



CITY OF
**West
Linn**

LAND USE PRE-APPLICATION CONFERENCE

Thursday, April 15, 2010

City Hall
22500 Salamo Road

Willamette Conference Room

10:00am Extension and complete subdivision (6 lots)

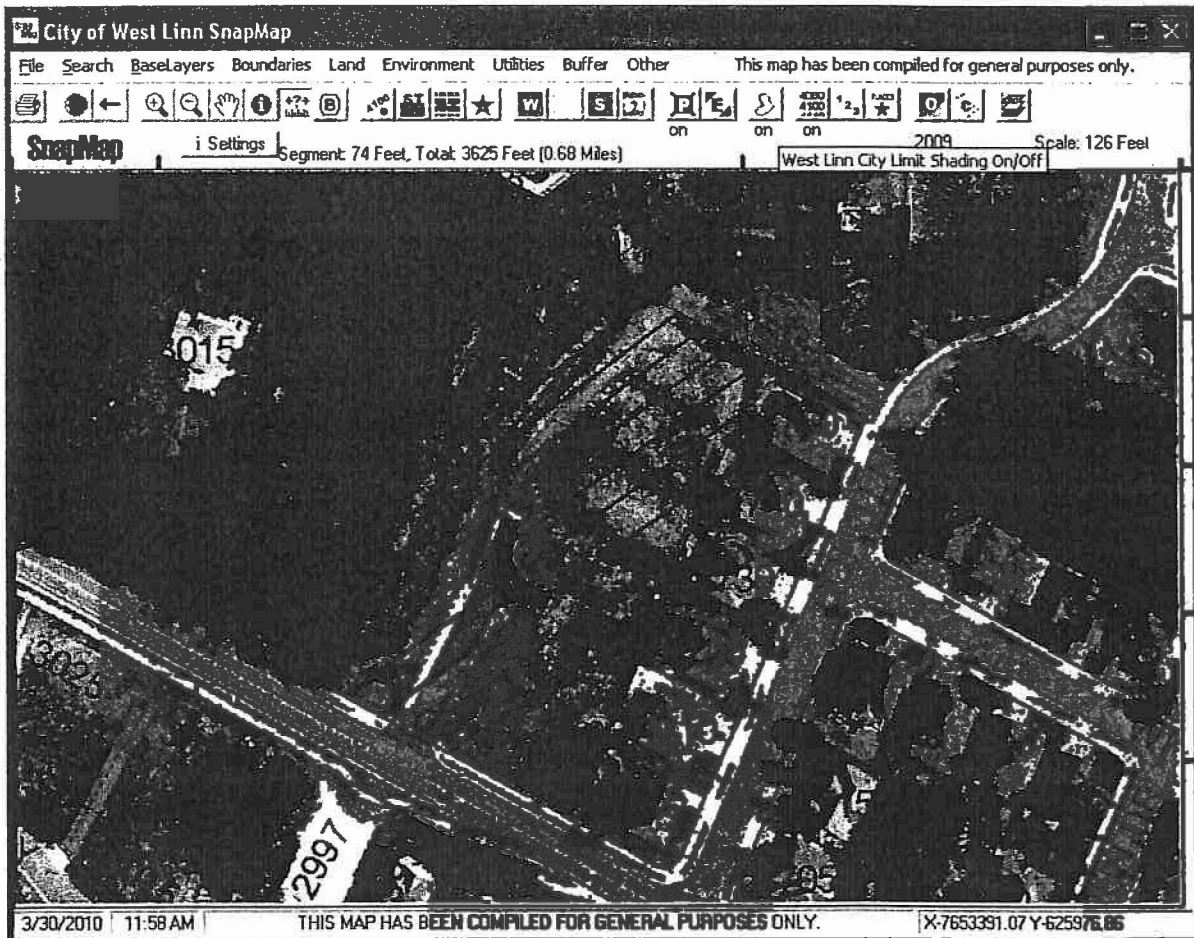
Applicant: Mel Lee

Address: 2929 Parker Rd.

Neighborhood Assn: *Parker Crest and Sunset*

PA-10-07

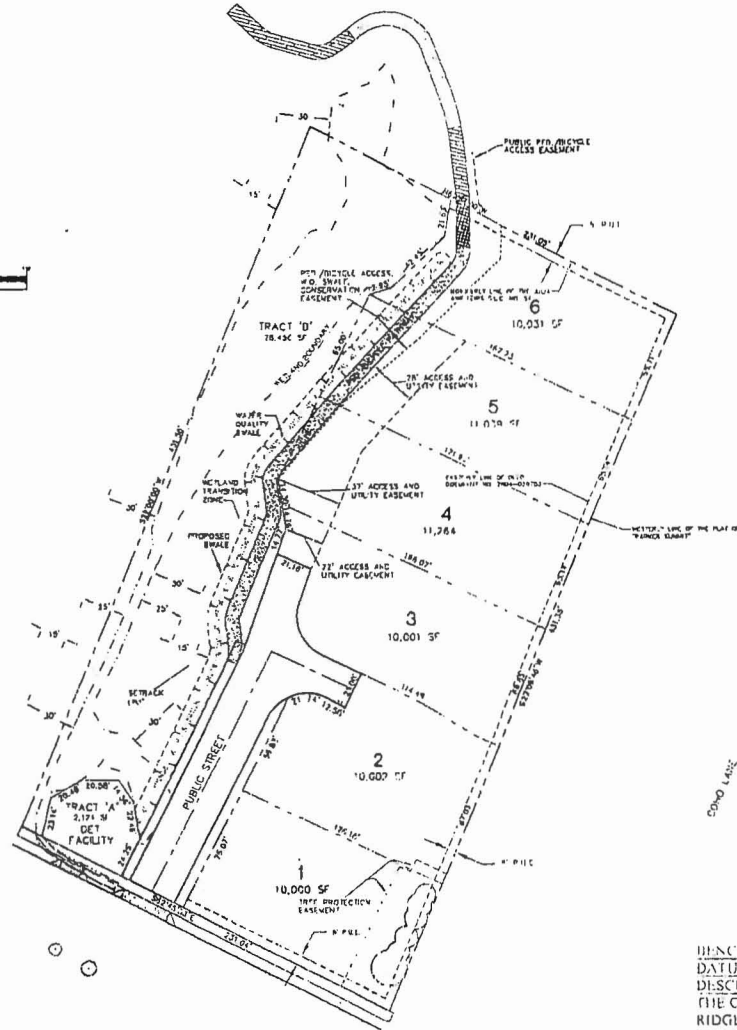
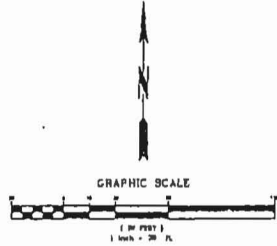
Planner: Tom Soppe



Site Plan Project: 20061105-011 Survey/Planning/061106A/PT21-E-06/Plan 9/27/2006 2:28:01 PM, 48

PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



VICINITY MAP
N.T.S.

APPLICANT:
 RENAISSANCE HOMES, INC.
 16771 BOONES FERRY ROAD
 LAKE OSWEGO, OR 97035
 PHONE: (503)636-5600 / FAX: (503)635-8400
 CONTACT: JEFF SHROPE

PLANNING / ENGINEERING:
 SFA DESIGN GROUP, LLC
 9020 SW WASHINGTON SQUARE DR., SUITE 350
 PORTLAND, OR 97223
 PHONE: (503)641-8311 / FAX: (503)643-7905
 CONTACTS: MATTHEW SPRAGLE

SURVEYOR:
 G-L LAND SURVEYING, INC.
 9255 SW NIMBUS AVE.
 BEAVERTON, OR 97008
 PHONE: (503)641-0308 / FAX: (503)671-0877
 CONTACT: DARREN HARR

SITE INFORMATION:
 SITE AREA: 3.28 ACRES
 ZONING: R-10
 TAX MAP: T2 R1E SEC 25CD
 TAX LOTS: 1900
 NUMBER OF LOTS: 6

UTILITIES AND SERVICES:
 WATER: CITY OF WEST LINN
 STORM: CITY OF WEST LINN
 SEWER: CITY OF WEST LINN
 POWER: PG&E
 GAS: NORTHWEST NATURAL
 CABLE: VERIZON
 FIRE: TVE&R
 POLICE: CITY OF WEST LINN
 SCHOOL: CITY OF WEST LINN
 ROADS: CITY OF WEST LINN
 PARKS: CITY OF WEST LINN

SHEET INDEX	
1	TENTATIVE PLAT
2	EXISTING CONDITIONS PLAN
3	TENTATIVE STREET AND UTILITY PLAN
4	TENTATIVE STREET PROFILE
5	TENTATIVE GRADING, STORM AND EROSION CONTROL PLAN
6	TENTATIVE MITIGATION AND CONSTRUCTION MANAGEMENT PLAN
7	SLOPE ANALYSIS
8	AERIAL AND CIRCULATION PLAN
L1	LANDSCAPE PLAN

BENCHMARK: SALAMO (NGS) GEODOLIC CONTROL MONUMENT
 DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 88)
 DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD.
 ELEVATION: 693.08'



TENTATIVE PLAT
PARKER ROAD



NO.	DATE	BY	DESCRIPTION
1			
2			
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8			
L1			

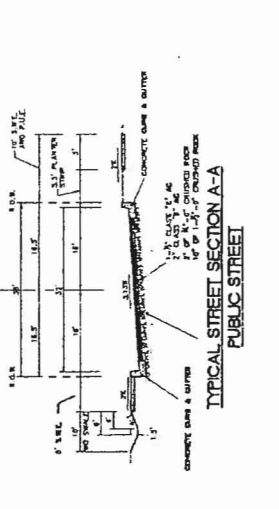
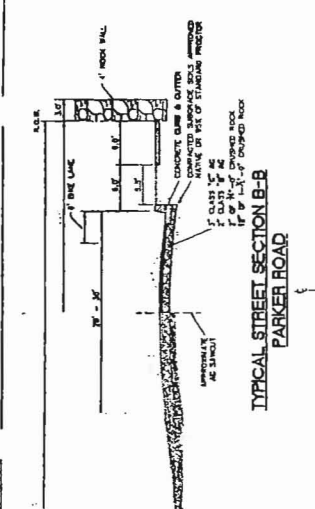
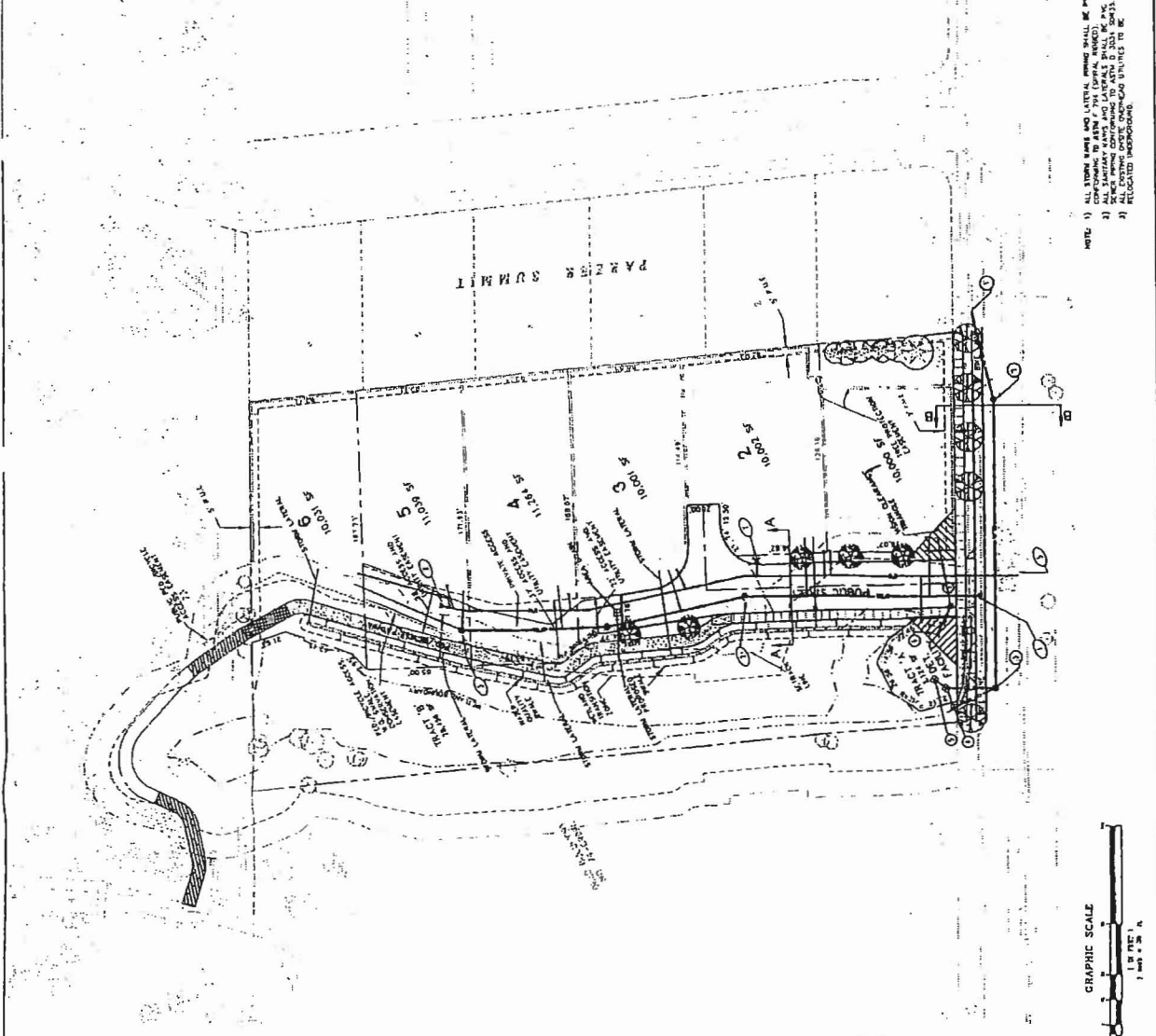
14

NOTE: 1) ALL STORM MAINS AND LATERAL BRANCH SHALL BE PVC
CONFORMING TO ASTM D 3034, 24" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
2) ALL SANITARY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
3) ALL WATER MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
4) ALL GAS MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
5) ALL ELECTRICAL MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"

NO.	DATE	REVISION
1	12-21-07	ISSUE FOR PERMIT

STIA
SIA DESIGN GROUP, LLC
11212 Spring Hill
Ridge and Parkways, Suite 200
Atlanta, Georgia 30328
404.487.8888
www.sia-design.com

TENTATIVE STREET AND UTILITY PLAN PARKER ROAD



- #### UTILITY NOTES (PRIVATE)
- 1) ALL SANITARY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 2) ALL WATER MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 3) ALL GAS MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 4) ALL ELECTRICAL MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 5) ALL STORM MAINS SHALL BE 24" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 6) ALL UTILITY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 7) ALL UTILITY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 8) ALL UTILITY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 9) ALL UTILITY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"
 - 10) ALL UTILITY MAINS SHALL BE 12" DIA. MIN. WALL THICKNESS SHALL BE 1/2"

LEGEND

	PROPOSED SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED GAS MAIN
	PROPOSED ELECTRICAL MAIN
	PROPOSED STORM MANHOLE
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED STREET LIGHT
	PROPOSED STREET TREE

PLANT LIST

QUANTITY	COMMON NAME	PLANT	SIZE/FORM	SPACING
5	CATALPA BIGNONIENSIS	1" x 1/2" CAL/P	48" x 36" D.C.	
5	SPYRIDIUM ELAEAGNACEUM	1" x 1/2" CAL/P	48" x 36" D.C.	

GRAPHIC SCALE: 1" = 20'

RECEIVED

MAR 30 2010

CITY OF WEST LINN
PRE-APPLICATION CONFERENCE

PAGE..... OF.....

DATE OF CONFERENCE	<u>4-15-10</u>	TIME OF CONFERENCE	<u>10AM</u>
FEE	<u>1000.00</u>	PROJECT #	<u>PA-10-07</u>
		STAFF CONTACT	<u>Tom Sipe</u>
(This section to be filled in by staff)			

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four-hour notice is required to reschedule.

Cell# 513-936-1492

APPLICANT'S NAME Mel Lee PHONE NO. 503-631-2459

ADDRESS (or map/tax lot) OF SUBJECT PROPERTY 2929 South Parker Road

APPLICANT'S MAILING ADDRESS 15746 South Hatten Road Oregon City, Oregon 97065

APPLICANT'S E-MAIL ADDRESS _____

BRIEF DESCRIPTION OF PROPOSAL: apply for extension and complete sub-division (6 lots)

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Mel Lee
Property owner's signature

3-30-2010
Date

Property owner's mailing address (if different from above)

City of West Linn
PRE-APPLICATION CONFERENCE MEETING
Notes
April 15, 2010

SUBJECT: Extension of previous approval for subdivision and Wetlands Permit
(Now Water Resource Area Permit) at 2929 Parker Road

ATTENDEES: Applicants: Mel Lee, Brent Fitch, Charlie Walker
Staff: Tom Soppe (Planning Department), Khoi Le (Engineering
Department)
Tualatin Valley Fire and Rescue: Karen Mohling

The following is a summary of the meeting discussion provided to you from staff meeting notes. Additional information may be provided to address any "follow-up" items identified during the meeting. These comments are PRELIMINARY in nature. Please contact the Planning Department with any questions regarding approval criteria, submittal requirements, or any other planning-related items. Please note disclaimer statement below.

Project Details

On October 12, 2006, the Planning Commission approved the Renaissance Development's request for a 6-lot subdivision and Wetlands permit at 2929 Parker Road in the Parker Crest neighborhood. This was file number SUB-06-03/MIS-06-12. The decision became effective on November 8, 2006, and therefore the 3-year expiration date for the decision, as it has not been fulfilled by completion and recording of final plat, was November 8, 2009.

Community Development Code (CDC) 99.325(D)(1) states "Only those applications approved between July 1, 2006 and December 31, 2009 shall be eligible for an extension." The previous application therefore qualifies the applicant to be able to apply for an extension. CDC 99.325(D)(2) allows applicants with applications that expire before June 30, 2010 to apply for extensions by June 30, 2010 even if the application has already passed its 3-year expiration by this date. Therefore, despite the 3-year expiration date having occurred this past November, the applicant can still apply for the extension but must do so by June 30. The two-year extension itself, if approved, would be measured from the original expiration date. Therefore if the Extension application is approved, the expiration date would be November 8, 2011.

This is an unusual case among subdivisions qualifying for an extension application, in that the street and utilities are already in place for the subdivision but the subdivision has not completed the final platting process. There are outstanding engineering tasks that have not been completed which have kept the subdivision from being able to fulfill the final platting process at this time. The two-year extension would require the final plat to

be recorded by November 8, 2011. 85.090 states "The final plat map shall be submitted to the Planning Director and recorded with the County within three years from the date of approval of the tentative plan, or as approved under CDC Section 99.325. If the final plat is not recorded by that time, the approval expires." Section 99.325 is the new section of the CDC regarding Extension applications.

Although much of the important infrastructure of the subdivision has been implemented as discussed above, the Extension application still must respond to all criteria that may have changed since the time of the original application, and comply with any necessary changes based on this.

Chapter 85 Land Division has not changed substantially since the original application. Chapter 30, which provided for the original Wetlands permit, no longer exists as it has been combined into Chapter 32 (which originally covered only natural drainageways) to form a chapter covering all water resources in the City (except for the two rivers). This combining of the chapters in 2007 included very substantial changes from previous drainageway-related and wetland-related provisions, particularly in regards to setbacks from these water resources.

For several reasons, the applicant should do a full new submittal for the provisions of Chapter 32. These reasons include (a) the criteria have changed substantially from the criteria in the previous Chapter 30 that provided for the original application; (b) the larger setbacks from wetlands and storm channels would affect the scope and nature of the revegetation and mitigation plans, and (c) the applicant may wish to propose (or the Planning Commission could require) site plan changes to accommodate these larger setbacks.

For responses to Chapter 85 criteria, the applicant needs to respond only to those that have changed due to code amendments since the original application. Some of these may not have not have changed in the context of what they require from this particular subdivision, in which case the applicant shall respond to the criteria by explaining this. For any that do necessitate changes in the site plan or other aspects of the subdivision proposal, in order for the proposal to meet current code, this should be explained in the narrative and plans should be altered accordingly for the submittal of the Extension application. The criteria of Chapter 85.200 that appear to have undergone code changes since the original application are (A)(1) Streets (General), (A)(3) Street Widths, (A)(22) off-site improvements, and (B)(2) Block Sizes. If changes instigated by these affect the nature of the submittal as it relates to other criteria in 85.200 as well, than those criteria should be responded to in the narrative also even if the criteria themselves have not changed since the original application. Similarly, if changes instigated by the overhaul of water resource area provisions affect the nature of the submittal as it relates to other unchanged criteria in 85.200, then it is also necessary and relevant to respond to those specific 85.200 criteria.

Submittal requirements that have changed since the original application was made include 85.160(D)(1) (proposed street names) and 85.160(F)(3) (Transportation System

Plan-related infrastructure improvements). If these necessitate changes in the submittal for the Extension application as compared to the original submittal, they should be reflected in the new submittal.

Tualatin Valley Fire and Rescue, per the discussion at the pre-application conference, will provide comments and the submittal should provide for meeting the specifications in the comments.

Engineering Comments

GENERAL

Complete the unfinished items listed on the final punch list items from Engineering. See final punch list below.

FINAL PLAT

Submit Final Plat for review and approval.

Engineering Punch List

STREETS/SIDEWALKS

1. Replant disturbed shrubs between pedestrian path and road.
2. Edge of pedestrian path between bridges is broken. Needs to be saw-cut out and replaced with class C hot mix asphalt.
3. Repair and seal divots/holes in asphalt on Parker Rd. frontage.
4. Sidewalk on Parker Rd. frontage adjacent to pond has a badly cracked panel needing replacement.

STORM/SANITARY/OPEN SPACE

5. Small bridge decking is uneven (undulates in direction of travel) and exceeds code for variation in a walking surface. Decking and potentially some substructure need to be removed and redone to provide a level walking surface. Large bridge decking also appears uneven, although not as severe as small bridge and may need to be leveled.
6. Transition from bridge to asphalt has settled in 2 places. Will need to provide a level transition from asphalt to bridge decking to avoid trip hazard. Will need to sawcut out a section adjacent to bridge and replace with class C hot mix asphalt.
7. Remove gravel from pond planting areas and from outside pond walls (between pond walls and sidewalk) and cover with minimum 2" mulch.
8. Install center pole in ground for gate locking post.
9. Install wetland protection zone markers per COA #9.
10. Swale along sidewalk needs grass/weeds removed (cut down and sprayed with spray approved for wetland use) and all dead plants and trees replaced. Swale

was planted with incorrect seed mix and shall be reseeded with City-approved Hobbs & Hobkins Companion mix.

11. Wetland/ wetland transition area needs grass/weeds removed (cut down and sprayed with spray approved for wetland use) and all dead plants and trees replaced per the wetland mitigation plan. Blackberry vines also need to be removed. These areas also need to be seeded per the wetland re-vegetation plan.
12. Pond needs dead plants removed and replaced. Plant per plan. Needs grasses/weeds removed/sprayed and to be seeded with proper mix (Hobbs and Hobkins companion mix).
13. Clean garbage from pond and pond outlet structure if needed. Remove screens from ditch inlets.
14. Remove bio-bags and sediment fence throughout project. Remove brush pile at SE corner of site.
15. Re-grout 24" DI pipe in ditch inlet in planter strip at SW corner of site.
16. Swale to ditch inlet behind sidewalk at SW corner of site may need to be built up to prevent stream overflow to street/sidewalk during heavy rains.
17. Repair temporary irrigation system to provide water for replaced/newly planted trees/shrubs.

GENERAL

18. Clean site garbage as needed.
19. Provide documentation that septic system was decommissioned and that water well was abandoned.
20. Provide letter of acceptance from Design Engineer.
21. Provide electronic as-builts in AutoCAD format.

BONDING/FEES

22. Contact Pat Rich at the City of West Linn Engineering Dept. to reconcile funds for inspection services. Pay balance if needed. Current positive balance of \$2000 (actually \$3050, but \$1050 owed for street trees).
23. Provide performance bond for a 4 ft. high black chain link fence to be installed between the swale and the pedestrian path. Performance bond to be for 125% of the construction cost. Provide construction cost estimate prior to bonding. The City will evaluate if a fence is needed during the maintenance period.
24. Provide payment for street trees. \$1050 owed
25. Provide general maintenance bond in the amount of 20% of the project construction cost for a period of 18 months from acceptance.
26. Provide maintenance bond in the amount of 20% of the total ponds construction cost for 2 years from project acceptance for water quality facilities. Wetland maintenance plan will be stated on and be a part of the pond maintenance bond (see plans).
27. Provide performance bond for all un-built sidewalks. Provide construction cost estimate prior to bonding.

Process

The Extension permit is required.

A neighborhood meeting following the provisions of 99.038 is required for an Extension permit for a subdivision per 99.325(E)(2). Contact Bill Relyea, President of the Parker Crest Neighborhood Association, at (503) 636-1292 or wrelyea@comcast.net, and Troy Bowers of the Sunset Neighborhood Association at 503-703-7303 or bowerst@msa-ep.com. The property is in Parker Crest, but Sunset is within 500 feet. The applicant is required to provide the neighborhood association with conceptual plans and other material at least 10 days prior to the meeting. The Extension application cannot be accepted unless the neighborhood meeting provisions are fulfilled by the time the application is submitted.

The following Chapter 32 criteria shall be responded to in a narrative:

- 32.050
- 32.070
- 32.080
- 32.090(B-C)

Follow the instructions under Project Details above as to which selected Chapter 85 criteria should be responded to in a narrative. The CDC is online at <http://westlinnoregon.gov/planning/community-development-code-cdc>.

Follow the submittal requirements for chapters 32 and 85. Submittal requirements may be waived but the applicant must first identify the specific submittal requirement and request, in letter form, that it be waived by the Planning Director and must identify the specific grounds for that waiver. The waiver may or may not be granted by the Planning Director.

N/A is not an acceptable response to the approval criteria. Prepare the application and submit to the Planning Department with deposit fees and signed application form.

The deposit for an Extension is half the deposit of the original application. The original application had a deposit of \$7,250 so the deposit for the Extension application will be \$3,625. Any cost overruns to the Extension deposit will result in additional billings.

Once the submittal is deemed complete, the staff will schedule a hearing with the Planning Commission and will send out public notice of the hearing at least 20 days before it occurs. The Planning Commission's decision may be appealed to City Council by the applicant or anyone with standing.

Pre-application notes are void after 18 months. After 18 months with no application approved or in process, a new pre-application conference is required.

Typical land use applications can take 6-10 months from beginning to end.

DISCLAIMER: This summary discussion covers issues identified to date. It does not imply that these are the only issues. The burden of proof is on the applicant to demonstrate that all approval criteria have been met. These notes do not constitute an endorsement of the proposed application. Staff responses are based on limited material presented at this pre-application meeting. New issues, requirements, etc. could emerge as the application is developed.

Pre-app2010/Preapp 2010—04-15/pa-10-07 Parker Road Sub Ext



TUALATIN VALLEY FIRE & RESCUE - SOUTH DIVISION
COMMUNITY SERVICES • OPERATIONS • FIRE PREVENTION

April 16, 2010

Tom Soppe
Associate Planner
City of West Linn
22500 Salamo Road
West Linn, OR 97068

Re: 2929 Parker Road – Subdivision

Dear Mr. Soppe;

Thank you for the opportunity to review the proposed site plan surrounding the above named development project. Tualatin Valley Fire & Rescue endorses this proposal predicated on the following criteria and conditions of approval:

- 1) **FIRE APPARATUS ACCESS ROAD DISTANCE FROM BUILDING AND TURNAROUNDS:** Access roads shall be within 150 feet of all portions of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building. An approved turnaround is required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150 feet. (IFC 503.1.1)
- 2) **DEAD END ROADS:** Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround. (IFC 503.2.5)
- 3) **GRADE:** Fire apparatus access roadway grades shall not exceed 10 percent. Intersections and turnarounds shall be level (maximum 5%) with the exception of crowning for water run-off. When fire sprinklers are installed, a maximum grade of 15% may be allowed. The approval of fire sprinklers as an alternate shall be accomplished in accordance with the provisions of ORS 455.610(5). (IFC 503.2.7 & D103.2) ***Applicant has offered installation of residential fire sprinkler systems as an alternate.***
- 4) **FIRE APPARATUS ACCESS ROAD EXCEPTION FOR AUTOMATIC SPRINKLER PROTECTION:** When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access may be modified as approved by the fire code official. (IFC 503.1.1)
- 5) **FIRE APPARATUS ACCESS ROAD WIDTH AND VERTICAL CLEARANCE:** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Where fire apparatus roadways are less than 26 feet wide, "NO PARKING" signs shall be installed on both sides of the roadway and in turnarounds as needed. Where fire apparatus roadways are more than 28 feet wide but less than 32 feet wide, "NO PARKING" signs shall be installed on one side of the roadway and in turnarounds as needed. Where fire apparatus roadways are 32 feet wide or more, parking is not restricted. (IFC 503.2.1)
- 6) **FIRE APPARATUS ACCESS ROADS WITH FIRE HYDRANTS:** Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet. (IFC D103.1)
- 7) **NO PARKING SIGNS:** Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "No Parking" signs shall be installed on one or both sides of the roadway and in turnarounds as needed. Roads 26 feet wide or less shall be posted on both sides as a fire lane. Roads more than 26 feet wide to 32 feet wide shall be posted on

June 1, 2010

**NEIGHBORHOOD REVIEW MEETING – NOTES for May 26, 2010
PARKER CREST NEIGHBORHOOD ASSOCIATION
REVIEW OF PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

Bill Relyea, Association President introduced himself, and asked for self introductions. There were 4 citizens, and the Applicant and his representative present.

Bill Relyea introduced Ben Altman of **SFA Design Group, LLC** representing the developer of property (Mel Lee). The property is located at 2929 S. Parker Road.

Mr. Altman summarized the pending application. We are preparing a land use application for an Extension of Prior Approval for development of the 2.28 acre property for a 6-Lot Subdivision. The land is zoned R-10 Residential (10,000 square foot lots).

Mr. Altman emphasized that this was an unusual application for Extension of the Preliminary Plat approval, in that the majority of the site development improvements have already been constructed, referring to the plans. He noted that the prior developer had run into financial problems and could not complete the work. Subsequently, Mr. Lee acquired the property from the bank, and is now requesting the extension so that the work can be completed and the Plat recorded. He then asked if there were any questions about the development.

Mr. Jain (sp?) noted that he was new to the community and was just interested in what was happening.

Mr. Supperstein noted he lived next to the development and was interested in what type of homes were going to be built, and when to expect construction.

Mr. Lee noted he was a local builder, out of Oregon City, and that he had one likely pre-sold, and may build one on speculation, but was not sure yet. He intends to build as soon as possible, pending all the City approvals, completing the final construction punch list and recording the plat. If possible he would like to be under construction this summer to fall. He noted that homes would be good quality, better than those built across the street to the south.

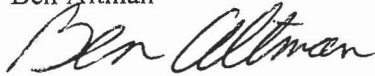
Alice Richmond stated she didn't understand why the applicant was required to conduct a neighborhood meeting for just for an extension. She also noted she was concerned about the spacing on the side rails on the pedestrian bridge, to make sure they were safe. Mr. Altman noted that the bridge was built to the standards approved by the City. He also noted that there was some decking repair needed, as listed on the City's punch list.

Mr. Relyea asked if the development would have access to the Renaissance HOA and amenities for the project to the north. Mr. Altman said he did not anticipate Renaissance approving it, but Mr. Lee could certainly check with them.

Mr. Altman asked if there were any more questions. Hearing none, Mr. Relyea moved for a recommendation of approval, which passed 4-0.

Prepared by:

Ben Altman



SFA Design Group
Senior Planner/Project Manager
503-641-8311



CITY OF West Linn

Parker Crest Neighborhood Association
 Meeting - Land Use Issue
 Wednesday May 26, 2010 at 7:00 PM
 Meeting Location: City of West Linn, City Hall

Sign- In-Sheet

Name Address Email Phone No.

Bill Relyea	3016 Sabo Lane	wrelyea@comcast.net	503 636 1292
Scott Suppusstein	4740 Coho Lane	Supulw@earthlink.net	503-227-6464
BEN ALTMAN	9030 SW Washington St. JR ⁹⁷²²⁷	baltman@sfadig.com	503-641-8311
Dinesh Jain	4782 Coho Lane	pdxjain@gmail.com	503 657 5500
Alice Richmond	3939 Parker R.		503 723 0101
Mel Lee	Developer		



CITY OF
West Linn

Parker Crest Neighborhood Association
Meeting – Land Use Issue
Wednesday May 26, 2010 at 7:00 PM
Meeting Location: City of West Linn, City Hall

AGENDA

7:00 – Meeting Opens – Call to Order

7:05 – SFA Design Group Presentation

8:00 – Community Comments – Adjourn

Note: Scheduled times and items of discussion may change based upon variables within the presentations and community comments.

**NEIGHBORHOOD MEETING
AFFIDVIT OF POSTING NOTICE**

Name of Applicant MEL LEE
Subject Property: Tax Lot(s) 3900 Tax Map(s) 2S 1E 25CD
Address or General Location: 2929 S. PARKER Road, West LINN, OR.

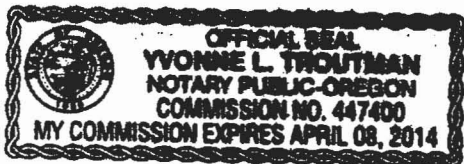
I, BEN ALTMAN, being duly sworn, depose and do swear that I am (represent) the party initiating interest in the subject property identified above, and that pursuant to CDC Section 99.038 did on the 30th day of APRIL, 2010 personally post notice indicating the property is being considered for development review and that a Neighborhood Meeting is scheduled as indicated on the posting.

The sign was posted at 2929 S. PARKER Road

This 30th day of APRIL, 2010.

Signature Ben Altman

Subscribed and sworn to, or affirmed, before me this 4th day of May, 2010.



Yvonne L. Troutman
Notary Public for State of Oregon
County of Washington

Mt Commission expires: April 8th 2014

**NEIGHBORHOOD MEETING
AFFIDVIT OF MAILING**

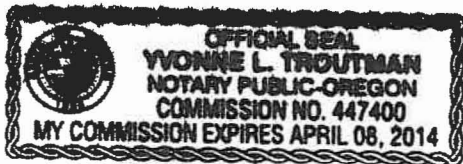
STATE OF OREGON)
) ss
City of West Linn)

I, BEN ALTMAN, being duly sworn, depose and say that the 30th
day of APRIL, 2010 I caused to have mailed to each of the persons on the
attached list of notice of a meeting to discuss a proposed development at 2929 S.
PARKER Road, a copy of which notice so mailed is attached hereto and
made part hereof.

I further state that said notices were enclosed in envelopes plainly addressed to said
persons and were deposited on the date indicted above in the United States Post Office
with postage repaid thereon.

Signature Ben Altman

Subscribed and sworn to, or affirmed, before me this 4th day of
May, 2010.



Yvonne L. Troutman
Notary Public for State of Oregon
County of Washington

Mt Commission expires: April 8th, 2014

April 30, 2010

**RE: NEIGHBORHOOD REVIEW MEETING
PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

Dear Resident:

SFA Design Group, LLC
Road, West Linn, more spe
Clackamas County. We ar
for development of the 2.2
Residential (10,000 square
like to take the opportuni
neighbor.

The purpose of this meet
property owners/residents t
considered before the form
opportunity to share with u
will attempt to answer qu
consistent with Washington
Plan.

Pursuant to West Linn CD
association meeting on:

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
Bill Pelyer
3016 Salco Lane
West Linn, OR 97068

2. Article Number
(Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature: *[Signature]* Agent Addressee

B. Received by (Printed Name) *Bill Pelyer* C. Date of Delivery *MAY - 7 2010*

D. Is delivery address different from item 1? Yes No
If YES, enter delivery address below:

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number *7009 1680 0000 3371 5046*

PS Form 3811, February 2004 Domestic Return Receipt 102595-02-M-1540

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

Please note the development review portion of this meeting will be an informational meeting on preliminary development plans. These plans may be altered prior to submittal of the application to the County. Depending upon the type of land use action required, you may receive official notice from Washington County for you to either participate with written comments and/or an opportunity to attend a public hearing.

We look forward to more specifically discussing the pr

Sincerely,
SFA Design Group, LLC
Ben Altman
Ben Altman
SFA Design Group
Senior Planner/Project Manager
503-641-8311

Attachments: Tax Map
2006 Approved Preliminary Plat

**U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)**

For delivery information visit our website at www.usps.com

WEST LINN OR 97068

Postage	\$ 0.44
Certified Fee	\$ 2.80
Return Receipt Fee (Endorsement Required)	\$ 2.30
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 5.54

Postmark: *MAY - 3 2010*

Sent To: *Bill Pelyer*
Street, Apt. No., or PO Box No. *3016 Salco Lane*
City, State, ZIP+4 *West Linn, OR 97068*

PS Form 3800, August 2006 See Reverse for Instructions

April 30, 2010

**RE: NEIGHBORHOOD REVIEW MEETING
PROPOSED DEVELOPMENT: Extension of Approved 6-Lot Subdivision**

Dear Resident:

SFA Design Group, LLC is representing the developer of property located at 2929 S. Parker Road, West Linn, more specifically shown on the attached map, Tax Lot 3900, Map 2S 1E 25CD, Clackamas County. We are preparing a land use application for an Extension of Prior Approval for development of the 2.28 acre property for a 6-Lot Subdivision. The land is zoned R-10 Residential (10,000 square foot lots). Prior to submitting our application to the City we would like to take the opportunity to discuss the proposal in more detail with you as an interested neighbor.

The purpose of this meeting is to provide a casual forum for the applicant and surrounding property owners/residents to review the proposal and to identify issues so that such issues may be considered before the formal application is turned in to the County. This meeting gives you the opportunity to share with us any special information you know about the property involved. We will attempt to answer questions which may be relevant to meeting development standards consistent with Washington County's Community Development Code and respective Community Plan.

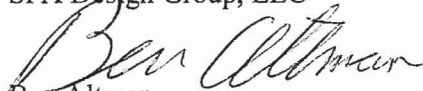
Pursuant to West Linn CDC, Section 99.038, you are invited to attend the regular neighborhood association meeting on:

**Wednesday, May 26, 2010, beginning at 7:00 pm
West Linn City Hall
22500 Salamo Road
West Linn, OR 97068**

Please note the development review portion of this meeting will be an informational meeting on preliminary development plans. These plans may be altered prior to submittal of the application to the County. Depending upon the type of land use action required, you may receive official notice from Washington County for you to either participate with written comments and/or an opportunity to attend a public hearing.

We look forward to more specifically discussing the proposal with you.

Sincerely,
SFA Design Group, LLC



Ben Altman
SFA Design Group
Senior Planner/Project Manager
503-641-8311

Attachments: Tax Map
2006 Approved Preliminary Plat



Legend:
- [Symbol] Notation Area
- [Symbol] Subject
- [Symbol] 300ft Radius
- [Symbol] Table



This information is deemed reliable
but is not guaranteed

REFPARCEL	OWNERFIRST	OWNERLAST	MAILADDRES	MAILCITY	MAILSTATE	MZIPANDZIP	SITEADDRESS	SITECITY	SITESTATE	SITEZIP
21E25CB03800	Janet & Christopher	Morgan	3800 Ridge Ln	West Linn	OR	97068	3800 Ridge Ln	West Linn	OR	97068
21E25CC00100	Noell & Carol	Price	3015 Parker Rd	West Linn	OR	97068-2965	*no Site Address*		OR	00000
21E25CC00300	William & Carol	Koran	3945 Parker Rd	West Linn	OR	97068-2905	*no Site Address*		OR	00000
21E25CC00400	William & Carol	Koran	3945 Parker Rd	West Linn	OR	97068-2905	3945 Parker Rd	West Linn	OR	97068
21E25CC00200	Noell & Carol	Price	3015 Parker Rd	West Linn	OR	97068-2965	3015 Parker Rd	West Linn	OR	97068
21E25CA02200	John	Evans	4000 Ridge Ln	West Linn	OR	97068-2929	4000 Ridge Ln	West Linn	OR	97068
21E25CD03900	Melvin	Lee	15746 S Hattan Rd	Oregon City	OR	97045-9214	2929 Parker Rd	West Linn	OR	97068
21E25CA02502	Andrew & Kathy	Axelrod	4722 Ireland Ln	West Linn	OR	97068-2954	4722 Ireland Ln	West Linn	OR	97068
21E25CA02503	Richard & Katherine	Parson	6312 Pony Ct	West Linn	OR	97068-2515	4880 Ireland Ln	West Linn	OR	97068
21E25CD03801	L Owen	Chrisman	4705 Coho Ln	West Linn	OR	97068-2970	4705 Coho Ln	West Linn	OR	97068
21E25CD03802	Tonne	Tamerlano	4715 Coho Ln	West Linn	OR	97068-2970	4715 Coho Ln	West Linn	OR	97068
21E25CD03803	Lawrence	Pina	2920 White Salmon St	West Linn	OR	97068-2968	2920 White Salmon St	West Linn	OR	97068
21E25CD03804	Gerard & April	Sulton	2916 White Salmon St	West Linn	OR	97068-2963	2916 White Salmon St	West Linn	OR	97068
21E25CD03805	Jeffrey & Susan	Frost	2910 White Salmon St	West Linn	OR	97068-2963	2910 White Salmon St	West Linn	OR	97068
21E25CD03806	Fremont	Chang	2900 White Salmon St	West Linn	OR	97068-2963	2900 White Salmon St	West Linn	OR	97068
21E25CD03807	Cindy	Stevenson	4710 Summer Run Dr	West Linn	OR	97068-2966	4710 Summer Run Dr	West Linn	OR	97068
21E25CD03808	Dale & Jennifer	Lane	4700 Summer Run Dr	West Linn	OR	97068-2966	4700 Summer Run Dr	West Linn	OR	97068
21E25CD03810	Farvan		2890 White Salmon Ct	West Linn	OR	97068-2949	2890 White Salmon Ct	West Linn	OR	97068
21E25CD03823	John & Lee	Wilson	2895 White Salmon Ct	West Linn	OR	97068-2962	2895 White Salmon Ct	West Linn	OR	97068
21E25CD03824	Jeff	Fielder	2905 White Salmon St	West Linn	OR	97068-2963	2905 White Salmon St	West Linn	OR	97068
21E25CD03825	Jason	Varga	2915 White Salmon St	West Linn	OR	97068	2915 White Salmon St	West Linn	OR	97068
21E25CD03826	Susan & Benedict	Sun	2919 White Salmon St	West Linn	OR	97068-2963	2919 White Salmon St	West Linn	OR	97068
21E25CD03827	Meng	Yao	2925 White Salmon St	West Linn	OR	97068-2968	2925 White Salmon St	West Linn	OR	97068
21E25CD03828	Peter Hongkuk	Chun	4750 Coho Ln	West Linn	OR	97068-2972	4750 Coho Ln	West Linn	OR	97068
21E25CD03829	Scott & Suzan	Supperstein	4740 Coho Ln	West Linn	OR	97068-2972	4740 Coho Ln	West Linn	OR	97068
21E25CD03830	Anthony	Mann	4730 Coho Ln	West Linn	OR	97068-2972	4730 Coho Ln	West Linn	OR	97068
21E25CD03831	George Kiyoshi & Sachiko	Tsakamoto	4720 Coho Ln	West Linn	OR	97068-2972	4720 Coho Ln	West Linn	OR	97068
21E25CD03832	San	Lao	4710 Coho Ln	West Linn	OR	97068-2972	4710 Coho Ln	West Linn	OR	97068
21E25CD03833	Donald & Anne	Frank	4700 Coho Ln	West Linn	OR	97068-2972	4700 Coho Ln	West Linn	OR	97068
21E25CD03834	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD04000	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	*no Site Address*		OR	00000
21E25CD04100	Thomas	Doblie	2858 Hale Dr	West Linn	OR	97068-2989	2858 Hale Dr	West Linn	OR	97068
21E25CD04200	Paul & Judith	Newman	2842 Hale Dr	West Linn	OR	97068-2989	2842 Hale Dr	West Linn	OR	97068
21E25CD04300	Aaron	Egland	3250 Wild Rose Loop	West Linn	OR	97068-7231	2732 Ridge Ln	West Linn	OR	97068
21E25CD04400	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	2728 Ridge Ln	West Linn	OR	97068
21E25CD04500	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	2724 Ridge Ln	West Linn	OR	97068
21E25CD05700	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA05800	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4797 Coho Ln	West Linn	OR	97068
21E25CA05900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4793 Coho Ln	West Linn	OR	97068
21E25CA06100	Rodney & Nicole	Masters	2736 Ridge Ln	West Linn	OR	97068-2985	2736 Ridge Ln	West Linn	OR	97068
21E25CA06200	Robert	Mann	4785 Coho Ln	West Linn	OR	97068	4785 Coho Ln	West Linn	OR	97068
21E25CA06300	Dinesh	Jain	4782 Coho Ln	West Linn	OR	97068-2987	4782 Coho Ln	West Linn	OR	97068
21E25CA06400	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4786 Coho Ln	West Linn	OR	97068
21E25CA06500	Mark & Lisa	Wickert	4788 Coho Ln	West Linn	OR	97068-2987	4788 Coho Ln	West Linn	OR	97068
21E25CA06600	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4766 Coho Ln	West Linn	OR	97068
21E25CA06700	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4762 Coho Ln	West Linn	OR	97068
21E25CA06800	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4748 Gardner Ln	West Linn	OR	97068
21E25CA06900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4744 Gardner Ln	West Linn	OR	97068
21E25CA07000	David & Cynthia	Gardner	4740 Gardner Ln	West Linn	OR	97068-2450	4740 Gardner Ln	West Linn	OR	97068
21E25CA07100	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4730 Gardner Ln	West Linn	OR	97068
21E25CA07200	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4734 Gardner Ln	West Linn	OR	97068
21E25CA07300	Tim & Michelle	Oleary	4790 Coho Ln	West Linn	OR	97068-2987	4790 Coho Ln	West Linn	OR	97068
21E25CA07400	Peter & Lisa	Ness	4792 Coho Ln	West Linn	OR	97068-2987	4792 Coho Ln	West Linn	OR	97068

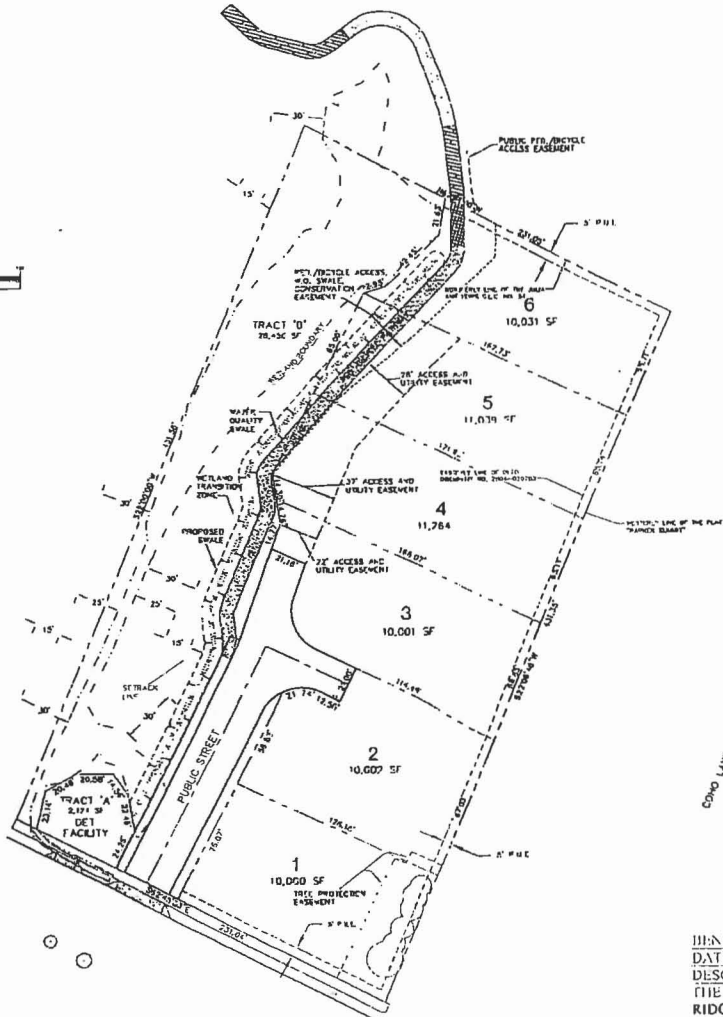
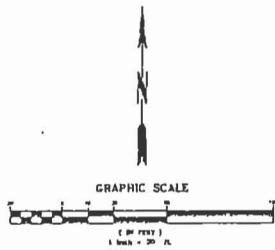
21E25CA07500	Patrick	Scott	4794 Coho Ln	West Linn	OR	97068-2987	4794 Coho Ln	West Linn	OR	97068
21E25CA07600	William	Moore	4798 Coho Ln	West Linn	OR	97068-2987	4798 Coho Ln	West Linn	OR	97068
21E25CA07700	Charles	Denning	4822 Coho Ln	West Linn	OR	97068-2984	4822 Coho Ln	West Linn	OR	97068
21E25CA07800	James & Amy	Fulmer	4823 Ireland Ln	West Linn	OR	97068-2981	4823 Ireland Ln	West Linn	OR	97068
21E25CA07900	Renaissance Custom Homes LLC		16771 Boones Ferry Rd	Lake Oswego	OR	97035-4213	4935 Ireland Ln	West Linn	OR	97068
21E25CA08400	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA08500	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08700	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08800	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CA08900	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA09300	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CA09400	Rosemont Pointe Homeowners Assn		P.O Box 230099	Tigard	OR	97281	*no Site Address*		OR	00000
21E25CC00521	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3040 Winkel Way	West Linn	OR	97068
21E25CC00522	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3036 Winkel Way	West Linn	OR	97068
21E25CC00523	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3032 Winkel Way	West Linn	OR	97068
21E25CC00524	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3024 Winkel Way	West Linn	OR	97068
21E25CC00525	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3020 Winkel Way	West Linn	OR	97068
21E25CC00526	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3014 Winkel Way	West Linn	OR	97068
21E25CC00527	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3010 Winkel Way	West Linn	OR	97068
21E25CC00528	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3015 Winkel Way	West Linn	OR	97068
21E25CC00529	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3019 Winkel Way	West Linn	OR	97068
21E25CC00530	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3021 Winkel Way	West Linn	OR	97068
21E25CC00531	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3025 Winkel Way	West Linn	OR	97068
21E25CC00532	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3027 Winkel Way	West Linn	OR	97068
21E25CC00533	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3029 Winkel Way	West Linn	OR	97068
21E25CC00534	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3037 Winkel Way	West Linn	OR	97068
21E25CC00535	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	4515 Maxfield Dr	West Linn	OR	97068
21E25CC00536	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	3041 Winkel Way	West Linn	OR	97068
21E25CC00537	Verne & Shirley	Cox	4512 Maxfield Dr	West Linn	OR	97068-2164	4512 Maxfield Dr	West Linn	OR	97068
21E25CC00538	M & T Bank		5285 Meadows Rd #290	Lake Oswego	OR	97035-5298	4524 Maxfield Dr	West Linn	OR	97068
21E25CC00539	Robert	Davidson	3140 Prairie Smoke	Bozeman	MT	59719-0000	3103 Winkel Way	West Linn	OR	97068
21E25CC00545	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	3124 Winkel Way	West Linn	OR	97068
21E25CD06000	James & Karen	Erne	2998 Winkel Way	West Linn	OR	97068-2168	2998 Winkel Way	West Linn	OR	97068
21E25CD06100	Andrew	Tran	2986 Winkel Way	West Linn	OR	97068-2168	2986 Winkel Way	West Linn	OR	97068
21E25CD06200	Brandon	Stewart	2982 Winkel Way	West Linn	OR	97068-2168	2982 Winkel Way	West Linn	OR	97068
21E25CD06300	Yizhi	Wang	2978 Winkel Way	West Linn	OR	97068-2168	2978 Winkel Way	West Linn	OR	97068
21E25CD06400	Aaron & Jessica	Downs	2974 Winkel Way	West Linn	OR	97068-2168	2974 Winkel Way	West Linn	OR	97068
21E25CD06500	Annette	Riggs	2966 Winkel Way	West Linn	OR	97068-2168	2966 Winkel Way	West Linn	OR	97068
21E25CD06600	Eugena Ann	Spitzer	2946 Winkel Way	West Linn	OR	97068-2168	2946 Winkel Way	West Linn	OR	97068
21E25CD06700	Matthew & Katie	Christianson	2942 Winkel Way	West Linn	OR	97068-2168	2942 Winkel Way	West Linn	OR	97068
21E25CD06800	Joseph	Schoenheit	2922 Winkel Way	West Linn	OR	97068-2168	2922 Winkel Way	West Linn	OR	97068
21E25CD06900	David	Herr	2918 Winkel Way	West Linn	OR	97068-2168	2918 Winkel Way	West Linn	OR	97068
21E25CD07000	Mark & Christy	Maziarz	2914 Winkel Way	West Linn	OR	97068-2168	2914 Winkel Way	West Linn	OR	97068
21E25CD07100	Cheryl & Steven	Peterson	2906 Winkel Way	West Linn	OR	97068-2168	2906 Winkel Way	West Linn	OR	97068
21E25CD07200	Danbo	Shen	2902 Winkel Way	West Linn	OR	97068-2168	2902 Winkel Way	West Linn	OR	97068
21E25CD07400	James	McAndrew	2941 Winkel Way	West Linn	OR	97068-2168	2941 Winkel Way	West Linn	OR	97068
21E25CD07500	Moez	Harbaoui	2945 Winkel Way	West Linn	OR	97068-2168	2945 Winkel Way	West Linn	OR	97068
21E25CD07600	Dr Horton Inc-Portland		4386 SW Macadam Ave #102	Portland	OR	97239-6432	2953 Winkel Way	West Linn	OR	97068
21E25CD07700	Dr Horton Inc-Portland		4386 SW Macadam Ave #102	Portland	OR	97239-6432	2957 Winkel Way	West Linn	OR	97068
21E25CD07800	Jeffrey & Karina	Patterson	2961 Winkel Way	West Linn	OR	97068-2168	2961 Winkel Way	West Linn	OR	97068
21E25CD07900	Josh & Danelle	Weissert	2965 Winkel Way	West Linn	OR	97068-2168	2965 Winkel Way	West Linn	OR	97068
21E25CD08000	Joel	Dumbrow	2973 Winkel Way	West Linn	OR	97068-2168	2973 Winkel Way	West Linn	OR	97068
21E25CD08100	Rok	Kim	2977 Winkel Way	West Linn	OR	97068-2168	2977 Winkel Way	West Linn	OR	97068
21E25CD08200	Larry & Sheryl	Walsh	2985 Winkel Way	West Linn	OR	97068-2168	2985 Winkel Way	West Linn	OR	97068

21E25CD08300	William & Shen	Amborn	2993 Winkel Way	West Linn	OR	97068-2168	2993 Winkel Way	West Linn	OR	97068
21E25CD08400	Mark	Jones	2997 Winkel Way	West Linn	OR	97068-2168	2997 Winkel Way	West Linn	OR	97068
21E25CD08500	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD08600	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD09400	Beniamin & Georgetta	Lucescu	4647 Summer Run Dr	West Linn	OR	97068-0000	4713 Summer Run Dr	West Linn	OR	97068
21E25CD09500	Beniamin & Georgetta	Lucescu	4647 Summer Run Dr	West Linn	OR	97068-0000	4717 Summer Run Dr	West Linn	OR	97068
21E25CD09800	City Of West Linn		22500 S Salamo Rd #600	West Linn	OR	97068-8306	*no Site Address*		OR	00000
21E25CD09900	Siennas Estates Homeowners Assn	Attn: Sam Pap	16770 S Kreft Rd	Oregon City	OR	97045	*no Site Address*		OR	00000

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PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



VICINITY MAP
N.T.S.

APPLICANT:

RENAISSANCE HOMES, INC.
16771 BOONES FERRY ROAD
LAKE OSWEGO, OR 97035
PHONE: (503)636-5600 / FAX: (503)635-8400
CONTACT: JEFF SHROFF

PLANNING / ENGINEERING:

SFA DESIGN GROUP, LLC
9020 SW WASHINGTON SQUARE DR., SUITE 350
PORTLAND, OR 97223
PHONE: (503)641-8311 / FAX: (503)643-7905
CONTACTS: MATTHEW SPRAGUE

SURVEYOR:

G+L LAND SURVEYING, INC.
9255 SW NIMBUS AVE.
BEAVERTON, OR 97008
PHONE: (503)641-0308 / FAX: (503)671-0877
CONTACT: DARREN HARR

SITE INFORMATION:

SITE AREA: 2.28 ACRES
ZONING: R-10
TAX MAP: T2 R1E SEC 25CD
TAX LOTS: 3900
NUMBER OF LOTS: 6

UTILITIES AND SERVICES:

WATER: CITY OF WEST LINN
STORM: CITY OF WEST LINN
SEWER: CITY OF WEST LINN
POWER: PGE
GAS: NORTHWEST NATURAL
CABLE: VERIZON
FIRE: TVE&R
POLICE: CITY OF WEST LINN
SCHOOL: CITY OF WEST LINN
ROADS: CITY OF WEST LINN
PARKS: CITY OF WEST LINN

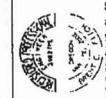
SHEET INDEX

1	TENTATIVE PLAT
2	EXISTING CONDITIONS PLAN
3	TENTATIVE STREET AND UTILITY PLAN
4	TENTATIVE STREET PROFILE
5	TENTATIVE GRADING, STORM AND EROSION CONTROL PLAN
6	TENTATIVE MITIGATION AND CONSTRUCTION MANAGEMENT PLAN
7	SLOPE ANALYSIS
8	AERIAL AND CIRCULATION PLAN
L1	LANDSCAPE PLAN

MARK: SALAMO (NCS GEODETIC CONTROL MONUMENT)
DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 83)
DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD.
ELEVATION: 693.007



TENTATIVE PLAT
PARKER ROAD



BY	DATE
DESIGNED	
CHECKED	
APPROVED	

NO. OF SHEETS	8
NO. OF SHEETS USED	1
DATE	02/27/2016
PROJECT	PARKER ROAD
NO.	001

4100 This map was prepared for assessment purpose only.

SE 1/4 SW 1/4 SEC 25 T.2S. R.1E. W.M.
CLACKAMAS COUNTY

2 1E 25CD
WEST LINN

DLC
JULIA ANN LEWIS NO. 54
SAMUEL SHANNON NO. 70

CANCELLED TL'S
3500 600
3600 800
3601 1200
3602 1700
3603 2800
3604 3800
3605 4800
3606 5800
3607 6800
3608 7800
3609 8800
3610 9800

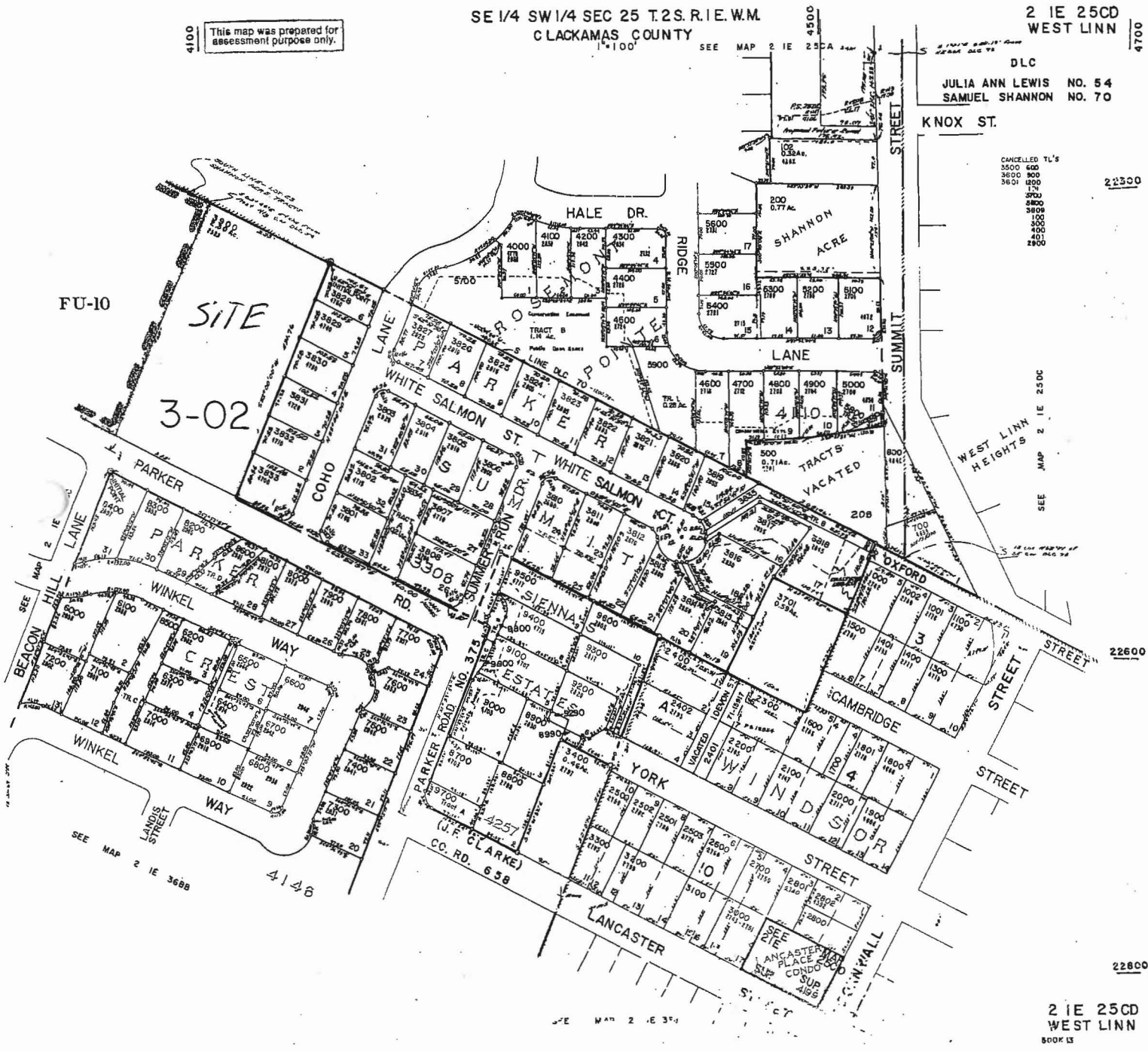
22300

SEE MAP 2 1E 25DC
WEST LINN HEIGHTS

22600

22600

2 1E 25CD
WEST LINN
BOOK 13



Ben Altman

From: Troy Bowers [bowerst@msa-ep.com]
Sent: Friday, May 07, 2010 3:21 PM
To: Ben Altman
Cc: johns@jsremodel.com; 'Douglas Vokes'
Subject: RE: Notice of Neighborhood Meeting - Development Review

Thank you for the notice. After reviewing this with the other NA officers, we do not think we need to participate as this is outside of our NA boundary. We do appreciate the opportunity to be advised though as it is adjacent to our neighborhood. Thank you for working with the City and the other neighborhood as you go through the City process. Best of luck.

Troy

Troy L. Bowers, P.E. ■ Senior Vice President
Murray, Smith & Associates, Inc. ■ www.msa-ep.com
121 SW Salmon, Suite 900 ■ Portland, Oregon 97204-2919
Tel: 503.225.9010 ■ Cell: 503.703.7303 ■ Fax: 503.225.9022 ■ tlb@msa-ep.com

2010 • CELEBRATING 30 YEARS SERVING THE PACIFIC NORTHWEST

Notice: This e-mail and any attached files are the private confidential property of the sender, and the materials are privileged communications intended solely for the receipt, use, benefit and information of the intended recipient indicated above. If you are not the intended recipient, you are hereby notified that any review, disclosure, copying, distribution, or taking of any other action in reliance on the contents of this transmission is strictly prohibited, and may result in legal liability on your part. If you have received this e-mail in error, please notify us immediately at the above address.

From: Ben Altman [mailto:baltman@sfadg.com]
Sent: Monday, May 03, 2010 2:11 PM
To: Troy Bowers
Subject: Notice of Neighborhood Meeting - Development Review

Troy:

I am sending you this information by email, because I did not have your mailing address, and the City did not respond to my request for the information. I have attached a notice of a pending neighborhood meeting for review of an Extension for a prior approved 6-Lot subdivision.

The development site is not within the Sunset Neighborhood, but is within the distance which requires notice to adjacent Associations. You will note that the site improvements have mostly been constructed. However, the prior developer was unable to complete the work, prior to the expiration of the 2006 approval. Your client is now requesting an extension of the prior approval, to allow the construction to be completed and the Plat recorded.

Thanks,
Ben Altman
SFA Design Group, LLC
STRUCTURAL | CIVIL | LAND USE PLANNING | SURVEYING
9020 SW Washington Square Dr., Ste. 350
Portland, OR 97223
P (503) 641-8311
F (503) 643-7905
www.sfadesigngroup.com

21E25CB03800
Janet & Christopher Morgan
3800 Ridge Ln
West Linn, OR 97068

21E25CC00400
William & Carol Koran
3945 Parker Rd
West Linn, OR 97068-2905

21E25CD03900
Melvin Lee
15746 S Hattan Rd
Oregon City, OR 97045-9214

21E25CD03801
L Owen Chrisman
4705 Coho Ln
West Linn, OR 97068-2970

21E25CD03804
Gerard & April Sutton
2916 White Salmon St
West Linn, OR 97068-2963

21E25CD03807
Cindy Stevenson
4710 Summer Run Dr
West Linn, OR 97068-2966

21E25CD03823
John & Lee Wilson
2895 White Salmon Ct
West Linn, OR 97068-2962

21E25CD03826
Susan & Benedict Sun
2919 White Salmon St
West Linn, OR 97068-2963

21E25CD03829
Scott & Suzan Supperstein
4740 Coho Ln
West Linn, OR 97068-2972

21E25CD03832
Lao
4710 Coho Ln
West Linn, OR 97068-2972

21E25CC00100
Noell & Carol Price
3015 Parker Rd
West Linn, OR 97068-2965

21E25CC00200
Noell & Carol Price
3015 Parker Rd
West Linn, OR 97068-2965

21E25CA02502
Andrew & Kathy Axelrod
4722 Ireland Ln
West Linn, OR 97068-2954

21E25CD03802
Tonne Tamerlano
4715 Coho Ln
West Linn, OR 97068-2970

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Jeffrey & Susan Frost
2910 White Salmon St
West Linn, OR 97068-2963

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Dale & Jennifer Lane
4700 Summer Run Dr
West Linn, OR 97068-2966

21E25CD03824
Jeff Fielder
2905 White Salmon St
West Linn, OR 97068-2963

21E25CD03827
Meng Yao
2925 White Salmon St
West Linn, OR 97068-2968

21E25CD03830
Anthony Mann
4730 Coho Ln
West Linn, OR 97068-2972

21E25CD03833
Donald & Anne Frank
4700 Coho Ln
West Linn, OR 97068-2972

21E25CC00300
William & Carol Koran
3945 Parker Rd
West Linn, OR 97068-2905

21E25CA02200
John Evans
4000 Ridge Ln
West Linn, OR 97068-2929

21E25CA02503
Richard & Katherine Parson
6312 Pony Ct
West Linn, OR 97068-2515

21E25CD03803
Lawrence Pina
2920 White Salmon St
West Linn, OR 97068-2968

21E25CD03806
Fremont Chang
2900 White Salmon St
West Linn, OR 97068-2963

21E25CD03810
Farvan
2890 White Salmon Ct
West Linn, OR 97068-2949

21E25CD03825
Jason Varga
2915 White Salmon St
West Linn, OR 97068

21E25CD03828
Peter Hongkuk Chun
4750 Coho Ln
West Linn, OR 97068-2972

21E25CD03831
George Kiyoshi & Sachiko Tsukamoto
4720 Coho Ln
West Linn, OR 97068-2972

21E25CD03834
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD04000
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CD04300
Aaron Eglund
3250 Wild Rose Loop
West Linn, OR 97068-7231

21E25CD05700
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA06100
Rodney & Nicole Masters
2736 Ridge Ln
West Linn, OR 97068-2985

21E25CA06400
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06700
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07000
David & Cynthia Gardner
4740 Gardner Ln
West Linn, OR 97068-2450

21E25CA07300
Tim & Michelle Oleary
4790 Coho Ln
West Linn, OR 97068-2987

21E25CA07600
William Moore
4798 Coho Ln
West Linn, OR 97068-2987

21E25CA07900
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CD04100
Thomas Doblle
2858 Hale Dr
West Linn, OR 97068-2989

21E25CD04400
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA05800
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA06200
Robert Mann
4785 Coho Ln
West Linn, OR 97086

21E25CA06500
Mark & Lisa Wickert
4788 Coho Ln
West Linn, OR 97068-2987

21E25CA06800
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07100
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07400
Peter & Lisa Ness
4792 Coho Ln
West Linn, OR 97068-2987

21E25CA07700
Charles Denning
4822 Coho Ln
West Linn, OR 97068-2984

21E25CA08400
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD04200
Paul & Judith Newman
2842 Hale Dr
West Linn, OR 97068-2989

21E25CD04500
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA05900
Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

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Dinesh Jain
4782 Coho Ln
West Linn, OR 97068-2987

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Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

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Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

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Renaissance Custom Homes LLC
16771 Boones Ferry Rd
Lake Oswego, OR 97035-4213

21E25CA07500
Patrick Scott
4794 Coho Ln
West Linn, OR 97068-2987

21E25CA07800
James & Amy Fulmer
4823 Ireland Ln
West Linn, OR 97068-2981

21E25CA08500
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08700
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08800
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CA08900
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA09300
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CA09400
Rosemont Pointe Homeowners Assn
P.O Box 230099
Tigard, OR 97281

21E25CC00521
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00522
M & T Bank
5285 Meadows Rd #290
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M & T Bank
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M & T Bank
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M & T Bank
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M & T Bank
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M & T Bank
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M & T Bank
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Lake Oswego, OR 97035-5298

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M & T Bank
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Lake Oswego, OR 97035-5298

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Lake Oswego, OR 97035-5298

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M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00536
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00537
Verne & Shirley Cox
4512 Maxfield Dr
West Linn, OR 97068-2164

21E25CC00538
M & T Bank
5285 Meadows Rd #290
Lake Oswego, OR 97035-5298

21E25CC00539
Robert Davidson
3140 Prairie Smoke
Bozeman, MT 59719-0000

21E25CC00545
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD06000
James & Karen Erne
2998 Winkel Way
West Linn, OR 97068-2168

21E25CD06100
Andrew Tran
2986 Winkel Way
West Linn, OR 97068-2168

21E25CD06200
Edon Stewart
2982 Winkel Way
West Linn, OR 97068-2168

21E25CD06300
Yizhi Wang
2978 Winkel Way
West Linn, OR 97068-2168

21E25CD06400
Aaron & Jessica Downs
2974 Winkel Way
West Linn, OR 97068-2168

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Annette Riggs
2966 Winkel Way
West Linn, OR 97068-2168

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Joseph Schoenheit
2922 Winkel Way
West Linn, OR 97068-2168

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Cheryl & Steven Peterson
2906 Winkel Way
West Linn, OR 97068-2168

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Moez Harbaoui
2945 Winkel Way
West Linn, OR 97068-2168

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Jeffrey & Karina Patterson
2961 Winkel Way
West Linn, OR 97068-2168

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Rok Kim
2977 Winkel Way
West Linn, OR 97068-2168

21E25CD08400
Mark Jones
2997 Winkel Way
West Linn, OR 97068-2168

21E25CD09400
Benjamin & Georgetta Lucescu
4647 Summer Run Dr
West Linn, OR 97068-0000

21E25CD09900
Siennas Estates Homeowners Assn Attn:
Sam Pap
16770 S Kreft Rd
Oregon City, OR 97045

21E25CD06600
Eugena Ann Spitzer
2946 Winkel Way
West Linn, OR 97068-2168

21E25CD06900
David Herr
2918 Winkel Way
West Linn, OR 97068-2168

21E25CD07200
Danbo Shen
2902 Winkel Way
West Linn, OR 97068-2168

21E25CD07600
Dr Horton Inc-Portland
4386 SW Macadam Ave #102
Portland, OR 97239-6432

21E25CD07900
Josh & Danelle Weissert
2965 Winkel Way
West Linn, OR 97068-2168

21E25CD08200
Larry & Sheryl Walsh
2985 Winkel Way
West Linn, OR 97068-2168

21E25CD08500
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD09500
Benjamin & Georgetta Lucescu
4647 Summer Run Dr
West Linn, OR 97068-0000

21E25CD06700
Matthew & Katie Christianson
2942 Winkel Way
West Linn, OR 97068-2168

21E25CD07000
Mark & Christy Maziarz
2914 Winkel Way
West Linn, OR 97068-2168

21E25CD07400
James McAndrew
2941 Winkel Way
West Linn, OR 97068-2168

21E25CD07700
Dr Horton Inc-Portland
4386 SW Macadam Ave #102
Portland, OR 97239-6432

21E25CD08000
Joel Dumbrow
2973 Winkel Way
West Linn, OR 97068-2168

21E25CD08300
William & Shen Amborn
2993 Winkel Way
West Linn, OR 97068-2168

21E25CD08600
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

21E25CD09800
City Of West Linn
22500 S Salamo Rd #600
West Linn, OR 97068-8306

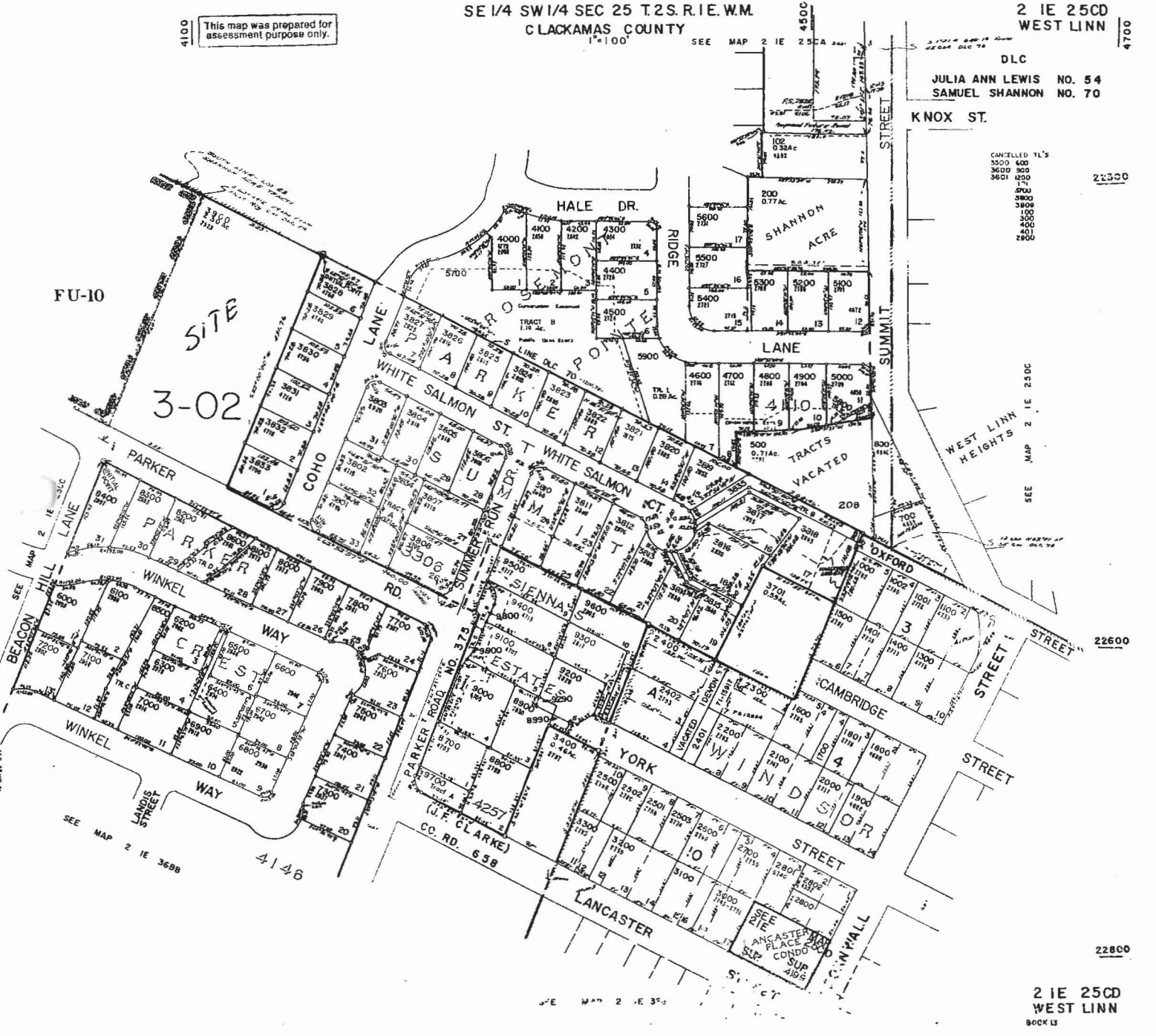
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SE 1/4 SW 1/4 SEC 25 T.2S. R.1E. W.M.
CLACKAMAS COUNTY

2 1E 25CD
WEST LINN

DLC
JULIA ANN LEWIS NO. 54
SAMUEL SHANNON NO. 70

CANCELLED TL'S
3500 600
3600 300
3601 1200
3700 300
3800 3000
3900 100
400 500
400 400
2000





**PUBLIC RECORD REPORT /
FOR NEW SUBDIVISION OR LAND PARTITION**

THIS REPORT IS ISSUED BY THE ABOVE-NAMED COMPANY ("THE COMPANY") FOR THE EXCLUSIVE USE OF:

Mel Lee
15746 S Hatton Road
Oregon City, OR 97045
Phone: (503)631-2459
Fax:

Date Prepared : April 28, 2010
Effective Date : 8:00 A.M on April 20, 2010
Order No. : 7019-1565725
Reference :

The information contained in this report is furnished by First American Title Insurance Company of Oregon (the "Company") as an information service based on the records and indices maintained by the Company for the county identified below. This report is not title insurance, is not a preliminary title report for title insurance, and is not a commitment for title insurance. No examination has been made of the Company's records, other than as specifically set forth in this report. Liability for any loss arising from errors and/or omissions is limited to the lesser of the fee paid or the actual loss to the Customer, and the Company will have no greater liability by reason of this report. This report is subject to the Definitions, Conditions and Stipulations contained in it.

REPORT

- A. The Land referred to in this report is located in the County of Clackamas, State of Oregon, and is described as follows:

As fully set forth on Exhibit "A" attached hereto and by this reference made a part hereof.
- B. As of the Effective Date, the tax account and map references pertinent to the Land are as follows:

As fully set forth on Exhibit "A" attached hereto and by this reference made a part hereof.
- C. As of the Effective Date and according to the Public Records, we find title to the land apparently vested in:

As fully set forth on Exhibit "B" attached hereto and by this reference made a part hereof.
- D. As of the Effective Date and according to the Public Records, the Land is subject to the following liens and encumbrances, which are not necessarily shown in the order of priority:

As fully set forth on Exhibit "C" attached hereto and by this reference made a part hereof.

EXHIBIT "A"
(Land Description Map Tax and Account)

A portion of the Julia Ann Lewis Donation Land Claim in Township 2 South, Range 1 East, of the Willamette Meridian, in the County of Clackamas and State of Oregon, more particularly described as follows:

Beginning at a point on the North line of said Donation Land Claim 54.00 chains South 62°44' East of the most Northerly corner thereof, which point is also the most Easterly corner of a tract of land conveyed to Valerian J. Bird, et ux, by Deed recorded in Book 539, page 469, Deed Records, and the true point of beginning of the tract herein to be described; thence continuing South 62°44' East along the claim line 233 feet, more or less, to the most Northerly corner of a tract of land conveyed to Erwin F. Lange, et ux, by Deed recorded in Book 609, page 543, Deed Records; thence South 22° West along the Northwest boundary thereof 460 feet to the most Westerly corner of the said Lange Tract which point is in the center of Parker Road; thence North 62°44' West along the center of Parke Road 233 feet, more or less, to the most Southerly corner of the aforementioned Bird Tract; thence North 22° East along the Southeasterly line of the Bird Tract 460 feet, more or less, to the place of beginning.

Excepting therefrom that portion lying within the boundaries of Parker Road.

NOTE: This legal description was created prior to January 1, 2008.

Map No.: 21E25CD03900
Tax Account No.: 00385336

EXHIBIT "B"
(Vesting)

Melvin D. Lee

EXHIBIT "C"
(Liens and Encumbrances)

1. City liens, if any, of the City of West Linn.
2. The rights of the public in and to that portion of the premises herein described lying within the limits of streets, roads and highways.
3. Deed of Trust and the terms and conditions thereof.
Grantor/Trustor: Melvin D. Lee and Karen Jo Lee
Grantee/Beneficiary: National Loan Acquisitions Company
Trustee: First American Title Insurance Company
Amount: \$350,000.00
Recorded: March 31, 2010
Recording Information: 2010 019453

NOTE: Taxes for the year 2009-2010 PAID IN FULL

Tax Amount:	\$11,844.10
Map No.:	21E25CD03900
Property ID:	00385336
Tax Code No.:	003-002

DEFINITIONS, CONDITIONS AND STIPULATIONS

1. **Definitions.** The following terms have the stated meaning when used in this report:
 - (a) "Customer": The person or persons named or shown as the addressee of this report.
 - (b) "Effective Date": The effective date stated in this report.
 - (c) "Land": The land specifically described in this report and improvements affixed thereto which by law constitute real property.
 - (d) "Public Records": Those records which by the laws of the state of Oregon impart constructive notice of matters relating to the Land.

2. **Liability of the Company.**
 - (a) This is not a commitment to issue title insurance and does not constitute a policy of title insurance.
 - (b) The liability of the Company for errors or omissions in this public record report is limited to the amount of the charge paid by the Customer, provided, however, that the Company has no liability in the event of no actual loss to the Customer.
 - (c) No costs (including, without limitation attorney fees and other expenses) of defense, or prosecution of any action, is afforded to the Customer.
 - (d) In any event, the Company assumes no liability for loss or damage by reason of the following:
 - (1) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records.
 - (2) Any facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the land or by making inquiry of persons in possession thereof.
 - (3) Easements, liens or encumbrances, or claims thereof, which are not shown by the Public Records.
 - (4) Discrepancies, encroachments, shortage in area, conflicts in boundary lines or any other facts which a survey would disclose.
 - (5) (i) Unpatented mining claims; (ii) reservations or exceptions in patents or in Acts authorizing the issuance thereof, (iii) water rights or claims or title to water.
 - (6) Any right, title, interest, estate or easement in land beyond the lines of the area specifically described or referred to in this report, or in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
 - (7) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use or enjoyment on the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records at the effective date hereof.
 - (8) Any governmental police power not excluded by 2(d)(7) above, except to the extent that notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records at the effective date hereof.
 - (9) Defects, liens, encumbrances, adverse claims or other matters created, suffered, assumed, agreed to or actually known by the Customer.

3. **Report Entire Contract.** Any right or action or right of action that the Customer may have or may bring against the Company arising out of the subject matter of this report must be based on the provisions of this report. No provision or condition of this report can be waived or changed except by a writing signed by an authorized officer of the Company. By accepting this form report, the Customer acknowledges and agrees that the Customer has elected to utilize this form of public record report and accepts the limitation of liability of the Company as set forth herein.

4. **Charge.** The charge for this report does not include supplemental reports, updates or other additional services of the Company.

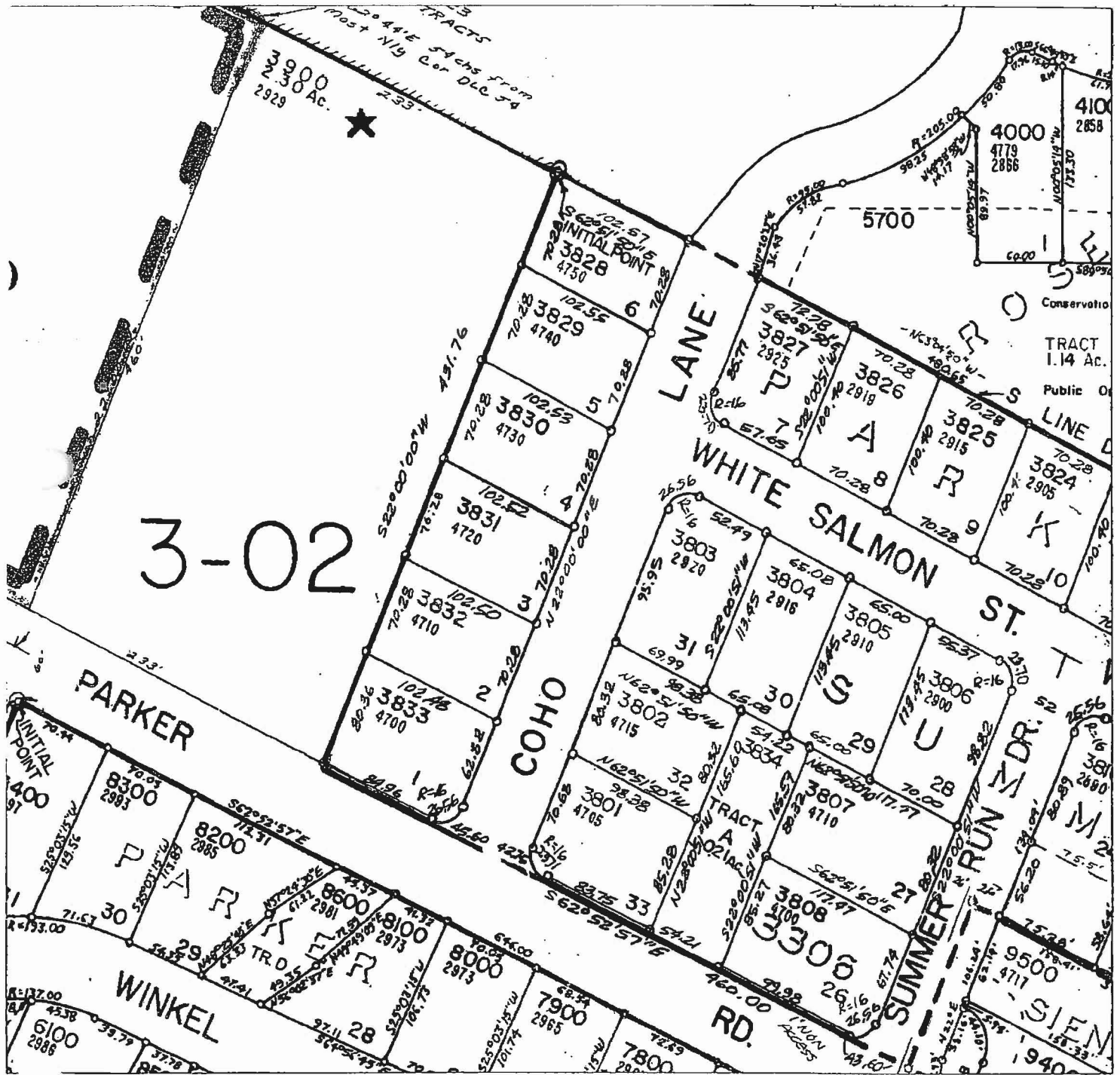


First American Title Insurance Company of Oregon

An assumed business name of TITLE INSURANCE COMPANY OF OREGON

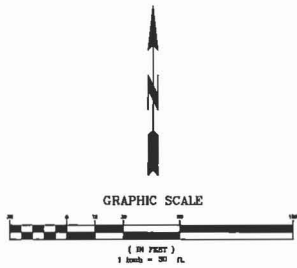
This map is provided as a convenience in locating property
First American Title Insurance Company assumes no liability for any variations as may be disclosed by an actual survey

Reference Parcel Number 21E25CD03900

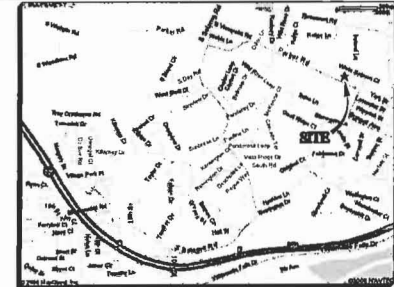
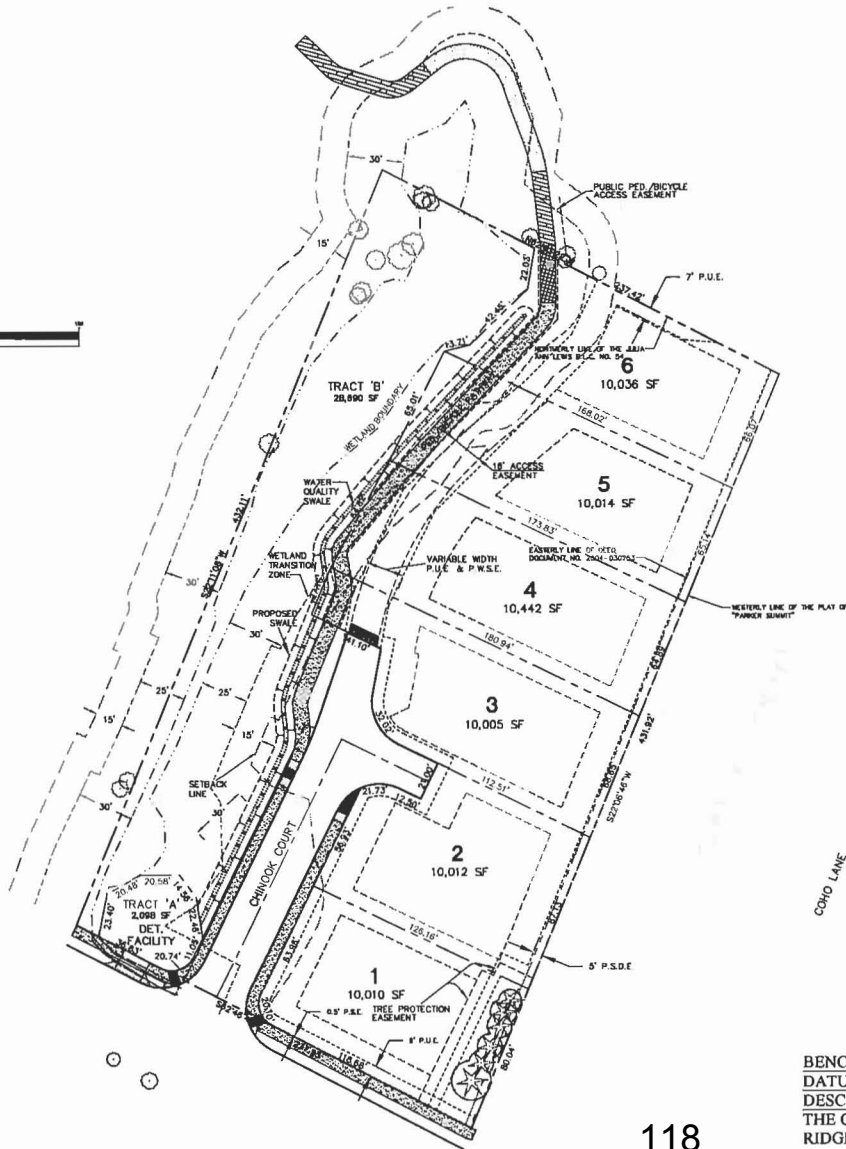


PARKER ROAD

A 6-LOT SUBDIVISION OF TAX MAP 21E25CD, TAX LOT 3900



NOTE:
LOT SIZES ARE EXCLUSIVE OF
ACCESS STREET & EASEMENT.



VICINITY MAP
N.T.S.

APPLICANT:
RENAISSANCE HOMES, INC.
16771 BOONES FERRY ROAD
LAKE OSWEGO, OR 97035
PHONE: (503)636-5600 / FAX: (503)635-8400
CONTACT: JEFF SHROPE

PLANNING / ENGINEERING:
SFA DESIGN GROUP, LLC
9020 SW WASHINGTON SQUARE DR., SUITE 350
PORTLAND, OR 97223
PHONE: (503)641-8311 / FAX: (503)643-7905
CONTACTS: MATTHEW SPRAGUE

SURVEYOR:
G+L LAND SURVEYING, INC.
9255 SW NIMBUS AVE.
BEAVERTON, OR 97008
PHONE: (503)641-0308 / FAX: (503)671-0877
CONTACT: DARREN HARR

SITE INFORMATION:
SITE AREA: 2.28 ACRES
ZONING: R-10
TAX MAP: T2 R1E SEC 25CD
TAX LOTS: 3900
NUMBER OF LOTS: 6

UTILITIES AND SERVICES:
WATER: CITY OF WEST LINN
STORM: CITY OF WEST LINN
SEWER: CITY OF WEST LINN
POWER: PGE
GAS: NORTHWEST NATURAL
CABLE: VERIZON
FIRE: TVF&R
POLICE: CITY OF WEST LINN
SCHOOL: CITY OF WEST LINN
ROADS: CITY OF WEST LINN
PARKS: CITY OF WEST LINN

SHEET INDEX - PLANNING APPROVAL

- 1 TENTATIVE PLAT
- 2 SLOPE ANALYSIS
- 3 AERIAL AND CIRCULATION PLAN

BENCHMARK: SALAMO (NGS GEODETIC CONTROL MONUMENT)
DATUM: CITY OF WEST LINN (THIRD ORDER CLASS II VERTICAL NAVD 88)
DESCRIPTION: 2-1/2" BRONZE DISK IN CONCRETE INSIDE A MONUMENT BOX, LOCATED IN THE CENTERLINE OF SALAMO ROAD NEAR THE SOUTHEAST CORNER OF THE ROSEMONT RIDGE MIDDLE SCHOOL PROPERTY, 0.2 MILES NORTHERLY OF PARKER ROAD.
ELEVATION: 693.00'

SFA Design Group, LLC
1000 NE Oregon St., Suite 300
Portland, Oregon 97232
P: (503) 641-8311 F: (503) 643-7905
sfa@sgdgroup.com

APPROVED SUB 06-03 / MS 06-03
TENTATIVE PLAT
PARKER ROAD

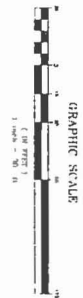
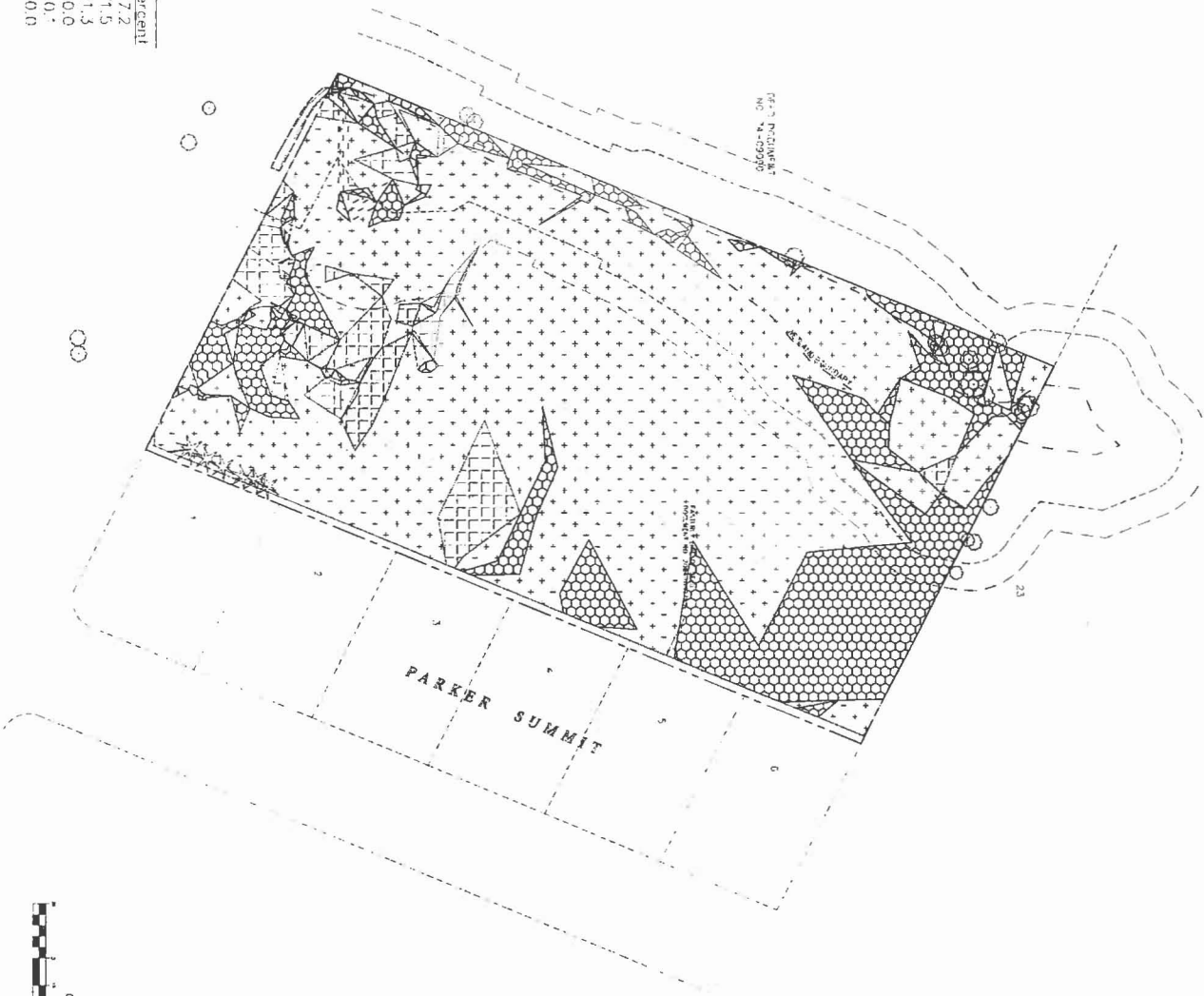


REV.	DATE	REVISION	BY

DESIGNED BY	J.M.L.	DATE	NOV 11 2008
DRAWN BY	J.M.L.	DATE	NOV 11 2008
REVIEWED BY	J.M.L.	DATE	NOV 11 2008
PROJECT NO.	21E25CD	REF.	
SCALE	AS SHOWN		
SHEET	1	OF	3
PROJECT	PARKER ROAD		
NO.	SP-03		
TYPE	Paving		

Color	Range	Base	Exposure	Friction	Accn	Percent
FFFF	0.00		1.00		1/21.00	7.2
CCCC	5.00		14.99		1/09.75 00	21.3
BBBB	15.00		24.99		2/114.00	0.0
AAAA	25.00		34.99		0.00	0.1
EEEE	45.00		49.99		36.00	0.0
GGGG	50.00		50.00		0.00	0.0

5% OBE ANALYSIS



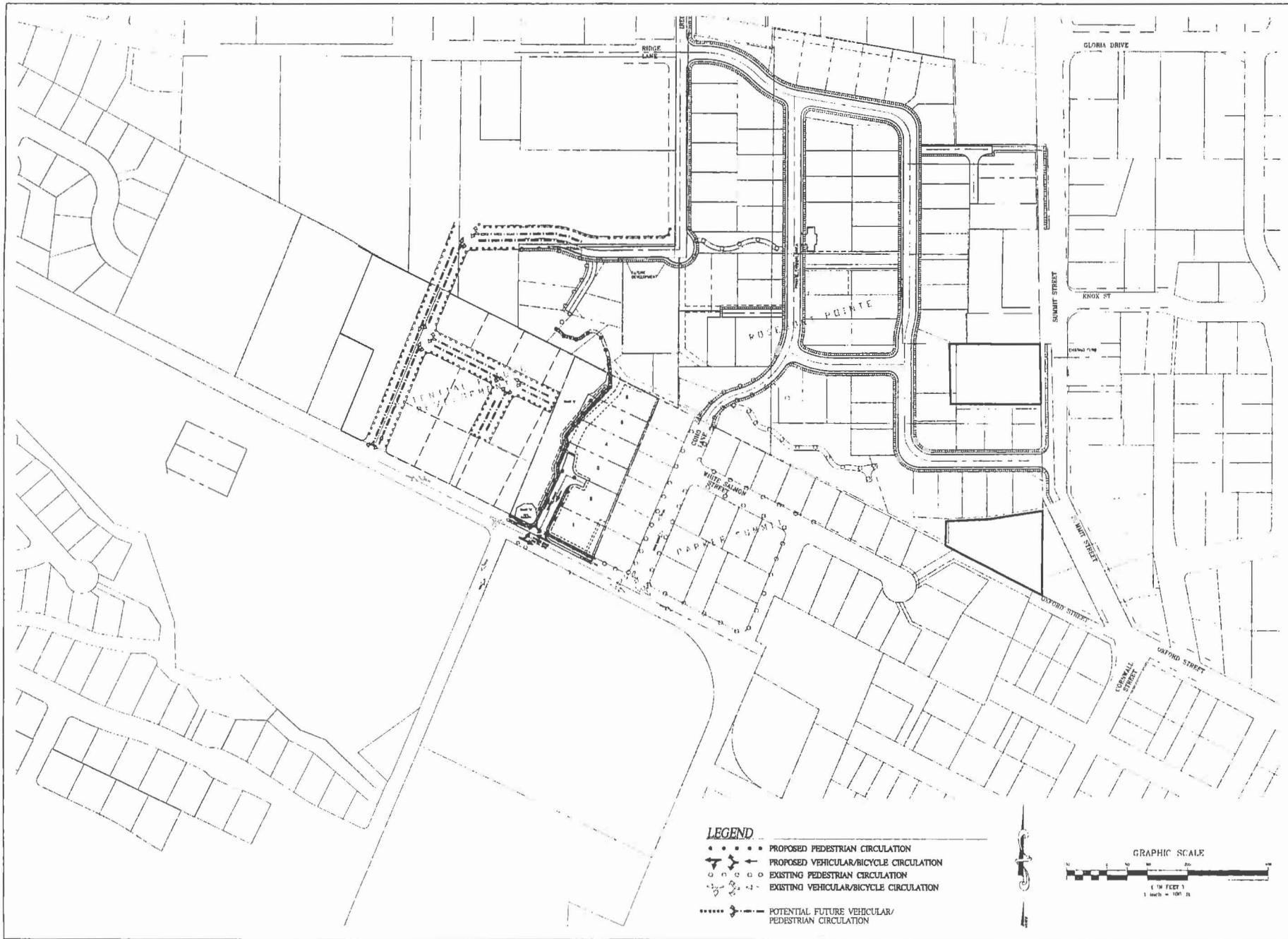
DATE	REVISED BY	DATE	DESCRIPTION
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	AS	12.16.00	
	AS	12.16.00	

NO.	DATE	REVISION	BY

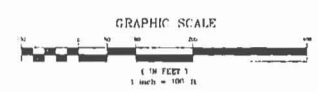


SLOPE ANALYSIS
PARKER ROAD

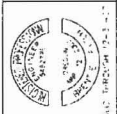
SFA Design Group, LLC
STRUCTURAL CIVIL LANDSCAPE ARCHITECTURE
9020 SW Washington Square Dr., Suite 200
Portland, Oregon 97223
p: (503) 844-8811 f: (503) 844-7800
sfa@sfgroup.com



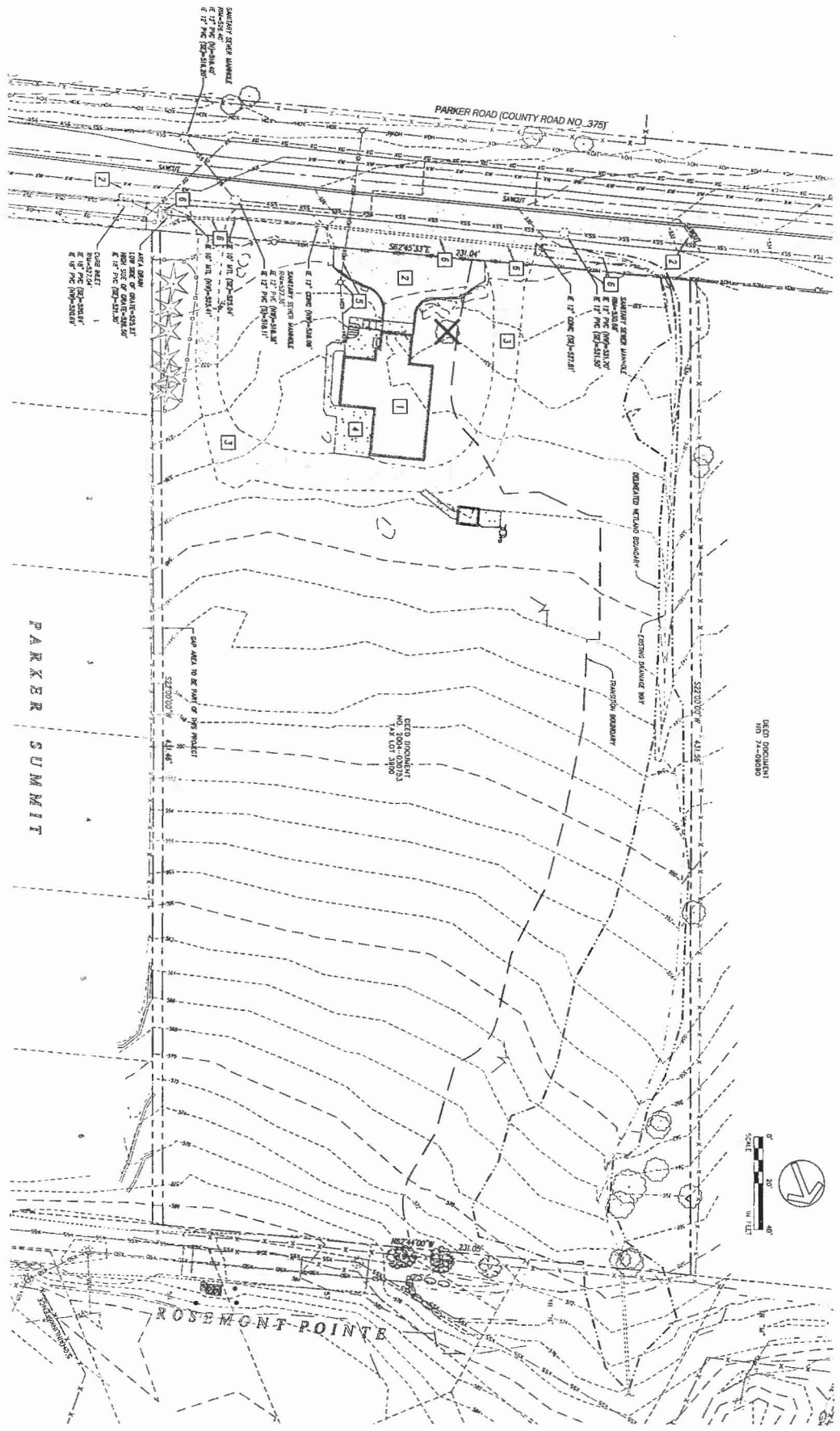
- LEGEND**
- PROPOSED PEDESTRIAN CIRCULATION
 - - - ● - - - PROPOSED VEHICULAR/BICYCLE CIRCULATION
 - PROPOSED PEDESTRIAN CIRCULATION
 - - - - - - EXISTING VEHICULAR/BICYCLE CIRCULATION
 - - - - - - POTENTIAL FUTURE VEHICULAR/PEDESTRIAN CIRCULATION



AERIAL AND CIRCULATION PLAN PARKER ROAD



DESIGNED BY	DATE	2008	BY	
DRAWN BY	DATE	2008	REVISION	
CHECKED BY	DATE	2008	NO.	DATE
PROJECT	PARKER RD			
SHEET	3			
PROJECT	PARKER ROAD			
NO.	00-00			
TYPE	Planning			



DEED DOCUMENT
NO. 74-08080

DEED DOCUMENT
NO. 2004-026733
NO. 03-18900

- DEMOLITION NOTES**
- 1 REMOVE TO BE DEMOLISHED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST LINN ORDINANCE 11.02.010.
 - 2 ASHALL TO BE REMOVED. REMOVE WITHIN LIMITS OF SHOWN. REFERENCED TO 3700 UNITS OF SHOWN, AND REMOVE PROBABLY.
 - 3 SHALL BE REMOVED.
 - 4 CONCRETE SURFACE TO BE REMOVED.
 - 5 GENERAL UTILITY TO BE REMOVED. CONSTRUCTION TO OCCUR IN ACCORDANCE WITH APPROVED UTILITY.
 - 6 REMOVED. REMOVED/REMOVED TO BE REMOVED.

EXISTING CONDITIONS/DEMOLITION LEGEND

	EXISTING 1' CONTOUR		EXISTING STORM LINE & MANHOLE
	EXISTING 1/2' CONTOUR		EXISTING SANITARY LINE & MANHOLE
	EXISTING 1/4' CONTOUR		EXISTING WATER LINE & VALVE
	EXISTING 1/8' CONTOUR		EXISTING GAS LINE & VALVE
	EXISTING 1/16' CONTOUR		EXISTING OVERHEAD UTILITY LINE & POLE
	EXISTING 1/32' CONTOUR		EXISTING UNDERGROUND ELECTRICAL LINE
	EXISTING FENCE LINE		

DESIGNED BY	REF	DATE	REV
DRAWN BY	REF	DATE	REV
REVIEWED BY	REF	DATE	REV
PROJECT NO.	100-011	REF	
SCALE	1" = 20'		
PROJECT NUMBER	100-011		
TYPE	EXISTING		

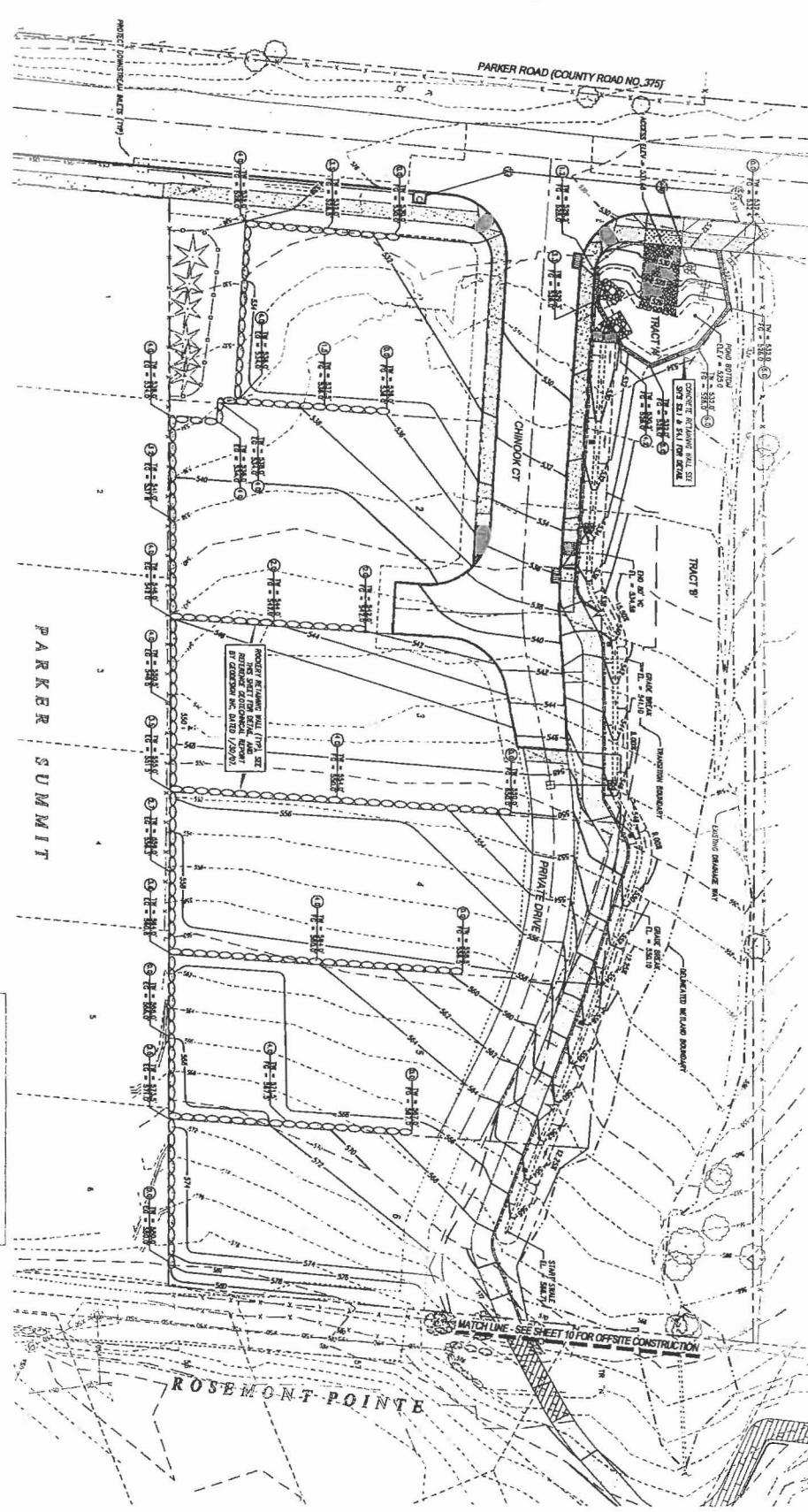
NO.	DATE	REVISION	BY
1	11/20/07	ADDED SURVEIL	
2	02/19/08	REQUEST PER CITY COMMENTS	
3	02/19/08	REVISED PER CITY COMMENTS	
4	05/16/08	REVISED PER CITY COMMENTS	



EXISTING CONDITIONS & DEMOLITION PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON



SFA Design Group, LLC
STRUCTURAL, CIVIL & LAND USE PLANNING
9620 SW Washington Square Dr. Suite 350
Portland, Oregon 97223
p (503) 641-6311 f (503) 640-7885
sfa@sfadsgroup.com

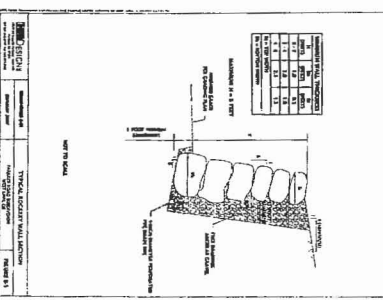


PARKER ROAD (COUNTY ROAD NO. 375)

PARKER SUMMIT

ROSEMONT-POINTE

MATCH LINE - SEE SHEET 10 FOR OFFSITE CONSTRUCTION



GRADING LEGEND

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- SEE PARALLEL TO CONTOUR
- CONCRETE RETAINING WALL
- PROPOSED STORM DRAIN LINE



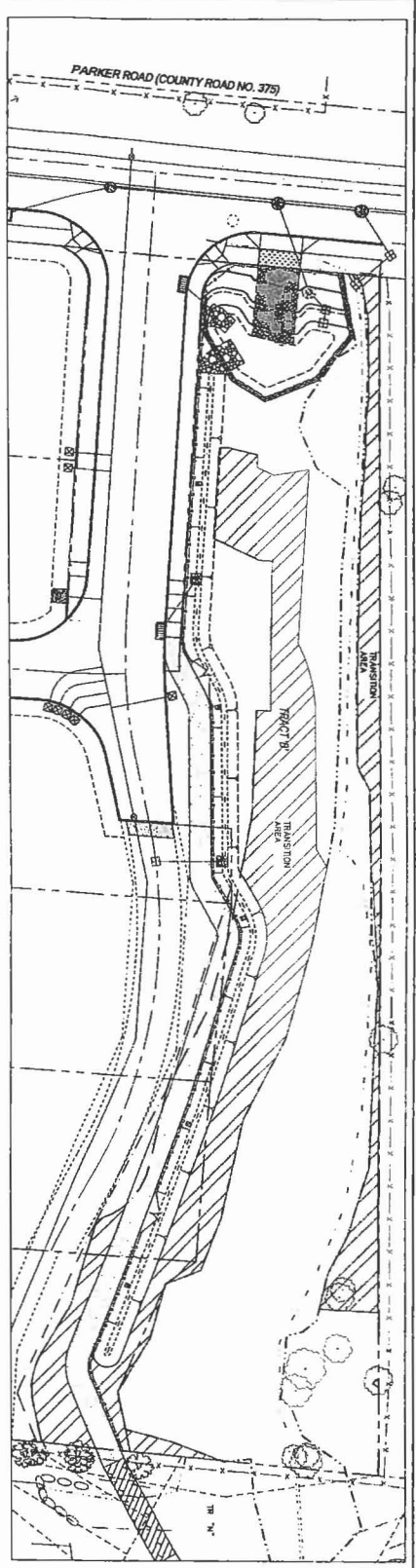
DESIGNED BY	REF. DATE	REV.
DRAWN BY	DATE	REV.
PROJECT NO.	DATE	REV.
SCALE	1" = 20'	

NO.	DATE	REVISION	BY
0	1/18/20	INITIAL SUBMITTAL	
1	2/19/20	REVISED PER CITY COMMENTS	
2	3/10/20	REVISED PER CITY COMMENTS	
3	3/10/20	REVISED PER CITY COMMENTS	



GRADING PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

sfa SFA Design Group, LLC
 STRUCTURAL | CIVIL | LANDSCAPE PLANNING
 8000 SW Washington Square Dr. Suite 100
 Portland, Oregon 97223
 P (503) 844-8111 F (503) 844-7905
 info@sfaeng.com



1.01 OBSERVATION: Provide all materials, equipment, and labor necessary for the completion of planting as indicated on drawings and specified quantities. Work includes, but is not limited to site preparation, planting and staking, fertilizing, mulching, maintenance and protection of plants until they are established.

1.02 QUALITY ASSURANCE/OVERSIGHT: All plant material and planting locations are to be inspected and approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

1.03 SITES CONSTRUCTION/REPAIRS: A clear debris line is to be placed between the existing wetland and construction area. The area will remain in place until the wetland has been reestablished. The wetland shall be reestablished in the same or better condition as it was in.

1.04 MAINTENANCE: Maintenance is to include regular water and debris removal to the wetland area. The area is to be inspected and approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

1.05 SITES CONSTRUCTION/REPAIRS: A clear debris line is to be placed between the existing wetland and construction area. The area will remain in place until the wetland has been reestablished. The wetland shall be reestablished in the same or better condition as it was in.

1.06 EXISTING VEGETATION: Protect all existing vegetation designated to remain. Any removal of existing vegetation is to be approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

1.07 PLANT MATERIALS: Plant material is to conform to standards and regulations in effect at the time of purchase. All plant material is to be inspected and approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

1.08 PLANTING METHODS: Planting is to be done in accordance with the specifications on the drawings. Any deviation from the specifications is to be approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

1.09 PLANTING METHODS: Planting is to be done in accordance with the specifications on the drawings. Any deviation from the specifications is to be approved by the Owner. An 80% minimum survival rate is expected after the first growing season. The area to be replanted is to be replanted in the same or better condition as it was in.

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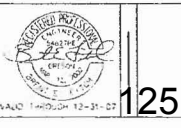
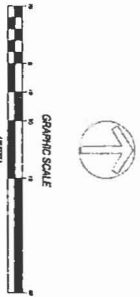
VEGETATED CORRIDOR LEGEND

TRANSITION AREA (20x30 FT)

PLANTING METHODS

TRANSITION AREA (2,865 SF / 0.18 ACRES)

COMMON TREE NAME	WATER REQUIREMENTS	LIGHT REQUIREMENTS	MIN. ROOTING SITE	MIN. PLANT HEIGHT	MIN. CENTER/SEEDING RATE	SPACING FORMAT
25 DOUGLAS FIR	DRY	SUN	2 OAL	3'	12'	SINGLE
22 PACHYSTYLAX	MOST	SUN	2 OAL	2'	12'	SINGLE
20 BIG-LEAF MAPLE	DRY	SUN	2 OAL	3'	12'	SINGLE
50 HAZELNUT	DRY	PART	1 OAL	3'	8'	CLUSTERS
140 SCOTCH BROOM	DRY	PART	1 OAL	1.5'	4'	CLUSTERS OF 15
24 NODDI PINE	MOST	SHADE	2 OAL	2'	8'	SHADE
21B SALAL	MOST	PART	1 OAL	4'	VARIABLE	CLUSTERS OF 5



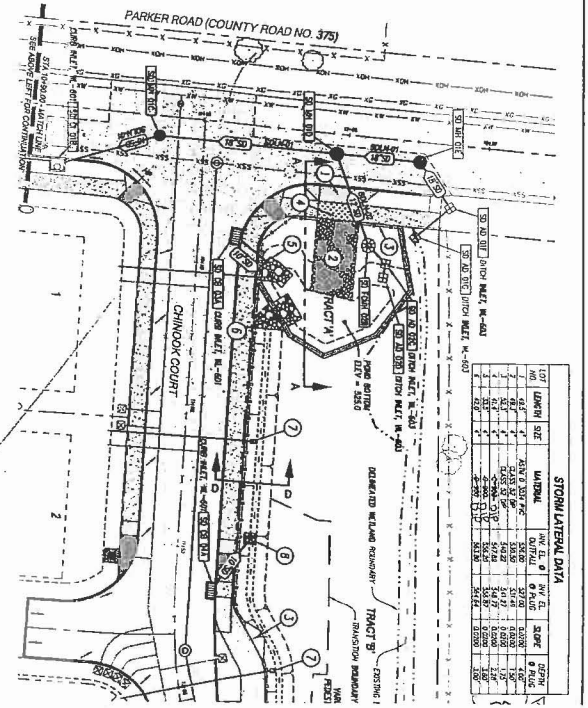
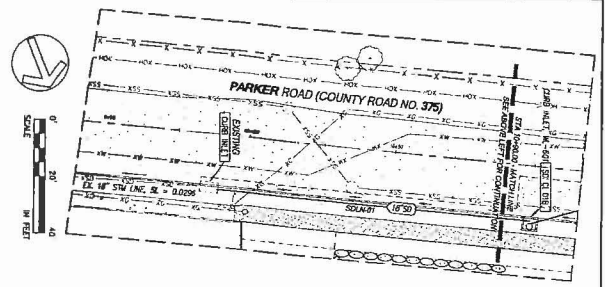
WETLAND REVEGETATION PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, Inc.
STRUCTURAL, CIVIL, & LAND USE PLANNING
9020 SW Washington Square Dr. Suite 355
Portland, Oregon 97225
P: (503) 444-4721 • FAX: (503) 444-7047
sfadesigngroup.com

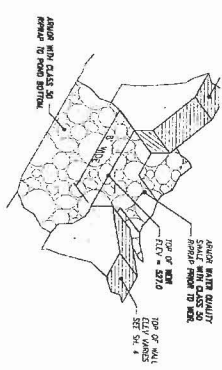
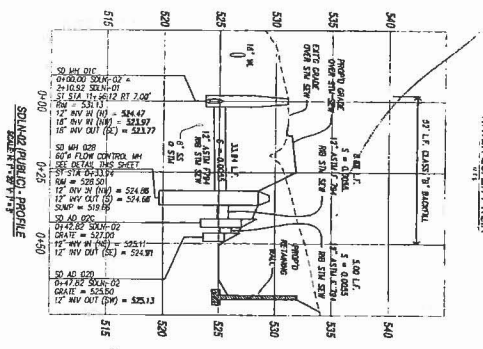
NO.	DATE	REVISION	BY
1	11/06/18	FINAL SUBMIT	SL
2	11/07/18	REVISED PER CITY COMMENTS	SL
3	06/07/19	REVISED PER CITY COMMENTS	SL

DESIGNED BY: [Signature] DATE: [Blank] BOX: [Blank]
DRAWN BY: [Signature] DATE: [Blank] BOX: [Blank]
REVIEWED BY: [Signature] DATE: [Blank] BOX: [Blank]
PROJECT NO.: 18-0111 REV: 3
SCALE: 1" = 30'

SHEET 4A OF 13
PROJECT: PARKER ROAD
JOB NO.: 180511
DATE: 06/07/19

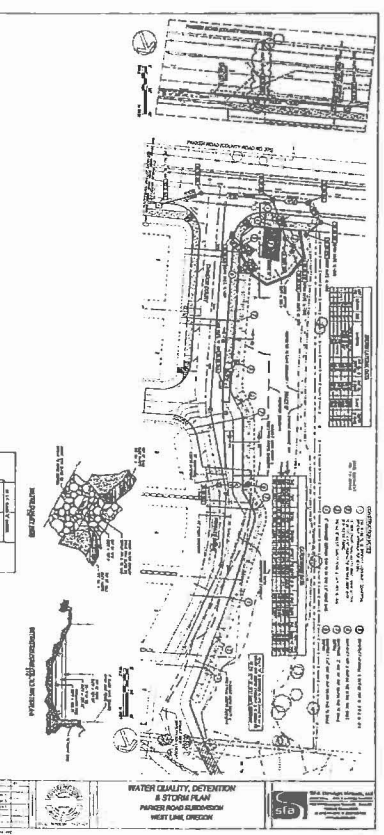


VOID
dep.

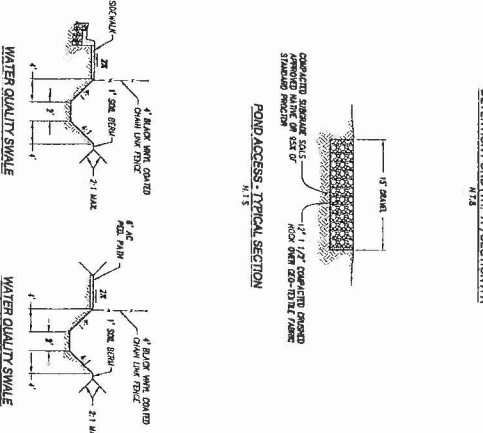


WATER QUALITY WEIR
N.13

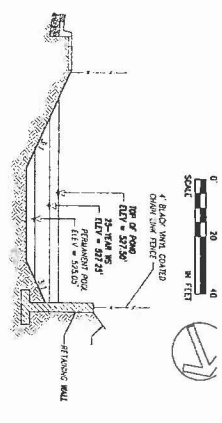
Water / CIM 503-449-6722
Water Road
Would like to move storm lateral for lot 4 5' from southern edge of road upfield



WATER QUALITY, DETENTION & STORM PLAN
PARKER ROAD DEVELOPMENT
HEART LAND DESIGN



DETENTION POND TR. A1 SECTION AA
N.13



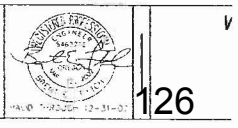
WATER QUALITY SWALE SECTION DD
N.13

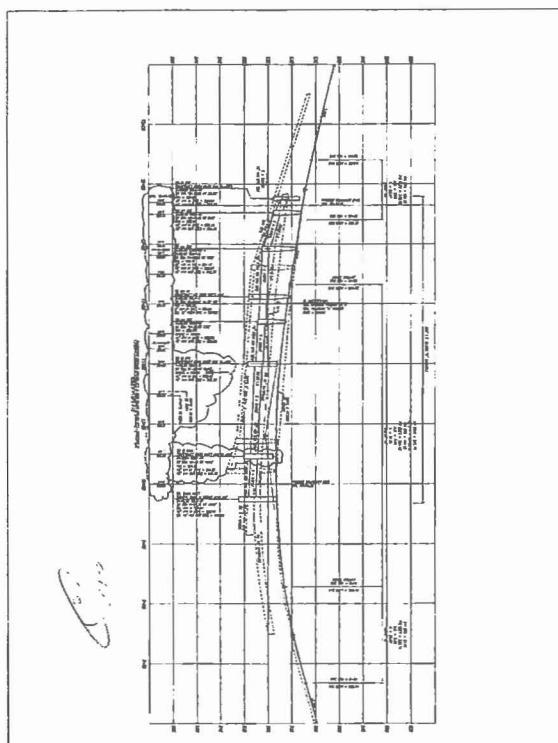
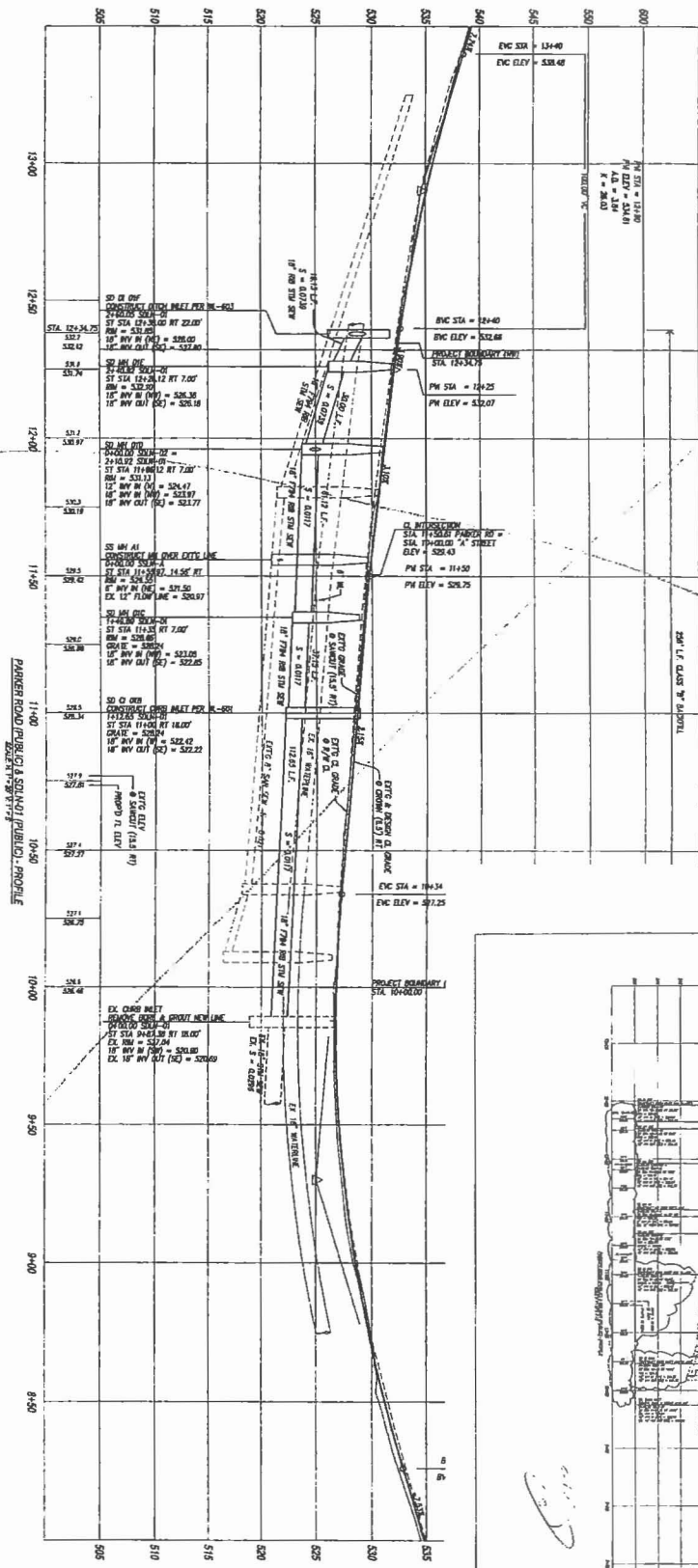
WATER QUALITY SWALE SECTION EE
N.13

WATER QUALITY SWALE SECTION FF
N.13

NO.	DATE	REVISION
0	11/06/05	FINAL DESIGN
1	03/27/06	REVISED PER CITY COMMENTS
2	05/08/06	REVISED PER CITY COMMENTS
3	05/22/06	REVISED PER CITY COMMENTS

DESIGNED BY: REF DATE: 05/06
 DRAWN BY: RWB DATE: 05/06
 REVIEWED BY: REF DATE: 05/06
 PROJECT NO: 006-017 REF: N/A
 SCALE: 1"=20'

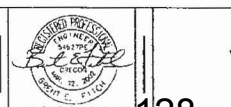


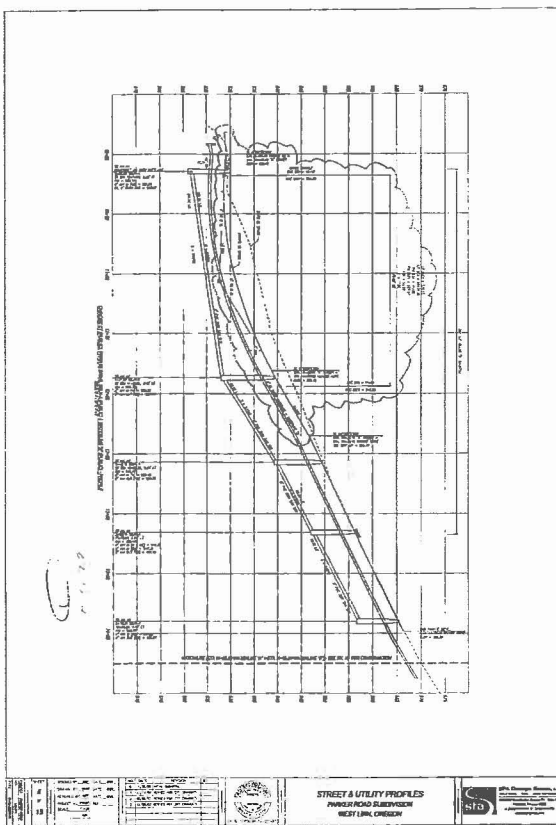
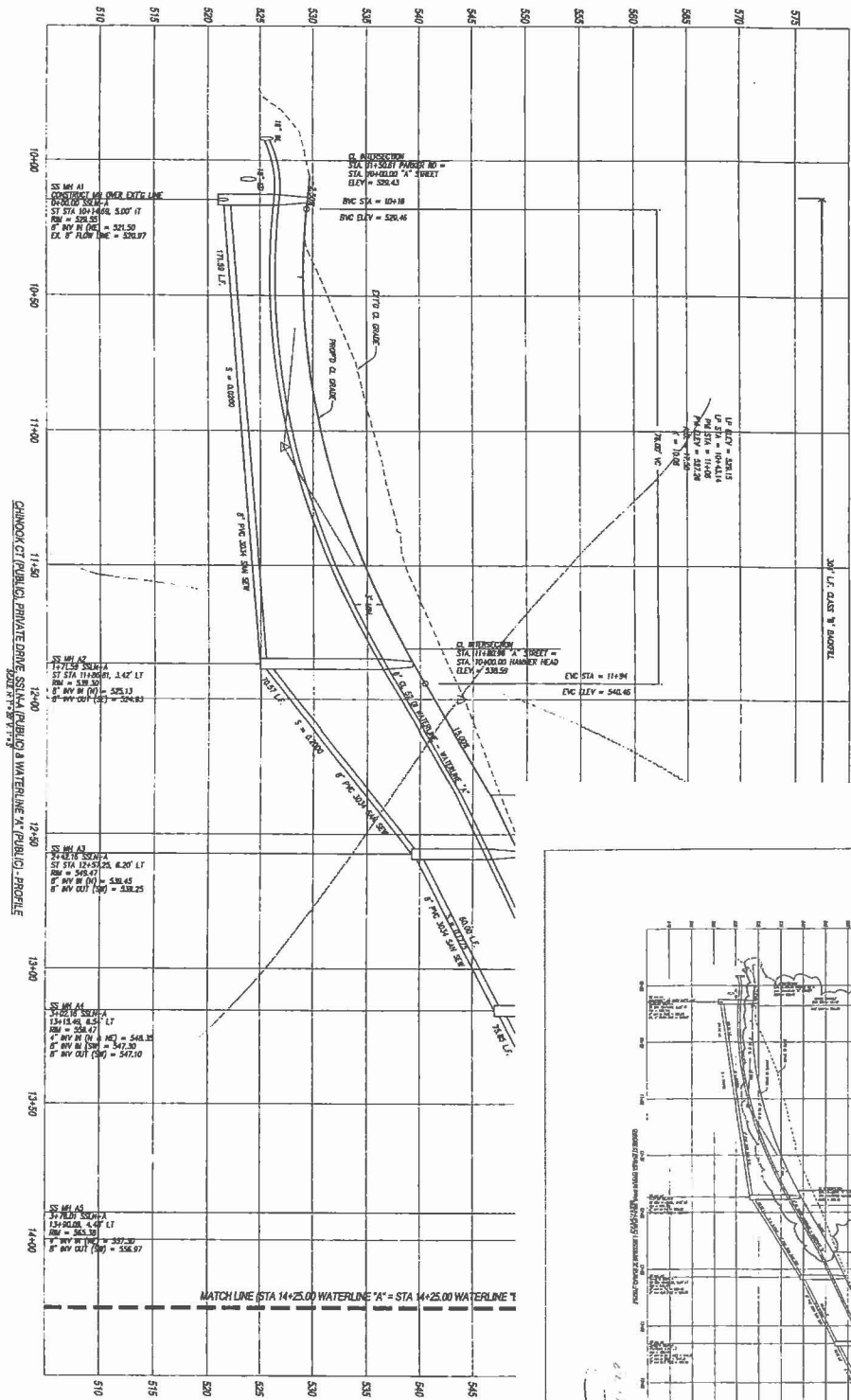


V.O.
11/7

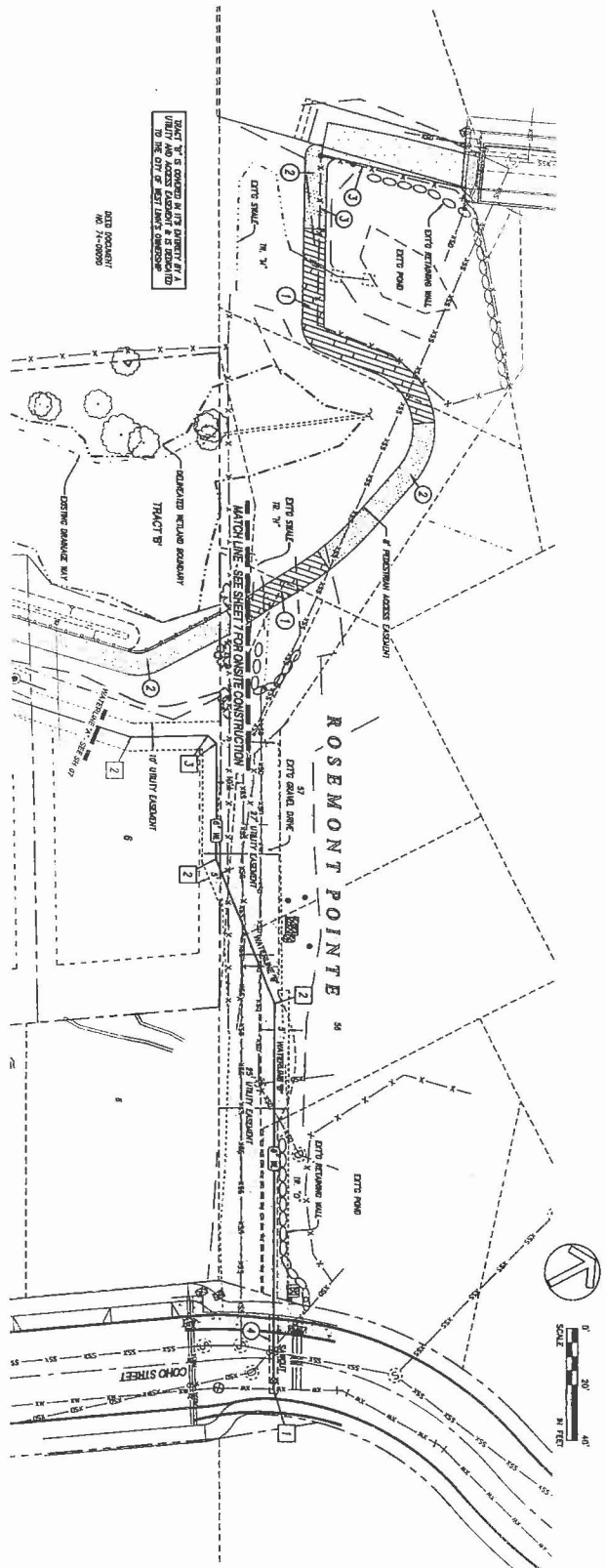
NO.	DATE	REVISION	BY
0	11/06/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	
2	05/18/07	REVISED PER CITY COMMENTS	
3	07/26/07	REVISED PER CITY COMMENTS	

SHEET 7 OF 13
 DRAWN BY: JEFF DATE: 11/06/06
 REVIEWED BY: JEFF DATE: 03/19/07
 PROJECT NO: 050911 DEF: 11-20
 SCALE: 1"=20'
 DESIGNED BY: JEFF DATE: 11/06/06
 REVIEWED BY: JEFF DATE: 03/19/07
 PROJECT NO: 050911 DEF: 11-20
 SCALE: 1"=20'





PROJECT NO.	106011				
PROJECT NAME	CHANDLER CT. (PUBLIC), PRIVATE DRIVE, SHELVA (PUBLIC) & WATERLINE 'A' (PUBLIC) - PROFILE				
SHEET NO.	13				
DESIGNED BY	DATE	NO.	DATE	REVISION	BY
11/02/06	0	11/02/06	INITIAL SUBMITAL		
03/15/07	1	03/15/07	REVISED PER CITY COMMENTS		
05/29/07	2	05/29/07	REVISED PER CITY COMMENTS		
05/18/07	3	05/18/07	REVISED PER CITY COMMENTS		
PROJECT NO.	106011	REF.	DATE	SCALE	1"=20'



TRACT 'B' IS OWNED IN ITS ENTIRETY BY A PARTY WHOSE NAME AND ADDRESS IS PROVIDED ON THE CITY OF WEST LINN RECORDS.

DATE PREPARED: 10/1/2007

- ### CONSTRUCTION NOTES
1. CONSTRUCT BOUNDARY AND MARKING WITH SEE DETAIL X.
 2. SEE SFL.
 3. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF WEST LINN STANDARDS AND SPECIFICATIONS FOR WATER MAINS AND SEWER MAINS.
 4. MATERIALS SHALL BE AS SPECIFIED IN THE SFL AND SHALL BE SUBJECT TO INSPECTION BY THE CITY OF WEST LINN.

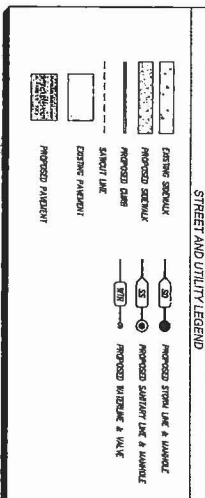
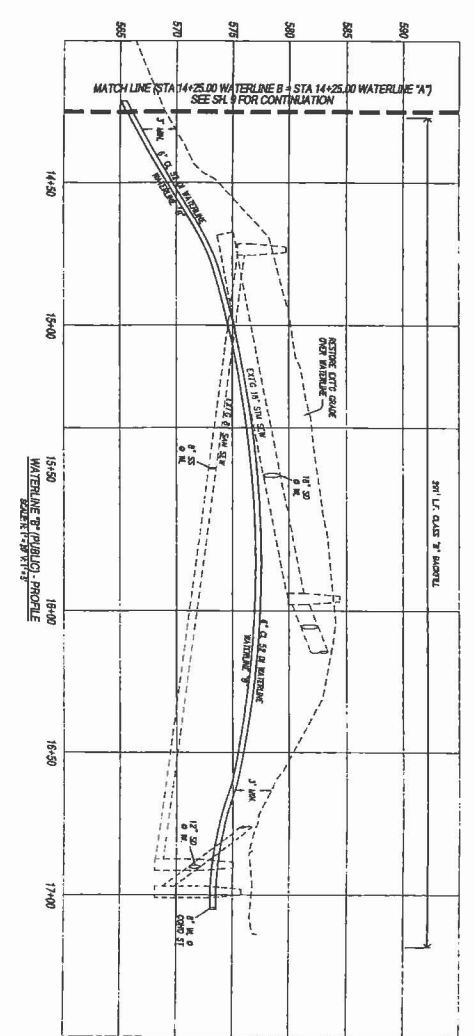
- ### WATERLINE CONSTRUCTION NOTES
1. LINE UP WITH WATERLINE INSTALL (1) 6" DATE MAIN (1) AND CONDUIT CONDUIT TO ADJUT OBTAIN MINIMUM COVER TO WATER MAIN.
 2. INSTALL 24" DIA. REAR WATERMAIN CONDUIT.
 3. INSTALL OF ROAD WATERMAIN ADJUT.

VERTICAL BEND RESTRAINT TABLE

PIPE TYPE	RESTRAINT	MINIMUM COVER	REMARKS
6"	11.5"	3.1 L.F.	
8"	14.5"	4.1 L.F.	
10"	17.5"	5.1 L.F.	
12"	20.5"	6.1 L.F.	
15"	26.5"	7.1 L.F.	
18"	32.5"	8.1 L.F.	
21"	38.5"	9.1 L.F.	

HORIZONTAL BEND RESTRAINT TABLE

PIPE TYPE	RESTRAINT	MINIMUM COVER	REMARKS
6"	11.5"	3.1 L.F.	
8"	14.5"	4.1 L.F.	
10"	17.5"	5.1 L.F.	
12"	20.5"	6.1 L.F.	
15"	26.5"	7.1 L.F.	
18"	32.5"	8.1 L.F.	
21"	38.5"	9.1 L.F.	

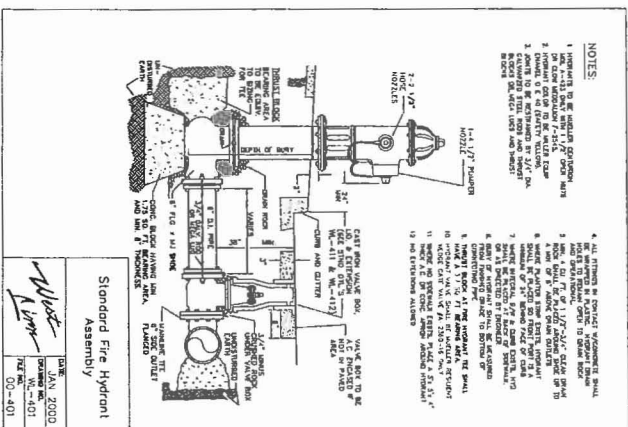
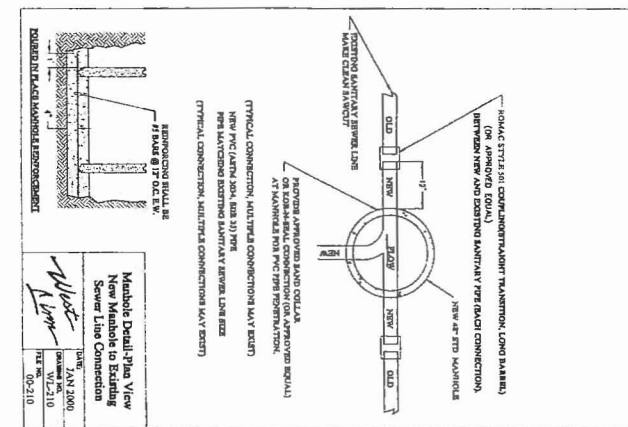
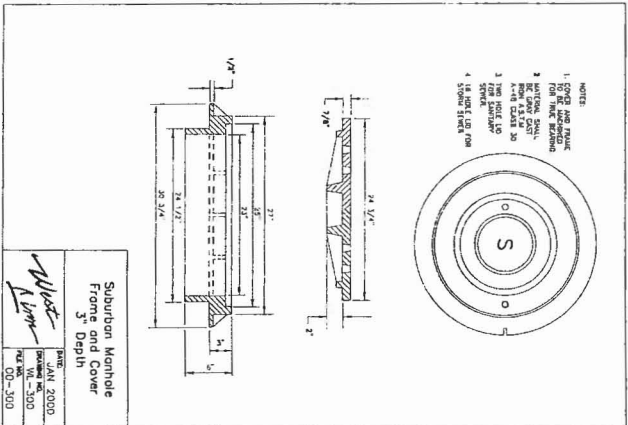
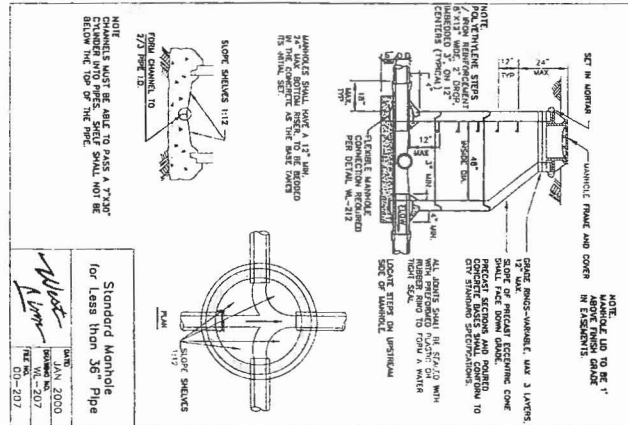
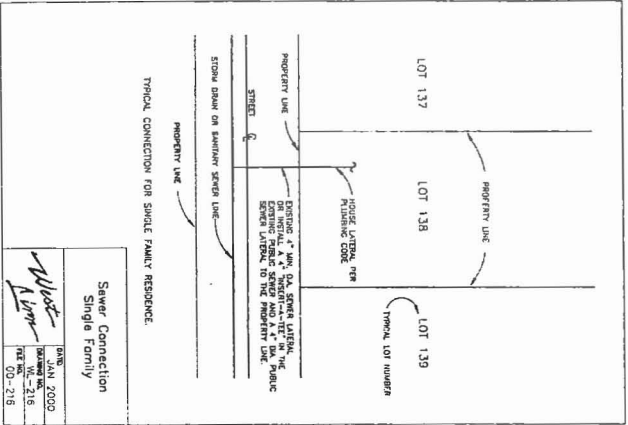
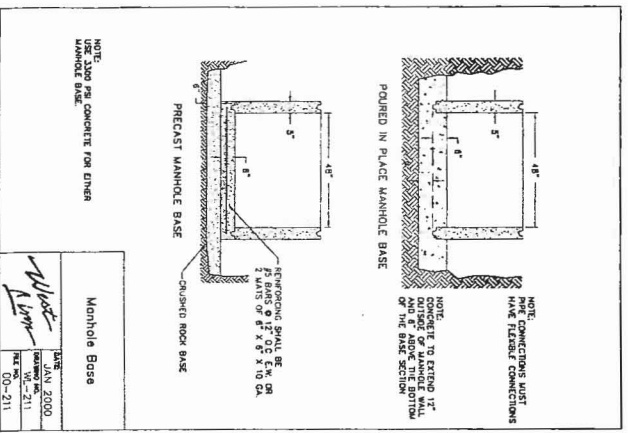
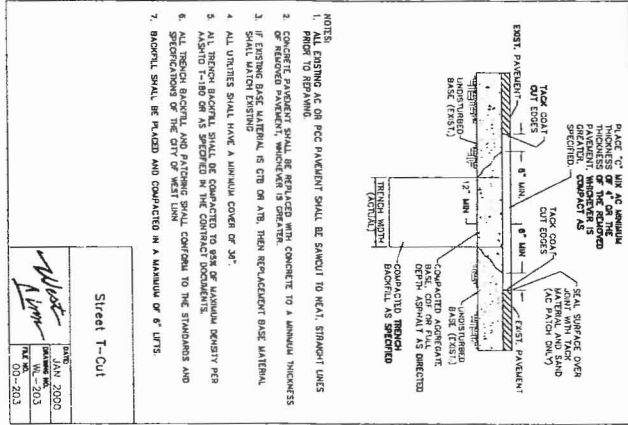
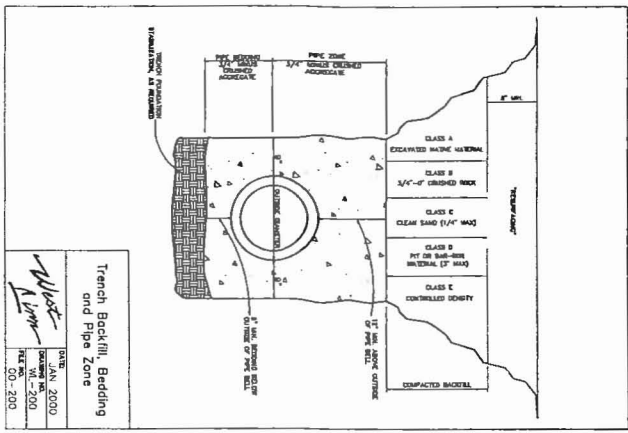


130

**OFFSITE WATER & PEDESTRIAN PATH
PLAN & PROFILE**
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, LLC
STRUCTURAL, CIVIL & LAND USE PLANNING
3025 SW Washington Avenue, Suite 200
Portland, Oregon 97201
P: (503) 641-0311 F: (503) 643-7955
sfa@sfadsgroup.com

Working: Picked May 25, 2007 - 2:13pm, B:\Land Projects\2004\106\101\10611_09\water.dwg

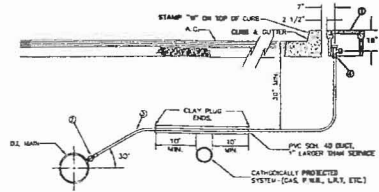


NO.	DATE	REVISION	BY
1	11/25/98	INITIAL SUBMITTAL	
2	03/15/99	REVISED PER CITY COMMENTS	
3	06/17/99	REVISED PER CITY COMMENTS	

THE DETAILS ON THIS SHEET ARE PREPARED BY PUBLIC WORKS AGENCIES AND EQUIPMENT SUPPLIERS. THE RESPONSIBILITY OF THE PROJECT ENGINEER IS LIMITED TO THE ACCURACY OF THE DETAILS AS APPROVED BY THE PROJECT ENGINEER.

CONSTRUCTION DETAILS
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, LLC
STRUCTURAL & CIVIL ENGINEERING
302 SW Washington Square Dr. Suite 302
Portland, Oregon 97223
P: (503) 641-4911 F: (503) 640-7995
sfa@sfadesign.com



- MATERIALS:**
1. BROOKS METER BOX, BODY NO. 37, LID AND COVER NO. 37-5.
 2. MUELLER CORP. STOP NO. W-15006 OR FORD FT000-40 SET CORP. STOP WITH OPERATING NUT AT 3 OR 9 O'CLOCK.
 3. 1" SOFT TEMPER, TYPE 'X' COPPER TUBING COMPLYING WITH ASTM B-88.
 4. MUELLER ANGLE METER STOP NO. H-14256 (FORM NO. KV43-4416-0).
- NOTES:**
1. SUBSTITUTES FOR ANY MATERIALS SHOWN SHALL BE APPROVED BY THE CITY ENGINEER.
 2. ALL PIPE AND STRUCTURE ZONES SHALL BE BACKFILLED USING 3/4" MINUS CRUSHED AGG AND COMPACTED TO 95% MAX DENSITY AS DETERMINED BY AASHTO T-180.
 3. WHEN AN ACTIVE CARBONIC PROTECTED SYSTEM IS DETERMINED, SOIL 40 PVC SHALL BE INSTALLED AS SHOWN ABOVE WITH CLAY PLUG.
 4. METER BOX SHALL BE CENTERED OVER THE COMPLETED METER ASSEMBLY.
 5. FOR VACANT RESIDENTIAL LOTS, LOCATE SINGLE SERVICE 16" INSIDE SIDE LOT LINE.
 6. TAPS INTO MAIN TO BE AT 18" CENTERLINE MIN.
 7. ANGLE METER STOPS TO BE 18" FROM PROPERTY LINE AND NOT IN DRIVEWAY APPROACH.

Standard 1" Water Service

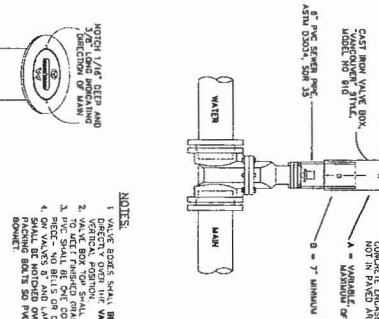
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-402



- NOTES:**
1. VALVE BOX SHALL BE PER STANDARD DETAIL W-411.
 2. VALVE BOX TO BE ASPHALT ENCASED AS SHOWN, IF NOT IN PAVED AREA.
 3. BLOW-OFF UNIT SHALL BE BACKFILLED WITH 3/4"-Ø CRUSHED ROCK AND COMPACTED TO 95% OF MAX DENSITY AS DETERMINED BY AASHTO T-180.
 4. PLUG BLOW-OFF STANDOFF 3 FT. INSIDE 16" LINE AT END OF STREET (2 FT. FROM BARRICADE).

Standard 2" Blow-off Assembly

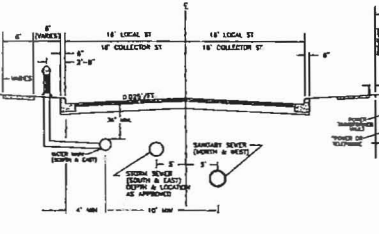
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-404A



- NOTES:**
1. VALVE BOXES SHALL BE CENTERED DIRECTLY OVER THE VALVE NUT IN A 16" VALVE BOX.
 2. VALVE BOX TOP SHALL BE ADJUSTED TO BE 1" ABOVE FINISHED GRADE.
 3. PIPE SHALL BE 5" COMPACTED TO 95% OF MAX DENSITY AS DETERMINED BY AASHTO T-180.
 4. VALVE BOXES SHALL BE 16" DIA. MIN.

Standard Valve Box Detail

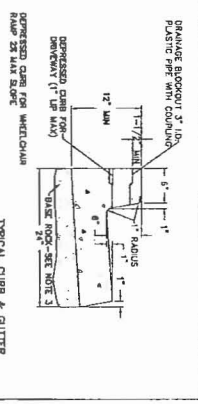
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-411



- NOTE:** IF SIX FOOT LIGHT EASEMENT IS PRESENT ALONG PROPERTY FRONTAGE PROPERTY SHALL BE AS BACK OF PROPERTY LINE.
1. ON SIDEWALKS LESS THAN 16" IN WIDTH REFER TO DETAIL W-408 FOR WHEELWELL AND CURB RAMP DETAIL.
 2. STORM DRAINAGE LINES ON ALL SIDEWALKS SHALL BE 2' DEEP AT EDGE OF CURB WHERE DRAIN CONNECTIONS WILL BE MADE. WHERE CONNECTIONS ARE MADE TO EXISTING LINES, THE CONNECTION SHALL BE MADE TO THE EXISTING LINE.
 3. FIRE HYDRANTS ARE TO BE LOCATED OUTSIDE THE 16" LINE. A 6" BY 6" HYDRANT SHALL BE USED. THE HYDRANT SHALL BE 18" FROM PROPERTY LINE AND NOT IN DRIVEWAY APPROACH.

Typical Utility Placement Detail

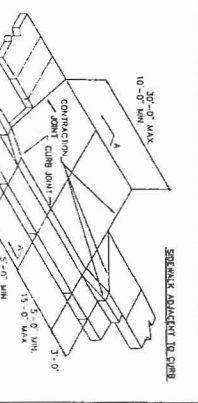
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-500



- NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM BREAKING STRENGTH OF 4000 PSI.
 2. CONSTRUCTION JOINTS:
 - A) TO BE PROTECTED.
 - B) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - C) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - D) EXPANSION JOINTS SHALL NOT BE USED.
 3. BASE ROCK - 1 1/2"-Ø, 15% COMPACTED TO 95% OF MAX DENSITY AS DETERMINED BY AASHTO T-180.
 4. DRAINAGE RECORD - 3" DIA. PLASTIC PIPE TO BE INSTALLED AT 1% SLOPE TO STREET.
 5. CURB SHALL BE 12" HIGH AT DRIVEWAY APPROACH AND 18" HIGH AT SIDEWALK.

Typical Curb

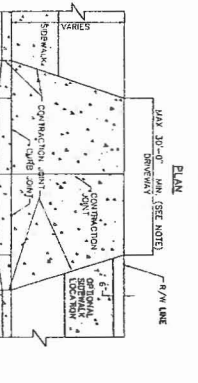
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-501



- NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM BREAKING STRENGTH OF 4000 PSI.
 2. CONSTRUCTION JOINTS:
 - A) TO BE PROTECTED.
 - B) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - C) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - D) EXPANSION JOINTS SHALL NOT BE USED.
 3. DRIVEWAY SHALL BE A MINIMUM 6" THICK.

Residential Driveway

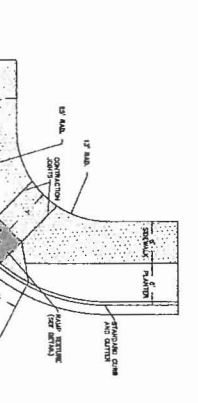
DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-503



- NOTES:**
1. CONCRETE SHALL HAVE A MINIMUM BREAKING STRENGTH OF 4000 PSI.
 2. CONSTRUCTION JOINTS:
 - A) TO BE PROTECTED.
 - B) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - C) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - D) EXPANSION JOINTS SHALL NOT BE USED.
 3. DRIVEWAY SHALL BE A MINIMUM 6" THICK.

Commercial Driveway

DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-504



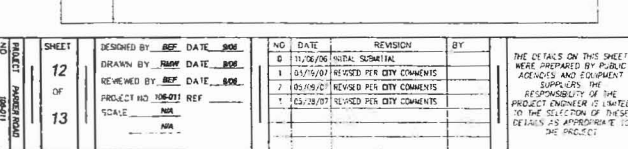
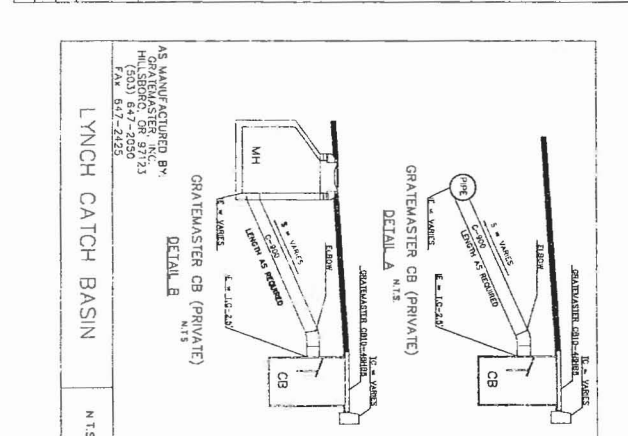
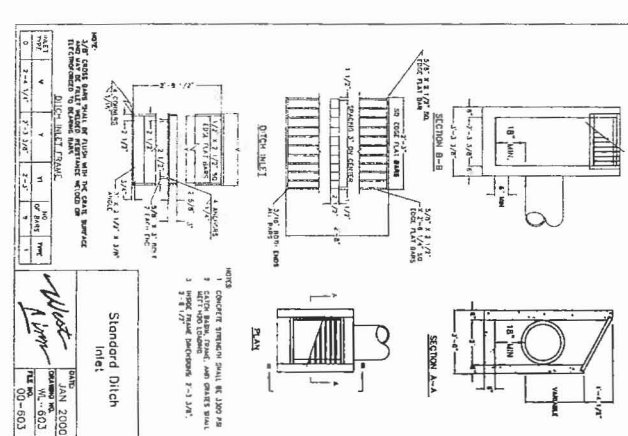
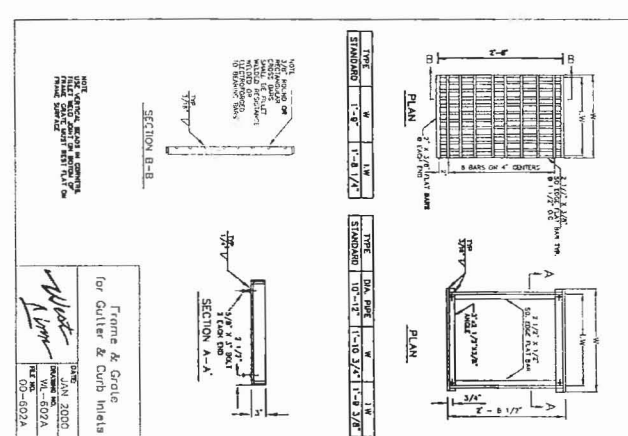
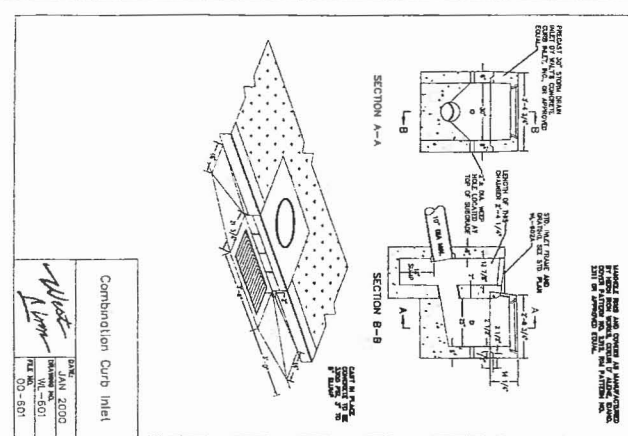
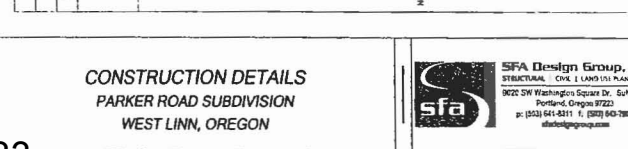
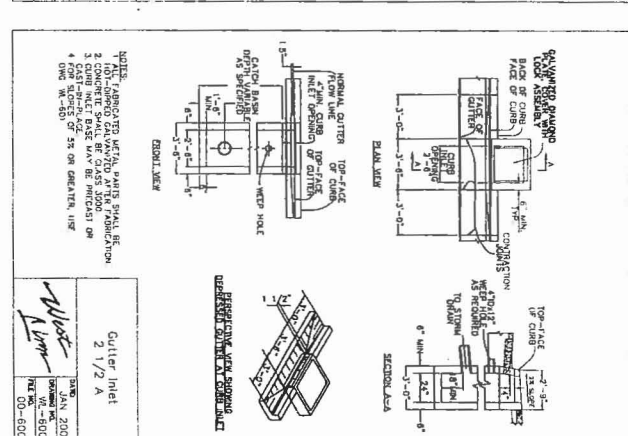
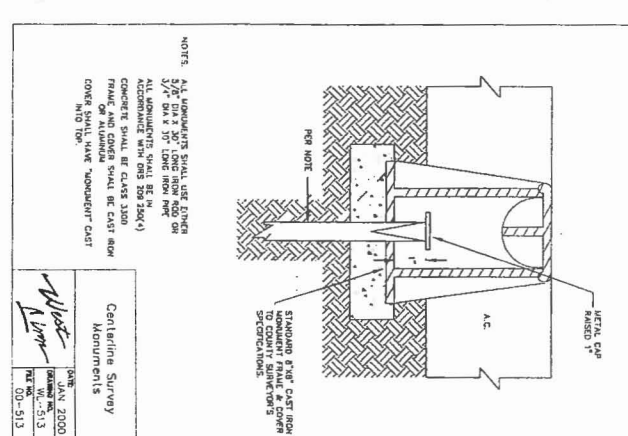
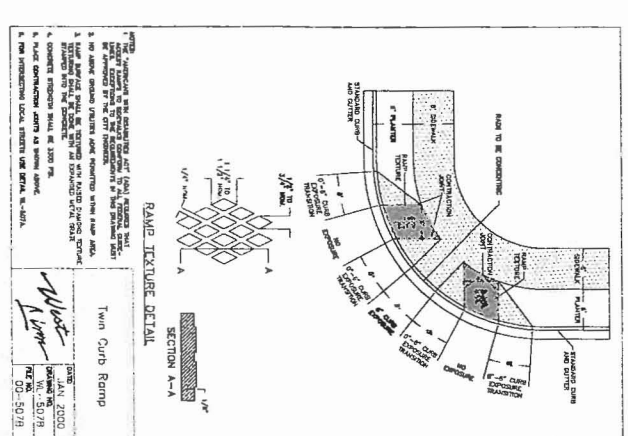
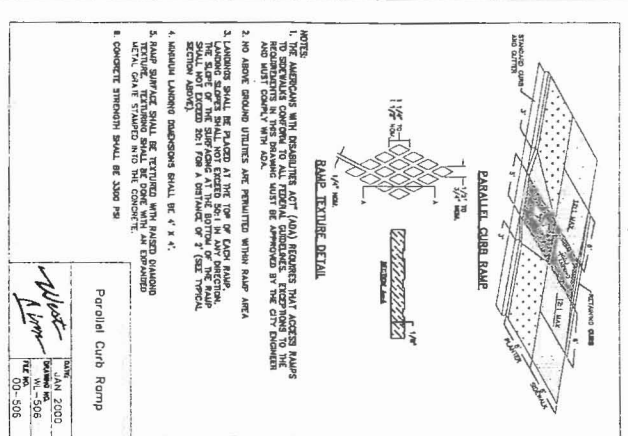
- NOTE:** THE CURB RAMP SHALL BE 1/4" THICK AT THE CURB AND 1/2" THICK AT THE WALKWAY.
1. CONCRETE SHALL HAVE A MINIMUM BREAKING STRENGTH OF 4000 PSI.
 2. CONSTRUCTION JOINTS:
 - A) TO BE PROTECTED.
 - B) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - C) EACH JOINT TO BE PROTECTED WITH A 1/2" THICK CURB JOINT.
 - D) EXPANSION JOINTS SHALL NOT BE USED.
 3. DRIVEWAY SHALL BE A MINIMUM 6" THICK.

Single Curb Ramp

DATE	JAN 2000
ISSUED	NOV 2000
REVISION	NOV 2002
NO.	DD-507A

NO.	DATE	REVISION	BY
1	11/06/06	MIN. ESSENTIAL	
2	02/18/07	REVISED PER CITY COMMENTS	
3	03/08/07	REVISED PER CITY COMMENTS	
4	05/24/07	REVISED PER CITY COMMENTS	

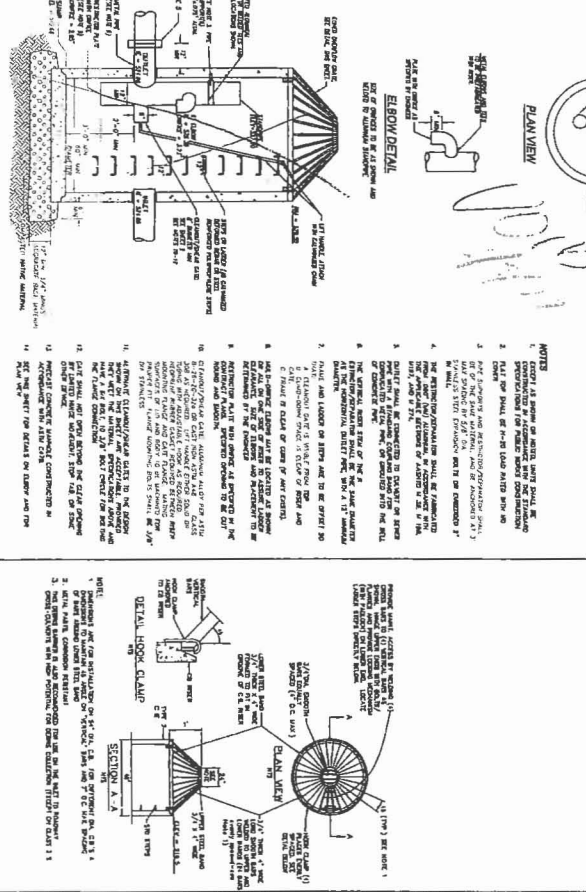
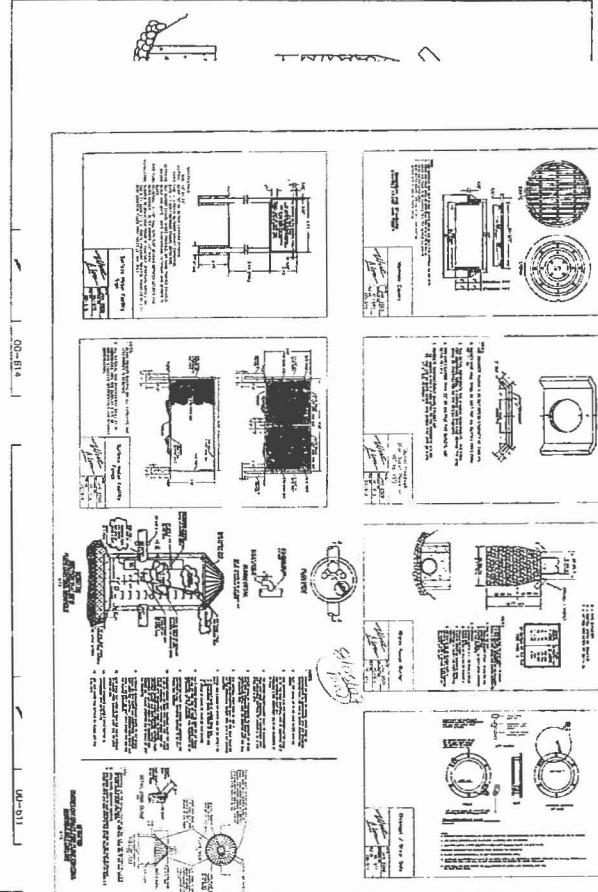
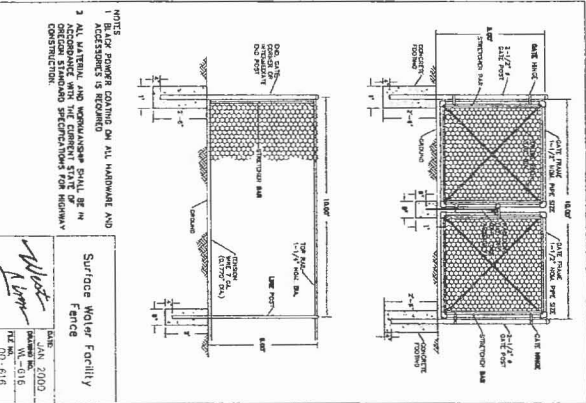
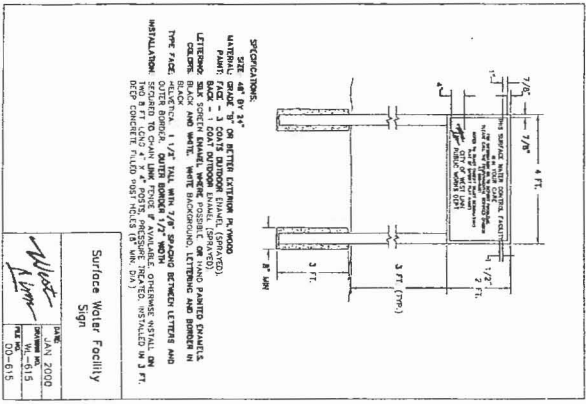
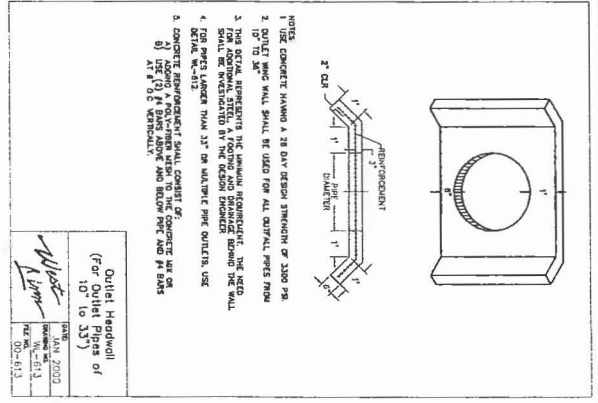
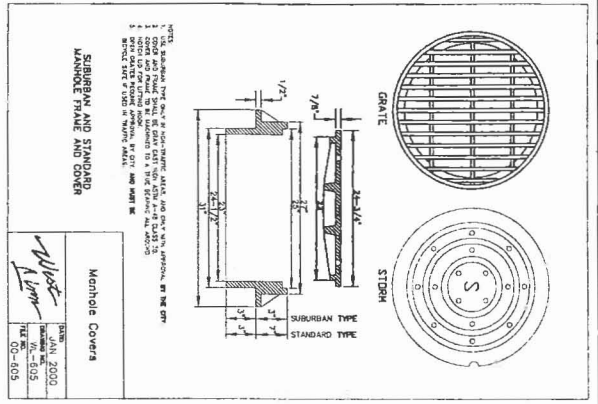
THE DETAILS ON THIS SHEET WERE PREPARED BY PUBLIC AGENCIES AND EQUIPMENT SUPPLIERS. THE RESPONSIBILITY OF THE PROJECT ENGINEER IS LIMITED TO THE SELECTION OF THESE DETAILS AS APPROPRIATE TO THE PROJECT.



NO.	DATE	REVISION	BY
1	01/15/07	ISSUED PER CITY COMMENTS	
2	03/05/07	REVISED PER CITY COMMENTS	
3	03/28/07	CLOSED PER CITY COMMENTS	

CONSTRUCTION DETAILS
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

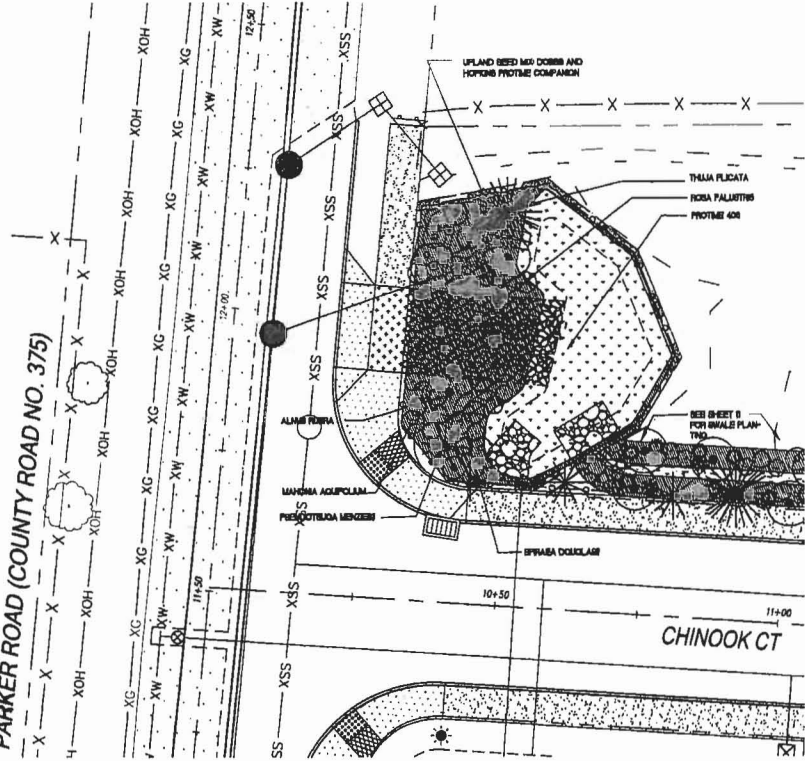
SFA Design Group, LLC
STRUCTURAL CIVIL LANDSCAPE PLANNING
9025 SW Washington Square Dr. Suite 550
Portland, Oregon 97223
P: (503) 641-8311 F: (503) 640-7885
sfa@sfadesigngroup.com



NO.	DATE	REVISION	BY
1	01/26/07	ISSUED PER CITY COMMENTS	
2	01/26/07	REVISED PER CITY COMMENTS	
3	01/26/07	REVISED PER CITY COMMENTS	

DESIGNED BY	DATE	BY
DRAWN BY	DATE	BY
CHECKED BY	DATE	BY
PROJECT NO.	108-011	RET
SCALE	AS SHOWN	

PARKER ROAD (COUNTY ROAD NO. 375)



WATER QUALITY AREA PLANTING PLAN

1" = 10'-0"



SFA Design Group, LLC
 2025 SW 10th Ave, Suite 200
 Portland, OR 97201
 P (503) 844-1111 F (503) 844-1100
 sfa@sfadesign.com

QTY	COMMON & BOTANICAL NAME	SIZE & CONDITION
1	WESTERN RED CEDAR THUJA PLICATA	3'-8" CONT./10' O.C.
1	DOUGLAS FIR PSEUDOTSUGA MENZIESII	3'-8" CONT./10' O.C.
4	RED ALDER ALNUS RUBRA	1-1/2" CAL.
8	SWAMP ROSE ROSA PALUSTRIS	2 GAL. @ 4" O.C.
10	DULL OREGON GRAPE BERBERIS NERVOSA	2 GAL. @ 4" O.C.
14	DOUGLAS SPIRAEA SPIRAEA DOUGLASSII	2 GAL. @ 30" O.C.

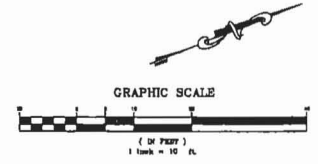
WET AREA SEED MIX - SEE NOTE FOR LOCATION- PROTIME 405

65% SF	AMERICAN BLOOMERGRASS/STICHOMMA BYZANTINUS	45%
	WESTERN MANNAGRASS/OLYCYRIA OCCIDENTALIS	45%
	COMMON RUSH /JUNCUS BALTICUS	5%
	SLOUGH SEDGE/CAREX OBLIQUA	5%

UPLAND SEED MIX - HOBBS & HOPKINS PROTIME COMPANION MIX SEE NOTE FOR LOCATION

90% SF	DWARF PERENNIAL RYE GRASS	80%
	LULIUM PERUVIANUM	10%
	CREeping RED FESCUE FESTUCA RUBRA	20%

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR CHECKING QUANTITIES OF PLANT MATERIAL. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES SHOWN.
 - STAGGER PLANTINGS SO THAT GROWTH LOOKS NATURAL.
 - TO ALL DISTURBED AREAS: APPLY UPLAND SEED MIX EXCEPT AS SHOWN ON PLAN.
 - WATER QUALITY AREA PLANTS AND PLANTING SHALL CONFORM TO WEST Linn STORM WATER QUALITY AND DETENTION STANDARDS 33.000. ALL OTHER PLANTINGS TO CONFORM TO AMERICAN NURSERY STANDARDS AND 1901.1. PLANT IN ACCORDANCE TO STANDARDS ADOPTED BY OREGON LANDSCAPE CONTRACTORS BOARD OLCB.
 - SEE CIVIL ENGINEERING DRAWINGS FOR STORMWATER POND ELEVATIONS, FENCE LINE, AND OTHER SPECIFIC INFORMATION.
 - MAINTAIN DURING THE FULL WARRANTY PERIOD OR UNTIL PLANTS ARE ESTABLISHED WHICHEVER IS FIRST.
 - AREA TO BE WATERED BY TEMPORARY IRRIGATION FED FROM WATER METER. PROVIDE DOUBLE CHECK VALVE. FINAL HEAD AND PIPE LAYOUT TO BE INCLUDED WITH FINAL PLANS.
 - WET AREA SEED MIX SHALL BE SUBSTITUTED WITH PLUGS AND CONTAINERS WHEN AREA IS SATURATED AND/OR FROM OCTOBER 1-MARCH 15. PLANTS TO BE SPACED AT 12" TO 24" O.C.



WATER QUALITY, DETENTION & WETLAND
 PLANTING PLAN
 PARKER ROAD SUBDIVISION
 WEST Linn, OREGON



NO.	DATE	REVISION	BY

DESIGNED BY	DATE	2/20/21
DRAWN BY	DATE	2/20/21
REVIEWED BY	DATE	2/20/21
PROJECT NO.	DATE	REF
SCALE	DATE	REF

SHEET	L1	OF	L2
PROJECT	PARKER ROAD		
NO.	18-911		
TYPE	ENGINEERING		

QTY'S COMMON & BOTANICAL NAME SIZE & CONDITION

- 1 DOUGLAS FIR PSEUDOTSUGA MENZIESII 8"-4" CONT./10' O. C.
- 16 WESTERN RED CEDAR THUJA PLICATA 8"-4" CONT./10' O. C.
- 51 RED ALDER ALNUS RUBRA 1"-12" CAL.
- 21 SWAMP ROSE ROSA PALMISTIS 2 GAL. @ 4" O.C.
- 14 DULL OREGON GRAPE BERBERIS NERVOSA 2 GAL. @ 4" O.C.
- 34 DOUGLAS SPIRAEA SPIREA DOUGLASSII 2 GAL. @ 3" O.C.
- 61 SWORD FERN POLYSTICHUM MUNITUM 1 GAL. @ 3" O.C.
- 13 SCOLEX WILLOW SALIX SCOLEXIANA 8 GAL. @ 3" O.C.

WET AREA SEED MIX - SEE NOTE FOR LOCATION- PROTIME 405
 780 SF AMERICAN SLOUGHGRASS BECKHAMMIA SYZIGACHNE 45%
 WESTERN MANHATTANRYE POLYCHLOA OCCIDENTALIS 45%
 COMMON RUSH JUNCUS BALTICUS 5%
 SLOUGH SEDGE CAREX OSHAUPA 5%

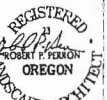
UPLAND SEED MIX - HOBBS & HOPKINS PROTIME COMPANION MIX SEE NOTE FOR LOCATION
 3,780 SF DWARF PERENNIAL RYE GRASS 80%
 LOUISIAN PERENNINE 20%
 CREEPING RED FESCUE FESTUCA RUBRA

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR CHECKING QUANTITIES OF PLANT MATERIAL. IF DISCREPANCIES OCCUR, DESIGN INTENT PREVAILS OVER QUANTITIES SHOWN.
 - STAGGER PLANTINGS SO THAT GROWTH LOOKS NATURAL.
 - TO ALL DISTURBED AREAS: APPLY UPLAND SEED MIX EXCEPT AS SHOWN ON PLAN.
 - WATER QUALITY AREA PLANTS AND PLANTING SHALL CONFORM TO WEST Linn STORM WATER QUALITY AND DETENTION STANDARDS 33.003. ALL OTHER PLANTINGS TO CONFORM TO AMERICAN NURSERY STANDARDS ANS 1280.1. PLANT IN ACCORDANCE TO STANDARDS ADOPTED BY OREGON LANDSCAPE CONTRACTORS BOARD OLCB.
 - SEE CIVIL ENGINEERING DRAWINGS FOR STORMWATER POND ELEVATIONS, FENCE LINE, AND OTHER SPECIFIC INFORMATION.
 - MAINTAIN ALL PLANTINGS DURING THE FULL WARRANTY PERIOD OR UNTIL PLANTS ARE ESTABLISHED WHICHEVER IS FIRST.
 - AREA TO BE WATERED BY TEMPORARY IRRIGATION FED FROM WATER METER. PROVIDE DOUBLE CHECK VALVE. FINAL HEAD AND PIPE LAYOUT TO BE INCLUDED WITH FINAL PLANS.
 - WET AREA SEED MIX SHALL BE SUBSTITUTED WITH PLUGS AND CONTAINERS WHEN AREA IS SATURATED AND/OR FROM OCTOBER 1 MARCH 15. PLANTS TO BE SPACED FROM 12" TO 24" O. C.

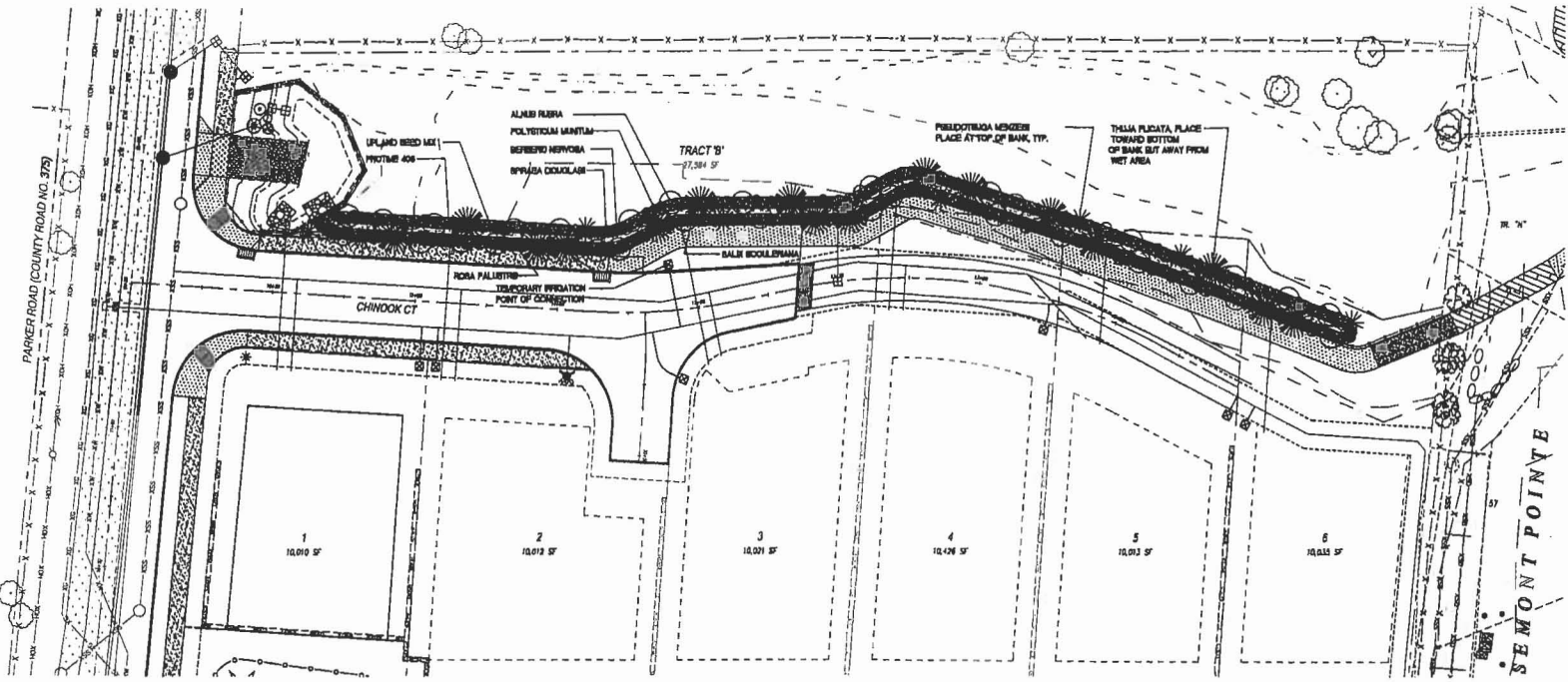


SFA Design Group, LLC
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 sfa@sfadesign.com

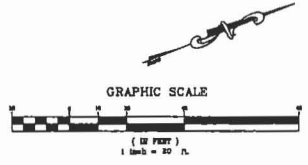
WATER QUALITY, DETENTION & WETLAND
 PLANTING PLAN
 PARKER ROAD SUBDIVISION
 WEST LINN, OREGON

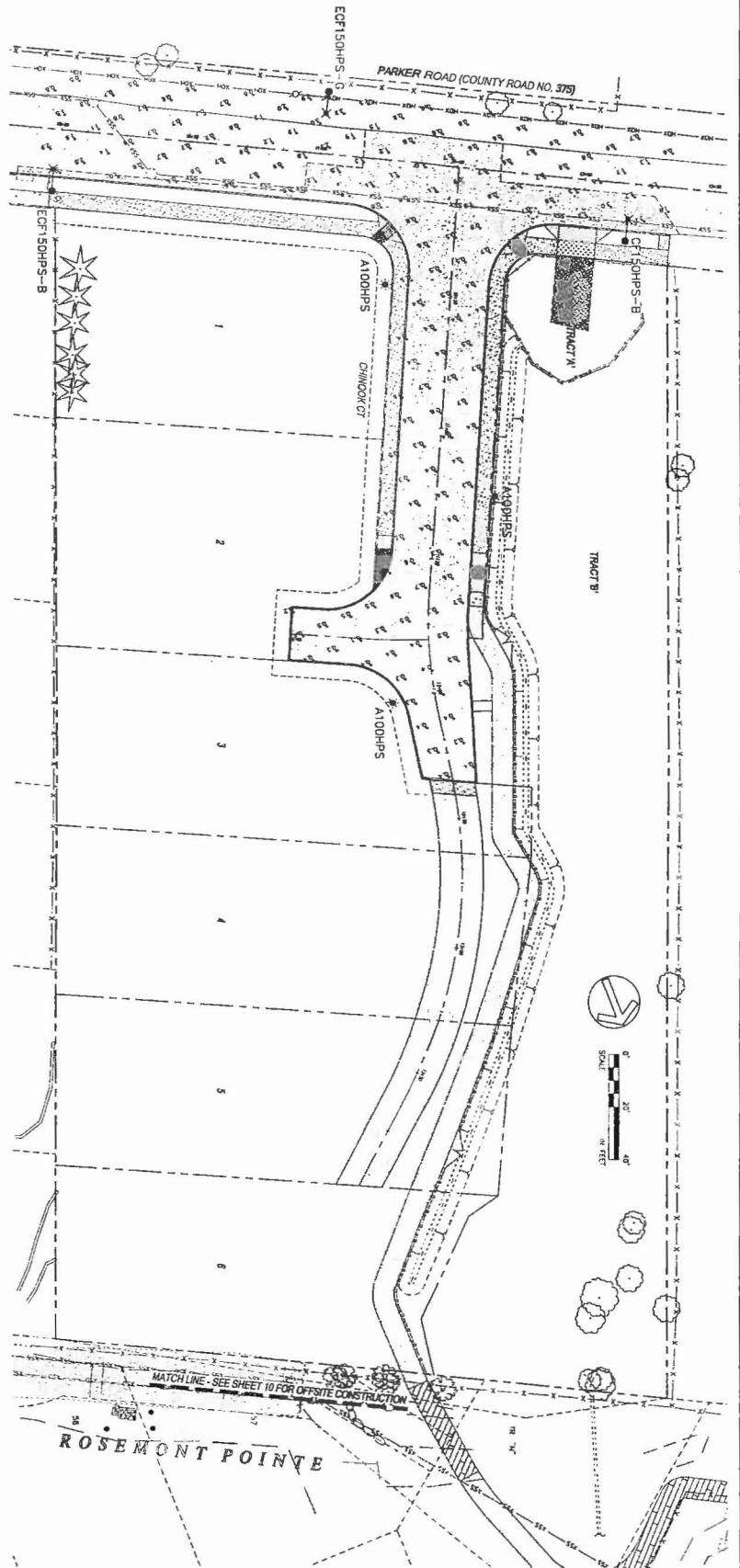


DESIGNED BY	DATE	ISSUED
DRAWN BY	DATE	REVISION
REVIEWED BY	DATE	NO. DATE
PROJECT NO.	SCALE	BY
SHEET	OF	REVISION
PROJECT	PAPER	NO. DATE
TYPE	ENGINEERING	



SWALE AREA PLANTING PLAN
 1" = 20'-0"





Symbol	Qty	Lot	Arrangement	Lumens	UF	Description
●	3	A100HPS	SINGLE	3500	0.80	100 HPS ACQUA / HET FLUORESC
○	1	CF150HPS-B	SINGLE	15000	0.80	150WPS COBBA HEAD FLAT LENS BROWN / 30" T. BROWN POLE
○	1	ECF150HPS-C	SINGLE	15000	0.80	150WPS COBBA HEAD FLAT LENS GRAY EXISTING
○	1	ECF150HPS-B	SINGLE	15000	0.80	150WPS COBBA HEAD FLAT LENS BROWN EXISTING

Lot	Code Type	Unit	Qty	Watt	Vol	Min	Avg Min	Max Min
A	1	FC	0.42	0.7	0.1	0.1	2.10	3.50

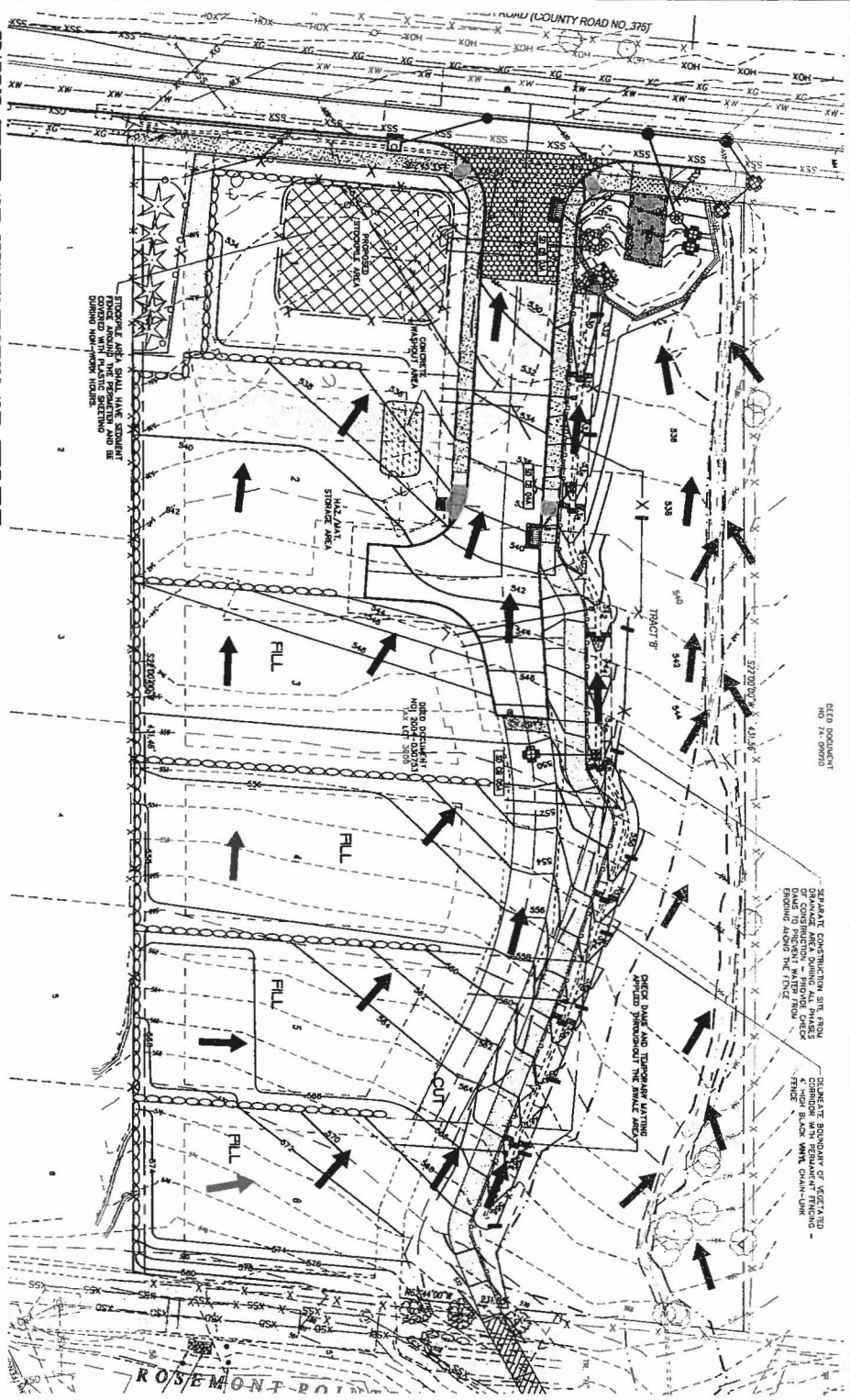
NOTES

1. ALL LIGHT FIXTURES SHALL BE OF THE MANUFACTURE OF THE MANUFACTURER SPECIFIED ON THE DRAWING. THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE LIGHT FIXTURES.
2. THE LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. THE LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. THE LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. THE LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. THE LIGHT FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PARKER ROAD

Street Lighting Design by
 LIGHTWORKS ELECTRIC COMPANY
 18290 SW Conardman Rd
 Sherwood, OR 97140
 Phone: 503-852-2880
 Fax: 503-852-2880

<p>THE DETAILS ON THIS SHEET WERE PREPARED BY PUBLIC AGENCIES AND EQUIPMENT SUPPLIERS. THE RESPONSIBILITY OF THE PROJECT ENGINEER IS LIMITED TO THE SELECTION OF THESE DETAILS AS APPROPRIATE TO THE PROJECT.</p>	<p>137</p>	<p>SFA Design Group, LLC STRUCTURAL, LEVEL 1 LAND USE PLANNING 9020 SW Washington Square Dr., Suite 350 Portland, Oregon 97223 P: (503) 641-6311 F: (503) 644-7965 sfa@sfgdesign.com</p>
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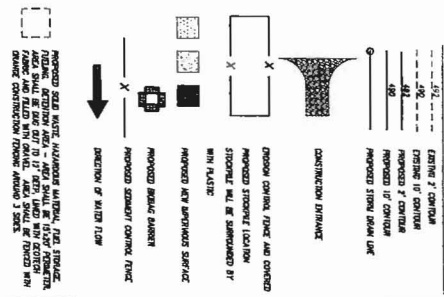
GRADING, STREET AND UTILITY EROSION AND SEDIMENT CONSTRUCTION NOTES:

1. REED USED FOR TEMPORARY OR PERMANENT SEEDING SHALL BE COMPOSED OF ONE OF THE FOLLOWING MATERIALS:
 - PERMANENT SEEDING: 50% TURFGRASS, 50% LEGUME
 - TEMPORARY SEEDING: 75% TURFGRASS, 25% LEGUME
2. SEED TO BE APPLIED TO EXPOSED SOILS IMMEDIATELY AFTER GRADING AND BEFORE ANY OTHER CONSTRUCTION ACTIVITIES. SEEDING SHALL BE APPLIED AT A RATE OF 100 POUNDS PER ACRE.
3. LONG TERM SOIL STABILIZATION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
4. TEMPORARY SOIL STABILIZATION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
5. SLOPE PROTECTION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
6. EROSION CONTROL MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
7. SLOPE PROTECTION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
8. VEGETATIVE STABILIZATION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
9. SLOPE PROTECTION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
10. EROSION CONTROL MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
11. VEGETATIVE STABILIZATION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.

EROSION AND SEDIMENT CONTROL BMP IMPLEMENTATION:

1. ALL BASE ERS MEASURES (SILT PROTECTION, SEDIMENT CONTROL, GRAVEL CONSTRUCTION) SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
2. ALL "SEDIMENT TRAPERS" TO BE INSTALLED AFTER GRADING SHALL BE INSTALLED IMMEDIATELY FOLLOWING ESTABLISHMENT OF PROPOSED GRADE AS SHOWN ON THESE PLANS.
3. LONG TERM SOIL STABILIZATION MEASURES INCLUDING VEGETATIVE STABILIZATION, SLOPE PROTECTION, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION AND FOR A MINIMUM OF ONE YEAR AFTER COMPLETION OF CONSTRUCTION.
4. THE STORM WATER FACILITY SHALL BE CONSTRUCTED AND LANSCAPED PRIOR TO THE STORM WATER INLET PROTECTION AND SITE FINISH.

LEGEND



EROSION CONTROL SEEDING ACTIVITIES SHOULD TAKE PLACE BEFORE SETBACKS. ANY AREA EXPOSED TO EROSION DURING CONSTRUCTION SHALL BE PROTECTED IMMEDIATELY BY VEGETATIVE STABILIZATION MEASURES AS SHOWN ON THESE PLANS.

ITEM	DESCRIPTION
1	PROPOSED CONCRETE SIDEWALK
2	PROPOSED CONCRETE DRIVEWAY
3	PROPOSED CONCRETE DRIVEWAY
4	PROPOSED CONCRETE DRIVEWAY
5	PROPOSED CONCRETE DRIVEWAY
6	PROPOSED CONCRETE DRIVEWAY
7	PROPOSED CONCRETE DRIVEWAY
8	PROPOSED CONCRETE DRIVEWAY
9	PROPOSED CONCRETE DRIVEWAY
10	PROPOSED CONCRETE DRIVEWAY
11	PROPOSED CONCRETE DRIVEWAY
12	PROPOSED CONCRETE DRIVEWAY
13	PROPOSED CONCRETE DRIVEWAY
14	PROPOSED CONCRETE DRIVEWAY
15	PROPOSED CONCRETE DRIVEWAY
16	PROPOSED CONCRETE DRIVEWAY
17	PROPOSED CONCRETE DRIVEWAY
18	PROPOSED CONCRETE DRIVEWAY
19	PROPOSED CONCRETE DRIVEWAY
20	PROPOSED CONCRETE DRIVEWAY

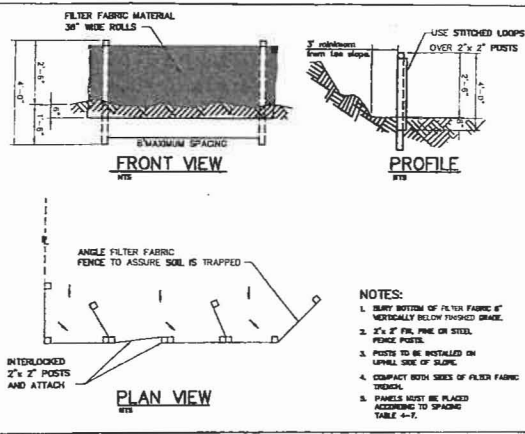


NPDES PERMIT PACKAGE
 GRADING, STREET AND UTILITY PLAN
 PARKER ROAD

SFA Design Group, LLC
 STRUCTURAL & CIVIL ENGINEERING
 9200 SW Washington Square Dr. Suite 350
 Portland, Oregon 97223
 P: (503) 641-4311 F: (503) 641-4395
 info@sfa-design.com

GRAPHIC SCALE
 1" = 50' (1:50)
 SHEET P3 OF P4
 PROJECT: PARKER ROAD
 DATE: 12/31/07
 SCALE: AS SHOWN

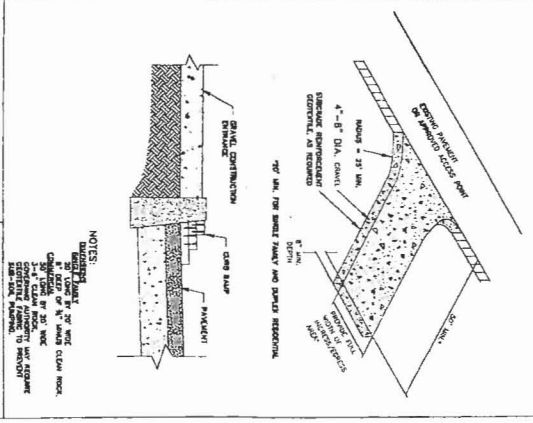
SEDIMENT FENCE



- NOTES:**
1. SLURRY BOTTOM OF FILTER FABRIC 4" VERTICALLY BELOW FINISHED GRADE.
 2. 2" x 2" PIP, PIPE OR STEEL FENCE POSTS.
 3. POSTS TO BE INSTALLED ON UPWIND SIDE OF SLOPE.
 4. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
 5. PANELS MUST BE PLACED ACCORDING TO SPACING TABLE 4-7.

Detail Drawing 4-18

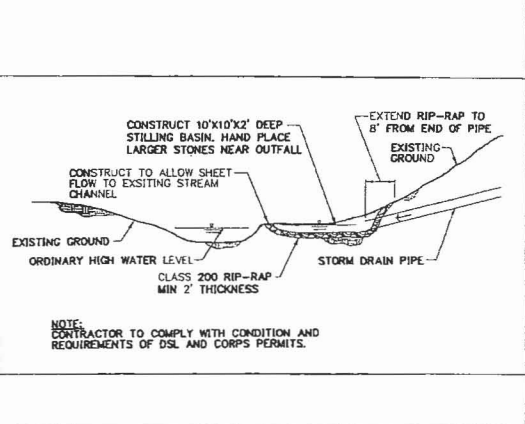
CONSTRUCTION ENTRANCE



- NOTES:**
1. MINIMUM 12" CURB REQUIRED.
 2. CURB TO BE 4" x 4" x 4" CONCRETE.
 3. CURB TO BE 4" x 4" x 4" CONCRETE.
 4. CURB TO BE 4" x 4" x 4" CONCRETE.
 5. CURB TO BE 4" x 4" x 4" CONCRETE.

Detail Drawing 4-3

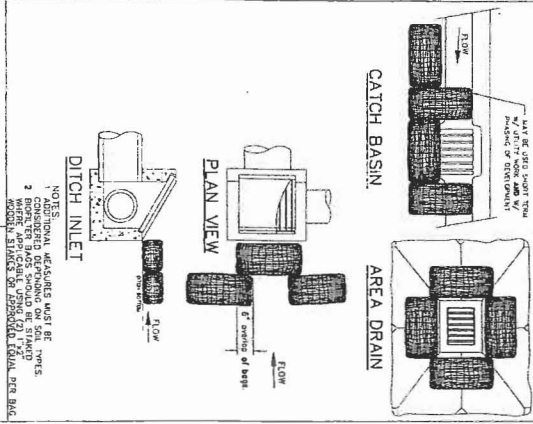
OUTLET PROTECTION STILLING BASIN



NOTE: CONTRACTOR TO COMPLY WITH CONDITION AND REQUIREMENTS OF DSL AND CORPS PERMITS.

Detail Drawing 4-10

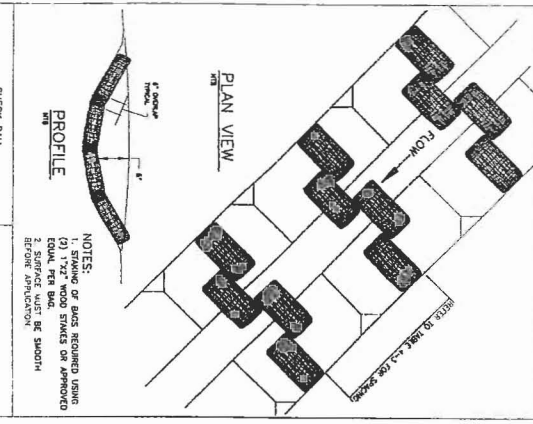
INLET PROTECTION TYPE 4



- NOTES:**
1. STAYING OF BARS REQUIRED USING EQUAL PER BAR.
 2. SURFACE MUST BE SMOOTH BEFORE APPLICATION.

Detail Drawing 4-24

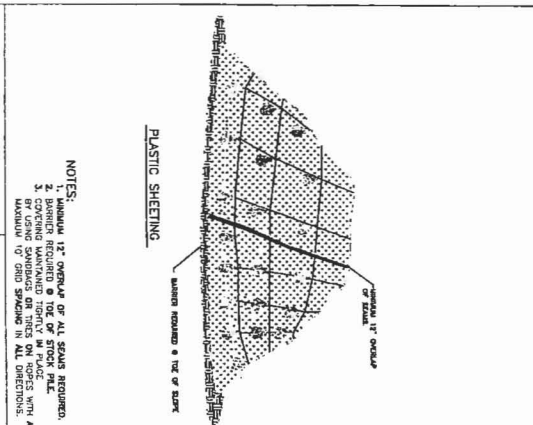
CHECK DAM 600 FILTER BAG



- NOTES:**
1. STAYING OF BARS REQUIRED USING EQUAL PER BAR.
 2. SURFACE MUST BE SMOOTH BEFORE APPLICATION.

Detail Drawing 4-14

PLASTIC SHEETING



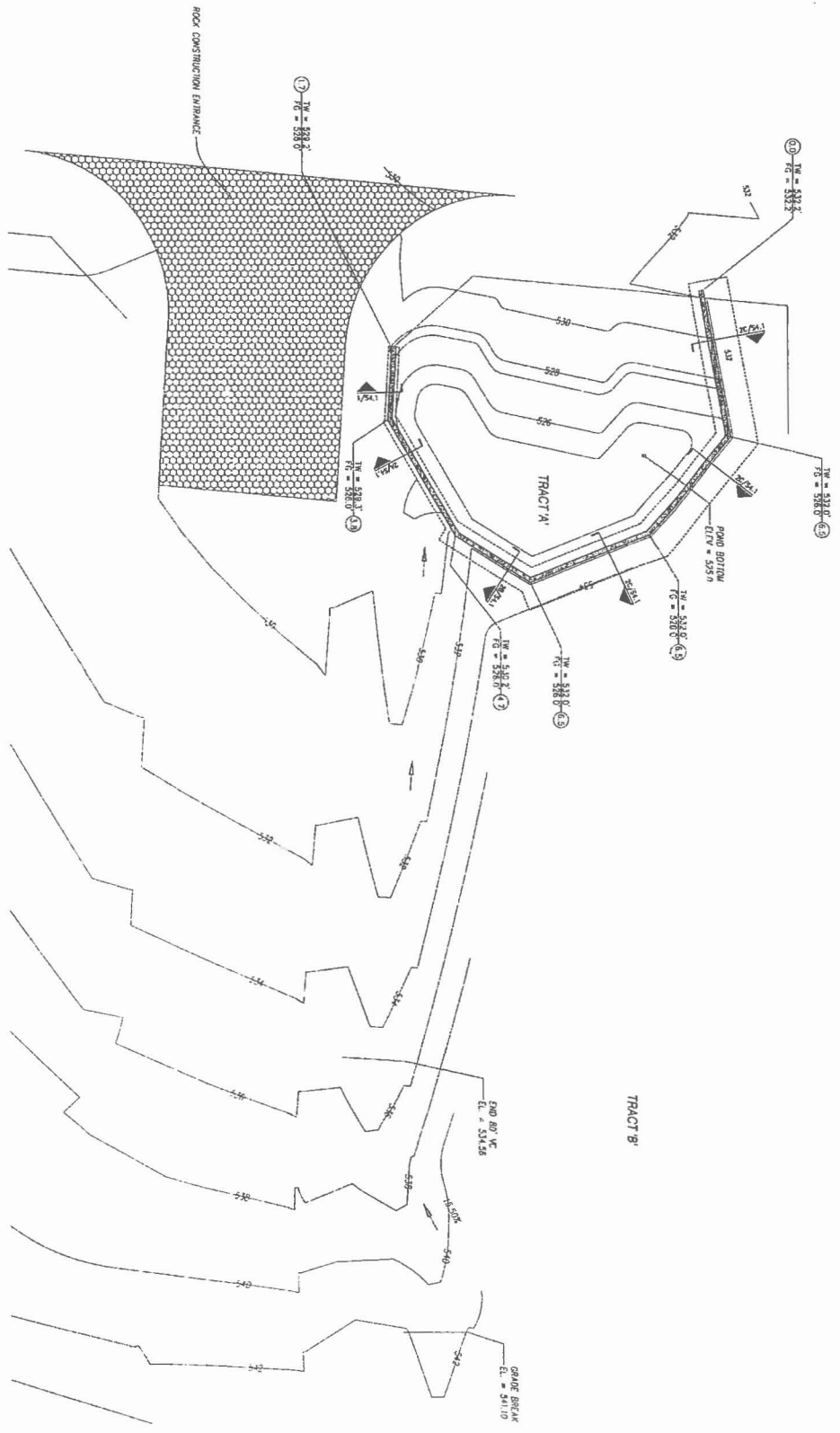
- NOTES:**
1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
 2. SEAMS TO BE SEALED WITH 12" WIDE TAPE.
 3. COVERING MAINTAINED THROUGHOUT CONSTRUCTION.
 4. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.

Detail Drawing 4-4

NO.	DATE	REVISION	BY

**NPDES PERMIT PACKAGE
EROSION/SEDIMENT CONTROL DETAILS
PARKER ROAD**

SFA Design Group, LLC
 8625 SW Washington Square Dr. Suite 300
 Portland, Oregon 97223
 P: (503) 641-8311 F: (503) 645-7985
 sfa@designgroup.com



RETAINING WALL PLAN

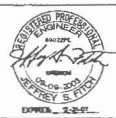
SCALE: 1/4" = 1'-0"

PLANNING:

1. ALL WORK EXCEPT TO CONCRETE, MASONRY, OR STEEL, IF PROPOSED GRADE SHALL BE FIELDWORK-ROCK.
2. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH 3000 PSI UNADDED CONCRETE.
3. UNADDED PORTLAND CEMENT SHALL BE CONSTRUCTED WITH 3500 PSI UNADDED CONCRETE.
4. REINFORCED CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH 1/2" DIA. REINFORCEMENT.
5. 1/2" DIA. REINFORCEMENT SHALL BE USED FOR ALL WALLS.
6. ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
7. ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.

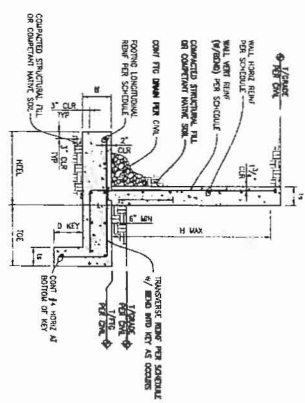
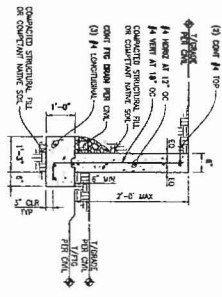
NO.	DATE	REVISION	BY
0	11/06/06	INITIAL SUBMITTAL	
1	03/19/07	REVISED PER CITY COMMENTS	

DESIGNED BY: DATE:
 DRAWN BY: DATE:
 REVIEWED BY: DATE:
 PROJECT NO.: REF:
 SCALE:



RETAINING WALL PLAN
PARKER ROAD SUBDIVISION
WEST LINN, OREGON

SFA Design Group, LLC
 1100 SW Washington Square St., Suite 300
 Portland, Oregon 97228
 P: (503) 841-8311 F: (503) 840-7868
 www.sfa-design.com

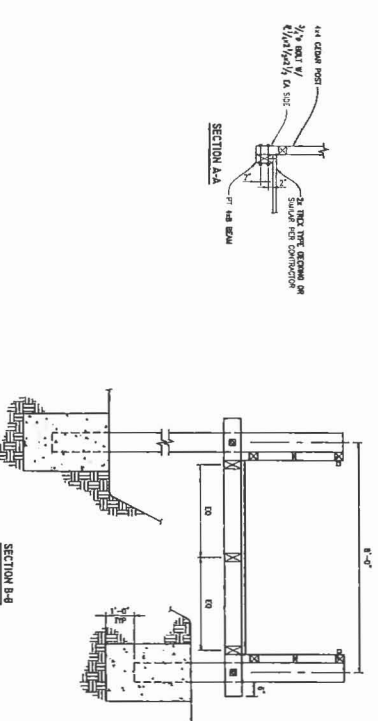
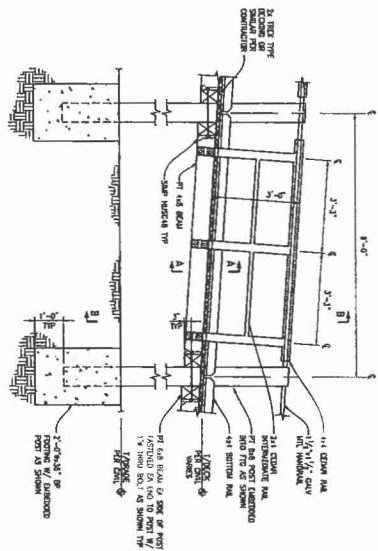


WALL TYPE	H	D	REIN	FOOTING	FOOTING H	FOOTING W	FOOTING REIN
1A	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	1A AT 12" OC
1B	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	1B AT 12" OC
2A	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	2A AT 12" OC
2B	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	2B AT 12" OC
3A	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	3A AT 12" OC
3B	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	3B AT 12" OC
4A	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	4A AT 12" OC
4B	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	4B AT 12" OC
5A	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	5A AT 12" OC
5B	4'-0"	8"	RE	1'-0"	1'-0"	1'-0"	5B AT 12" OC

2. RETAINING WALL (NON-ROADWAY) SCALE: 1/4"=1'-0"

1. RETAINING WALL SCHEDULE

WALL TYPE	CONCRETE SLAB	CONCRETE FOOTING	CONCRETE SLAB	CONCRETE SLAB	CONCRETE SLAB
1A	22	17	14	14	14
1B	22	17	14	14	14
2A	22	17	14	14	14
2B	22	17	14	14	14
3A	22	17	14	14	14
3B	22	17	14	14	14
4A	22	17	14	14	14
4B	22	17	14	14	14
5A	22	17	14	14	14
5B	22	17	14	14	14



SCALE: 1/4"=1'-0"

3. BOARDWALK CROSS SECTION SCALE: NONE

4. BOARDWALK CROSS SECTION SCALE: 1/4"=1'-0"

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- CONCRETE SHALL BE 3000 PSI STRENGTH.
- REINFORCING BARS SHALL BE #4 UNLESS OTHERWISE NOTED.
- ALL REINFORCING BARS SHALL BE LAP SPICED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.
- ALL REINFORCING BARS SHALL BE LAPPED AT 40 BAR DIAMETERS.

LAP SPICE AND DEVELOPMENT LENGTH SCHEDULE FOR RETAINING WALLS AND FOOTINGS

BOARDWALK CROSS SECTION

RETAINING WALL SCHEDULE

RETAINING WALL/FOOTING SCHEDULE

BOARDWALK CROSS SECTION

SCALE: 1/4"=1'-0"

NO	DATE	REVISION	BY
0	11/05/16	INITIAL SUBMITTAL	
1	03/15/17	REVISE PER CITY COMMENTS	

DESIGNED BY: CM DATE: 03/15/17
 DRAWN BY: BTM DATE: 03/15/17
 REVIEWED BY: JF DATE: 03/15/17
 PROJECT NO: 05-012 REF: _____
 SCALE: _____



RETAINING WALL & BOARDWALK DETAILS
 PARKER ROAD SUBDIVISION
 WEST LINN, OREGON

SFA Design Group, LLC
 STRUCTURAL, CIVIL & LAND USE PLANNING
 9029 SW Washington Square Dr. Suite 200
 Portland, Oregon 97223
 P: (503) 641-4311 F: (503) 643-7982
 www.sfaengineering.com

WEST LINN PLANNING COMMISSION

FINAL DECISION NOTICE

SUB 06-03/MISC 06-12

**IN THE MATTER OF A 6-LOT SUBDIVISION AND
WETLANDS PERMIT AT 2929 PARKER ROAD**

At their regular meeting of October 12, 2006, the West Linn Planning Commission held a public hearing to consider the request by Renaissance Development to approve a 6-lot subdivision and wetlands permit. The site is located at 2929 Parker Road. The approval criteria for a subdivision are found within Chapter 85 of the Community Development Code (CDC), and the wetland permit was judged based upon the criteria found in CDC Chapter 30. The hearing was conducted pursuant to the provisions of CDC, Chapter 99.

The hearing commenced with a staff report presented by Gordon Howard, Senior Planner. The applicant provided a presentation. No additional public testimony was received. The public hearing was closed.

A motion was made and seconded to adopt the findings presented in the staff report and approve the proposed subdivision and wetland permit, with the following conditions of approval.

1. The approved tentative plat is that shown on Sheet 1 of the applicant's revised submittal, dated September 2006.
2. The applicant shall adjust the boundaries of the lots and access easements so that each lot has at least 10,000 square feet of area exclusive of any access easements.
3. The new public street shall be dedicated with a width of 40 feet, a pavement width of 28 feet, and 6-foot sidewalks on each side, to the point where the hammerhead turnaround begins. No sidewalks shall be required in the hammerhead area.
4. A pedestrian access easement shall be placed over portions of the pedestrian pathway not within the publicly dedicated tract, and shall begin at the termination of the sidewalk on the east side of the proposed public street.
5. The applicant shall submit a proposed street name for the new public street, to be approved by the Planning Director.
6. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing at the location as shown on the tentative plan to protect the trees at the southeast corner of the site. The city arborist shall inspect and approve this location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.
7. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing along the entire eastern boundary of the riparian and wetland transition area and at the boundary of the storm detention pond located adjacent to Parker Road. City staff shall inspect and verify the proper location prior to the start of work. The fencing shall remain in place throughout the development of the site and

construction of the homes, to be removed only upon the completion of all construction activity.

8. The applicant shall implement the proposed mitigation and revegetation plan for the wetland and riparian area. The plan must be completed, except for any ongoing maintenance activities, prior to the recordation of the final plat.
9. Once the protective fencing is removed, the protected wetland and riparian area shall be identified with City-approved permanent markers at all boundary direction changes and at 30- to 50-foot intervals that clearly delineate the extent of the protected area.
10. The applicant must pay contribution towards future traffic signal at intersection of Salamo/Rosemont/Santa Anita. Applicant's traffic engineer must determine trips contributed to the intersection by applicant's proposed subdivision. Contribution has been established at \$1,071.43/PM peak hour trip.
11. All public improvements must comply with the City of West Linn Public Works Design and Construction Standards.
12. The six-inch water main serving subdivision must be looped between Parker Road and Coho Lane through a public easement.
13. No retaining walls shall be constructed in public utility easements unless approved by the City Engineer.
14. All required City, State, and Federal permits must be obtained prior to working in the natural drainageway, wetland area, and transition area.
15. Public improvements in Parker Road must match and coordinate with Maxfield and Parker Crest subdivisions.

This decision will become effective 14 days from the date of mailing of this final decision as identified below. Those parties with standing (i.e., those individuals who submitted letters into the record, or provided oral or written testimony during the course of the hearing, or signed in on the attendance sheet at the hearing, or who have contacted City Planning staff and made their identities known to staff) may appeal this decision to the West Linn City Council within 14 days of the mailing of this decision pursuant to the provisions of Chapter 99 of the Community Development Code. Such appeals would require a fee of \$400 and a completed appeal application form together with the specific grounds for appeal to the Planning Director prior to the appeal-filing deadline.



JOHN KOVASH, CHAIR
WEST LINN PLANNING COMMISSION

Oct 25, 2006
DATE

Mailed this 25 day of October, 2006.

Therefore, this decision becomes final at 5 p.m., November 8, 2006.

**City of West Linn
PLANNING & BUILDING
DEPT.
LAND USE ACTION**

TO: West Linn Planning Commission
FROM: West Linn Planning Staff (Gordon Howard, Senior Planner)
DATE: October 12, 2006
FILE NO: SUB 06-03
SUBJECT: Six-lot subdivision of property and Wetlands at 2929 Parker Road

Planning Director's Initials GH City Engineer's Initials GH

SPECIFIC DATA

OWNER: Gary and Nancy Hogue, 2961 Ascot Circle, West Linn, OR 97068

APPLICANT: Renaissance Homes, Inc., 16771 SW Boones Ferry Rd., Lake Oswego, OR 97035

ENGINEER: SFA Design Group, 9020 Washington Square Road, Suite 350
Portland, OR 97068

SITE LOCATION: 2929 Parker Road

SITE SIZE: 2.3 acres

LEGAL DESCRIPTION: 2S 1E 25CD, Tax Lot 3900

COMP PLAN DESIGNATION: Low-Density Residential

ZONING: R-10, Single-Family Residential

APPROVAL CRITERIA: CDC Chapter 85, Subdivisions, Chapter 30 Wetlands

120-DAY RULE: The application was deemed complete on July 26, 2006. On September 14 the applicant agreed to stop the 120-day clock until a

rescheduled hearing date of October 12, adding 28 days to the 120-day timeline. Therefore, the City must exhaust all local review by December 21, 2006 per the 120-day rule.

PUBLIC NOTICE: Mailed public notice to property owners within 500 feet on August 22, 2006. The property was posted on August 28, 2006. The notice was also posted on the city's website. Newspaper notice appeared in the West Linn Tidings on August 31, 2006. The September 14, 2006 hearing date was continued to October 12, 2006 by action of the Planning Commission. Therefore, the public notice requirements of the West Linn Community Development Code have been met.

SPECIFIC PROPOSAL

The site was annexed to the City of West Linn in September 2005. It has a gentle uphill slope from its southern boundary along Parker Road. A natural drainageway runs along the western boundary of the site, but is diffused and results in wetland areas in the western area. To the north of the site is land being developed as the Rosemont Pointe subdivision. To the east is the Parker Summit subdivision, developed in the 1990's, along Coho Lane, with 7,000 square foot lots. To the west is land in Clackamas County.

The applicant proposes to divide the 2.9-acre property into six residential lots and an open space lot, covering wetlands and drainage areas on the site. Each of the residential lots would be about 10,000 square feet in size (pursuant to the site's R-10 zoning), and a 32,000 square foot open space lot would encompass the wetlands and drainage areas.

The applicant's original design proposed that four of the lots take access to Parker Road via a private street. The northerly two lots would have taken access from a private easement road created as part of the Rosemont Pointe subdivision, also controlled by Renaissance Homes, coming from Coho Lane to the east. However, in the September 14 report staff recommended denial of the application without a redesign to have all six lots take access to Parker Road. The applicant has submitted a revised plan showing all six lots with access to Parker, abandoning proposals to use the private easement to the north.

The applicant proposes to fill a small part of the wetland area adjacent to Parker Road (1,020 square feet of the 12, 184 square feet of existing wetland area on the site). The applicant proposes an on-site wetland mitigation area of 1,532 square feet (1.5 times the wetland area destroyed), along with a general cleanup and revegetation of the wetland area with native plants. The applicant also proposes a pedestrian pathway between the six residential lots and the wetland area, connecting Parker Road to the south with a trail being built as part of the ~~Rosemont Pointe~~ subdivision to the ~~north~~.

Parker Road ? Jeff

Replanting Transition areas and wetlands that are ~~are~~ in a degraded state.

MAJOR ISSUES

Orientation and Access of the Proposed Lots

The applicant originally proposes four of the lots take access from a private street on Parker Road, and two of the lots take access via an access easement shared with Rosemont Pointe, coming off Coho Lane to the east.

The relevant code sections are as follows:

CHAPTER 48: ACCESS

48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES

...

D. Access to five or more single-family homes shall be by a street built to full construction code standards. All streets shall be public. This full street provision may only be waived by variance.

CHAPTER 85: LAND DIVISIONS

85.200 APPROVAL CRITERIA

B. Blocks and Lots

...

2. Sizes. The recommended block size is 400 feet in length to encourage greater connectivity within the subdivision. Blocks shall not exceed 800 feet in length between street lines, except for blocks adjacent to arterial streets or unless topographical conditions or the layout of adjacent streets justify a variation. The recommended minimum distance between intersections on arterial streets is 500 feet. Designs of proposed intersections shall demonstrate adequate sight distances to the City Engineer's specifications.

...

7. Flag Lots. Flag lots can be created where it can be shown that no other reasonable street access is possible to achieve the requested land division. A single flag lot shall have a minimum street frontage of 15 feet for its accessway. Where two to four flag lots share a common accessway, the minimum street frontage and accessway shall be 8 feet in width per lot. Common accessways shall have mutual maintenance agreements and reciprocal access and utility easements.

Based upon the staff recommendation, the applicant has submitted a redesigned proposal that has all six lots taking access from a public street running north from Parker Road. Staff believes that this layout:

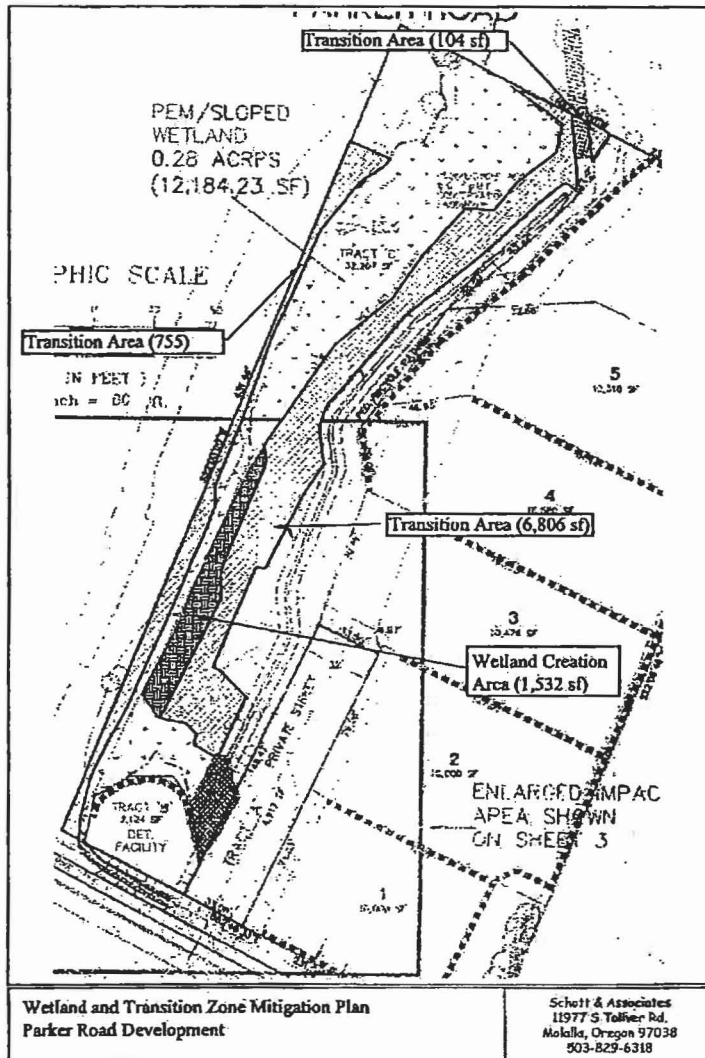
1. Preserves the privacy of lots on Coho Lane by having the back yards of all six lots facing the Coho Lane back yards.
2. Does not significantly increase traffic conflicts on Parker Road – since the proposed street is a dead-end, it will never have more than six homes using it.
3. Does not increase impacts to the wetland area over the applicant's original private street proposal, since a public right of way of 40 feet is proposed, the same width as the private drive proposed by the applicant.

Staff supports the applicant's redesign and recommends that the Planning Commission approve it.

Wetlands Modifications

The site contains a natural drainageway and wetlands in its western segment, stretching from the north end of the property to the south end along Parker Road. The applicant has submitted a Wetland and Transition Area Mitigation Plan, prepared by biologists Schott and Associates, to address the impact of the proposed subdivision upon the site's wetlands. The site contains 12.184 square feet of wetland area, and the applicant proposes to eliminate 1.020 square feet of these wetlands. To mitigate this impact, the applicant proposes to create an additional 1.532 square feet (1.5 times the area to be eliminated) of wetlands adjacent to the existing wetland area.

The wetland areas on the site are illustrated in the following map taken from the applicant's submitted wetland report.



As shown on the map, the applicant proposes to remove 1,020 square feet of wetlands on the periphery of the wetland area, and would provide the replacement wetland at a point where the wetland has been channeled into a ditch in the past, thus providing a better and more cohesive wetland corridor through the site. The wetlands report provided by the applicant found that the site actually had two distinct wetland areas, connected by a ditch. The mitigation area would be adjacent to the ditch, essentially recreating the natural condition that existed before the ditch was dug many years ago. The applicant also proposes transition areas with appropriate native vegetation to replace non-native and invasive species that meet the buffers required by the Community Development Code (a minimum of 30 feet). The applicant has also applied for the necessary permits from the Oregon Division of State Lands and the United States Army Corps of Engineers.

Finally, the applicant has completed an alternatives analysis also required by the West Linn CDC, showing that the alternatives have other, significant impacts resulting in problems with other sections of the CDC. The basic problem is the that area proposed for removal “juts out” into the eastern portion of the site, and protection of it would result in impacts to site access that would result in a much less desirable overall project, or no project at all. The proposed mitigation area would, in a sense, consolidate the wetlands area on the site into a cohesive riparian corridor, better protected from the impacts of adjacent development than the wetland area to be removed could ever be.

Therefore, staff recommends that the applicant’s proposed wetland mitigation plan be accepted by the Planning Commission and incorporated into any project that the Commission may approve for this site.

Location of Storm Drainage Pond

The applicant has located the proposed storm drainage detention and treatment facility at the southwest corner of the site. The location is appropriate in two respects: it is adjacent to a public street for ease of future maintenance, and it is at the lower elevation of the property.

In the September 14, 2006 report the City Engineer expressed concerns about the location of the storm pond in two respects: 1) it is adjacent to the wetland area, and thus its creation may have negative impacts upon the wetland; and 2) its location requires a lateral storm line several hundred feet long along Parker Road to the east until it connects with an existing storm drainage culvert crossing Parker Road.

Upon further review and analysis, the City Engineer has changed his position.

First, the proposed storm pond will be built at the same time as the applicant’s proposed changes to the wetlands on the site, removing approximately 1,000 square feet of wetland area adjacent to the storm pond and mitigating its loss with approximately 1,500 square feet of new wetland area farther north. Also, the applicant will be implementing a revegetation plan for the remaining wetland areas immediately north of the storm pond site contemporaneously with the construction of the storm pond. Using proper construction techniques, and with appropriate supervision, the City Engineer is confident that the construction of the storm pond will not negatively impact the wetlands.

Second, the City Public Works Department will have ongoing access to the storm pond for maintenance purposes via both Parker Road and the new public street to be built by the applicant. There will be no need to enter the wetland area to conduct on-going maintenance.

Third, the lateral storm line along the north side of Parker Road cannot be avoided under any scenario. The culvert under Parker Road is located more than 100 feet beyond the eastern boundary of this subdivision, east of Coho Lane. Even if the storm pond were

placed on the east end of this subdivision, the applicant would be required to build a long lateral storm line. Therefore, the applicant's proposed placement of the storm pond does not result in impacts that are mitigable with another alternative pond location.

Therefore, staff recommends Planning Commission acceptance of the applicant's proposed storm pond location.

PUBLIC COMMENTS

While no written comments have been received, staff has had conversations with three property owners adjacent to the site on Coho Lane. Two of the property owners were opposed to the applicant's original submittal, but are now satisfied that all access from the six proposed lots will be to Parker Road. The third property owner, at the corner of Coho Lane and Parker Road, expressed satisfaction that the trees on the property perimeter adjacent to their property are proposed for preservation.

RECOMMENDATION

Staff recommends that the Commission adopt the applicant's proposed findings (with staff modifications as contained within the Addendum), and approve the proposed subdivision as revised, with the following conditions of approval:

1. The approved tentative plat is that shown on Sheet 1 of the applicant's revised submittal, dated September 2006.
2. The applicant shall adjust the boundaries of the lots and access easements so that each lot has at least 10,000 square feet of area exclusive of any access easements.
3. The new public street shall be dedicated with a width of 40 feet, a pavement width of 28 feet, and 6-foot sidewalks on each side, to the point where the hammerhead turnaround begins. No sidewalks shall be required in the hammerhead area.
4. A pedestrian access easement shall be placed over portions of the pedestrian pathway not within the publicly dedicated tract, and shall begin at the termination of the sidewalk on the east side of the proposed public street.
5. The applicant shall submit a proposed street name for the new public street, to be approved by the Planning Director.
6. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing at the location as shown on the tentative plan to protect the trees at the southeast corner of the site. The city arborist shall inspect and approve this location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.
7. Prior to commencement of any site clearing or grading, the applicant shall place anchored and secured chain link fencing along the entire eastern boundary of the riparian and wetland transition area and at the boundary of the storm detention

pond located adjacent to Parker Road. City staff shall inspect and verify the proper location prior to the start of work. The fencing shall remain in place throughout the development of the site and construction of the homes, to be removed only upon the completion of all construction activity.

8. The applicant shall implement the proposed mitigation and revegetation plan for the wetland and riparian area. The plan must be completed, except for any ongoing maintenance activities, prior to the recordation of the final plat.
9. Once the protective fencing is removed, the protected wetland and riparian area shall be identified with City-approved permanent markers at all boundary direction changes and at 30- to 50-foot intervals that clearly delineate the extent of the protected area.
10. The applicant must pay contribution towards future traffic signal at intersection of Salamo/Rosemont/Santa Anita. Applicant's traffic engineer must determine trips contributed to the intersection by applicant's proposed subdivision. Contribution has been established at \$1,071.43/peak hour trip. *peak hour*
PM trips
~~evening peak~~
11. All public improvements must comply with the City of West Linn Public Works Design and Construction Standards.
12. The six-inch water main serving subdivision must be looped between Parker Road and Coho Lane through a public easement.
13. No retaining walls shall be constructed in public utility easements. *unless approved by Eng. dept.*
14. All required City, State, and Federal permits must be obtained prior to working in the natural drainageway, wetland area, and transition area.
15. Public improvements in Parker Road must match and coordinate with Maxfield and Parker Crest subdivisions.

October 12, 2006

TO: WEST LINN PLANNING COMMISSION

FROM: GORDON HOWARD

SUBJECT: 2929 PARKER ROAD, 6-LOT SUBDIVISION (FILE SUB 06-03)

Staff has a minor change to one of the recommended conditions of approval, as follows (underlined and bold language is proposed to be added):

13. No retaining walls shall be constructed in public utility easements **unless approved by the City Engineer.**

While no buildings or structures are allowed to be built within utility easements in West Linn, the City Engineer has a process for individualized consideration of fences and retaining walls, and may approve them administratively if there will be no significant impact upon any existing or proposed utilities.

P/developmentreview/sub2006/sub 06-03 retaining wall change