



**Parsons
Brinckerhoff**

400 SW Sixth Avenue
Suite 802
Portland, OR 97204-1628
503-274-8772
Fax: 503-274-1412

April 27, 2010

Tom Soppe, Associate Planner
West Linn Planning Department
22500 Salamo Road
West Linn, OR 97068

RE: CUP-10-02/DR-10-03/VAR-10-04/MIS-10-06 Bolton Primary School

Dear Mr. Soppe,

In response to your April 12th letter indicating the Design Review application was incomplete, we made the requested changes. Attached are four sets of the narrative, civil and landscaping plan sheets, reduced 11X17-inch versions of the plan sheets, and a CD of all the materials.

The information related to the Community Development Code sections in your letter have been provided in the following manner:

- **60.060(C)** - The neighborhood meeting materials are included. As I have indicated to you, an audio tape of the neighborhood meeting was not recorded by the district or the neighborhood. A waiver from this requirement in CDC 99.038(5)e is requested.
- **60.080, 55.120 & 75.070** - An overall site plan has been created and the necessary information provided (C1.01).
- **60.080(B)(1-3)** - This information is provided on sheets C1.00 and C1.01.
- **60.080(B)(6)(a,c,d)** - This information is provided on sheets C1.00 and C1.01.
- **60.080(C)** - Contour information is made more legible at the 11x17 size in the vicinity of the addition.
- **75.070(B)(1)** - This information is provided on sheets C1.00 and C1.01.
- **55.090** - This is done on pages 11 and 12 of the application narrative.
- **55.100(A)(10)** - Landscaped area calculations are now shown on sheet L1.0.
- **55.120(A), (B) & (G)(1)** - Additional information has been added to show surrounding properties and streets.
- **55.120(D)** - The stream corridor is shown on sheets C1.00 and 1.01.
- **55.120(J)** - Lighting information is provided on sheets E0.1 and E2.2.
- **55.120(K)** - Door locations are shown on sheet A1.00.
- **Engineering Department** - The utility easements are shown on sheet C1.00.

In addition, with the recalculation of the building floor area, it became apparent that the building lot coverage would slightly exceed the 35% standard. The application narrative and variance findings have been amended to reflect this.

Please contact me if you need anything further.

Sincerely,

A handwritten signature in black ink, appearing to read "Keith S. Liden". The signature is written in a cursive style with a large initial "K".

Keith S. Liden, AICP

cc: Bob Teeters, WLWV School District
Thea Wayburn, DOWA

BOLTON PRIMARY SCHOOL
Conditional Use, Class I Design Review,
Non-Conforming Structure and Variance
April 27, 2010

APPLICATION SUMMARY

For Conditional Use, Class I Design Review, Alteration of a Non-Conforming Structure, and Variance approval to construct a 2,500 square-foot addition to an existing 53,220 square foot primary school located on a 3.3-acre site. The addition is for a library expansion and renovation.

GENERAL INFORMATION

Location

5933 Holmes St. (2S 2E Section 30 BC, Tax Lot 2300). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
P. O. Box 35
West Linn, OR 97068
Phone: 503-673-7976
E-mail: woodleyt@wlwv.k12.or.us

Applicant's Representatives

Keith Liden, AICP
Parsons Brinckerhoff
400 S. W. 6th Avenue, Suite 802
Portland, OR 97204
Phone: 503-478-2348
Fax: 503-274-1412
E-mail: liden@pbworld.com

Thea Wayburn
Dull Olson Weekes Architects
907 S. W. Stark Street
Portland, OR 97205
Phone: 226-6950
Fax: 273-9192
E-mail: TheaW@dowa.com

Plan Sheets and Supplemental Information

Cover Sheet

C1.00	Existing Conditions Project Area
C1.01	Site Plan
C1.02	Grading Plan
C1.03	Utility Plan
L1.0	Landscape Plan
A1.00	Existing Site Plan
A2.01	Lower Level Floor Plans
A2.02	Upper Level Floor Plans
A3.01	Exterior Elevations
E0.1	Legends & Abbreviations - Electrical
E2.2	Exterior Lighting
Materials Sheet	
Preliminary Stormwater Drainage Design Memorandum	

Figure 1: Aerial Photo



Source: Metro

BACKGROUND INFORMATION

Site Description

The site is developed with 53,220 square-foot primary school, driveway, parking, and play fields as shown in Figure 1 and Sheet C1.00. The entire site is approximately 3.3 acres. There currently are 309 students and 40 staff. In addition to the school building, a play area is located on the north side of the school. Access to the school is provided by Holmes Street, which runs along the south and west sides of the site. Parking is provided on the north and south sides of the building. It includes 38 standard and 4 handicapped spaces for a total of 42. Twelve additional on-street parking spaces are available along Holmes Street. A small existing bike rack is located near the existing library. Regularly scheduled TriMet bus service is available (Route 35 Macadam/Greeley) along Willamette Drive.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

Table 1
Land Use Summary

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 2S 2E Section 30 BC, Tax Lot 2300 (3.3 acre school site owned by school district)	R10	Primary school building, ancillary facilities, and parking
<u>Surrounding Properties</u>		
North	R10	Single family residences
South	R10	Single family residences
East	R10	Hammerle Park (City of West Linn)
West	R10	Single family residences

SCHOOL BUILDING AND RELATED IMPROVEMENTS

The 2,500 square-foot addition is proposed on the northwest side of the existing school (Sheet C1.01) to create a larger and more versatile library. In addition, remodeling is also proposed for approximately 4,000 square feet of the existing interior to add a sprinkler system, improve mechanical equipment, and add a new window on the stage facing Hammerle Park. Adjacent to the addition, a small optional amphitheater is proposed, but constructing it will depend upon available funding. Associated interior remodeling will include:

- Remodel existing space and new construction to provide a centralized library space.
- Remodel of existing rooms to create a conference room, staff room/lounge, and production room.

- Conversion of existing library back into classrooms.
- Potential kitchen upgrades.
- Mechanical, electrical, and lighting upgrades.
- Addition of a fire sprinkler system throughout.

The improvements will provide an enhanced learning environment and a safer building. It will not change the existing enrollment capacity or staffing needs for the school.

An existing storm line, which drains from south to north, is located between the existing buildings. It needs to be replaced with a new line that redirects flow to the south to connect with an existing storm drain on the east side of the existing school.

A rain garden is being added per the City of Portland Stormwater Management Manual. It is sized using the simplified approach, which accounts for the required detention and water quality. The new impervious area is approximately 3,420 square feet requiring a rain garden of 205 square feet. The impervious area includes 2,500 square feet of rooftop from the library addition and 920 square feet of hardscape for the new amphitheater (Sheet C1.01).

The exterior finish of the addition will be consistent with the building's design, as shown on the materials sheet. The landscaping to be removed by the addition includes lawn and two trees. One tree is a Sweetgum (8" dbh) and a Japanese Maple (3" dbh). On February 16, 2010, the City Arborist, Mike Perkins, indicated these trees were not significant. Replacement landscaping will include trees and shrubs, as shown on Sheet L1.0.

The 3.3-acre site has no room to provide any additional on-site parking. However, the district does propose to provide 14 new bike parking spaces located under cover by the front entrance (2 spaces) and the northwest end of the school (Sheet L1.0). While this will not meet the city's requirement for the number of spaces (20 classrooms at 2/classroom), they will be more than adequate to satisfy the current bike parking demand, which is relatively low.

In addition to the conditional use and design review applications, a variance is necessary to allow the expansion of a nonconforming structure, which does not meet current on-site parking or maximum building coverage standards.

CONDITIONAL USE REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Non-Conforming Structures (Chapter 66), Variance Criteria (Chapter 75), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

Chapter 11 Single Family Residential Detached, R-10

Section 11.060 Conditional Uses

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

Section 11.080 Dimensional Requirements, Conditional Uses

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 3.3-acre site for many years, and the building footprint will be expanded slightly. The school enrollment capacity will not be changed by the library addition or the interior remodeling. As shown on the attached site plan (Sheet C1.01), adequate area continues to be available for the school building, activity fields, parking, landscaping, and buffering. Because the addition will have an interior location on the site, building setbacks will remain the same, and it will have no meaningful affect on surrounding properties.

The school building currently covers 37% of the site, and the addition will expand the coverage to 38.8%. The school building is currently nonconforming, and it will continue to be slightly over the maximum building coverage standard of 35%.

The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. Based on the property area of 3.3 acres, a maximum floor area of over 64,000 square feet is allowed. With the library expansion, the building floor area of 55,720 square feet is well below the maximum allowed.

Chapter 60 Conditional Uses

Section 60.070 Approval Standards and Conditions

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

A. The following criteria shall be satisfied.

1. The site size and dimensions provide:

a. Adequate area for the needs of the proposed use.

The school has been in continuous use for many years, and this site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the school's enrollment capacity. As shown on the site plan, the 2,500 square-foot addition will be located in a portion of the existing courtyard, and it will not reduce any existing setbacks from surrounding properties.

b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.

As shown on the site plan information, the setback distances for buildings,

parking, play areas, and related facilities from all property lines will be the same as the existing situation. The building, parking, and play areas will retain their current location and orientation, and therefore, the proposed addition and renovation will not have any adverse impact on surrounding properties.

2. *The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.*

Built in 1955, the existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. Although it is smaller than many of the existing primary school sites in the district, the school has proven it can operate in a manner that is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the addition will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed addition has a moderate grade and has no physical limitations. The trees that are proposed for removal are not significant based on a review by Mike Perkins, City Arborist, and the benefit of landscaping on the site will be provided by the new plantings proposed in the landscaping plan (Sheet L1.0).

3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.*

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. The relevant city policies are addressed under criterion 7 below.

4. *All required public facilities have adequate capacity to serve the proposal.*

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result. Ingress and egress to the school will not be modified.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The building addition will replace an area occupied by lawn and sidewalks, resulting in net increase in impervious area of slightly less than 2,500 square feet of rooftop and 920 square feet of new hardscape. The existing and new systems will continue to provide appropriate treatment of storm and sanitary sewer discharges.

5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.*

The applicable requirements of the R-10 zone for building setbacks, lot coverage and FAR will be met as explained above.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the 3.3-acre site continues to be adequate. No part of the school building will be over the 35-foot allowable height. Setbacks from the building will not be modified and all exceed the 20-foot minimum.

6. *The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.*

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

7. *The use will comply with the applicable policies of the Comprehensive Plan.*

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

Specific Policy 10 (Water Quality):

Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

Specific Policy 13 (Water Quality):

Require that new development be connected to the City's sanitary sewer system.

The school will continue to be connected to sanitary sewer.

Specific Policy 19 (Noise Control)

Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.

The proposed improvements will not change use patterns on the site or associated noise. Most important, the building function, orientation, and capacity will remain essentially as it is today.

Specific Policy 19 (Urban Forest):

Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

As noted above, two trees must be removed because they are in the footprint of the library addition. New landscaping will include two replacement trees, foundation planting at the building perimeter, and water quality plantings in the storm water and detention facilities.

The "Public Facilities and Services" section contains several relevant policies.

General Policy 3 (Public Facilities and Services):

Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

General Policy 5 (Public Facilities and Services):

Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.

- a. Solid Waste Collection and Recycling*

- b. *Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. *Schools.*
- d. *Health Services.*

These services are available.

General Policy 1 (Energy Conservation):

Conserve energy through the appropriate location of land uses (through zoning).

General Policy 2 (Energy Conservation):

Ensure energy efficient provision of public facilities and services.

The new library expansion will offer significant energy savings through meeting current energy standards related to both increased insulation values and modern heating and cooling equipment.

B. Development review provisions in Chapter 55 shall be satisfied.

These criteria are addressed below.

C. The Planning Commission may impose conditions.

The District understands that the Planning Commission has the authority to impose conditions.

D. Aggregate extraction uses.

This subsection is not relevant because aggregate extraction is not proposed.

Chapter 66 Non-Conforming Structures

This chapter provides that any enlargement or alteration to a non-conforming structure containing a conforming use may be permitted if the enlargement or alteration will not change the non-conformity; and all other applicable ordinance provisions have been met. The existing structure is out of conformity because it does not meet the city's on-site parking and maximum building coverage requirements.

If Bolton Primary School was build today, the CDC would require 94 off-street parking spaces (53,220 square feet and 40 staff). Currently, 42 off-street parking spaces and 12 on-street parking spaces are provided. Although this addition does not increase the capacity of the school or the current parking needs, the code standards require 2 more parking spaces due to the 2,500 square-foot addition.

The parking standards also call for 4 handicapped parking spaces for between 76 and 100 total parking spaces. This requirement is the same for the existing school square footage and the increased square footage. Currently, 4 handicapped parking spaces are provided. The addition does not worsen the current non-conformance of the school facility as it relates to handicapped parking.

Bicycle parking is required for primary schools at the rate of 2 spaces per classroom. With 20 classrooms, 40 spaces are required, but only 2 or 3 bicycles are typically parked at the school. The provision of 14 new, cover spaces represents a significant improvement over the existing uncovered bike parking located in the area that will accommodate the library addition.

As noted above, the school building slightly exceeds the maximum lot coverage standard of 35%. The 2,500 square-foot addition will nominally increase the degree of nonconformity.

Chapter 75 Variances

A variance is being sought for expansion of a non-conforming structure regarding off-street parking and maximum lot coverage.

Chapter 75 requires that a variance will only be approved if it meets six criteria:

1. *Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.*

The expansion of the non-conforming structure for parking is a result of the small lot size and configuration. The lot is 3.3 acres and is not physically able to accommodate more parking without sacrificing some of the outdoor play areas. This is a significant concern given the limited opportunities that students have for physical activity during the school day.

As one of the smallest of the school properties in the district, Bolton Primary School has extraordinary circumstances that do not apply to other school sites in the city. Other school facilities are on larger properties that can accommodate the required parking. As the only school in the neighborhood, these circumstances do not apply to other properties in the vicinity.

The district does propose some new bike parking as shown on Sheet L1.0. These spaces will all be covered, will be conveniently located, and visible. The 14 proposed spaces will be more than adequate to support current ridership (generally 2 or 3), and additional cyclists in the future. It is important to note that only 5th graders along with some 4th graders have appropriate skills to ride safely to school. The new parking represents a significant improvement over the current situation.

2. *The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.*

The school use was established in 1955. Since then, the use of the automobile has become more prevalent and parking requirements have increased, and the existing parking is now out of compliance. Since 1955, the faculty, parents and neighborhood have learned to make the best of the parking situation. The available school bus and TriMet service along with the walkable character of the neighborhood help alleviate some of the need for vehicle parking. In addition,

the district does propose to provide better bike parking.

As noted in this application, the school building slightly exceeds the maximum lot coverage standard of 35%. Becoming a nonconforming situation because of amended zoning requirements is not an uncommon occurrence and allowing minor deviations is the similar to what is periodically allowed on other properties in the city.

- 3. The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.*

The school addition will not increase the enrollment capacity or staff needs. As a result, the parking demand will remain as it is today.

Regarding the lot coverage, its primary purpose is to prevent buildings from appearing too large and out of scale with the property and surrounding development. The purpose of this requirement will be met with the addition because 1) the addition is situated internally and will not reduce existing building setbacks; and 2) the location of the school with two street frontages and a park on the third side greatly enhance the buildings compatibility with surrounding development.

All other code requirements will be met. The addition will not result in non-compliance with any other code provisions, and it does not conflict with the goals and policies of the Comprehensive Plan.

- 4. The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.*

Although the site has proven to be suitable for the school, its ability to provide additional on-site parking is very constrained. The district has considered the trade-offs of adding more parking to the site and removing some of the existing outdoor play area. The elimination of outdoor school facilities was determined to not be appropriate given the benefit of the uses to the students and the community.

The proposed 2,500 square-foot addition represents a very modest increase in the building's size, and it is necessary to accommodate the desired educational enhancement to the library. As noted above, it is located so it will not create a perceived difference in building scale from adjoining properties.

- 5. The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.*

The extraordinary circumstance creating the need for the variances to parking and maximum lot coverage standards is the small physical size of the lot. It is not a result of a violation of the ordinance.

- 6. The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring*

vacant or underdeveloped properties as authorized by the underlying zoning classification.

The proposed addition will not have any material effect on surrounding properties. In addition, no issues were mentioned during the neighborhood association meeting.

Chapter 99 Procedures for Decision-Making: Quasi-Judicial

This chapter requires that the neighborhood is contacted and the proposed development discussed with any affected neighborhood for conditional use permits for developments over 1,500 square feet. A neighborhood meeting with the Bolton Neighborhood Association was held on March 15, 2010. The minutes are provided with this application. No objections to the projects were raised.

An audio tape recording was not taken of the meeting by the district or the neighborhood. According to CDC Section 99.035 (C), which allows the Planning Director to waive submittal requirements, the district requests a waiver of the audio tape provision in CDC 99.038 (5) e. This agenda item involved the district explaining the proposal followed by no objections or conversation by the attendees. The district has reviewed the minutes and finds them to accurately describe this portion of the neighborhood association meeting.

DESIGN REVIEW CRITERIA

The Conditional Use requirements include compliance with Chapter 55 Design Review. Section 55.090(A) refers to specific portions of Section 55.100 that apply to Class I Design Review applications. The applicable portions of Section 55.100 are addressed below, including sections identified by the city staff.

Section 55.090(B) states that adequate public facilities must be available. This criterion is satisfied because the school is currently served by a full range of public utilities and streets.

Section 55.100 contains the applicable approval standards for a Class I Design Review. At the conclusion of the preapplication conference, the planning staff determined that the application must meet the following criteria in Chapter 55:

- 55.100(A)(1)
- 55.100(A)(7)
- 55.100(A)(10)
- 55.100(B)(1-6)
- 55.100(D)
- 55.100(G)
- 55.100 (I)(1-2)
- 55.100(J)
- 55.100(K)

These criteria are addressed below.

A. The provisions of the following chapters shall be met:

1. Chapter 33 - Storm Water Quality and Detention

As noted above, a rain garden is being added per the City of Portland Stormwater Management Manual. It is sized using the simplified approach, which accounts for the required detention and water quality. The new impervious area is approximately 3,420 square feet accommodated by a rain garden of 205 square feet. The impervious area includes 2,500 square feet of rooftop and 920 square feet of hardscape.

7. Chapter 46, Off-Street Parking and Loading

Section 46.090 B. 6. requires "one space for every employee, plus 1 space for each 1,000 square feet of floor area." The requirement for the school, before the proposed addition, is 85 parking spaces. The addition of 2,500 square feet will require 3 additional parking spaces. There are currently 42 off-street parking spaces provided at Bolton with 12 additional on-street spaces available adjacent to the school. As noted, the capacity of the school will not be enlarged, and the current parking needs for the school will not be changed. An expansion to the non-conforming structure is addressed above under Chapters 66 and 75.

Section 46.120 requires a 15-foot wide drive for loading and unloading passengers. The off-street loading facilities will not be affected by the proposal.

Section 46.130 requires one loading space for the school (10,000 - 100,000 sq. ft.). Sufficient loading space is currently provided and will not be affected.

Section 46.140 contains the design standards for parking areas. The existing parking facilities on the site will not be affected.

Section 46.150 A. contains a variety of standards pertaining to parking lot design, pavement, pedestrian access, handicapped parking, and grades. These standards do not apply because no modifications are proposed.

Section 46.150 B. contains standards for handicapped parking, including 4 handicapped parking spaces for the 85 required parking spaces. Currently, 4 handicapped parking spaces are provided. The proposal meets these requirements as noted in the site plan and below:

1. Existing spaces will be retained.
2. These spaces will continue to be provided close to the main school entrances.
3. ADA standards will continue to be satisfied.
4. Not applicable because no differences are identified between the code and federal standards.
5. The necessary 6 and 8-foot wide isles will continue to be provided.

Section 46.150 B. contains bicycle standards. As described above, the district proposes to significantly improve the bike parking by replacing the small existing bike rack with 14 bike parking spaces that are covered and conveniently located.

10. Chapter 54, Landscaping

Existing landscaping where the building site is being developed will be removed. This includes one Sweetgum Tree (8" dbh) and a Japanese Maple Tree (3" dbh). The addition will result in a total landscaped area of over 34%, meeting the minimum standard of 20% (Sheet L1.0).

Replacement landscaping will match the existing school planting character and include the following:

- Foundation shrub and groundcover plantings at the perimeter of the library. Plant species will match existing plantings at the school, and a permanent irrigation system will be provided.
- Water quality plantings in the storm water quality and detention facilities will meet applicable standards.
- Two replacement trees will match the existing trees that are to be removed.

B. Relationship to the Natural and Physical Environment

Section 55.100 B. 1. and 2. are not relevant because there are no heritage trees on the site. The City Arborist determined that no significant or heritage trees would be affected by the proposal. The impact of removing the trees noted in this application will be mitigated by the new landscaping proposed (Sheet L1.0).

Section 55.100 B. 3. is satisfied because grading will only involve the building footprint for the 2,500 square foot addition and a small hardscape area.

Section 55.100 B. 4. is satisfied because the property is essentially flat and geologically stable.

Section 55.100 B. 5. is satisfied because the school building will retain the same setbacks.

Section 55.100 B. 6. is met based on the findings below:

- a. The architectural design for the addition will be consistent with the architectural style of the existing building as shown on Sheet A3.01.
- b/c. The proposed design is compatible with the natural environment because only a minimum amount of area will be used for the addition. The proposed addition to Bolton Primary School is in the back of the school between two existing wings of the facility. The proposed library addition effectively transitions into the existing structure and the adjoining sites by using complementary rhythm of windows, rooflines, building lines, material, and colors as the existing primary school.
- d. The site size and the addition location are sufficient to displace any contrasting architectural styles that the proposed building might add to the surrounding area. As illustrated in the plan sheets, the addition is located in the approximate center of the site with the existing school building on three sides.

- e. The human scale of the proposed building is represented in the design approach, which is consistent with the existing building design.
- f. The criterion related to windows applies only to commercial and office buildings, not school structures.
- g. The addition at Bolton is curved in nature to compliment the contours of the existing landscape. The roofline steps down to create a bridge between the higher and lower classroom wing components and to keep with the low scale of the existing school structure. The exterior finishes will be the same or similar to existing building materials. Higher wall surfaces will be a ribbed metal panel in a neutral color. The window wall and clerestory windows will provide natural daylight into the new library as well as a visual connection to the existing and new landscape features.

In addition the new construction, window replacement will occur at the southwest classroom that faces Willamette Drive (Highway 43). Windows will also be added to the existing stage in the lower level to provide a view to the adjacent Hammerle Park. A new staff room, work room and remodel of existing spaces to create a larger, more centralized library are part of the scope of work.

- h. Climatic concerns are considered in the proposed building designs due to the public use associated with school buildings. The new addition will meet all current energy efficiency standards.
- i. The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the addition and its internal location on the site will maintain the current pedestrian-friendly character of the neighborhood.

Section 55.100 B. 7. is not relevant because the library addition will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

C. Compatibility Between Adjoining Uses, Buffering and Screening

The building entry and operation of the school will not be changed by the addition.

D. Privacy and Noise

School activities and associated noise will not be affected by this proposal.

G. Demarcation of Public, Semi-Public and Private Spaces

The operation and main entry for the school will not be amended.

I. Public Facilities

The proposed addition and hardscape will slightly increase the stormwater runoff rate. However, a rain garden is being added per the City of Portland Stormwater Management Manual to account for the required detention and water quality. This

system will minimize the impact to the downstream system.

J. Crime Prevention and Safety/Defensible Space

Access, building entrance locations, and existing lighting will not be affected by the library addition. The windows on the library will face the courtyard and provide enhanced visibility to this area.

K. Provisions for Persons with Disabilities

City code criteria and ADA requirements will be satisfied during the final building and facility design for the addition and remodeling work.

L. Signs

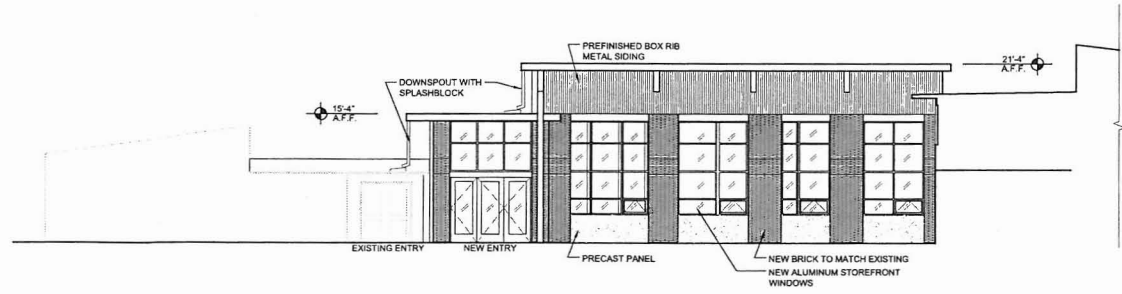
Not applicable because new signs or sign modifications are not proposed.

M. Utilities

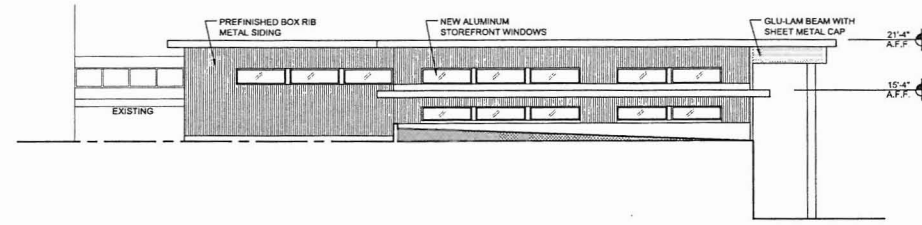
The addition and other remodeling will not require any change to the existing utility services for the school.

CONCLUSION

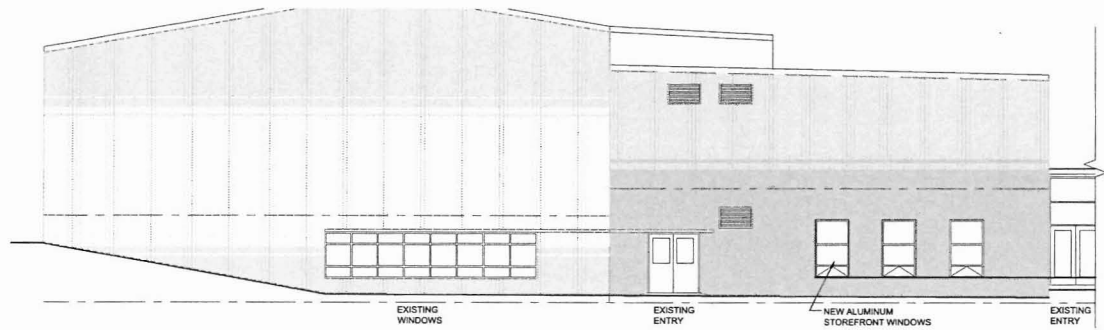
The proposed library addition and interior remodeling satisfy all of the relevant criteria as demonstrated above.



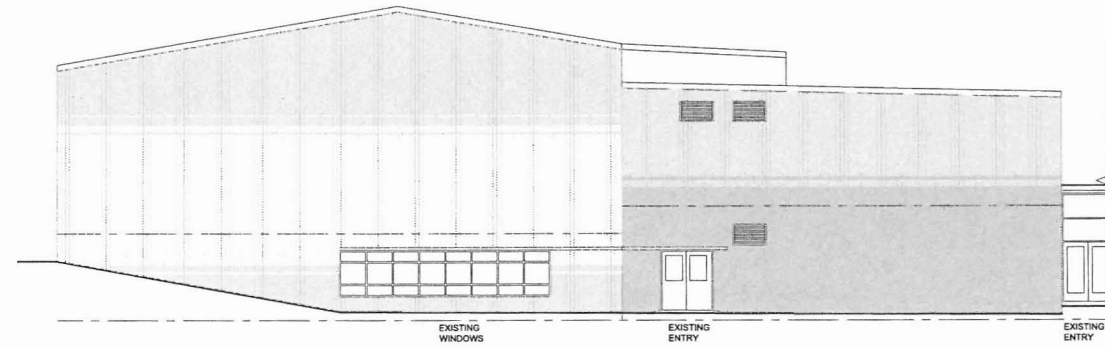
PROPOSED WEST ELEVATION - LIBRARY 6
SCALE: 1/8"=1'-0"



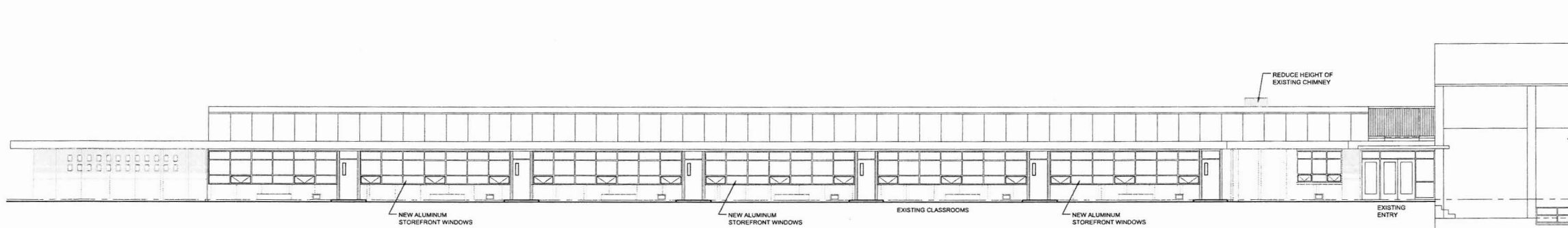
PROPOSED NORTH ELEVATION - LIBRARY 5
SCALE: 1/8"=1'-0"



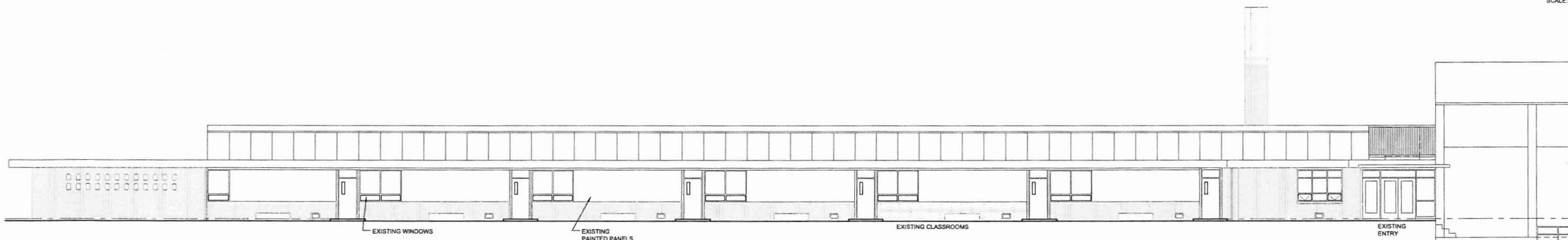
PROPOSED EAST ELEVATION 4
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION 3
SCALE: 1/8"=1'-0"

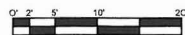


PROPOSED SOUTH ELEVATION 2
SCALE: 1/8"=1'-0"



EXISTING SOUTH ELEVATION 1
SCALE: 1/8"=1'-0"

NOT FOR CONSTRUCTION



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BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062
t: (503) 673 7042

phase	Conditional Use/ Class I Design Rev.
date	03/16/10
revisions	

project # 09002

exterior
elevations

A3.01

BOLTON PRIMARY SCHOOL ADDITION/REMODEL

West Linn Wilsonville School District
22210 SW Stafford Rd, Tualatin, Oregon, 97062

owner
West Linn Wilsonville School District
22210 SW Stafford Rd
Tualatin, Oregon, 97062
t: (503) 673-7042 f: (503) 673-7044

architect
Dull Olson Weekes Architects Inc.
907 SW Stark Street
Portland, Oregon, 97205
t: (503) 226 6950 f: (503) 273 9192

civil engineer
Winzler Kelley
15575 SW Sequoia Parkway
Suite 140
Portland, Oregon, 97224
t: (503) 226 3921 f: (503) 226 3926

landscape architect
Walker Macy Landscape Architects
111 SW Oak St.
Suite 200
Portland, Oregon, 97204
t: (503) 228 3122 f: (503) 273 8878

CONTENTS

civil	landscape	architectural	electrical	Site Information
C1.00 Existing Conditions Project Area	L1.01 Landscape Plan	A1.00 Existing Site Plan	E0.1 Legends and Abbreviations - Electrical	Project Address 5933 SW Holmes Street, West Linn, OR 97068
C1.01 Site Plan		A2.01 Lower Level Existing and Proposed Floor Plan	E2.2 Exterior Lighting	Site Area 3.33 acres
C1.02 Grading Plan		A2.02 Upper Level Existing and Proposed Floor Plan		Parcel # 00564543
C1.03 Utility Plan		A3.01 Existing & Proposed Exterior Elevations		Map # (TLNO) 22E 30BC 02300
				Zoning R-10
				Urban Growth Area West Linn

Project Scope of Work

- Interior remodel and a 2,504 sf building addition;
- Replacement of windows at Southwest classrooms;
- Addition of windows at existing platform;
- New landscaping.



Proposed Library

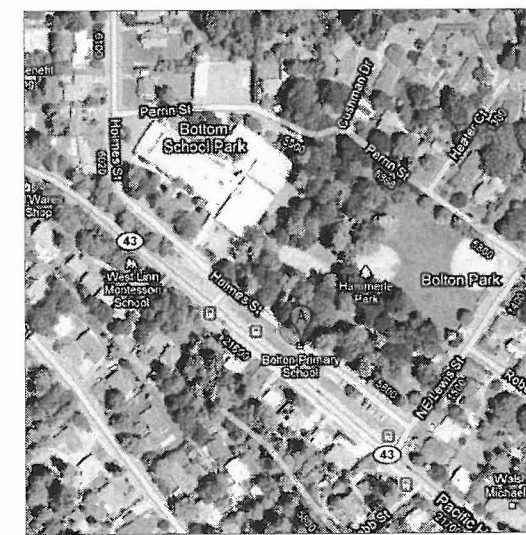
ARCHITECTURAL ABBREVIATIONS

Z. ANGLE	EA. EACH	GA. GAUGE	NA. NOT APPLICABLE	T. TEMPERED GLAZING
AND AND	EF. EXHAUST FAN	GALV. GALVANIZED	NIC. NOT IN CONTRACT	TC. TOP OF CURB
AB. ANCHOR BOLT	EJ. EXPANSION JOINT	GB. GRAB BAR	NOM. NOMINAL	TEL. TELEPHONE
ACT. ACOUSTICAL CEILING TILE	EL. ELEVATION	GC. GENERAL CONTRACTOR	NS. NELSON STUD	T&G. TONGUE AND GROOVE
ADD. ADDENDUM	ELEC. ELECTRICAL	GL. GLASS	NTS. NOT TO SCALE	THK. THICK
A.F.F. ABOVE FINISH FLOOR	E.O.S. EDGE OF SLAB	GND. GROUND	OC. OVERALL	TJ. TOOL JOINT
ALS. AREA LIGHT STANDARD	ENGR. ENGINEER	GVP. GYPSUM VENEER PLASTER	OD. ON CENTER	TP. TOP OF PAVEMENT
ALUM. ALUMINUM	EP. ELECTRICAL PANEL	OWB. GYPSUM WALL BOARD	O.D. OVERFLOW DRAIN	TYP. TYPICAL
ANDD. ANODIZED	EQ. EQUAL	OS. OUTSIDE	OS. OUTSIDE DIAMETER	TOD. TOP OF (MATERIAL)
BC. BOTTOM OF CURB	EQUP. EQUIPMENT	HB. HOSE BIB	OPNG. OPENING	UNFIN. UNFINISHED
BD. BOARD	ES. EACH SIDE	HC. HANDICAP	OPNG. OPENING	UNLESS NOTED OTHERWISE
BLDG. BUILDING	EW. EACH WAY	HDWR. HARDWARE	OS. OUTSIDE	VB. VAPOR BARRIER
BLKG. BLOCKING	EXST. EXISTING	HM. HOLLOW METAL	OS. OUTSIDE	VERT. VERTICAL
B.M. BENCH MARK	(E). EXISTING	HW. HOT WATER	OS. OUTSIDE	VEST. VESTIBULE
BM. BEAM	EXP. EXPANSION	HVAC. HEATING, VENTILATION AND AIR CONDITIONING	PIP. POURED IN PLACE	VFY. VERIFY
BOT. BOTTOM	EXT. EXTERIOR		PL. PROPERTY LINE	W. WITH
BTU. BRITISH THERMAL UNIT	FA. FIRE ALARM	INSUL. INSULATION	PL. PLASTER	WC. WATER CLOSET
BTWN. BETWEEN	FBO. FURNISHED BY OTHERS	INT. INTERIOR	PLYWD. PLYWOOD	WO. WOOD
	FD. FLOOR DRAIN		PSP. PRESSURE TREATED	WG. WIRE GLASS
COR.C. CHANNEL	FDN. FOUNDATION	JAN. JANITOR	PVT. PAVEMENT	WH. WATER HEATER
CB. CATCH BASIN	FE. FIRE EXTINGUISHER	JT. JOINT	R. RADIUS	WID. WITHOUT
CCTV. CLOSED CIRCUIT TV	FEC. FIRE EXTINGUISHER CABINET	JST. JOIST	R.D. ROOF DRAIN	WT. WATERPROOFING
CG. CORNER GUARD	FF. FINISH FLOOR	L. LENGTH	REF. REFERENCE	WT. WEIGHT
CLG. CEILING	PFE. FINISH FLOOR ELEVATION	LAG. LAG BOLT	REFR. REFRIGERATOR	
CLR. CLEAR	FN. FINISH	LKR. LOCKER	REQD. REQUIRED	
CMU. CONCRETE MASONRY UNIT	FO. FACE OF	LS. LANDSCAPING	REV. REVISE OR REVISION	
CONT. CONTINUOUS	FOC. FACE OF CONCRETE	LVR. LOUVER	RM. ROOM	
CORR. CORRIDOR	FOM. FACE OF MASONRY	MATL. MATERIAL	R.O. ROUGH OPENING	
CS.J. CONSTRUCTION JOINT	FOF. FACE OF FINISH	MAX. MAXIMUM	RCP. REFLECTED CEILING PLAN	
CSMT. CASSEMENT	FOI. FURNISHED BY OWNER INSTALLED	MED. MEDIUM	SC. SOLID CORE	
CT. CERAMIC TILE	FOIC. FURNISHED BY CONTRACTOR	MEZ. MEZZANINE	SECT. SECTION	
CTK. CENTERLINE	FOID. FURNISHED BY OWNER INSTALLED	MFR. MANUFACTURER	SF. SQUARE FOOT	
	BY OWNER	MIR. MIRROR	SHG. SHEATHING	
	FOIC. FURNISHED BY CONTRACTOR	MISC. MISCELLANEOUS	SHWR. SHOWER	
	BY OWNER	MIN. MINIMUM	SH. SHEET	
	FOIC. FURNISHED BY CONTRACTOR	MIR. MIRROR	SM. SIMILAR	
	BY OWNER	MISC. MISCELLANEOUS	SJ. SEISMIC JOINT	
	FOIC. FURNISHED BY CONTRACTOR	MTD. MOUNTED	SM. SHEET METAL	
	BY OWNER	MTL. METAL	SPEC. SPECIFICATION	
	FOIC. FURNISHED BY CONTRACTOR		SQ. SQUARE	
	BY OWNER		SS. STAINLESS STEEL	
	FOIC. FURNISHED BY CONTRACTOR		STD. STANDARD	
	BY OWNER		STL. STEEL	
	FOIC. FURNISHED BY CONTRACTOR		STOR. STORAGE	
	BY OWNER		STRUCT. STRUCTURAL	
	FOIC. FURNISHED BY CONTRACTOR		SUSP. SUSPENDED	
	BY OWNER			

ARCHITECTURAL SYMBOLS

	DRAWING ORIENTATION NORTH		GRID LINE
	ROOM NAME & NUMBER		DRAWING NUMBER
	DOOR OR WINDOW TYPE		SHEET NUMBER
	KEYNOTE REFERENCE		WALL SECTION
	CEILING PLANE HEIGHT - ALL REFERENCES TO FINISH FLOOR ELEVATION		DRAWING NUMBER
	INTERIOR FINISH TYPE		EXTERIOR ELEVATION
	HORIZONTAL ELEVATION PLANE HEIGHT - ALL REFERENCES TO F.F.E.		INTERIOR ELEVATION
	SPOT ELEVATION - ALL REFERENCES TO F.F.E.		DETAIL NUMBER
	WALL TYPE WITH RATING WHERE APPLICABLE		DETAIL
	DOOR NUMBER - SEE DOOR SCHEDULE		SHEET NUMBER
	RELITE NUMBER - SEE RELITE SCHEDULE		REVISION CLOUD

VICINITY MAP



BOLTON PRIMARY SCHOOL ADDITION/REMODEL
march 16, 2010 project # 09002
CONDITIONAL USE/ CLASS I DESIGN REVIEW APPLICATION



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architects inc.

807 SW BANK STREET, PORTLAND, OREGON 97205
T: 503.278.6565 F: 503.273.1192 www.dola.com

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West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062
T: (503) 673 7042

WINZLER & KELLY

15575 SW SEQUOIA PARKWAY, SUITE 140
PORTLAND, OR 97224
PH (503) 226-3921 • FAX (503) 226-3926
WWW.WAND-K.COM



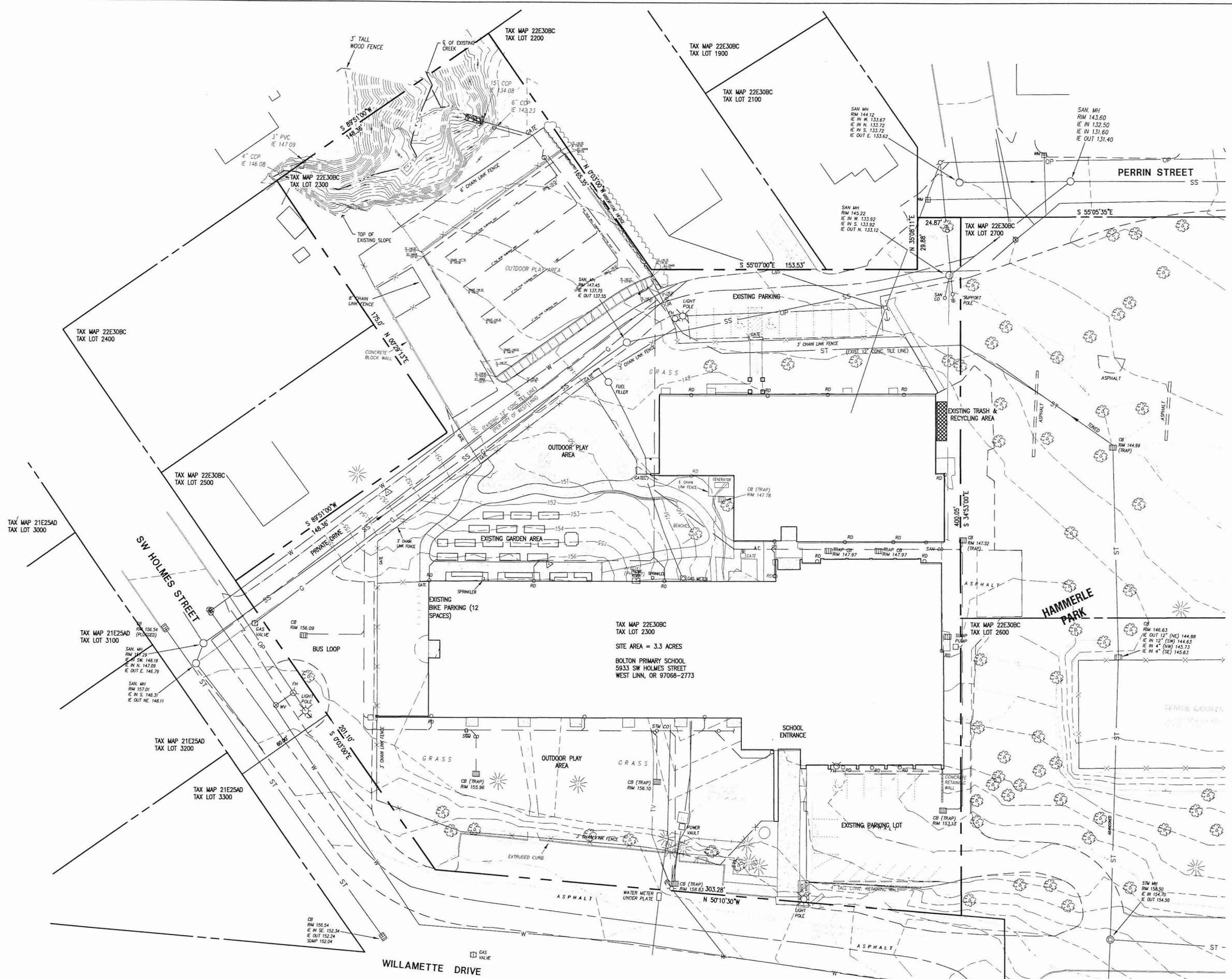
phase	conditional use/
	class 1 design rev.
date	04/16/2010
revisions	

project # 09002

EXISTING CONDITIONS
PROJECT AREA

C1.00

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1 EXISTING CONDITIONS
C1.00(1.00 SCALE: 1"=20'-0")



1" = 20'-0" 20' 0 20' 40' 60'



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DULL OLSON WEEKES
ARCHITECTS INC.

802 SW STARK STREET, PORTLAND, OREGON 97205
T: 503.234.9310 F: 503.232.9132 www.dowa.com

BOLTON PRIMARY SCHOOL REMODEL/ADDITION

West Linn-Wilsonville School District #3JT
2210 SW STAFFORD RD, TUALATIN, OR 97062
T: (503) 673 7042

WINZLER & KELLY
15575 SW SEQUOIA PARKWAY, SUITE 140
PORTLAND, OR 97224
PH (503) 226-3921 • FAX (503) 226-3826
WWW.WAND-K.COM

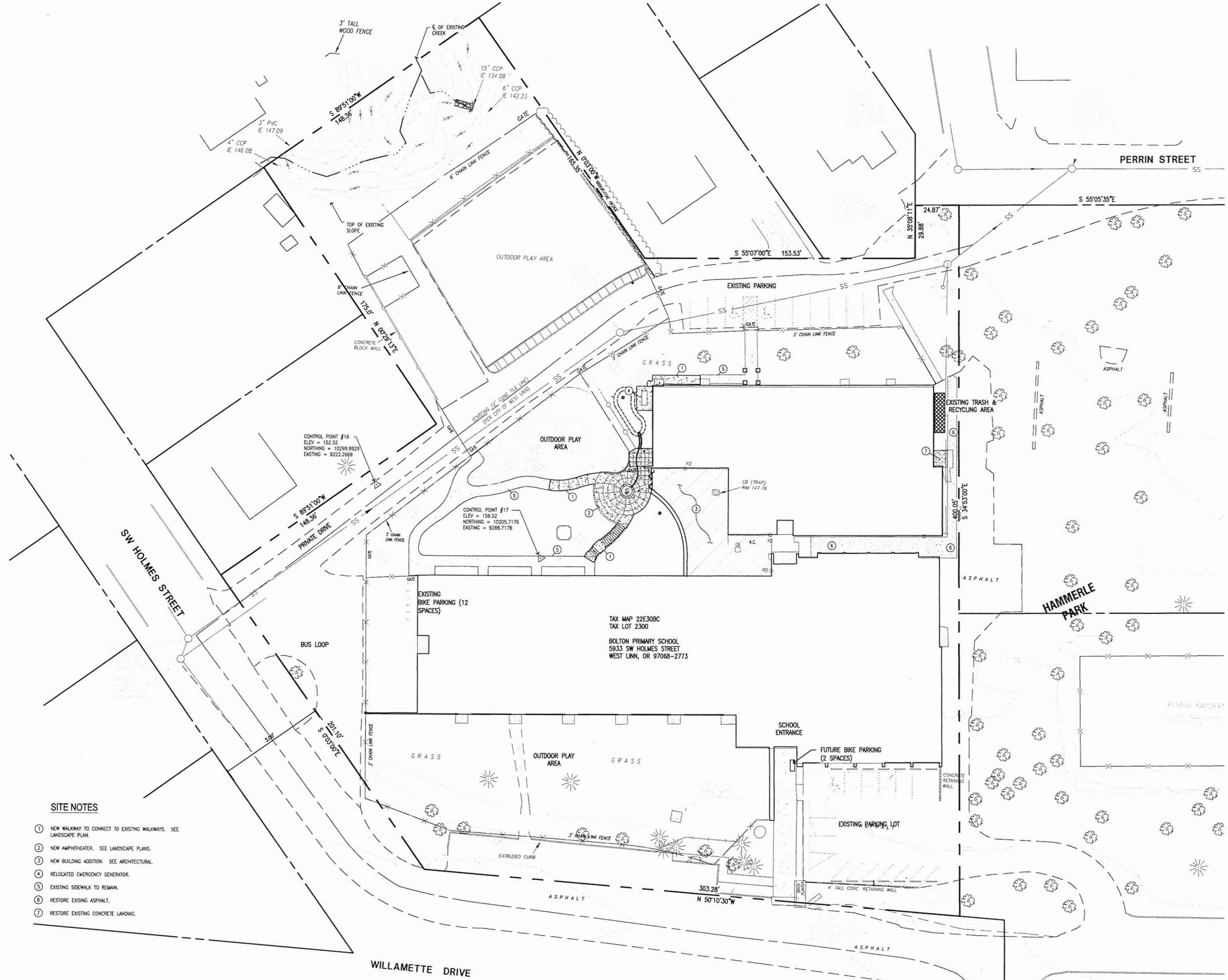


phase	conditional use/
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date	04/16/2010
revisions	

project # | 09002
SITE PLAN

C1.01

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SITE NOTES

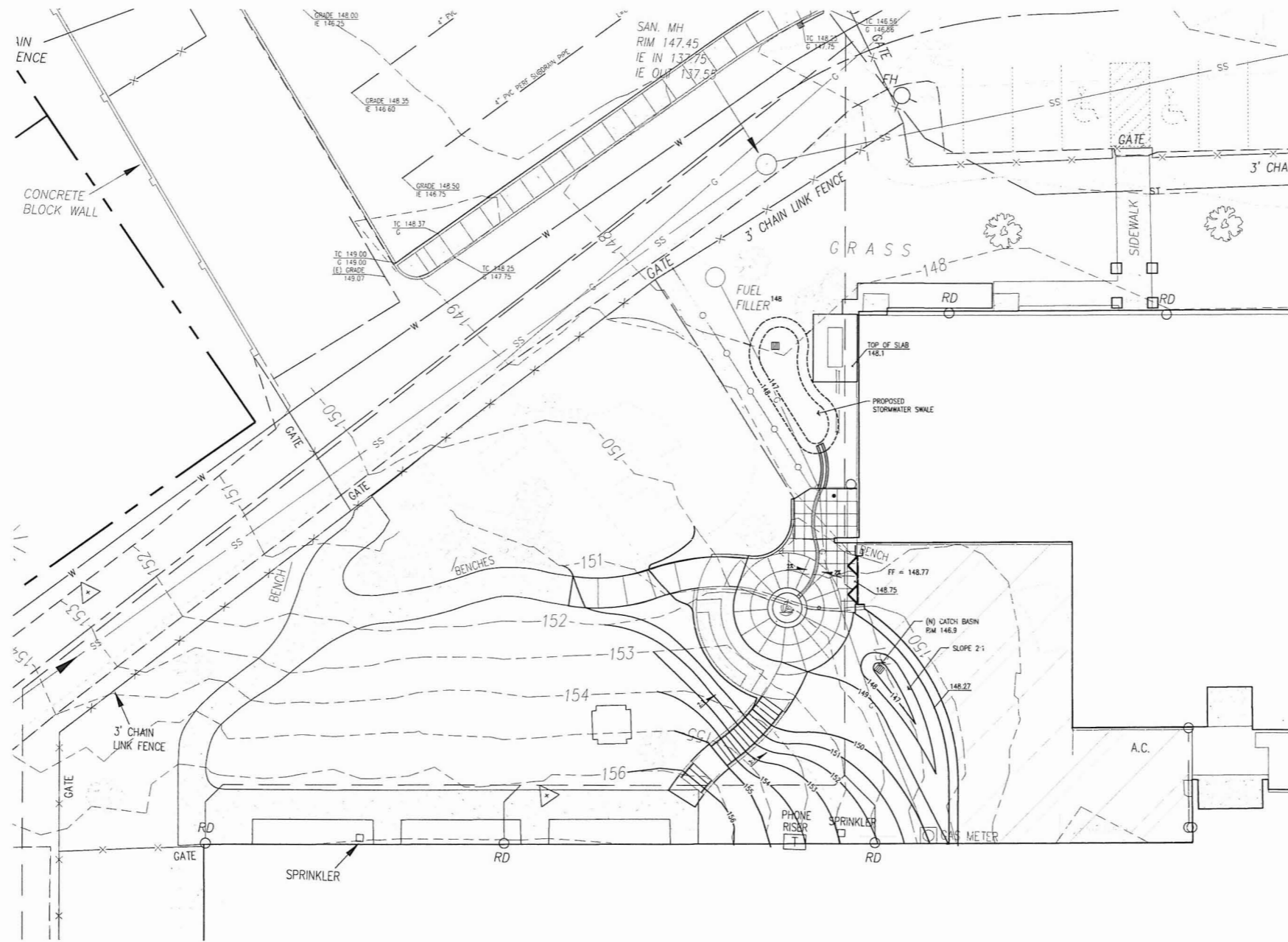
- 1 NEW WALKWAY TO CONNECT TO EXISTING WALKWAYS. SEE LANDSCAPE PLAN.
- 2 NEW AMPHITHEATER. SEE LANDSCAPE PLANS.
- 3 NEW BUILDING ADDITION. SEE ARCHITECTURAL.
- 4 RELOCATED EMERGENCY GENERATOR.
- 5 EXISTING SIDEWALK TO REMAIN.
- 6 RESTORE EXISTING ASPHALT.
- 7 RESTORE EXISTING CONCRETE LANDING.

1 SITE PLAN
C1.01/C1.01 SCALE: 1"=20'-0"



1" = 20'-0" 20' 0 20' 40' 60'

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1 GRADING PLAN
 C1.02/C1.02 SCALE: 1"=10'-0"



1" = 10'-0" 10' 0 10' 20' 30'



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800 NW STARK STREET, PORTLAND, OREGON 97205
P: 503 226 5855 F: 503 273 8187 www.dow.com

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West Linn-Wilsonville School District #3JT
 2210 SW STAFFORD RD, TUALATIN, OR 97062
 t: (503) 673 7042

WINZLER & KELLY

15575 SW SEGLICIA PARKWAY, SUITE 140
 PORTLAND, OR 97224
 PH (503) 226-3821 • FAX (503) 226-3826
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revisions	

project # | 09002

GRADING PLAN

C1.02

UTILITY NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
- ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC, THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, OR FITTING REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
- CONTRACTOR SHALL COORDINATE A UTILITY LOCATE 48 HOURS PRIOR TO BEGINNING ANY UTILITY CONSTRUCTION FOR LOCATION MAKE-UP OF ALL EXISTING UTILITIES BOTH IN THE RIGHT-OF-WAY AND ON PRIVATE PROPERTY. CONTRACTOR SHALL COORDINATE THE UTILITY LOCAL WITH MUNICIPALITY HAVING JURISDICTION FOR ALL UTILITY LOCALS WITH MUNICIPALITY HAVING JURISDICTION. INFORM ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GROUND UTILITIES DURING CONSTRUCTION.
- ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM PLUMBING CODE (UPC). ALL UTILITY CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.
- ALL BURIED LINES TO HAVE 2 FEET MINIMUM COVER, UNLESS NOTED OTHERWISE.
- DOWNSPOUT AND BUILDING UTILITY CONNECTIONS TO BE SHOWN ON BUILDING PLUMBING DRAWINGS REFER TO PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY LINES INTO BUILDING.
- SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
- ALL EXISTING UTILITIES AND TE-IN POINTS SHOULD BE CONSIDERED ACTIVE UTILITIES UNLESS OTHERWISE INDICATED.
- CONFIRM FIRE HYDRANT TYPE, NOZZLE SIZES, AND THREADED CONFIGURATIONS WITH LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO CONSTRUCTION.
- CONFIRM ALL UTILITY VALVE VAULTS, VALVES, METERS, BACKFLOW PREVENTION ASSEMBLIES, AND OTHER PUBLIC UTILITY APPEARANCES IN THE RIGHT-OF-WAY WITH THE MUNICIPALITY HAVING JURISDICTION.

EROSION CONTROL

- ALL EROSION, SEDIMENT, AND POLLUTION CONTROL PLAN (ESPCP) MEASURES SHALL BE INSTALLED AS PER THE DETAIL DRAWINGS IN THE CITY OF PORTLAND EROSION CONTROL MANUAL.
- TEMPORARY ESPCP MEASURES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GROUND DISTURBING ACTIVITIES.
- ESPCP MEASURES SHALL NOT BE REMOVED UNTIL PERMANENT LANDSCAPING HAS BEEN INSTALLED AND FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.
- INSPECTIONS SHALL BE REQUESTED ONE DAY PRIOR TO THE TIME OF INSPECTION.
- APPROVAL OF THIS ESPCP PLAN DOES NOT CONSTITUTE APPROVAL OF PERMANENT OR DRAINAGE DESIGN (I.E. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THIS ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- THE BOUNDARIES OF THE CLEARING LIMITS (IF REQUIRED BY THE CITY) SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF THE CONSTRUCTION.
- THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADDED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BETWEEN OCTOBER 1 AND APRIL 30 BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. ALL INSPECTIONS SHALL BE NOTED IN AN INSPECTION LOG WHICH SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.
- ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- A SIGN WITH THE CITY'S EROSION CONTROL HOTLINE NUMBER, PROJECT ADDRESS, AND PERMIT NUMBER SHALL BE POSTED AT A LOCATION CLEARLY VISIBLE FROM THE RIGHT OF WAY AND MAINTAINED UNTIL PROJECT COMPLETION.
- EXPOSED SOILS THAT REMAIN UNWORKED FOR 14 DAYS OR MORE SHALL BE IMMEDIATELY PROTECTED BY APPROPRIATE GROUND COVER. DISTURBED LAND THAT WILL REMAIN UNWORKED FOR 2 MONTHS OR LONGER SHALL ALSO BE SEEDED WITH AN APPROVED SEED MIXTURE.
- PUBLIC STREETS WILL BE SWEEP DAILY, IF NECESSARY, TO ALLEViate SEDIMENT DISCHARGE TO THE STORM WATER MANAGEMENT SYSTEM. UNFILTERED WASH WATER CANNOT BE DISCHARGED TO STORM DRAINS.
- ALL EROSION CONTROL SEEDING FOR SITE STABILIZATION WILL BE PERFORMED NO LATER THAN SEPTEMBER 1ST TO ALLOW TIME FOR VEGETATIVE ESTABLISHMENT PRIOR TO THE ONSET OF THE WET WEATHER SEASON.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THEY ARE NO LONGER NEEDED.
- TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE REPAIRED AND PROTECTED WITH ADEQUATE GROUND COVER (2" STRAW, COMPOST, MULCH, ETC.)
- SEEDING SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED. WATER SHOULD BE CONTROLLED TO PREVENT RUNOFF. AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT EROSION SHALL BE RESEED AS SOON AS AREAS ARE IDENTIFIED.
- DISTURBED AREAS OF SLOPE GREATER THAN 2:1 WILL BE STABILIZED THROUGH SEEDING AND THE INSTALLATION OF NORTH AMERICAN GREEN SCOBION MATING OR EQUIVALENT PRODUCT.
- THE PROPOSED EROSION CONTROL MEASURES ARE A MINIMUM BEST MANAGEMENT PRACTICE. THE CONTRACTOR MAY BE REQUIRED TO MAKE ADDITIONAL EROSION CONTROL MEASURES TO ENSURE THAT NO SEDIMENT LADEN WATER ENTERS THE SITE OR ENTERS THE EXISTING STORMWATER SYSTEM.
- IN THE CASE OF STABILIZATION SEEDING AND PLANTINGS FOR SWALES & SLOPES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEED/PLANT THE WORK SUCH THAT THE PLANTINGS ARE ESTABLISHED AS FAR AS POSSIBLE PRIOR TO OCTOBER 1.
- CONTRACTOR SHALL DESIGNATE AN ONSITE EROSION & SEDIMENT CONTROL INSPECTOR AND SHALL SUBMIT THE NAME TO THE OWNER'S REPRESENTATIVE FOR SUBMITTAL TO DEQ AS PART OF THE DEQ 1200C PERMIT REQUIREMENTS.
- AN EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN ISSUED BY OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ 1200C PERMIT). CONTRACTOR IS RESPONSIBLE FOR ADMINISTRATION AND CONFORMANCE OF ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS STIPULATED IN THIS PERMIT INCLUDING MAINTENANCE & MONITORING.

GRADING NOTES

- SURVEY OF EXISTING CONDITIONS PREPARED BY THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING RIGHT-OF-WAY LINES, SLOPE EASEMENTS, AND ALL HORIZONTAL AND VERTICAL CONSTRUCTION WITHIN THE LIMITS OF.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL ARRANGE FOR STAKING WITH A LICENSED SURVEYOR. STAKING WILL BE REVIEWED BY OWNER FOR CONFORMANCE TO DESIGN PRIOR TO CONSTRUCTION.
- ALL GRADES BETWEEN SPOT ELEVATIONS SHALL HAVE UNIFORM SLOPE UNLESS OTHERWISE INDICATED. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING WALLS AND DOORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION. ADEQUATE SHORING BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
- ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE HAND RAKED SMOOTH AND RETURNED TO ORIGINAL EXISTING CONDITIONS. DISTURBED LANDSCAPED AREAS SHALL RECEIVE BARK DUST AND REPLACEMENT PLANTINGS. DISTURBED NATURAL AREAS SHALL BE HYDROSEEDED TO REPLACE NATIVE COVER. DISTURBED GRAVEL AREAS SHALL RECEIVE REPLACEMENT GRAVEL OR CRUSHED ROCK SURFACING.
- ALL DITCHES, SWALES, CUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DEMARKING OF WORK AREAS DURING CONSTRUCTION.
- DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND CONSTRUCTION OPERATIONS.
- ALL EXISTING MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION. IF ANY MONUMENTS ARE DISTURBED OR DESTROYED DURING CONSTRUCTION, CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO RESTORE THE MONUMENT TO ITS ORIGINAL CONDITION AND FILE THE NECESSARY SURVEY AS REQUIRED BY STATE LAW.
- COMPLETELY COVER ANY SOIL STOCKPILES WITH 6 MIL BLACK PLASTIC AND PROVIDE RESTRAINTS TO HOLD PLASTIC IN PLACE. MONITOR PLASTIC COVER AS PART OF CONTINUOUS EROSION CONTROL PLAN. PLACE SILT FENCE COMPLETELY AROUND STOCKPILE.

DEMOLITION NOTES

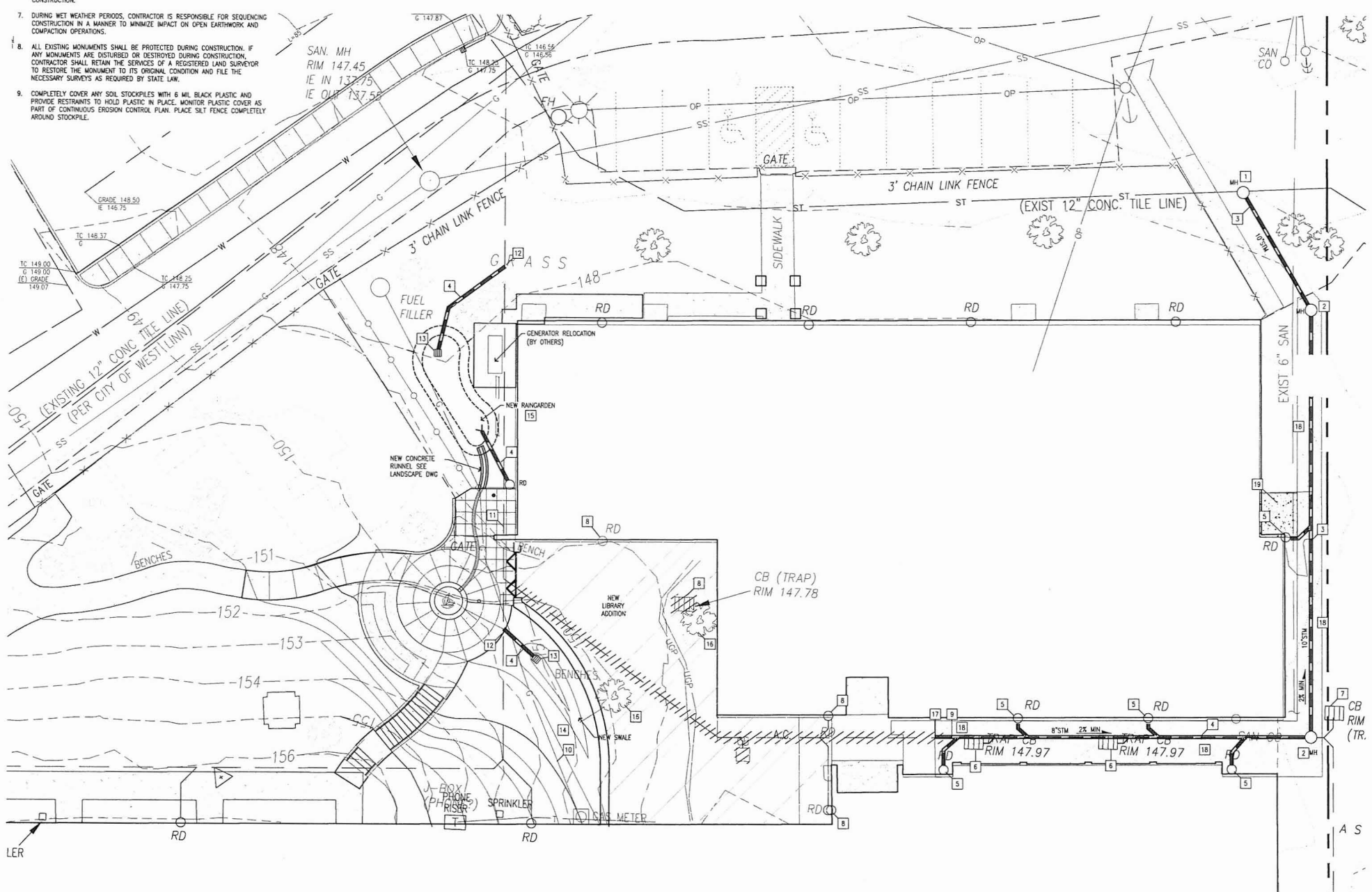
- DEMOLITION REQUIREMENTS ARE NOT SHOWN ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING SCOPE OF DEMOLITION WORK FROM OWNER AND FOR EXAMINATION OF EXISTING SITE CONDITIONS. CONTRACTOR SHALL SUBMIT A DEMOLITION PLAN PRIOR TO CONSTRUCTION OUTLining ITEMS TO BE REMOVED. ALL UTILITY LINES AND STRUCTURES SHOWN WITHIN THE LIMITS OF.
- DEMOLITION SHALL BE REMOVED EXCEPT THOSE INDICATED AS "TO REMAIN". ALL LINES THAT ARE CUT AT LIMITS OF DEMOLITION OR POINTS OF DISCONNECTION WITHIN THE WORK AREA, ARE TO BE CAPPED OR PLUGGED. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY ACCESS.
- DURING CONSTRUCTION, UTILITY OUTAGES AND ACCESS CLOSURES REQUIRE A MINIMUM OF 24 HOURS NOTICE TO OWNER OR SITE TENANTS.

GENERAL SITE NOTES

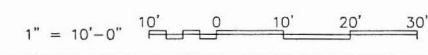
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
- CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT. PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STRIPPING FOR ALL REVERSED PAVING WORK AND PARKING STALLS. EXISTING STRIPPING TO BE BLACKED OUT IN RECONFIGURED AREAS AS REQUIRED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.

UTILITY CONSTRUCTION NOTES

- INSTALL NEW MANHOLE OVER EXISTING 12" CONCRETE STORM LINE. CONTRACTOR TO VERIFY E, AND SLOPE. INFORM ENGINEER PRIOR TO INSTALLATION.
- INSTALL NEW MANHOLE.
- INSTALL NEW 10" STORM DRAIN LINE.
- INSTALL NEW 6" STORM DRAIN LINE.
- RECONNECT EXISTING ROOF DRAIN.
- PROVIDE NEW AREA DRAIN AND CONNECT.
- RECONNECT EXISTING CATCH BASIN.
- DEMOLISH THIS SECTION OF STORM DRAIN AND EXISTING CATCH BASIN. ROOF DRAINS TO BE REROUTED BY BUILDING PLUMBER.
- DEMOLISH SECTION OF EXISTING STORM DRAIN UNDER NEW 6" STORM DRAIN ROUTING.
- LOWER EXISTING GAS LINE. COORDINATE WITH MECHANICAL ENGINEER.
- LOWER EXISTING STORM DRAIN. MATCH EXISTING PIPE SIZE. CONTRACTOR TO VERIFY E'S AND SLOPES PRIOR TO INSTALLATION. COORDINATE WITH ENGINEER.
- CONNECT TO EXISTING STORM LINE.
- INSTALL NEW DITCH INLET.
- INSTALL NEW VEGETATED SWALE.
- INSTALL NEW SWALE/RANGARDEN.
- STUB OUT 8" STM FOR CONNECTION BY OTHERS.
- RESTORE EXISTING ASPHALT AREA.
- RESTORE EXISTING CONCRETE LANDING OUTSIDE DOOR.



1 UTILITY PLAN
C1.03/C1.02 SCALE: 1"=10'-0"



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PH (503) 226-3821 • FAX (503) 226-3826
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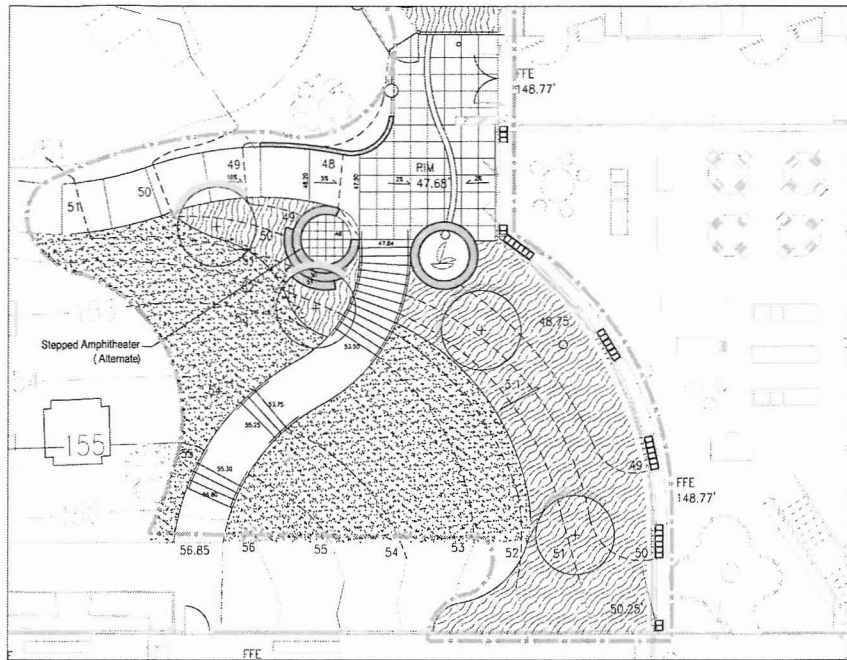


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date	04/16/2010
revisions	

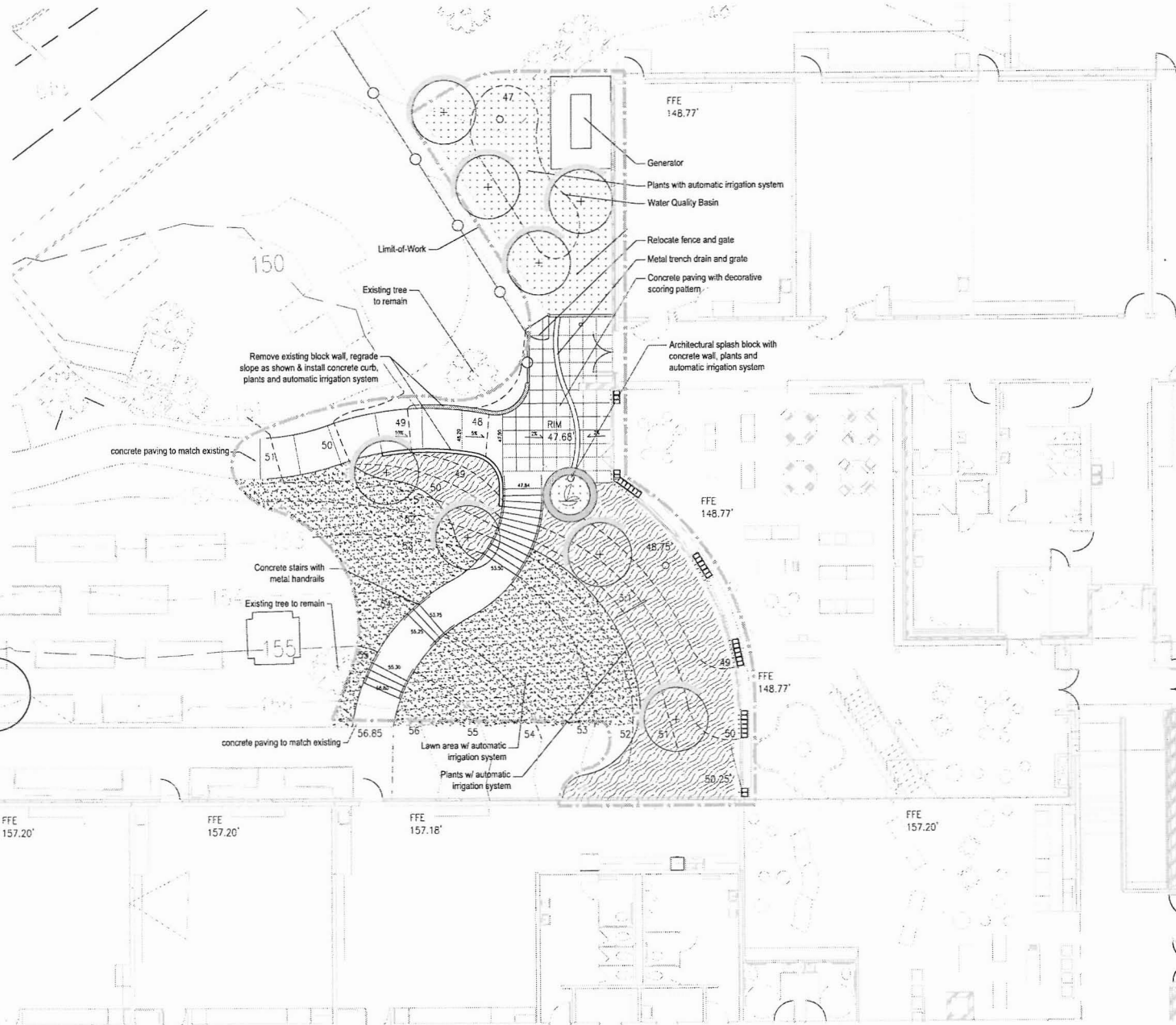
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UTILITY PLAN
C1.03

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AMPHITHEATER LANDSCAPE ALTERNATIVE

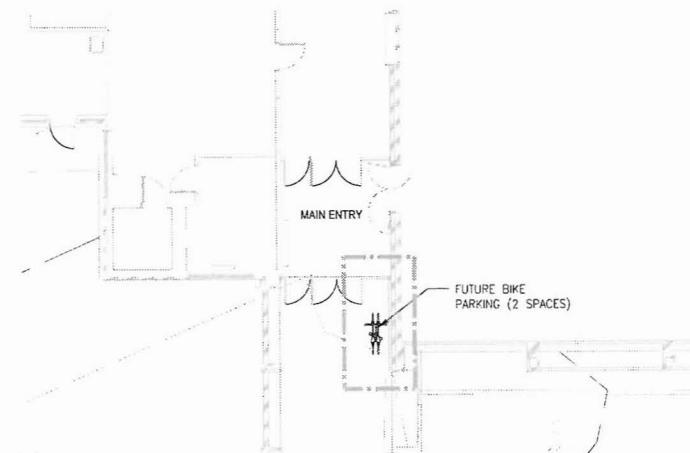


BIKE PARKING ENLARGEMENT 1/8" = 1'-0"

PLANT SCHEDULE

PLANTS TO BE SELECTED FROM THE FOLLOWING

KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
Trees				
+	ZELKOVA SERRATA "GREEN VASE"	ZELKOVA TREE	2" CAL./B&B	AS SHOWN
	FRAXINUS PENN. "MARSHALL"	MARSHALL GREEN ASH	2" CAL./B&B	AS SHOWN
	AMELANCHIER ALNIFOLIA	WESTERN SERVICEBERRY	1-1/2" CAL./B&B	AS SHOWN
	FRAXINUS LATIFOLIA	OREGON ASH	2 GAL. CONT.	AS SHOWN
	ACER CIRCINATUM	VINE MAPLE	2 GAL. CONT.	AS SHOWN
Shrubs				
	CORNUS SERICEA "KEISEYI"	DWARF REDTIG DOGWOOD	2 GAL. CONT.	AS SHOWN
	HOLODISCUS DISCOLOR	OCEANSPRAY	5 GAL. CONT.	AS SHOWN
	NANDINA DOME "WOODS DWARF"	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	AS SHOWN
	FRUNUS LAURO. "OTTO LUTKEN"	CHERRY LAUREL	2 GAL. CONT.	AS SHOWN
	RIBES SAHOUINEUM	RED FLOWERING CURRENT	5 GAL. CONT.	AS SHOWN
	SPIREA JAP. "LITTLE PRINCESS"	LITTLE PRINCESS SPIREA	2 GAL. CONT.	AS SHOWN
Groundcover				
	ARCTOSTAPHYLOS UVA-URSI	KINKKINICK	1 GAL.	18" O.C.
	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	1 GAL.	18" O.C.
	MAHONIA REPENS	CASCADE OREGON GRAPE	1 GAL.	18" O.C.
	RUBUS CALYNDIDES	CREEPING BRAMBLE	1 GAL.	18" O.C.
Bain Garden Plantings				
	CAREX OBRUPTA	SLOUGH SEDGE	PLUG	3 PER SQ.FT.
	JUNCUS PATENS "ELK BLUE"	ELK BLUE SPREADING RUSH	PLUG	3 PER SQ.FT.
	SCRIPUS MICROCARPUS	SMALL FRUITED BULRUSH	PLUG	3 PER SQ.FT.
	MAHONIA NERVOSA	DULL OREGONGRAPE	1 GAL. CONT.	18" O.C.
	JUNCUS EFFUSUS	COMMON RUSH	1 GAL. CONT.	12" O.C.
	SPIRAEA DOUGLASSII	WESTERN SPIRAEA	1 GAL. CONT.	AS SHOWN
	ROSA PISOCARPA	SWAMP ROSE	1 GAL. CONT.	AS SHOWN
Lawn				
	Gross Seed Mix	3-Way blend	7lbs per 1,000sqf	



LANDSCAPE COVERAGE	
TOTAL SITE AREA:	142,029 SF
LANDSCAPE AREA:	49,180 SF
PERCENT OF SITE LANDSCAPED:	34.6%



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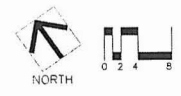
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WALKER MACY

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Landscape Plan



L1.0



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existing
site plan

A1.00

NOT FOR CONSTRUCTION






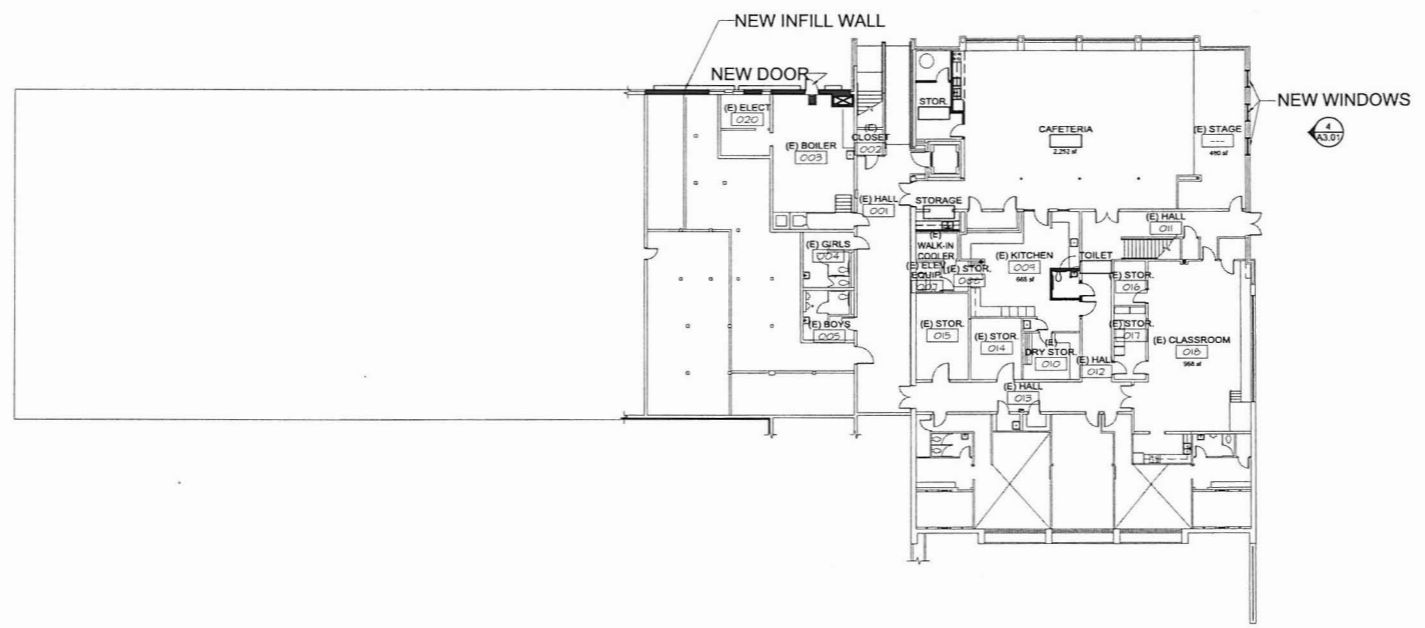
EXISTING SITE PLAN

SCALE: 1"=30'-0" 1

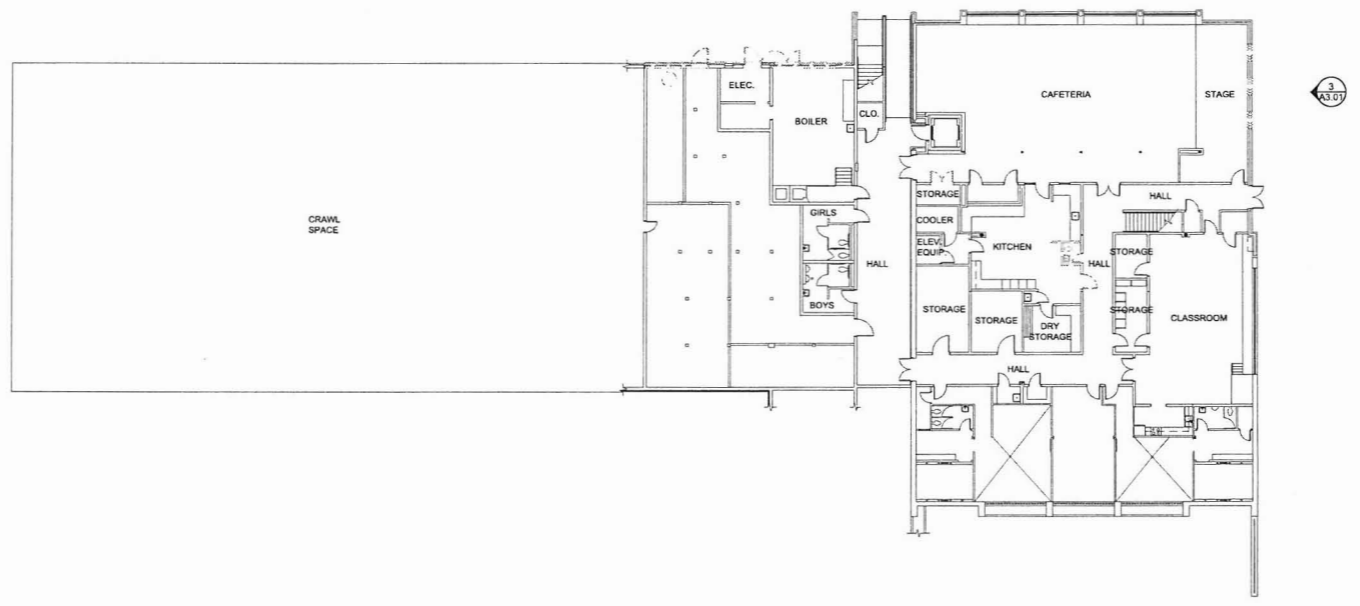


LEGEND:

-  NEW WALL
-  EXISTING WALL
-  WALL TO BE REMOVED



PROPOSED LOWER LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0" 2



EXISTING LOWER LEVEL FLOOR PLAN
SCALE: 1/8"=1'-0" 1

NOT FOR CONSTRUCTION
0' 2' 4' 6' 8' 10' 12' 14' 16' 18' 20'



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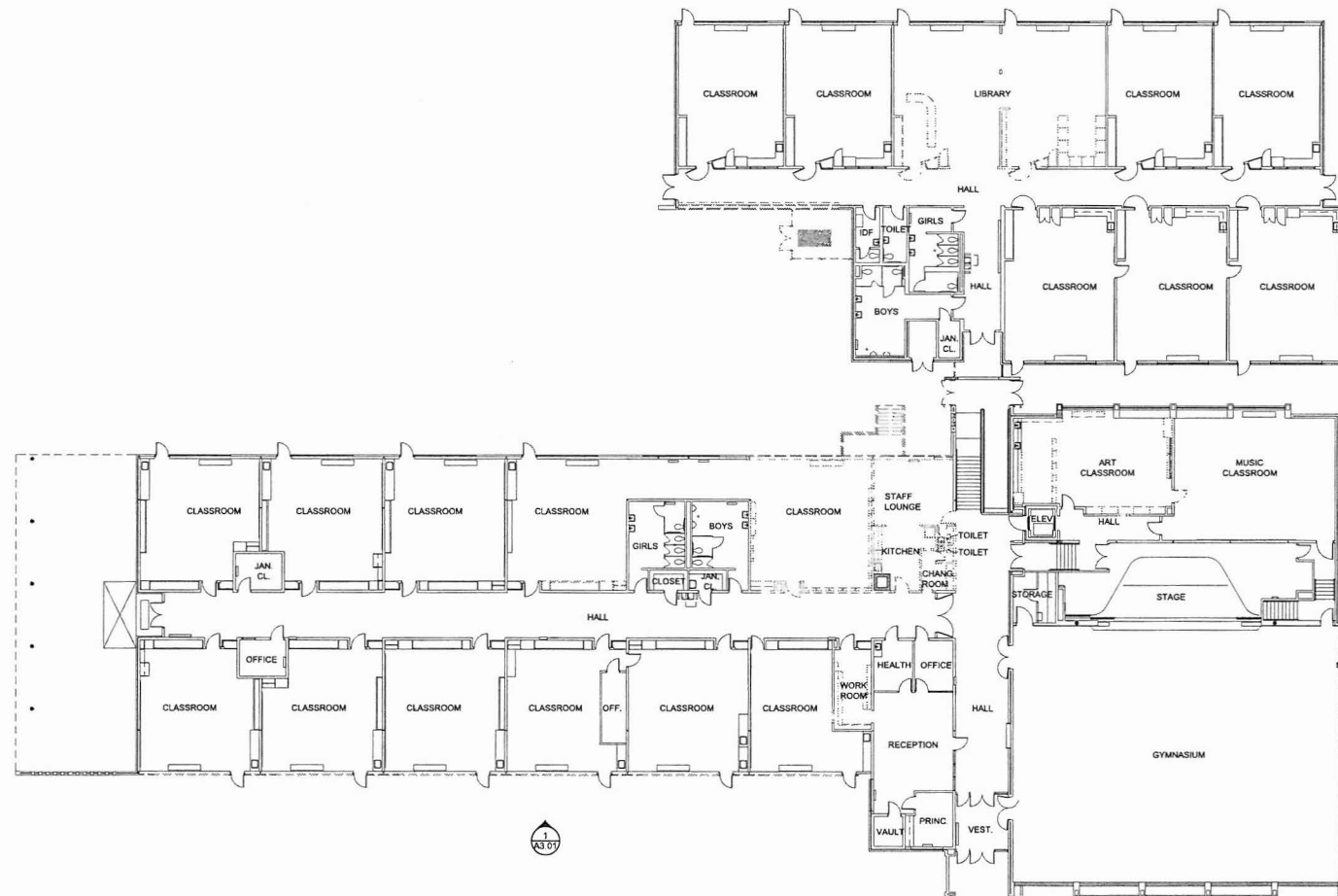
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lower level existing
and proposed floor plans

A2.01



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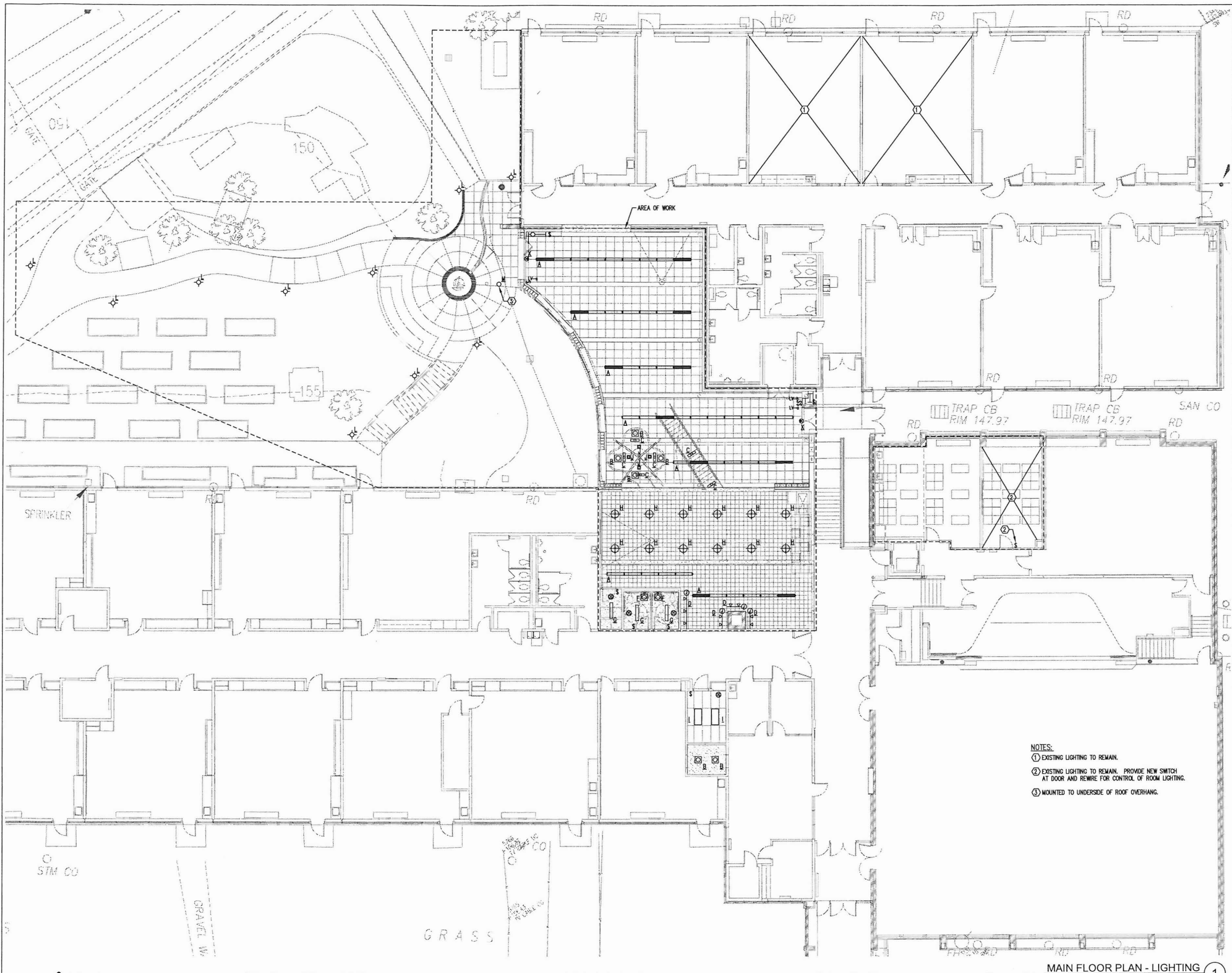
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upper level existing
and proposed floor plans

A2.02



- NOTES:
- ① EXISTING LIGHTING TO REMAIN.
 - ② EXISTING LIGHTING TO REMAIN. PROVIDE NEW SWITCH AT DOOR AND REWIRE FOR CONTROL OF ROOM LIGHTING.
 - ③ MOUNTED TO UNDERSIDE OF ROOF OVERHANG.

MAIN FLOOR PLAN - LIGHTING ①

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West Linn-Wilsonville School District #3JT
 2210 SW STAFFORD RD, TUALATIN, OR 97062
 t: (503) 673 7042

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 806 SW Third Ave., Suite 300
 Portland, OR 97204-3440
 p: 503 224 3977 / f: 503 224 3930
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EXTERIOR LIGHTING
E2.2