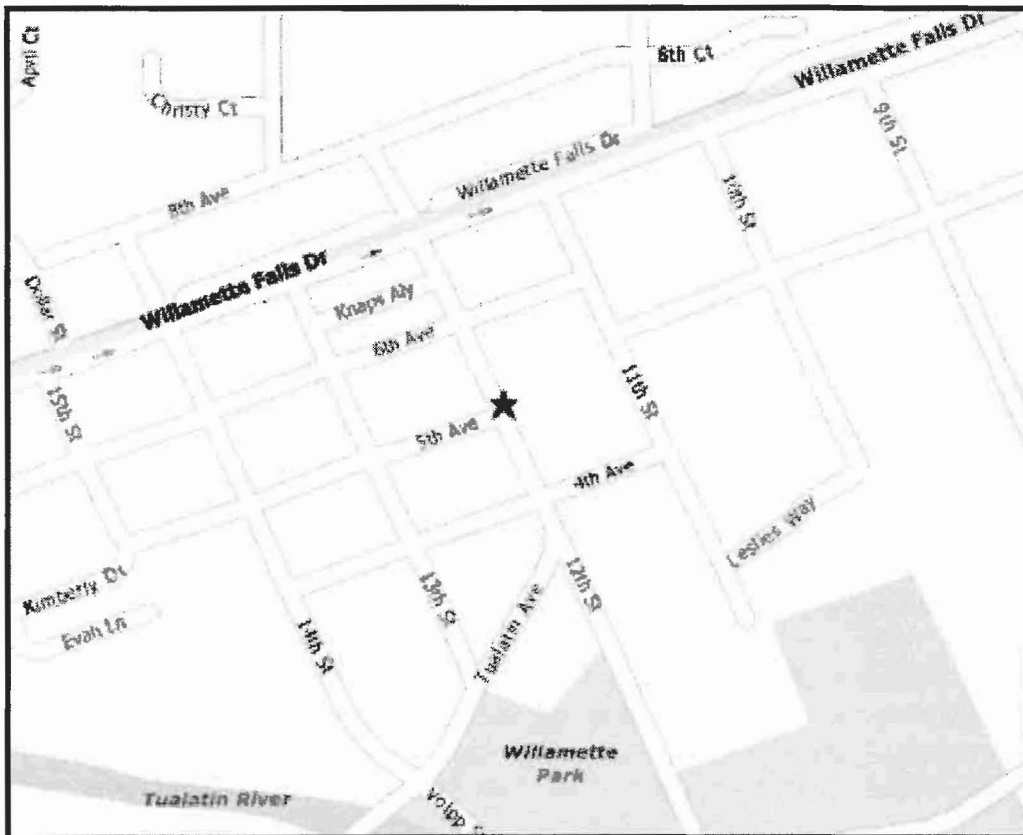
Keith Liden, AICP
Parsons Brinckerhoff
400 S. W. 6th Avenue, Suite 802
Portland, OR 97204
Phone: 503-478-2348
Fax: 503-274-1412
E-mail: liden@pbworld.com

Travis Butler, AIA
Dull Olson Weekes Architects
907 S. W. Stark Street
Portland, OR 97205
Phone: 226-6950
Fax: 273-9192
E-mail: steve@dowa.com

Attachments and Plan Sheets

	Cover Sheet
L100	Site Plan
L101	Detailed Site Plan
A2.01	Floor Plan
A2.02	Lower Floor Plan
A2.20	Lower Floor Plan
A3.01	Exterior Elevations
Attachment A	Compactor Information

Figure 1: Vicinity Map



Source: MapQuest

BACKGROUND INFORMATION

Site Description

The site is developed with Willamette Primary School, including a 73,873 square foot building, driveway, parking, and play areas. The entire site is approximately 3.58 acres. Primary access to the school is provided by 12th Street, which runs along the west side of the site (Sheet L100).

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

Table 1
Land Use Summary

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 3S 1E Section 2 BA, Tax Lot 6300 (3.58 acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u>		
North/Northwest	GC	Commercial Retail
South	R10/R7	Single family residences
East	R10	Single family residences
West	R5	Single family residences

SCHOOL BUILDING AND RELATED IMPROVEMENTS

The Willamette Primary School site improvements are located in the southwestern portion of the site. They include the following:

- Converting a lawn area located between the covered play area, classrooms, and commons into raised gardens, a seating circle, and orchard (Sheet L101). This will require replacement of existing sidewalk and removal of two deciduous trees (14" and 6" caliper) that are in poor health.
- Constructing a small fenced storage area next to an existing greenhouse near the raised garden beds (Sheet L101). According to the Planning Department staff, the storage addition to the greenhouse structure is exempt from design review.
- Enclosing the existing trash and recycling area with masonry walls, vegetative screening, and a steel gate. In addition, the dumpster will be replaced by a trash compactor to allow less frequent trash pick-up. An emergency generator will also be located within this enclosed area to provide electricity in the event of a power outage (Sheets L101 and A3.01). The compactor, which will only be operated intermittently between the hours of 7 am to 7 pm, will be able to satisfy the city's noise standards as documented in Attachment A. The generator is exempt under the West Linn Municipal Code (Section 5.487 Sound Levels and Noise, [3] Exemption for Emergency Services) because it will only be operated to provide emergency power.
- Adding ADA access between a classroom wing to the play areas. This will include new doors, roof canopy, and exterior ramp to bring the exterior walkways up to the finished floor elevation in the building (Sheet L101).
- Replacing leaking windows in three locations with aluminum storefront window systems. The frames and glazing will also improve energy performance.
- Replacing an existing doorway canopy (Sheet A3.01).
- Moving several existing bike rack spaces near the classrooms (Sheet L101).

CONDITIONAL USE REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

Chapter 11 Single Family Residential Detached, R-10

Section 11.060 Conditional Uses

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

Section 11.080 Dimensional Requirements, Conditional Uses

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 3.6-acre site for many years, and the building footprint will not be expanded. The school enrollment capacity will not be changed by the minor site and building modifications proposed. Building setbacks will remain the same, and in total, the modifications will have no meaningful affect on surrounding properties.

The school building site coverage will not change. The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. This proposal will not affect building floor area. All dimensional standards will be satisfied.

Chapter 60 Conditional Uses

Section 60.070 Approval Standards and Conditions

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

A. The following criteria shall be satisfied.

1. The site size and dimensions provide:

a. Adequate area for the needs of the proposed use.

The school has been in continuous use for many years, and this site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the size of the school or its enrollment capacity. The proposed improvements will improve the facility's appearance from surrounding properties.

b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.

As shown on the site plan information, the setback distances for buildings, parking, play areas, and related facilities from all property lines will remain unchanged. The building, parking, and play areas will retain their current location and orientation, and therefore, the proposed renovations will not have any adverse impact on surrounding properties.

2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.

The existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. Although it is smaller than many of the existing primary school sites in the district, the school has proven it can operate in a manner that is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the proposed improvements will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed garden area and improved walkway has a moderate grade and has no physical limitations. Three deciduous trees and a lawn area in poor condition will be replaced. The 8 new trees will mitigate any impact associated with removal of three trees, which are located between the building and covered play area.

3. The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. In addition, the Willamette Neighborhood Association held a meeting on January 11, 2012 and unanimously approved of the improvement plans. The relevant city policies are addressed under criterion 7 below.

4. All required public facilities have adequate capacity to serve the proposal.

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result. Ingress and egress to the school will not be modified.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The amount of impervious area will remain essentially unchanged because the building and major paved areas will not be enlarged. The proposed sidewalks in the garden area will primarily replace existing sidewalks, and the amount of new impervious surface will be less than 500 square feet. The existing facilities will continue to provide appropriate treatment of storm and sanitary sewer discharges.

5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.*

The applicable requirements of the R-10 zone for building setbacks, lot coverage and FAR will continue to be met as explained above.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the 3.6-acre site continues to be adequate. No part of the school building will be over the 35-foot allowable height. Setbacks from the building will not be reduced.

6. *The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.*

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

7. *The use will comply with the applicable policies of the Comprehensive Plan.*

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

Specific Policy 10 (Water Quality):

Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

Specific Policy 13 (Water Quality):

Require that new development be connected to the City's sanitary sewer system.

The school will continue to be connected to sanitary sewer.

Specific Policy 19 (Noise Control)

Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.

The proposed improvements will not change use patterns on the site or associated noise. Most important, the building function, orientation, and capacity will remain essentially as it is today. The noise levels associated with the trash compactor will not exceed the city's noise standards. Also, the compactor will offer an advantage because trash pick-up is estimated to change from weekly to every 45 days, reducing the number of truck visits.

Specific Policy 19 (Urban Forest):

Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

As noted above, two trees will be removed to accommodate the orchard and garden. New landscaping will include 8 replacement trees, a garden, and lawn area. The trees are both in poor health, internal to the site, and their removal will not have any significant impact on the surrounding neighborhood.

The "Public Facilities and Services" section contains several relevant policies.

General Policy 3 (Public Facilities and Services):

Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

General Policy 5 (Public Facilities and Services):

Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.

- a. Solid Waste Collection and Recycling*
- b. Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. Schools.*
- d. Health Services.*

These services are available.

General Policy 1 (Energy Conservation):

Conserve energy through the appropriate location of land uses (through zoning).

General Policy 2 (Energy Conservation):

Ensure energy efficient provision of public facilities and services.

The replacement windows will offer energy savings by meeting current energy standards.

B. Development review provisions in Chapter 55 shall be satisfied.

These criteria are addressed below.

C. The Planning Commission may impose conditions.

The District understands that the Planning Commission has the authority to impose conditions.

D. Aggregate extraction uses.

This subsection is not relevant because aggregate extraction is not proposed.

DESIGN REVIEW CRITERIA

At the conclusion of the preapplication conference, the Planning Director determined that the application must meet the following criteria in Chapter 55 of the Community Development Code (CDC):

- 55.100(A)(5) Clear vision areas
- 55.100(A)(6) Fences
- 55.100(A)(10) Landscaping
- 55.100(B)(1)-(4) Relationship to the natural and physical environment
- 55.100 (B)(5) and (6) Architecture
- 55.100(C) Compatibility, buffering, and screening
- 55.100(D)(3) Noise
- 55.100(G) Demarcation of public, semi-public, and private spaces
- 55.100(I)(5) Solid waste facilities
- 55.100(J)(3) Solid waste facilities

CDC Chapter 55

A. The provisions of the following chapters shall be met:

5. Chapter 42 – Clear Vision Areas

The clear vision requirements adjacent to street intersections and driveways will not be affected by the proposed improvements because no structures or landscaping is proposed near intersections or driveways.

6. Chapter 44 – Fences

The small fenced storage area adjacent to the existing greenhouse. It satisfies the city's fence provisions because it is a maximum of 6 feet high in a rear yard. Because the fencing is not near a street intersection or driveway, it does not pose any conflict with the clear vision area requirements in Chapter 42.

10. Chapter 54, Landscaping

The site to be redeveloped currently contains sidewalks, lawn and three deciduous trees. Replacement landscaping will match the existing school planting character and include the following as shown in the application:

- An orchard.
- Seating area.
- Raised garden.
- 8 replacement trees for the two existing trees will be removed.

Sidewalks will retain the current circulation with the improvement of ADA design. The landscaped area will not be reduced. Irrigation shall be provided according to the requirements of this section. This section is satisfied.

B. Relationship to the Natural and physical Environment

Section 55.100 B. 1. and 2. are not relevant because there are no heritage trees on the site. The impact of removing the trees noted in this application will be mitigated by the new landscaping proposed.

Section 55.100 B. 3. is satisfied because the existing grade and the amount of landscaped area will remain virtually unchanged.

Section 55.100 B. 4. is satisfied because the property is essentially flat and geologically stable.

Section 55.100 B. 5. is satisfied because the school building will retain its current setbacks.

Section 55.100 B. 6. is met based on the findings below:

- a.* The design of the replacement windows will be consistent with the architectural style of the existing building as shown in the application.
- b/c.* The proposed design is compatible with the natural environment because the improvements will retain the existing landscaped areas by converting some of the lawn areas into an orchard and garden.
- d.* The replacement windows and canopy enlargement at one building entrance are consistent with the architectural style of the building. They also represent a very minor change to the building's exterior.
- e.* The human scale of the proposed building will not be affected because the changes to the exterior are so minor, consisting of replacement windows and canopy, which are consistent with the existing building design.
- f.* The criterion related to windows applies only to commercial and office buildings, not school structures.
- g.* This criterion relating to new buildings and additions is not applicable.
- h.* Climatic concerns are considered by the proposed building with the proposed canopy to provide additional shelter at a building entrance and the replacement windows that will provide improved energy efficiency.
- i.* The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the walkways, garden, orchard and seating area on the site will maintain the current pedestrian-friendly character of the neighborhood.

Section 55.100 B. 7. is not relevant because the improvements will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

C. Compatibility between Adjoining Uses, Buffering, and Screening

There are a number of mature trees located on and surrounding the site, which will all be protected. As noted above, two trees, which are in poor health will be removed and replaced with 8 trees.

D. Privacy and Noise

School activities and associated noise is compatible with the surrounding neighborhood. Building entrances, vehicle circulation, and outdoor activity areas will remain in their current location. Proposed screening of the trash and recycling area will improve the situation for neighbors across the street, and the compactor will not generate noise that exceeds city standards.

G. Demarcation of Public, Semi-Public and Private Spaces

The operation, main school entry, and playground layout will remain essentially unchanged. The playground access and outdoor activity areas will not be changed, and their boundaries will continue to be clearly delineated.

I. Public Facilities

The existing trash and recycling area will be improved with a screening wall and landscaping to improve its appearance and to further reduce potential noise coming from this area.

J. Crime Prevention and Safety/Defensible Space

Access, building entrance locations, and existing lighting will not be affected by the proposed improvements. All on-site circulation will be retained and ADA access will be improved.

CONCLUSION

The proposed school improvements satisfy all of the relevant criteria as demonstrated above.

ATTACHMENT A
Compactor Information

RJ-88SC Self Contained Compactor



[[Specifications](#) | [Literature](#) | [Operational & Steel Options](#)]

Marathon's **RJ-88SC Self-Contained Compactor/ Containers** are ideal for waste with high liquid content and for applications where space is limited. Each RJ-88 series compactors store liquid and controls insect and odor problems.

RJ-250SC Features:

The RJ-88SC is ideal for...

Shopping Centers

Supermarkets

Restaurants

Hotels

Inflight Kitchens

Hospitals and institutions

Components are selected for longevity and minimum maintenance, with special attention given to the selection of highly sensitive components. Stress engineering provides the optimum degree of structural integrity. Only the best materials are used. The highest standards of quality are observed in the manufacturing process. That's why you'll find Marathon Compactors "packing trash" long after other makes have failed!

The **RJ-88 SC**'s smaller size makes it excellent for restaurant and fast food applications. They normally fit easily in waste corrals for an attractive and convenient installation at minimum installation cost.

With standard double end pick-up, the unit can be loaded for hauling from either end. This is especially useful if installed perpendicular to a dock (Packer End pick-up option does not include front ground rollers).

The RJ-88 SC uses a **Remote Power Pack** that remains on-site while the self-contained compactor container is taken to the landfill.

Factory testing to assure leakproof construction.



The RJ-250SC uses a Remote Power Pack that remains on-site while the self-contained compactor container is taken to the landfill.



Also See the RJ-88 HT. The RJ-88 HT features a Hydraulic Tailgate and is well suited for security chute-fed and dock-fed applications where maneuvering space for the collection vehicle is limited.

The RJ-88 Series Self-Contains can be used with a hopper to double or triple your loading capacity!

They are equally easy to load from ground or dock level and can be continuously fed while the unit is cycling!

Total odor and pest control via Marathon's **Ozone Odor Control option**

Easy and fast installation! Installation costs are cut by half over conventional compaction systems.

Fire hose connection provided on each unit.

RJ-88C Compactors can be customized with a variety of loading arrangements to suit your specific needs.



Marathon's RJ-88SC Self Contained Compactor is UL Listed!

Features & Benefits of Marathon's Self-Contained Wet Waste Compaction Equipment:

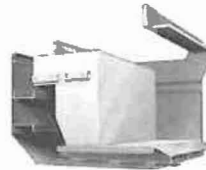
Marathon's **CYCON Life-Xtender® Cyclic Control System**: eliminates troublesome limit and pressure cycle control switches. It also reduces trash removal cost by producing superior payloads and dramatically improving cold weather performance.

Marathon's compactors meet all of ANSI and OSHA standards.

Each unit is **UL Listed** to assure quality and maintains the highest industry standards (does not apply to GreenBuilt).

Standard **double end pick-up** (except HT models) which allows the unit to be loaded for hauling from either end. This is especially useful if the self-contained unit is perpendicular to a dock.

Through-the-wall feed chutes offer convenience to employees that reduces labor cost and improves security.



The **Qwik Clean Tank®** funnels any liquid seepage during compaction into an enclosed area underneath the charge box floor. The liquid is automatically discharged at the disposal site, in effect flushing the container and the area behind the ram.



Rear door retains wet waste effectively with its patented **"Double-Hinge"** and custom designed **"P" Seal**.



The innovative **"Bubble Gate"** adds a cubic yard to the container capacity. Its curved shape also produces superior compaction ratios.

Specifications:



RJ-88SC Specifications

Dimension	A*	B	C	D	E	Weight
15 cu yds	43"	30 1/2"	70"	187"	89"	7200 lbs.
	1092mm	777mm	1778mm	4750mm	2261mm	3265 kg.
20 cu yds	43"	30 1/2"	70"	222"	89"	7600 lbs.
	1092mm	777mm	1778mm	5639mm	2261mm	3447 kg.
24 cu yds	43"	30 1/2"	70"	256"	89"	8000 lbs.
	1092mm	777mm	1778mm	6502mm	2261mm	3628 kg.

Charge Box Capacity

[Mfr's. Rating]	1.0 cy	.76 m ³
[WASTEC Rating]	0.70 cy	.54 m ³
Clear Top Opening	30.5" L X 48" W	775mm x 1219mm

Performance Data:

Cycle Time	44 sec	44 sec
Total Normal Force	36,600 lb	162 kN
Total Maximum Force	43,100 lb	192 kN
Normal Ram Face Pressure	34.7 psi	239 kPa
Maximum Ram Face Pressure	40.8 psi	281 kPa
Ram Penetration	6" O	152 mm

Electrical Equipment

Electric Motor 3/60/230-460	5 hp	3.7 kW
Electric Control Voltage	120 VAC	120 VAC

Panel Box Assembly UL Listed

All Circuits Fused Key Operated

3 Push Button Station Start/Stop/Reverse

Hydraulic Equipment

Hydraulic Pump	6 gpm	23 L/min
Normal Pressure	1700 psi	117 bar
Maximum Pressure	2000 psi	138 bar
Cylinder Bore	2 @ 4" each	102 mm
Cylinder Rod	2 @ 2.5"	64 mm

Optional Features:**TrashMinder®**

The optional **TrashMinder®** is the most advanced method for reporting and measuring container fullness as well as for managing user access and billing. **Get More Details.**

The StreamLine® Option

allows excess liquid to be drained from the container reducing net payload weight and significantly reducing hauling costs! Liquid is routed to four interconnected 4" drain

Qwik Clean Door®

The innovative Qwik Clean Door provides access to the area behind the ram of self-contained compactors. It allows for quick, easy cleaning and other routine

maintenance without having to unbolt panels or break welds. The Qwik Clean Door features our Auto-Relatch to hold the door closed while the door is being ratcheted and our patented "P" Seal for a tight, leak proof seal.

Pictures on this page are illustrative only. Specifications are subject to change without notice to accommodate improvements to the equipment. Certified in compliance with ANSI Regulation Z245.2, all OSHA standards, and certified under WASTEC's Stationary Compactor Certification Program. Products must be used with safe practice and in accordance with said regulations and standards.

outlets located at each corner of the StreamLine unit. Connection can be made to a hose, piping, or pump.

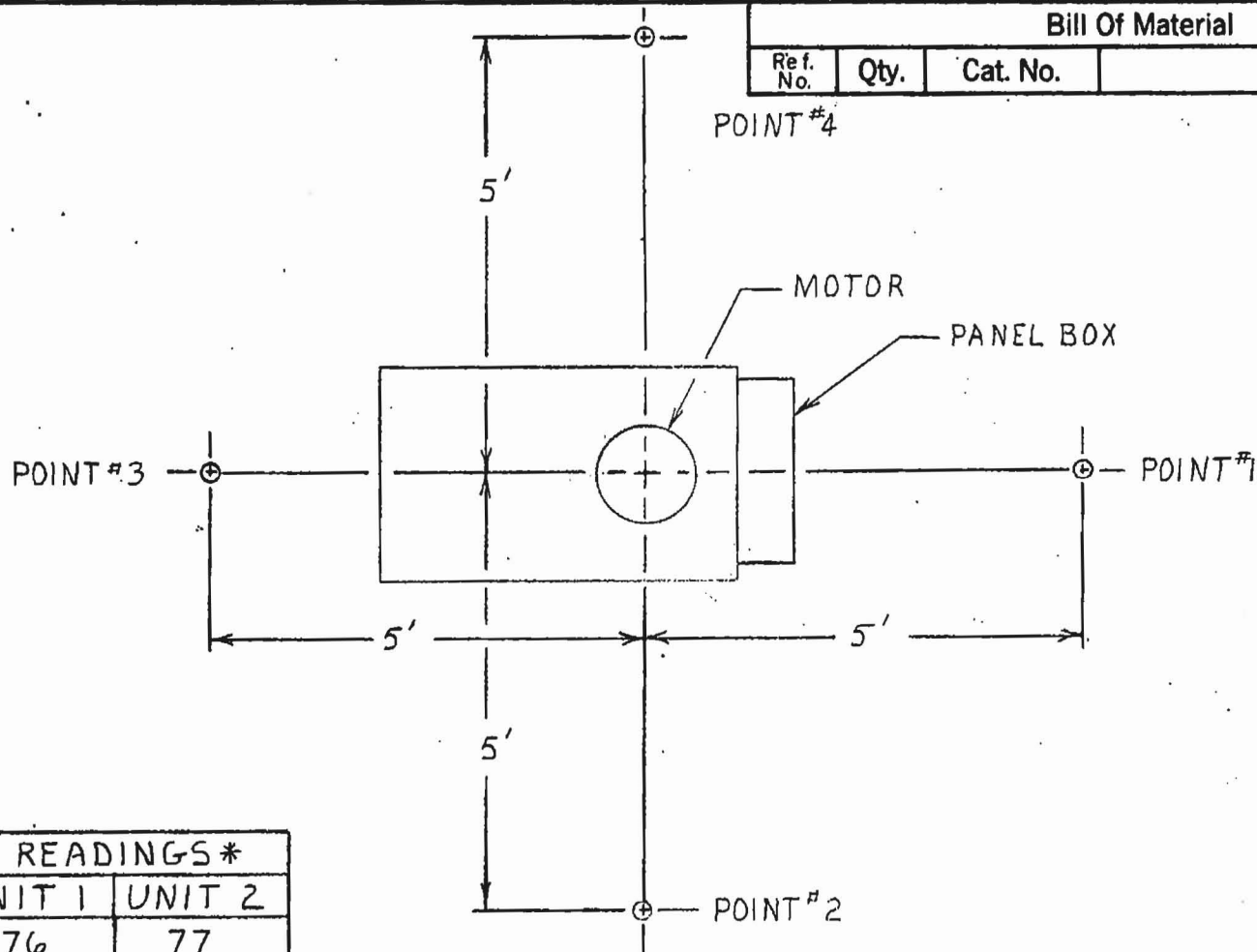
See how the StreamLine System works.

Cart Dumpers

Your Self-Contained can be fitted with various configurations of cart dumper systems. Other options include: multi-cycle timer, dual controls, ozone odor control system, security chutes, hoppers,

and many much more.

Top of Page



Bill Of Material			
Ref. No.	Qty.	Cat. No.	Material

DECIBEL READINGS*		
POINT	UNIT 1	UNIT 2
1	76	77
2	78	75
3	75	77
4	77	75

TWO POWER UNITS TESTED
 *ALL READINGS "A" WEIGHTED & "SLOW" RESPONSE

MARATHON RAMJET

Equipment Company,
 Vernon, Alabama 35592

Title: DECIBEL READINGS RJ-88 SC
 POWER UNIT

Drawn: RB

Date: 1-5-89

Drawing Number:

SI-45710

Routing:

Scale: NTS

Tolerances:

SHEET:

___ OF ___

WILLAMETTE PRIMARY SCHOOL IMPROVEMENTS

WEST LINN WILSONVILLE SCHOOL DISTRICT

1403 12th Street, West Linn, OR, 97068

owner
West Linn Wilsonville
School District
22210 SW Slabford RD
Tualatin, OR, 97062
t: (503) 673 7000 f: (503) 673 7001

architect
Duff Olson Weekes Architects Inc.
318 SW Washington Street
Suite 200
Portland, Oregon 97204
t: (503) 226 6950 f: (503) 273 8182

civil engineer
GHD
15575 SW Sequoia Pkwy
Portland, OR, 97224-7233
t: (503) 226 3821 f: (503) 226 3826

landscape architect
Walker Macy
111 SW Oak, Suite 200
Portland, OR, 97204
t: (503) 228 3122 f: (503) 273 8878

CONTENTS

landscape

L100 SITE PLAN
L101 DETAILED SITE PLAN

architectural

A2.01 FLOOR PLAN
A2.02 FLOOR PLAN
A2.20 ENLARGED FLOOR PLAN
A3.01 EXTERIOR ELEVATIONS

SATELLITE PHOTO



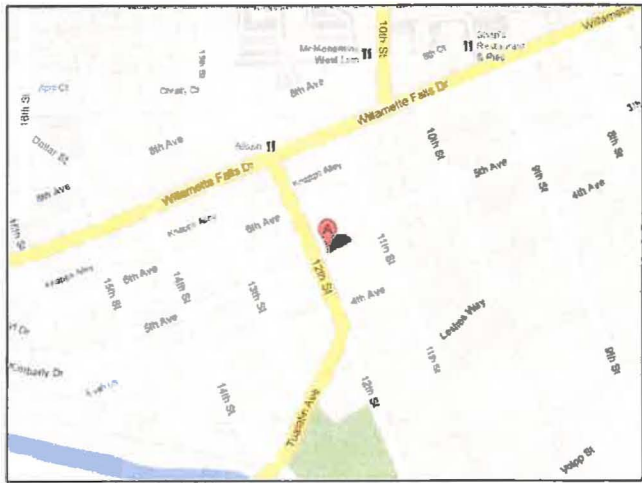
ARCHITECTURAL ABBREVIATIONS

L	ANGLE	EA	EACH	GA	GALVE	NA	NOT APPLICABLE	T	TEMPERED GLAZING
AS	ANCHOR BOLT	EF	EXHAUST FAN	GALV	GALVANIZED	NIC	NOT IN CONTRACT	TC	TOP OF CURB
ACT	ACQUISITION CEILING TILE	EJ	EXPANSION JOINT	GB	GRAB BAR	NOM	NOMINAL	TEL	TELEPHONE
ADD	ADDENDUM	EL	ELEVATION	GC	GENERAL CONTRACTOR	NS	NELSON STUD	T&G	TONGUE AND GROOVE
A.F.F.	ABOVE FINISH FLOOR	ELEC	ELECTRICAL	GL	GLASS	NTS	NOT TO SCALE	THK	THICK
ALS	AREA LIGHT STANDARD	E.O.S.	EDGE OF SLAB	GND	GROUND	OA	OVERALL	TJ	TOOL JOINT
ALUM	ALUMINUM	ENG	ENGINEER	GYP	GYPSUM VENEER PLASTER	OC	ON CENTER	TP	TOP OF PAVEMENT
ANOD	ANODIZED	EP	ELECTRICAL PANEL	GWB	GYPSUM WALL BOARD	OD	OVERFLOW DRAIN	TYP	TYPICAL
		EQ	EQUAL			O.D.	OUTSIDE DIAMETER	TOD	TOP OF (MATERIAL)
		EQU	EQUIPMENT			OH	OVERHEAD		
BC	BOTTOM OF CURB	ES	EACH SIDE	HBI	HOSE BIB	OPW	OPENING	UNFN	UNFINISHED
BD	BOARD	EW	EACH WAY	HC	HANDICAP	OPP	OPPOSITE	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	EXST	EXISTING	HWR	HARDWARE	OS	OUTSIDE		
BLKS	BLOCKING	(E)	EXISTING	HM	HOLLOW METAL			VB	VAPOR BARRIER
B.M.	BENCH MARK	EXP	EXPANSION	HW	HOT WATER			VERT	VERTICAL
BM	BEAM	EXT	EXTERIOR	HVAC	HOT WATER HEATING, VENTILATION AND AIR CONDITIONING			VEST	VESTIBULE
BOT	BOTTOM							VFY	VERFUY
BTU	BRITISH THERMAL UNIT	FA	FIRE ALARM	INSUL	INSULATION	PP	POURED IN PLACE	WI	WITH
BTWN	BETWEEN	FBO	FURNISHED BY OTHERS	INT	INTERIOR	PL	POURED IN PLACE	WC	WATER CLOSET
		FD	FLOOR DRAIN			PLAS	PLASTER	WO	WOOD
COR C	CHANNEL	FDN	FOUNDATION	JAN	JANITOR	PLYW	PLYWOOD	WF	WIDE FLANGE
CB	CATCH BASIN	FE	FIRE EXTINGUISHER	JT	JOINT	PSF	PER SQUARE FOOT	WO	WIRE GLASS
CCTV	CLOSED CIRCUIT TV	FEC	FIRE EXTINGUISHER CABINET	JST	JOIST	P.T.	PRESSURE TREATED	WH	WATER HEATER
CG	CORNER GUARD	FF	FINISH FLOOR			PVMT	PAVEMENT	WID	WITHOUT
CLG	CEILING	FEE	FINISH FLOOR ELEVATION					WP	WATERPROOFING
CLR	CLEAR	FIN	FINISH					WT	WEIGHT
CJ	CONTROL JOINT	FL	FLOOR			R	RADIUS		
CMU	CONCRETE MASONRY UNIT	FO	FACE OF	L	LENGTH	R.D.	ROOF DRAIN		
CONT	CONTINUOUS	FOC	FACE OF CONCRETE	LAV	LAVATORY	REF	REFERENCE		
CORR	CORROSION	FOF	FACE OF FINISH	LB	LAG BOLT	REFR	REFRIGERATOR		
CEJ	CONSTRUCTION JOINT	FOM	FACE OF MASONRY	LKR	LOCKER	RETD	REQUIRED		
CSMT	CEASEMENT	FOS	FACE OF STUD	LS	LANDSCAPING	REV	REVISE OR REVISION		
CT	CERAMIC TILE	FOIC	FURNISHED BY OWNER INSTALLED	LVR	LOUVER	RM	ROOM		
CTR	CENTER	FUR	FURNISHED BY OWNER INSTALLED	MATL	MATERIAL	R.O.	ROUGH OPENING		
C	CENTERLINE			MAX	MAXIMUM	RCP	REFLECTED CEILING PLAN		
				MED	MEDIUM				
				MEZZ	MEZZANINE	SC	SOLID CORE		
				MFR	MANUFACTURER	SECT	SECTION		
				MH	MANHOLE	SF	SQUARE FOOT		
				MN	MINIMUM	SHT	SHEET		
				MISC	MISCELLANEOUS	SHW	SHOWER		
				MTD	MOUNTED	SM	SIMILAR		
				MTL	METAL	SM	SHEET METAL		
						SPEC	SPECIFICATION		
						SQ	SQUARE		
						SS	STAINLESS STEEL		
						STD	STANDARD		
						STL	STEEL		
						STOR	STORAGE		
						STRUCT	STRUCTURAL		
						BUSP	SUSPENDED		

ARCHITECTURAL SYMBOLS

	DRAWING ORIENTATION NORTH		GRID LINE
	ROOM NAME & NUMBER		DRAWING NUMBER
	DOOR OR WINDOW TYPE		SHEET NUMBER
	KEYNOTE REFERENCE		WALL SECTION
	CEILING PLANE HEIGHT - ALL REFERENCES TO FINISH FLOOR ELEVATION		DRAWING NUMBER
	INTERIOR FINISH TYPE		SHEET NUMBER
	HORIZONTAL ELEVATION PLANE HEIGHT - ALL REFERENCES TO F.F.E.		DRAWING NUMBER
	SPOT ELEVATION - ALL REFERENCES TO F.F.E.		SHEET NUMBER
	WALL TYPE WITH RATING WHERE APPLICABLE		DETAIL NUMBER
	DOOR NUMBER - SEE DOOR SCHEDULE		DETAIL
	RELITE NUMBER - SEE RELITE SCHEDULE		REVISION CLOUD

VICINITY MAP

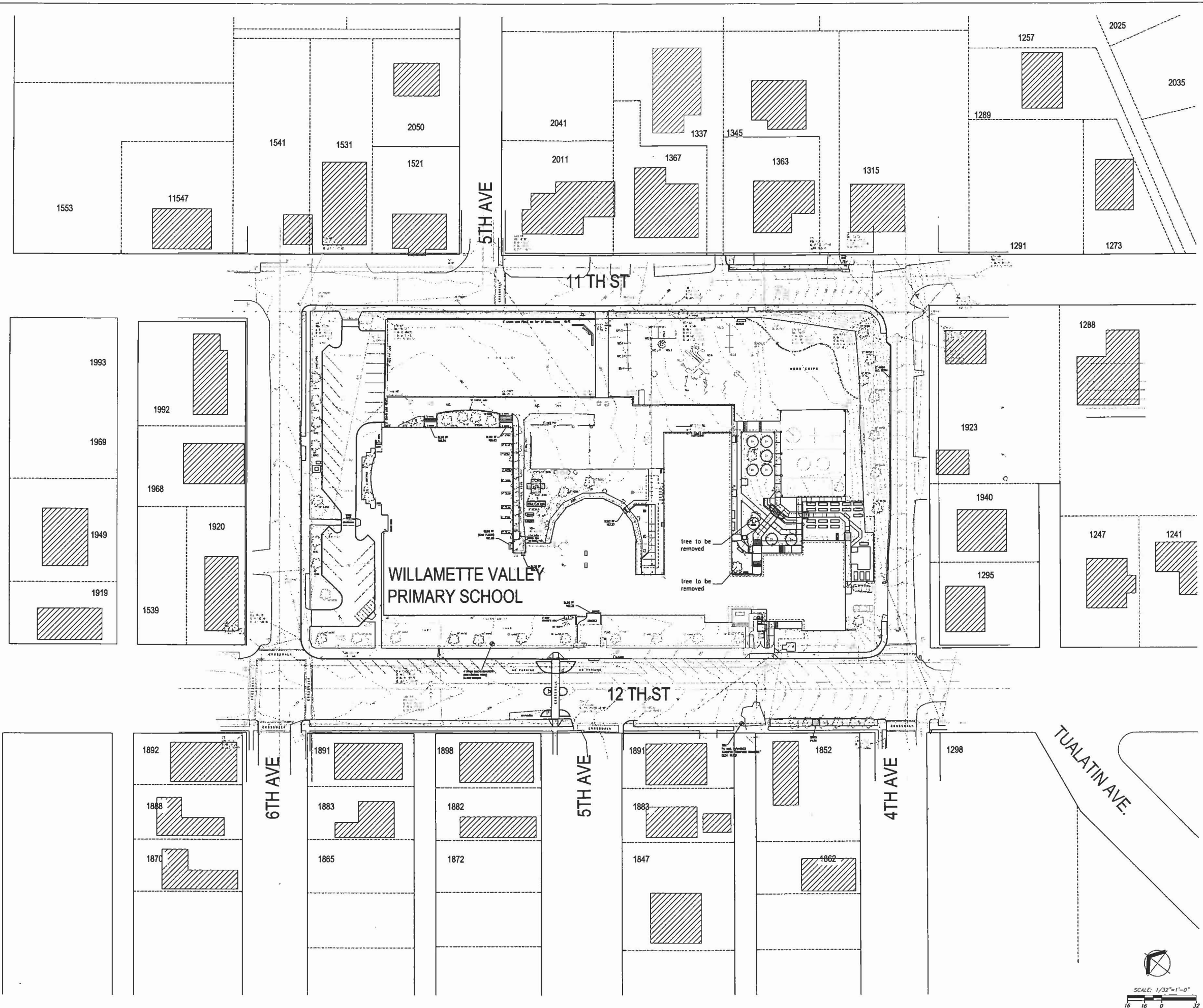


DESIGN REVIEW



WILLAMETTE PRIMARY SCHOOL IMPROVEMENTS
DESIGN REVIEW
FEBRUARY
project # 11070

11/13/2011 11:30 AM

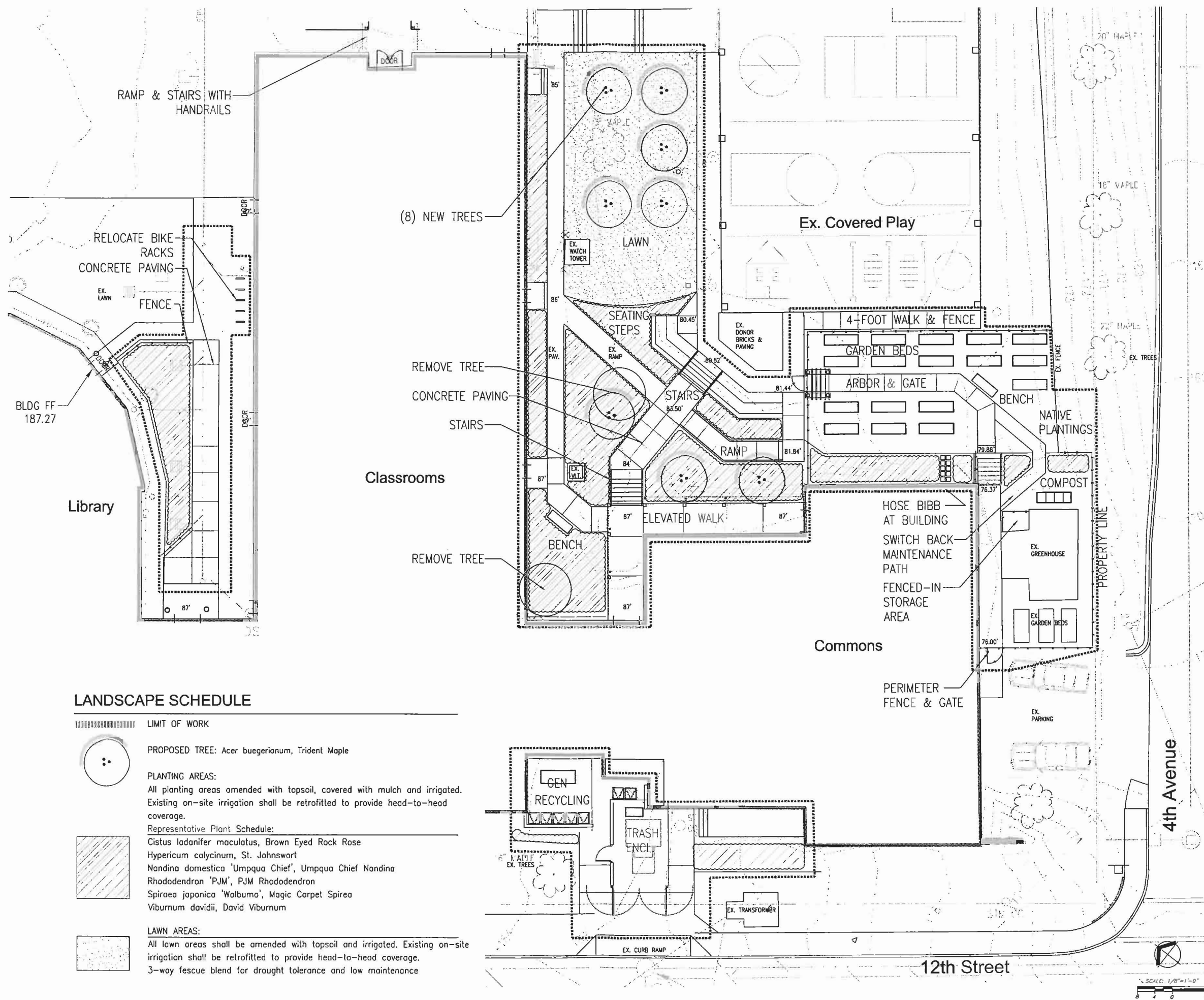


WILLAMETTE PRIMARY SCHOOL IMPROVEMENTS
West Linn Wilsonville School District
1403 12th Street, West Linn, OR 97068
t: (503) 666-0000
f: (503) 666-0000

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LANDSCAPE ARCHITECTURE | SITE DESIGN | PLANNING
121 SW 10TH STREET, SUITE 200 | PORTLAND, OREGON 97204
P: 503.238.8855 / F: 503.273.9192 / WWW.WALKERMACY.COM

key plan	
phase	
date	February 14, 2012
revisions	
project #	11070, wlm 1138

SITE PLAN
L100



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West Linn Wilsonville School District

1403 12th Street, West Linn, OR 97068

t: (503) 000 0000

f: (503) 000 0000

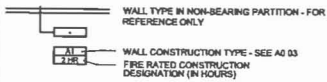
WALKER MACY

LANDSCAPE ARCHITECTURE • URBAN DESIGN • PLANNING
111 SW 10th Street, Suite 200 | Portland, OR 97204
P: 503 228 1122 | F: 503 271 8674 | www.walker-macy.com

SHEET NOTES:

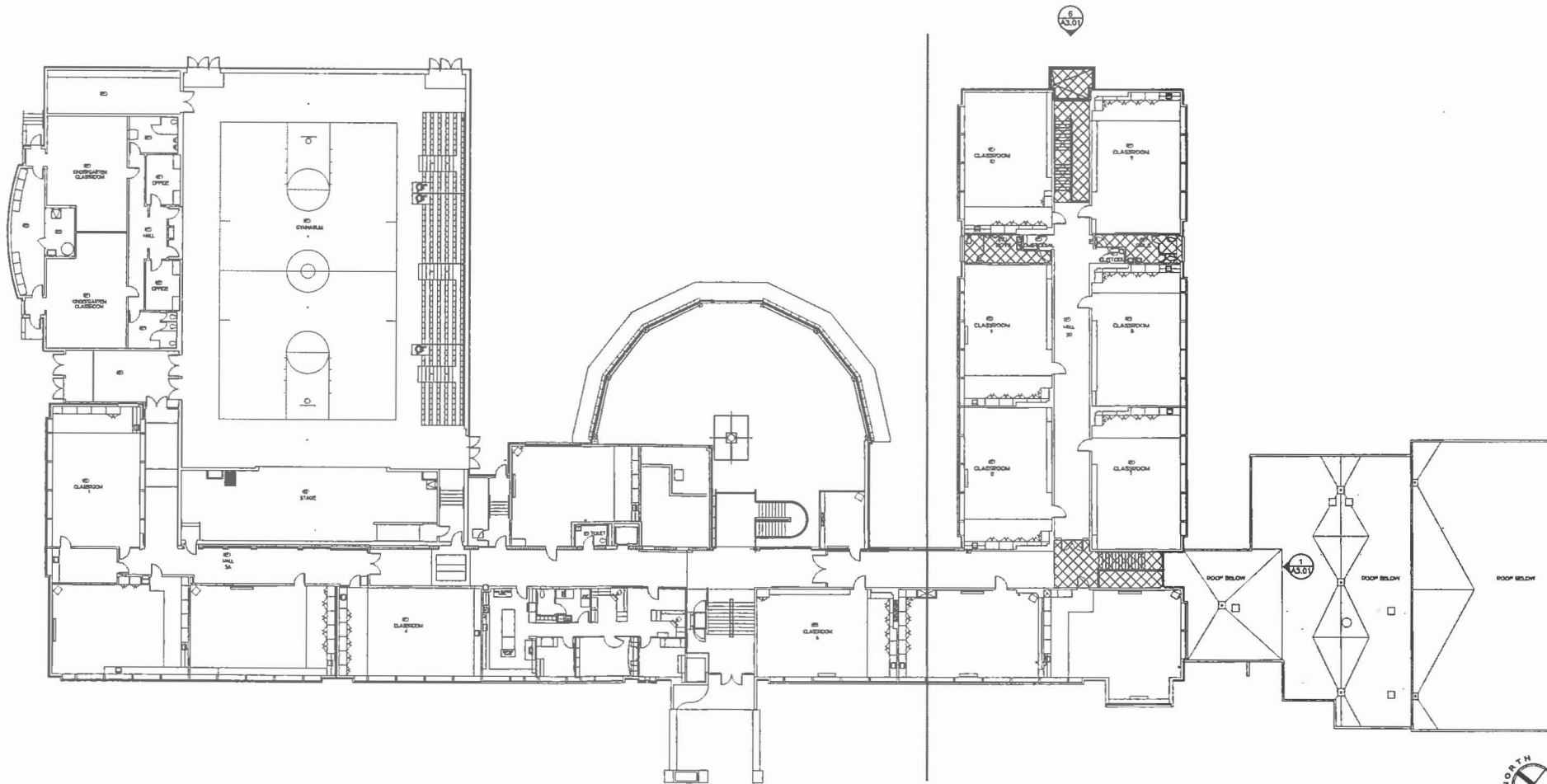
- A. DOORS NOT LOCATED BY DIMENSION ARE TO BE CENTERED IN WALLS AS SHOWN OR LOCATED 4" FROM FACE OF STUD TO FACE OF JAMB.
- B. PATCH EXISTING WALLS, FLOORS AND CEILING'S DISTURBED DURING DEMOLITION AND REMODEL WORK TO MATCH ADJACENT MATERIAL, FINISH AND COLOR TO THE NEAREST ARCHITECTURAL BREAK TO RESULT IN A COMPLETE AND FINISHED APPEARANCE.
- C. ALL INTERIOR WALL ASSEMBLIES TO EXTEND TO ROOF DECK UNLESS OTHERWISE NOTED.
- D. MASONRY DIMENSIONS ARE NOMINAL, COORDINATE ACTUAL ROUGH OPENING MASONRY DIMENSIONS.
- E. DIMENSIONS AT RELITES ARE TO CENTER OF ASSEMBLY UNLESS OTHERWISE NOTED.
- F. DIMENSIONS SHOW ARE TO FACE OF STUD, FACE OF MASONRY OPENING OR CENTERLINE OF COLUMN - UNLESS OTHERWISE NOTED.
- G. PROVIDE WALLBOARD AS FOLLOWS:
1. WALLBOARD - AT ALL INTERIOR VERTICAL SURFACES AND CEILING, UNLESS OTHERWISE NOTED.
 2. MOISTURE-RESISTANT WALLBOARD ON VERTICAL SURFACES AND CEILING AT TOILET ROOM A207, TOILET ROOM A103, TOILET ROOM A104, AND KITCHEN A205, UNLESS OTHERWISE NOTED.
 3. IMPACT-RATED WALLBOARD - AT EXISTING HALLWAYS 012, 013, 101, 102, 103, AND ENTRY 143 UP TO 4" ABOVE FINISHED FLOOR.
 4. EXTERIOR SHEATHING BOARD - EXTERIOR SHEATHING, UNLESS OTHERWISE NOTED.

LEGEND:



WALL TYPE NOTES:

- A. NOTED WALL TYPES DEPICT TYPICAL WALL CONSTRUCTION. SEE ELEVATIONS, SECTIONS, AND DETAILS FOR ADDITIONAL INFORMATION.
- B. SEE INTERIOR ELEVATIONS FOR LOCATION AND EXTENTS OF APPLIED WALL FINISHES.
- C. WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TABS UNLESS OTHERWISE NOTED.



OVERALL FLOOR PLAN

SCALE: 1/16"=1'-0"

1



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West Linn Wilsonville School District

1403 12th Street, West Linn, OR 97068

t: (503) 000 0000

f: (503) 000 0000

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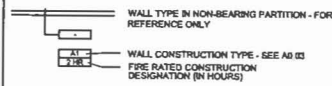
Floor Plan

A2.01

SHEET NOTES:

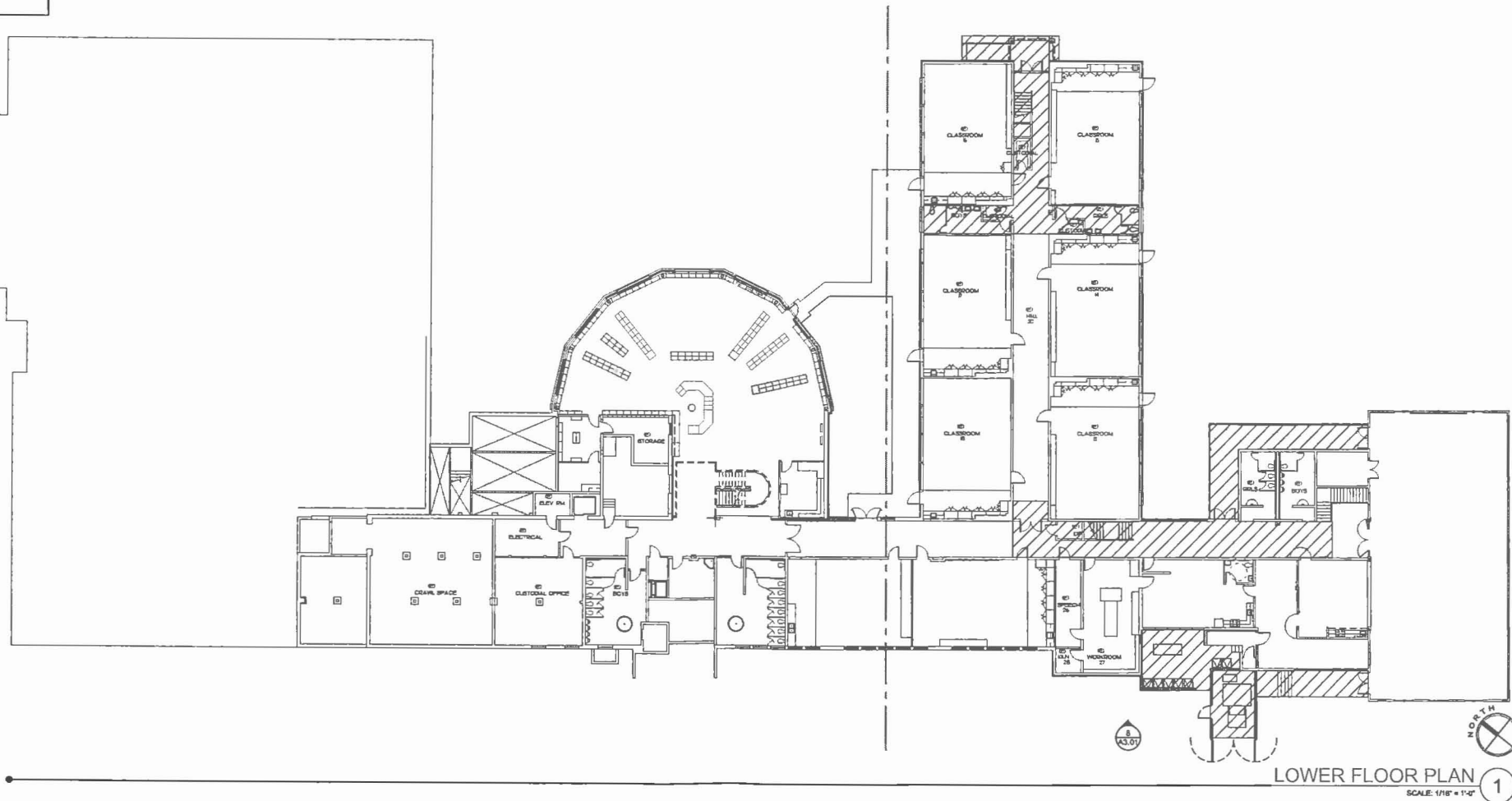
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- G. PROVIDE WALLBOARD AS FOLLOWS:
1. WALLBOARD - AT ALL INTERIOR VERTICAL SURFACES AND CEILING, UNLESS OTHERWISE NOTED.
 2. MOISTURE-RESISTANT WALLBOARD ON VERTICAL SURFACES AND CEILING AT TOILET ROOM A007, TOILET ROOM A103, TOILET ROOM A104, AND KITCHEN A006, UNLESS OTHERWISE NOTED.
 3. IMPACT-RATED WALLBOARD - AT EXISTING HALLWAYS 012, 013, 101, 102, 102, 102, AND ENTRY 143 UP TO 4' ABOVE FINISHED FLOOR.
 4. EXTERIOR SHEATHING BOARD - EXTERIOR SHEATHING, UNLESS OTHERWISE NOTED.

LEGEND:



WALL TYPE NOTES:

- A. NOTED WALL TYPES DEPICT TYPICAL WALL CONSTRUCTION. SEE ELEVATIONS, SECTIONS, AND DETAILS FOR ADDITIONAL INFORMATION.
- B. SEE INTERIOR ELEVATIONS FOR LOCATION AND EXTENTS OF APPLIED WALL FINISHES.
- C. WHERE A LENGTH OF WALL IS INTERSECTED BY PERPENDICULAR WALLS, WALL TYPE TO BE CONTINUOUS BETWEEN TAGS UNLESS OTHERWISE NOTED.



SHEET NOTES:

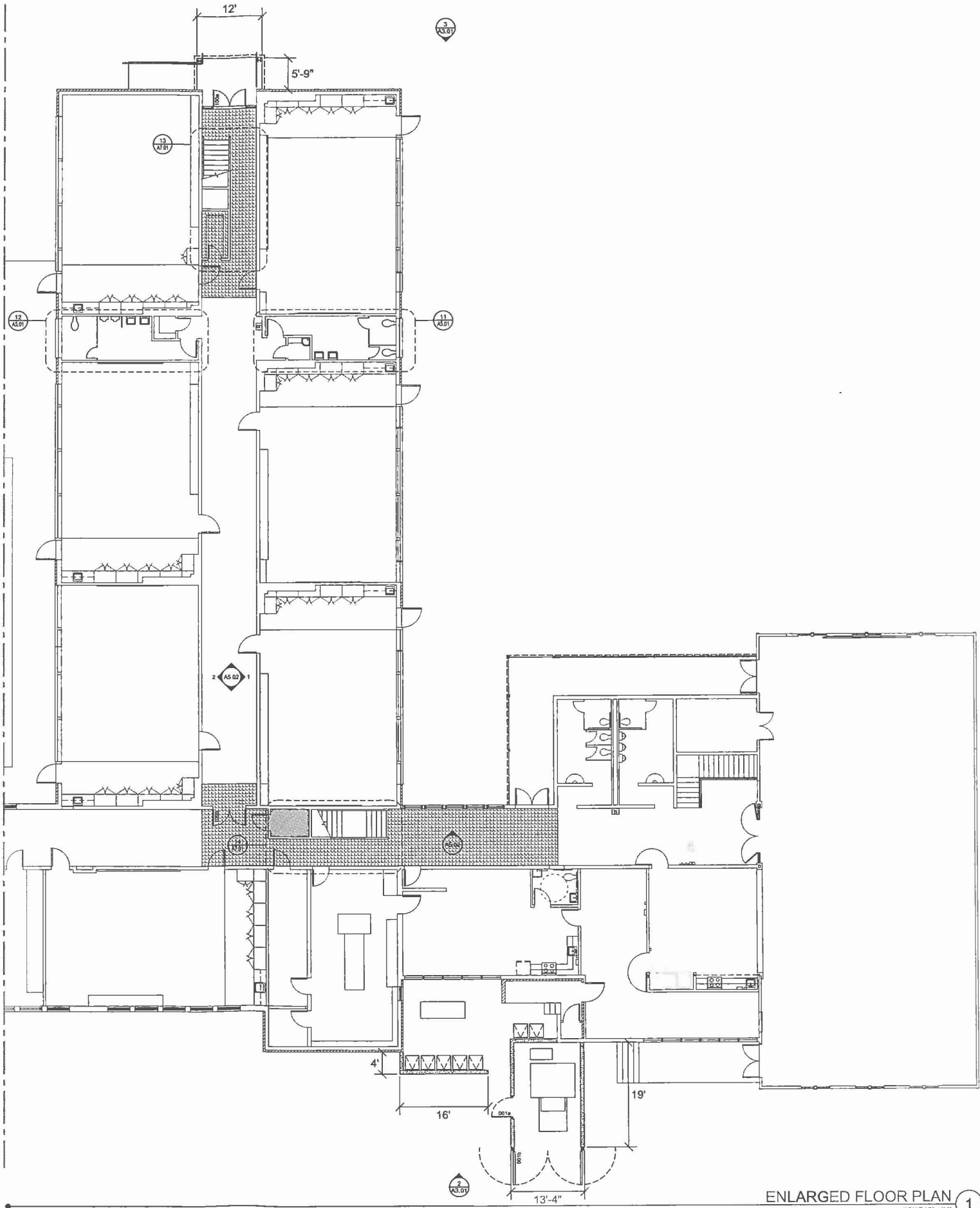
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 2. MOISTURE-RESISTANT WALLBOARD ON VERTICAL SURFACES AND CEILING AT TOILET ROOM A097, TOILET ROOM A103, TOILET ROOM A104, AND KITCHEN A004, UNLESS OTHERWISE NOTED.
 3. IMPACT-RATED WALLBOARD - AT EXISTING HALLWAYS D12, D13, 101, 102, 103, AND ENTRY 143 UP TO 4" ABOVE FINISHED FLOOR.
 4. EXTERIOR SHEATHING BOARD - EXTERIOR SHEATHING, UNLESS OTHERWISE NOTED.

LEGEND:

- WALL TYPE IN NON-BEARING PARTITION - FOR REFERENCE ONLY
- WALL CONSTRUCTION TYPE - SEE A0.03
- FIRE RATED CONSTRUCTION DESIGNATION (IN HOURS)
- VCT-1
- CPT-1
- CONCRETE SLAB

WALL TYPE NOTES:

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ENLARGED FLOOR PLAN 1
SCALE: 1/8" = 1'-0"



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West Linn Wilsonville School District

1403 12th Street, West Linn, OR 97068
t: (503) 000 0000
f: (503) 000 0000

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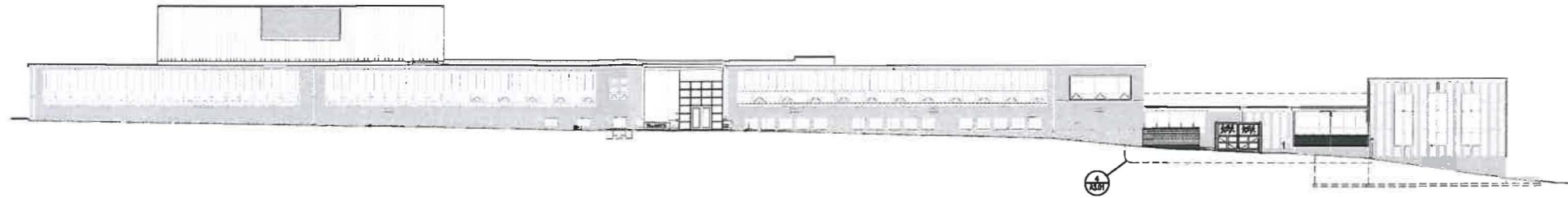
project # 11070

Lower
Floor Plan

A2.20



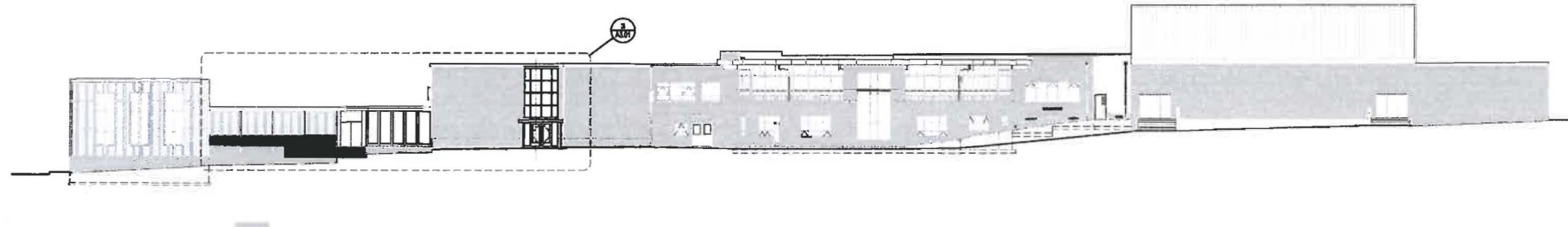
(E) 12TH ST TRASH AREA 9
SCALE: 1/8" = 1'-0"



12TH ST ELEVATION 8
SCALE: 1/8" = 1'-0"



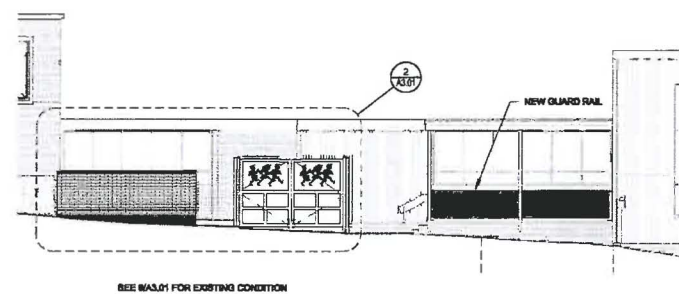
(E) WEST WINDOWS 7
SCALE: 1/8" = 1'-0"



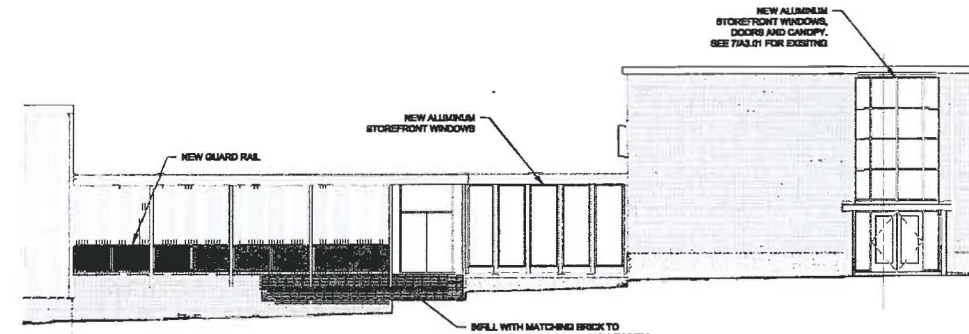
OVERALL WEST ELEVATION 6
SCALE: 1/8" = 1'-0"



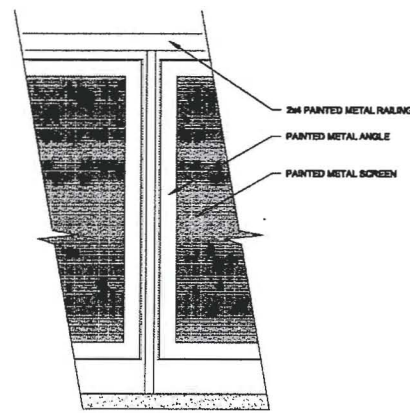
(E) 2ND STORY WINDOW 5
SCALE: 1/8" = 1'-0"



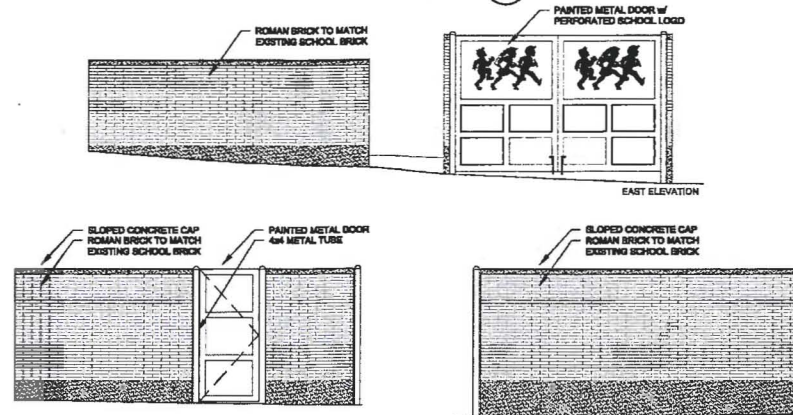
EAST EXTERIOR ELEVATION 4
SCALE: 1/8" = 1'-0"



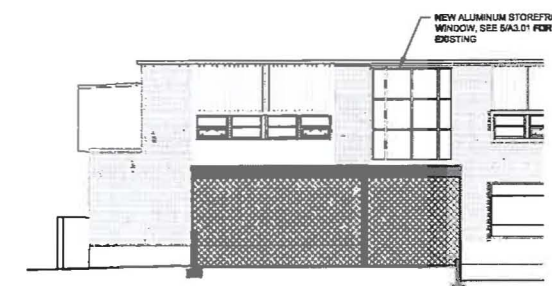
WEST EXTERIOR ELEVATION 3
SCALE: 1/8" = 1'-0"



RAILING DETAIL 4
SCALE: 1 1/2" = 1'-0"



RECYCLING/ TRASH AREA ELEVATION 2
SCALE: 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION 1
SCALE: 1/8" = 1'-0"



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F: (503) 228-1933

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Exterior Elevations

A3.01