

**CITY OF WEST LINN**  
**PLANNING COMMISSION DECISION**

FILE NOS.: CUP-10-01/DR-10-02/VAR-10-03/MISC-10-05

REQUEST: CONDITIONAL USE, CLASS I DESIGN REVIEW, CLASS II  
VARIANCE AND EXPANSION OF A NON-CONFORMING  
STRUCTURE TO CONSTRUCT A 1,100 SQUARE FOOT  
LIBRARY ADDITION AT CEDAROAK SCHOOL LOCATED AT  
4515 CEDAROAK DRIVE

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**CITY OF WEST LINN PLANNING &  
DEVELOPMENT  
STAFF REPORT**

TO: West Linn Planning Commission (for June 16, 2010 meeting)

FROM: West Linn Planning Staff (Peter Spir, Associate Planner)

DATE: Report completed June 2, 2010

FILE NO: CUP-10-02/DR-10-03/VAR-10-04/MIS-10-06

SUBJECT: Conditional Use, Class I Design Review, Class II Variance and Expansion of  
A Non-Conforming Structure to construct a 1,100 square foot library  
addition at Cedaroak School.

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Planning Director's Initials 

<sup>for</sup> City Engineer's Initials  P.W. Dir.

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**SPECIFIC DATA**

**FILE NOS.:** CUP-10-01/DR-10-02/VAR-10-03/MISC-10-05

**REQUEST:** Conditional Use, Class I Design Review, Class II Variance and  
Expansion of A Non-Conforming Structure to construct a 1,100  
square foot library addition at Cedaroak School

**OWNER/  
APPLICANT:** Tim Woodley , Director of Operations  
West Linn-Wilsonville School District  
PO Box 35,  
West Linn, OR 97068

**CONSULTANTS:** Keith Liden,  
Parsons Brinkerhoff  
400 SW 6<sup>th</sup> Avenue, Suite 802  
Portland, OR 97204

Karina Ruiz  
Dulle Olson Weekes Architects



907 SW Stark St.  
Portland, OR 97205

**LOCATION:** 4515 Cedaroak Drive

**SITE SIZE:** 11.2 acres

**LEGAL  
DESCRIPTION:** Assessor's Map 2S-1E-24BA Tax Lot 1800

**ZONING:** R-10

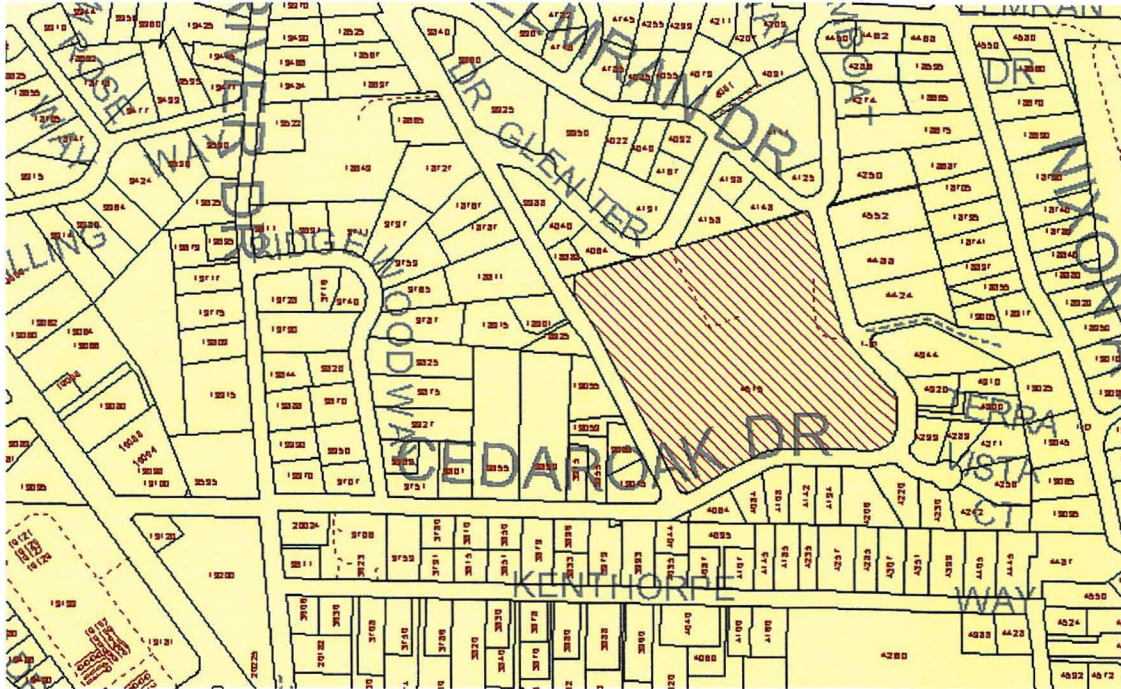
**COMP PLAN  
DESIGNATION:** Medium Density Residential

**120-DAY PERIOD:** These applications were deemed complete on May 12, 2010. The 120-day period for making a decision will lapse on September 9, 2010. Therefore, the must exhaust all local review and appeals prior to that date.

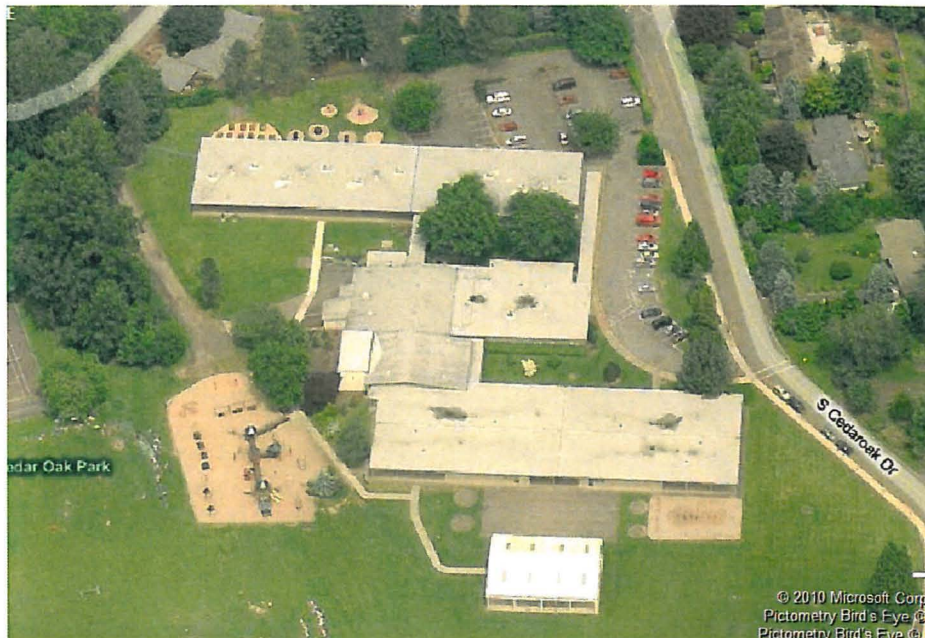
**PUBLIC NOTICE:** Public notice was mailed to property owners in the affected area on May 19, 2010. The site was posted on June 3, 2010. The West Linn Tidings published notice on May 25 and June 3, 2010. Therefore, public notice requirements of Chapter 99 of the Community Development Code have been satisfied. The applicant has satisfied the neighborhood meeting was required per CDC Section 99.038.

**EXECUTIVE SUMMARY:**

The subject property, highlighted on the following map, is owned by the West Linn-Wilsonville School District. The Cedaroak School has occupied the site for over 50 years. Primary access to the school is provided by South Cedaroak Drive, which runs along the south and east sides of the site. Currently, there are 407 students and 48 staff at the school.



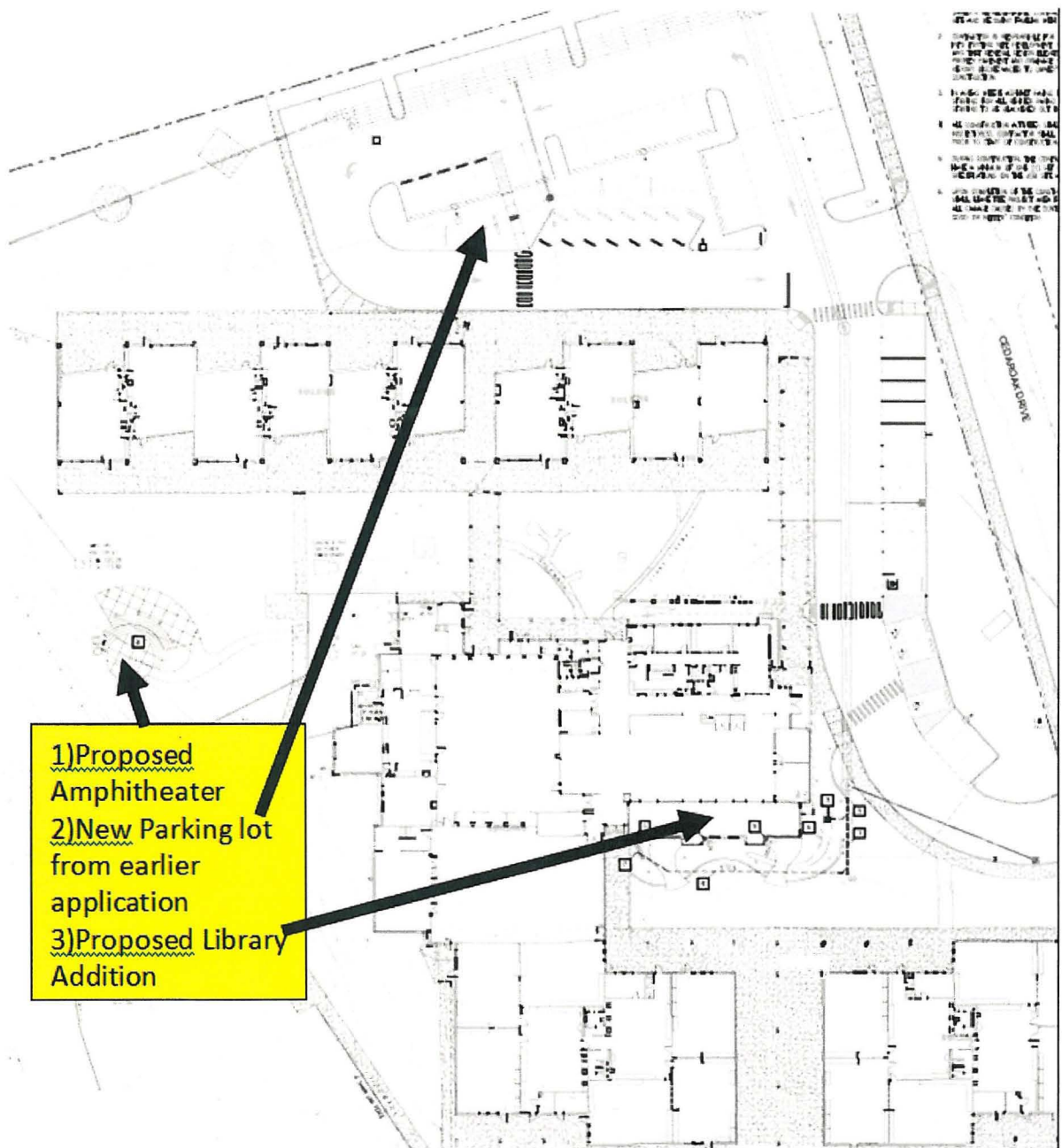
Site Conditions. The 11.2 acre site is generally flat with all grades in the 0-5% range with the exception of slopes associated with a very small creek originating in the north central portion of the site which flows north to Glenn Terrace. There are numerous trees, mostly Cottonwoods, in the northwest quarter of the site. The southern half is dominated by playing fields while the school occupies the north east quarter.



The photo above was taken prior to the 2009 expansion of the parking lot.



Project Description. West Linn-Wilsonville School District wants to expand the Cedaroak School library by 1,100 square feet. They also propose a small amphitheater at the northwest corner of the school as depicted in the following drawing. It will be used for outdoor classes and activities. An existing courtyard, which will be partially displaced, is proposed to be enhanced by extensive landscaping, additional trees and a water treatment swale.



Surrounding Land Use. Cedaroak Drive separates the school from single family homes to the south and east. Trillium Street does the same to the west. Homes on Glenn Terrace directly abut the school property. Many are effectively screened by vegetation.

Approval Criteria and Analysis. Changes to an existing conditional use require a new Conditional Use application per Community Development Code (CDC) Section 6-0.050(B). The approval criteria for Conditional Uses are in CDC Section 60.070. A Conditional Use Permit (CUP) is required whenever there are additions to structures that are only allowed in the underlying zone by CUP, as is the case here. The purpose of the CUP is to make sure that the proposed use fits the location and the location is big enough to satisfy the functional needs of the use and can mitigate any impacts.

Per CDC Section 60.070(B), "An approved conditional use or enlargement or alteration of an existing conditional use shall be subject to the development review provisions set forth in Chapter 55. Per CDC Section 55.020, Class I Design Review is needed for the proposed outdoor landscaping and the building addition since it has square footage equal to less than 5% of the existing building square footage. The approval criteria for Class I Design Review are in CDC Section 55.090. Design Review addresses the issues of compatibility, building architecture, defensible space, etc.

The existing school is classified as a non-conforming structure due to inadequate off-street parking. The city's parking standards call for one vehicle space for every 1,000 square feet of floor area plus one space per staff member. With 46,215 square feet and 48 staff, 95 parking spaces are required. The 1,100 square-foot library addition (with no additional staff) would increase this requirement by one space to 96 spaces. In a project that was completed and finalled by the Engineering Department in May 2010, as the first phase of this project, the district added six parking spaces, for a total of 74 spaces (DR-09-02).

When there is a proposal to expand or alter a non-conforming structure, the decision making body may approve that expansion if the addition does not worsen the non-conformity. Since the recent parking lot expansion added six spaces when only one space was needed, the decision making body may find that the school district has met and exceeded the criterion of CDC 66.080(B)(2).

*2. If the enlargement, in and of itself, does not meet all provisions of the Code, review and approval under the provisions of Section 99.060(B) is required subject to the following standards.*

- a. The enlargement or alteration will not change the non-conformity;*
- b. All other applicable ordinance provisions will be met.*

In the event the Planning Commission deems that the applicant does not meet the criteria for expansion of a non-conforming structure, specifically parking requirements of CDC

Chapter 46, the applicant has applied for a Class II Variance for non-conformance with 66.080(B).

The school is also non-conforming in terms of Bicycle parking. Bicycle parking is required at a rate of two spaces per classroom for a total of 44 spaces (22 classrooms). The district provides only 15 spaces. They propose to supplement the existing 15 spaces with 12 new, covered bike rack spaces located adjacent to the south classrooms. In addition, a location for 18 future, covered spaces is shown near the north classrooms at the front of the building. Bike parking requirements are only triggered by additional classrooms (CDC 55.100 page 55-47) and the library expansion does not constitute a new additional classroom, no additional bike parking is needed under Chapter 66. However, the addition of 12 spaces will satisfy the criterion of CDC 66.080(B)(2) listed above.

As an aside, and this is more of an empirical observation by the school district: currently, approximately 2 to 3 cyclists come to school, and, according to the applicant's submittal, this number can be as high as 20 during the better weather in the spring and fall. This relatively low number is because "only 4<sup>th</sup> and 5<sup>th</sup> graders are old enough to ride safely to school". The proposed number of new bike spaces will, according to the applicant, be more than adequate to meet current demand.

The proposed amphitheater appears is not expected to pose problems for neighbors provided that noise is not amplified.

Staff has reviewed the applicant's proposal relative to all applicable requirements and finds that there are sufficient grounds for approval, subject to the conditions listed below. See the following Supplementary Findings for details.

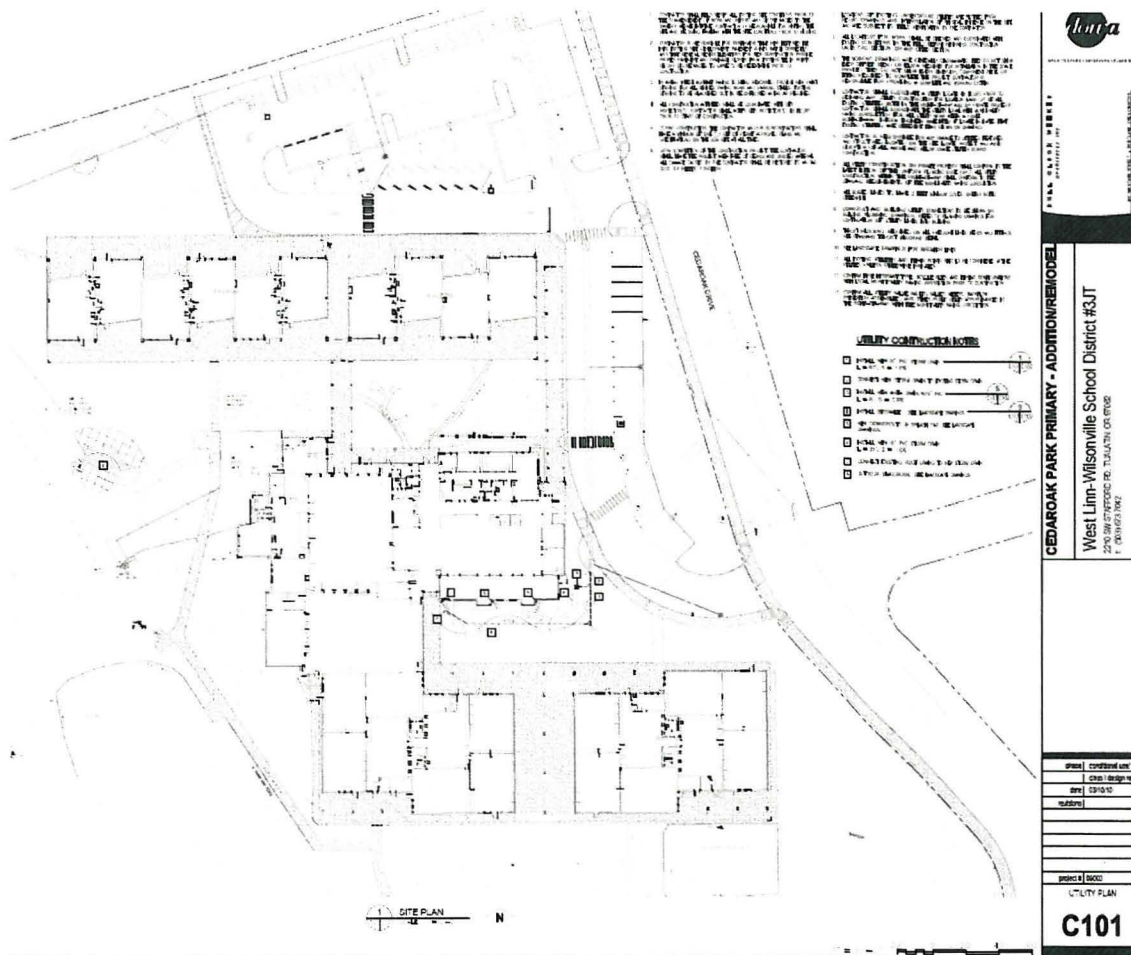
#### **PUBLIC COMMENTS**

As of May 19, 2010, staff had received no public comments, which is consistent with the response to an earlier application at this school.

#### **RECOMMENDATION**

Based upon the findings in the applicant's submittal, (PC-2) which are hereby adopted, staff recommends approval of the application with the following conditions of approval:

1. Site Plan. With the exception of modifications required by these conditions, the project shall conform to the Utility Plan (C 101).



2. Street lighting plan. A street lighting plan shall be prepared and submitted for approval by the City Engineer. Once approved, it shall be implemented along Cedar Oak Drive.
3. Bicycle parking. The school district shall provide 12 new covered bicycle parking spaces. The spaces shall be in a location, approved by the Planning Director, that is readily and regularly observed from classrooms or activity areas in the school itself or relocate the bike racks to a more visible and safer covered location.
4. Amphitheater. The amphitheater shall not be used for activities using amplified sound.
5. Fire protection. Provide a current fire flow test of the nearest fire hydrant demonstrating available flow at 20 psi residual pressure as well as fire flow calculation worksheets. Fire flow calculation worksheets as well as instructions are available on TVFR web site at [www.tvfr.com](http://www.tvfr.com). Check with the West Linn building official regarding the agreement to upgrade any deficient firefighting water supply when improvements are made to the existing school buildings.



**APPLICABLE REGULATIONS AND ASSOCIATED  
SUPPLEMENTAL FINDINGS  
CUP-10-01/DR-10-02/VAR-10-03/MISC-10-05**

Staff recommends adoption of the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

**CHAPTER 60, CONDITIONAL USE**

**60.070 APPROVAL STANDARDS AND CONDITIONS**

- A. *The Planning Commission shall approve, approve with conditions, or deny an application for a conditional use, except for a manufactured home subdivision in which case the approval standards and conditions shall be those specified in Section 36.030, or to enlarge or alter a conditional use based on findings of fact with respect to each of the following criteria:*
1. *The site size and dimensions provide:*
    - a. *Adequate area for the needs of the proposed use; and,*
    - b. *Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.*

**FINDING NO. 1:**

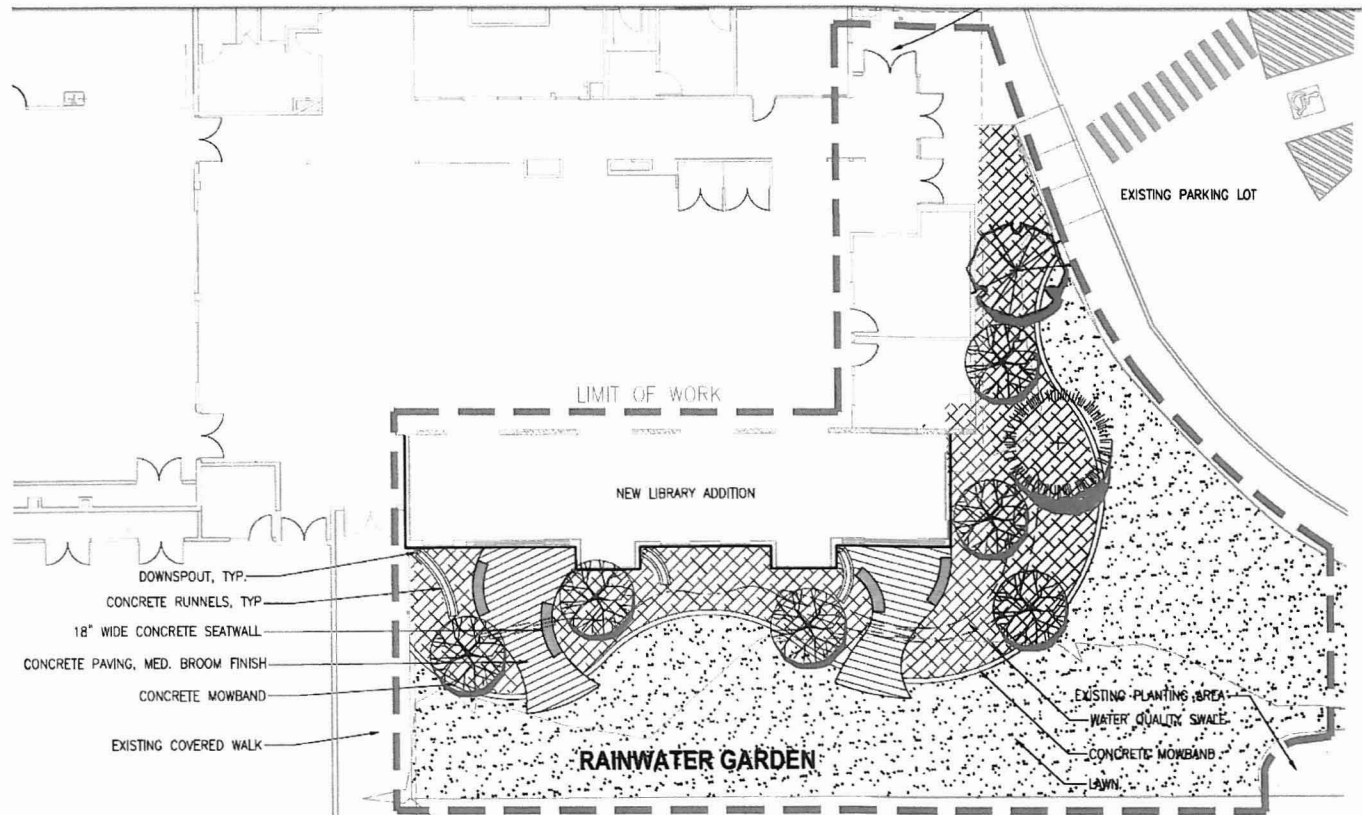
The site has adequate area for the library addition in that there is a 50-foot wide grassed courtyard to the south of the existing library (south elevation). The proposed addition will be about 20 feet deep leaving a 30-foot wide courtyard for adequate air circulation and light. The design also shows that the courtyard will be enhanced by extensive landscaping. Functionally and aesthetically, the school will be enriched by a landscaped water quality swale wrapping around the south corner of the library. No adverse effects on surrounding uses or properties are anticipated. Therefore the criteria are met.

2. *The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features.*

**FINDING NO. 2:**

The 50-foot wide grassed courtyard on the school's east elevation next to the existing library is an obvious location for a library expansion. Another positive aspect is that even with the addition, the east elevation's courtyard, albeit narrower, will continue to

provide an attractive green space, will help articulate and vary the east elevation, and will allow sunlight into the proposed large banks of south facing windows in the library. The area is flat and bereft of any significant trees. The applicant notes that three small fruit trees will be removed. There are no topographic features that would discourage this addition. As discussed in finding no. 1, the site can accommodate not only the addition but also a water quality treatment swale.



3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.*

### FINDING NO. 3:

Having adequate space to meet basic educational needs is important in any community. The school district has stated that the existing library is inadequate in terms of size. To ensure a positive and adequate learning environment, the addition is required. The proposed improvements are among those funded by the bond approved by the voters of the school district.

4. *Adequate public facilities will be available to provide service to the property at the time of occupancy.*



**FINDING NO. 4:**

Adequate sewer and water facilities are already in place. The addition of 1,100 square feet of library will not compromise the provision of existing services. Street lights are needed along the east frontage of the school along Cedaroak Drive. There is a net gain of 1,100 square feet of impervious area proposed. The applicant is required to provide stormwater treatment for this, and proposes a treatment swale at the south-east corner of the library addition. The criterion is met by condition.

5. *The applicable requirements of the zone are met, except as modified by this chapter.*

**FINDING NO 6.**

The criterion is met for compliance to the R-10 zone provisions, with the exception of parking. The applicant has applied to enlarge/alter a non-conforming structure and a Class II Variance. See findings below.

7. *The use will comply with the applicable policies of the Comprehensive Plan.*

**FINDING NO. 7.**

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

*Specific Policy 10 (Water Quality):*

*Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.*

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. The applicant's water treatment swale and rain garden will satisfy this requirement triggered by the additional impervious surfaces created by this application.

*Specific Policy 19 (Noise Control)*

*Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.*

The proposed improvements will not change use patterns on the site. There is concern about noise from amphitheater activity but so long as activities are contained to school hours the noise will dissipate by the site boundaries.

*Specific Policy 19 (Urban Forest):*

*Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:*

*A roadway is being developed*

*A building site is being developed*

*Solar access is needed for a solar heating system.*

The only trees affected by this proposal will be the removal of a few small orchard trees in the courtyard south of the library. They will be replaced with eight trees per the landscape plan.

*Transportation Goal Bicycle Policy 4*

*Require new commercial, industrial, and institutional development to provide on-site facilities for bicycle parking and storage.*

The school district is not required by this expansion to add bike parking. There are 15 spaces currently. Nonetheless they are going ahead with an additional 12 spaces to move them closer to the requisite 44 spaces. The ongoing concern is that all parking should be covered, accessible, secure and easily surveilled.

*Robinwood Neighborhood Plan*

The Robinwood Neighborhood Plan policy 6.4 calls for working with the School District to resolve parking issues associated with Cedaroak School. Staff finds that the additional parking moves the district into better compliance with the parking standards.

## Chapter 55, Design Review.

### 55.090 APPROVAL STANDARDS - CLASS I DESIGN REVIEW

*The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:*

- A. *The provisions of the following sections shall be met:*
1. *Section 55.100 B (1-4) "Relationship to the natural physical environment" shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.*
  2. *Section 55.100 B (5-6) "Architecture, et al" shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.*
  3. *Pursuant to Section 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.*

Staff found that the site is substantially built out, especially on the library side of the building so analysis of site characteristics would have no value. The only applicable sections of Design Review are section 55.100(B)(6) "Architecture" and section 55.100(J) "Crime Prevention and Defensible Space"

6. *Architecture.*

- a. *The predominant architecture of West Linn identified in the West Linn vision process was contemporary vernacular residential designs emphasizing natural materials: wood with brick and stone detail. Colors are subdued earth tones: greys, brown, off-whites, slate, and greens. Pitched roofs with overhanging eaves, decks, and details like generous multi-light windows with oversized trim are common. Also in evidence are the 1890s Queen Anne style homes of the Willamette neighborhood. Neo-traditional homes of the newer subdivisions feature large front porches with detailed porch supports, dormers, bracketed overhanging eaves, and rear parking for cars. Many of these design elements have already been incorporated in commercial and office*

architecture.

- b. *The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing, materials and colors of surrounding buildings in the proposed structure.*
- c. *While there has been discussion in Chapter 24 about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that "step down" or "step up" from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.*
- d. *Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.*
- e. *Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (e.g., his/her size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally.*

*The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the "height and width" ratio referenced in this section.*

**FINDING NO. 8:**

The “before and after” drawings are on sheet A3.01 and provide good contrast between the existing and proposed elevations. If one thing can be said about the existing single story school it is that its architectural lines run horizontally.

On the east elevation, where the library will be most visible to the Cedaroak ROW, the existing image is dominated by the canopy and metal parapet that runs adjacent to the driveway. The walls are rather blank stucco with very limited transparency (below).

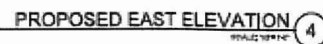
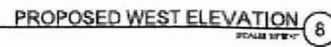
The proposed east elevation with tall grade to ceiling windows and vertically oriented brick wall sections should introduce a much needed dimension to this portion of the school and help break up the building into discrete elements. Additional windows will enhance surveillance opportunities in this area where children are dropped off and picked up.



Limited transparency on existing east elevation

The south elevation of the proposed library addition replaces a dull, repetitive wall and window pattern with two clerestory windows which provide a strong vertical emphasis. Brick is the material of choice for all new exterior cladding. Adjacent to the south elevation, the narrower courtyard’s function will change from a grassed area to one integrating a storm treatment facility and improved landscaping. The low slung single-story designs integrate the new and the old school sections very effectively.

The proposed amphitheater at the northwest corner of the school will be for outdoor classes and activities. It features a classic functional design with an arbor. No amplified noise or other impacts are expected that would disturb the abutting homeowners. Therefore the criterion is met.



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J. **Crime prevention and safety/defensible space.**

1. Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.
2. Interior laundry and service areas shall be located in a way that they can be observed by others.
3. Mail boxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.
4. The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.
5. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.
6. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omni-directional lights of an ornamental nature may be used in general commercial districts only.
7. Lines of sight shall be reasonably established so that the development site is visible to police and residents.
8. Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to protect public safety. No variances are required regardless of location.

**FINDING NO. 9**

Staff finds that the current amount of transparency along the east facing elevation is inadequate. It faces a high activity area where children are picked up and dropped off.

Although the south facing elevation has more windows they are higher up on the building meaning surveillance is limited. The proposed increase in transparency on both the east and south facing elevations will create improved lines of sight into the grassed courtyard south of the library as well as improved surveillance of the parking lot/pick up area on the east side towards Cedaroak Drive. Therefore the criterion is met.

Regarding surveillance of the 12 covered bike spaces south of the south classrooms, the applicant must demonstrate adequate surveillance from those classrooms or relocate the bike racks to a more visible and safer covered location.

## **Chapter 66.000 NON-CONFORMING STRUCTURES**

### **66.010 PURPOSE**

*The zones applied within the City after the effective date of this Code may cause some existing structures to become non-conforming in terms of meeting the zone lot coverage, setback, parking, building height, or landscaping requirements. The purpose of this chapter is to permit these non-conforming structures to be used until they are destroyed or made conforming.*

### **66.080 ENLARGEMENT OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS**

- B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:*
  - 2. If the enlargement, in and of itself, does not meet all provisions of the Code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of Section 99.060(B) is required subject to the following standards.*
    - a. The enlargement or alteration will not change the non-conformity; and*
    - b. All other applicable ordinance provisions will be met.*

### **FINDING NO. 10:**

Cedaroak Elementary School is a non-conforming structure because it is 22 spaces shy of the required 96 parking spaces. In May, 2010, in anticipation of this library addition, the School District added six parking spaces top the site. This exceeds the one parking space required for the library addition. CDC 66.080(B)(2) above has criteria which allows non-conforming structures to be altered or expanded so long as they do not increase or worsen the non-conformity. Since they are added six parking spaces in the first phase of the project, they are not worsening the situation. Thus the criterion is met.



(The school district also notes that there is room on Cedaroak Drive for 86-90 vehicles so the technical deficiency is not significant in a functional sense.)

The school is also non-conforming in terms of Bicycle parking. Bicycle parking is required at a rate of two spaces per classroom for a total of 44 spaces (22 classrooms). The district provides only 15 spaces. They propose to supplement the existing 15 spaces with 12 new, covered bike rack spaces located adjacent to the south classrooms. In addition, a location for 18 future, covered spaces is shown near the north classrooms at the front of the building. Bike parking requirements are only triggered by additional classrooms (CDC 55.100 page 55-47) and the library expansion does not constitute a new additional classroom, no additional bike parking is needed under Chapter 66. However, the addition of 12 spaces will satisfy the criterion of CDC 66.080(B)(2) listed above.

Therefore the applicant meets the criterion on condition that the proposed 12 spaces are installed in an observable and accessible location and that at least half are covered.

## **VARIANCE**

### **75.060 APPROVAL CRITERIA**

#### **FINDING NO. 11:**

The deficiencies relating to parking are most appropriately addressed in the findings relating to "Expansion of a Non-Conforming Structure" ; a variance is not necessary.

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**48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES**

A. Direct individual access from single family dwellings and duplex lots to an arterial street, as designated in the Transportation element of the Comprehensive Plan, is prohibited for lots created after the effective date of this Code where an alternate access is either available or is expected to be available by imminent development application. Evidence of alternate or future access may include temporary cul-de-sacs, dedications or stubouts on adjacent parcels, or tentative street layout plans submitted at one time by adjacent property owner/developer or by the owner/developer, or previous owner/developer, of the property in question.

In the event that alternate access is not available as determined by the Planning Director and City Engineer, access may be permitted after review of the following criteria:

1. Topography.
2. Traffic volume to be generated by development (i.e., trips per day).
3. Traffic volume presently carried by the street to be accessed.
4. Projected traffic volumes.
5. Safety considerations such as line of sight, number of accidents at that location, emergency vehicle access, ability of vehicles to exit the site without backing into traffic.
6. The ability to consolidate access through the use of a joint driveway.
7. Additional review and access permits may be required by state or county agencies.

B. When any portion of any house is less than 150 feet from the adjacent right-of-way, access to the home is as follows:

1. One single-family residence, including residences with an accessory dwelling unit as defined in Section 02.030, shall provide 10 feet of unobstructed horizontal clearance. Dual-track or other driveway designs that minimize the total area of impervious driveway surface are encouraged.

2. Two to four single-family residential homes equals 14–20 foot wide paved or all weather surface. Width shall depend upon adequacy of line of sight and number of homes.

3. Maximum driveway grade shall be 15 percent. The 15% shall be measured along the centerline of the driveway only. Variations require approval of a Class II variance by the Planning Commission pursuant to Chapter 75. Regardless the last 18 feet in front of the garage shall be under 12 percent grade as measured along the centerline of the driveway only. Grades elsewhere along

the driveway shall not apply. (ORD 1513)

4. The driveway shall include a minimum of 20 feet in length between the garage door and the back of sidewalk, or, if no sidewalk is proposed, to the paved portion of the right-of-way. (ORD. 1584)

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## AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

### GENERAL

File No. CUP 10-01 Applicant's Name W2-W11 School Dist  
Development Name Cedarbrook Library expansion  
Scheduled Meeting/Decision Date 6-16-2010

**NOTICE:** Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

### TYPE A X

<input checked="" type="checkbox"/> A.	The applicant (date) <u>5/19/10</u>	(signed) <u>SR</u>
<input checked="" type="checkbox"/> B.	Affected property owners (date) <u>5/19/10</u>	(signed) <u>SR</u>
<input checked="" type="checkbox"/> C.	School District/Board (date) <u>5/19/10</u>	(signed) <u>SR</u>
D.	Other affected gov't. agencies (date) _____	(signed) _____
<input checked="" type="checkbox"/> E.	Affected neighborhood assns. (date) <u>5/19/10</u>	(signed) <u>SR</u>
<input checked="" type="checkbox"/> F.	All parties to an appeal or review (date) <u>5/19/10</u>	(signed) <u>SR</u>

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) 6/3/2010 (signed) TS  
City's website (posted date) 5/25/2010 (signed) TS

### SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**NOTICE:** Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

### TYPE B \_\_\_\_\_

A.	The applicant (date) _____	(signed) _____
B.	Affected property owners (date) _____	(signed) _____
C.	School District/Board (date) _____	(signed) _____
D.	Other affected gov't. agencies (date) _____	(signed) _____
E.	Affected neighborhood assns. (date) _____	(signed) _____

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.

Date: \_\_\_\_\_ (signed) \_\_\_\_\_

**STAFF REPORT** mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**FINAL DECISION** notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**CITY OF WEST LINN  
PLANNING COMMISSION  
PUBLIC HEARING NOTICE  
FILE NO. CUP-10-01/DR-10-02/VAR-10-03/MI-10-05**

The West Linn Planning Commission is scheduled to hold a public hearing, on **Wednesday, June 16, 2010, starting at 7:00 p.m.** in the Council Chambers of City Hall (located at 22500 Salamo Road, West Linn, OR,) to consider the request of the West Linn-Wilsonville School District to construct a 1,100 square foot library addition at Cedaroak Elementary School. A Conditional Use Permit (CUP) is required for any significant addition to a school in the R-10 zone. The approval criterion is found in Community Development Code chapter 60. A Class I Design Review permit is required because the library addition represents less than a five percent addition to the school. The approval criterion is found in Community Development Code chapter 55. An Expansion of a Non-Conforming Structure permit is required because the school has insufficient parking per code. The approval criterion is found in Community Development Code chapter 66. A Class II Variance has been applied for by the applicant to allow the addition without the requisite parking. The approval criterion is found in Community Development Code chapter 75. Approval or disapproval of the request by the Planning Commission will be based upon these criteria and these criteria only. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

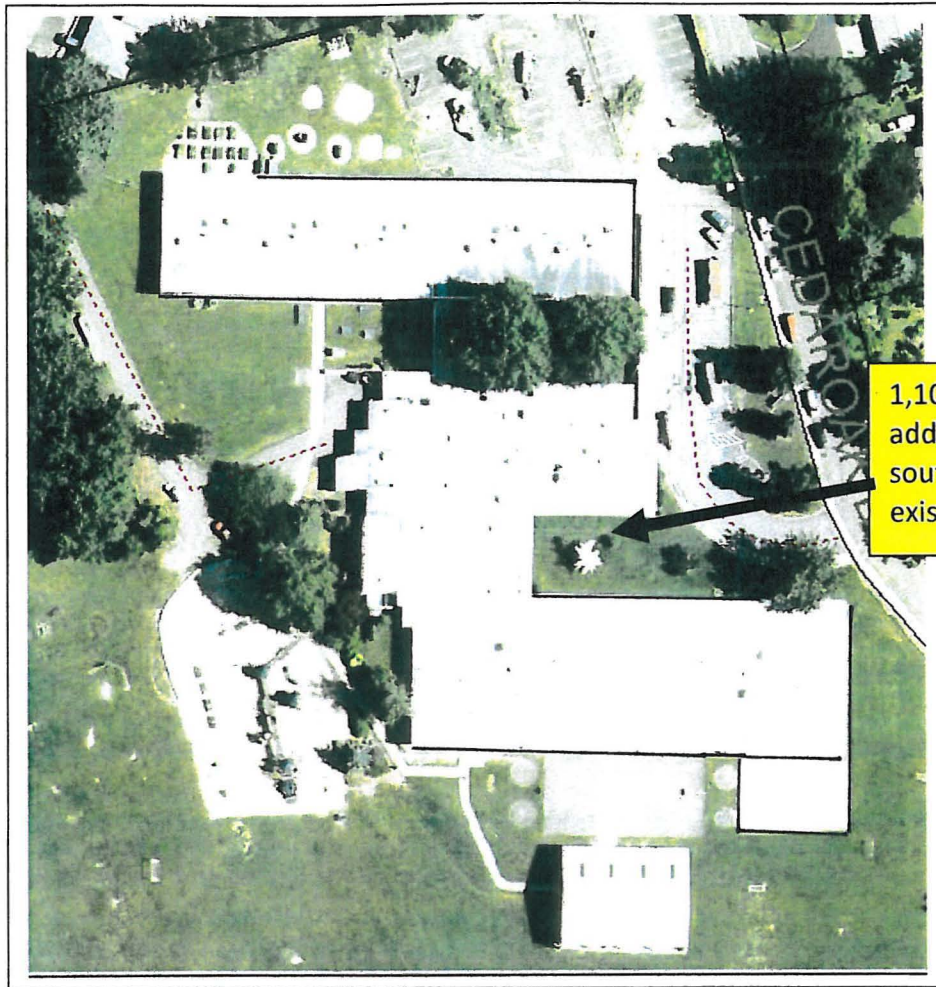
You have been notified of this proposal because County records indicate that you own property within 500 feet of the proposed site located at tax lot 1800 of Clackamas County Assessor's Map 2-1E-24BA. The address is 4515 Cedaroak Drive.

The complete application in the above noted file is available for inspection at no cost at City hall or via the web site at <http://westlinnoregon.gov/planning/4515-cedaroak-drive-primary-school-library-expansion> , or copies can be obtained for a minimal charge per page. At least ten days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Peter Spir, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR 97068, or by email at [pspir@westlinnoregon.gov](mailto:pspir@westlinnoregon.gov) or by telephone at 503-723-2539.

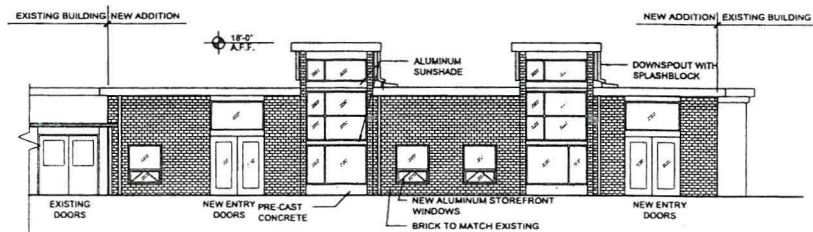
The hearing will be conducted in accordance with the rules of Section 99.170 of the Community Development Code, adopted December 14, 1987, Ordinance 1129. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the Planning Commission will receive a staff report presentation from the City Planner; and invite both oral and written testimony. The Planning Commission may continue the public hearing to another meeting to obtain additional information, or close the public hearing and take action on the application. If a person submits evidence in support of the application, any party is entitled to request a continuance of the hearing. If there is no continuance granted at the hearing, any participant in the hearing may request that the record remain open for at least seven days after the hearing. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.

TERESA ZAK  
Planning Administrative Assistant





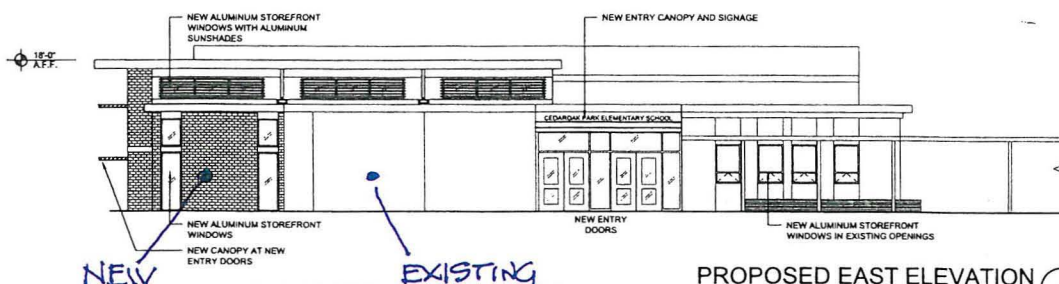
1,100 sq ft library addition on the south side of the existing library



PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"

6



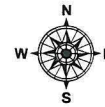
PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"

4

(AS SEEN FROM CEDAR OAK DR)

# CUP-10-01 4515 Cedaroak Drive





BAKER THOMAS C  
4111 ELMRAN DR  
WEST LINN OR 97068-1513

BALES SHIRLEY A TRUSTEE  
18855 NIXON AVE  
WEST LINN OR 97068-1625

BALTAZAR ROBERT D & SHIRLEY L  
4220 TERRA VISTA CT  
WEST LINN OR 97068-1655

BARTLEY PATRICIA F TRUSTEE  
4310 CEDAROAK DR  
WEST LINN OR 97068-1667

BELL MARTY C & MAE M  
4552 CEDAROAK DR  
WEST LINN OR 97068-1671

BERGER MICHAEL J & PEGGY E  
4081 ELMRAN DR  
WEST LINN OR 97068-1508

BURNS DENNEL G  
4351 KENTHORPE WAY  
WEST LINN OR 97068-2115

CANYON DEVELOPMENT LLC  
PO BOX 42310  
PORTLAND OR 97242-0310

CARLSON ERIC R & MARYANNE  
3875 RIDGEWOOD WAY  
WEST LINN OR 97068-1651

CITY OF LAKE OSWEGO  
PO BOX 369  
LAKE OSWEGO OR 97034-0369

CLIFTON KENNETH E & LISA M  
3765 RIDGEWOOD WAY  
WEST LINN OR 97068-1649

COKER PEGGY M SHAFFER & RUSSELL  
3950 ELMRAN DR  
WEST LINN OR 97068-1509

COMPTON LAURENE E & BRIAN J  
PO BOX 106  
MARYLHURST OR 97036-0106

CONKLE LEO E TRUSTEE  
4307 KENTHORPE WAY  
WEST LINN OR 97068-2115

CROY LOU ANN LIVING TRUST  
4399 KENTHORPE WAY  
WEST LINN OR 97068-2115

CURTISS ALAN C & JACQUELYN M  
18812 UPPER MIDHILL DR  
WEST LINN OR 97068-1311

DASSO JAMES F TRUSTEE  
3893 CEDAROAK DR  
WEST LINN OR 97068-1607

DAVIDS DORIS J TRUSTEE  
18767 TRILLIUM DR  
WEST LINN OR 97068-1661

DEAN DENNIS G & CHERYL V WIDEMAN  
3988 GLEN TER  
WEST LINN OR 97068-1673

DELANO RAMONA CO-TRUSTEE  
3737 RIDGEWOOD WAY  
WEST LINN OR 97068-1649

DELUCA RAYNOLD E JR & DEBRA A  
4206 CEDAROAK DR  
WEST LINN OR 97068-1615

DENEKAS BRIAN D & NAOMI K  
4131 GLEN TER  
WEST LINN OR 97068-1619

DEUTSCHE BANK NATL TRUST CO  
10790 RANCHO BERNARDO RD  
SAN DIEGO CA 92127-5705

DONOVAN KEVIN & DIANA  
KENDALL  
4250 ELMRAN DR  
WEST LINN OR 97068-1512

DULY DEBORAH M  
18888 TRILLIUM DR  
WEST LINN OR 97068-1638

DURHAM KATHERINE A  
3833 KENTHORPE WAY  
WEST LINN OR 97068-2120

FASTABEND RANDALL J & CORINN  
18787 TRILLIUM DR  
WEST LINN OR 97068-1661

FISHER DONALD D TRUSTEE  
5882 NW HIGHLAND PL  
CORVALLIS OR 97330-9729

FLETTER ALEXANDER H  
18917 NIXON AVE  
WEST LINN OR 97068-1616

FOSBERG DAVID  
54876 JUNIPER FLAT RD  
MAUPIN OR 97037-8104



FUNK DUANE H  
4405 KENTHORPE WAY  
WEST LINN OR 97068-2117

GEORGE PETER W & DIANE M  
4445 KENTHORPE WAY  
WEST LINN OR 97068-2117

GERBER SCOTT  
3940 KENTHORPE WAY  
WEST LINN OR 97068-2160

GOLDSCHMIDT JOSHUA A & ROBIN  
3960 KENTHORPE WAY  
WEST LINN OR 97068-2160

GRANT JUDITH A  
PO BOX 647  
WEST LINN OR 97068-0647

GREILING RODNEY W & JEANETTE L  
4040 ELMRAN DR  
WEST LINN OR 97068-1511

GRIFFITH THOMAS & LORIE  
4068 KENTHORPE WAY  
WEST LINN OR 97068-2122

GUIMARY FLORENCE  
4022 ELMRAN DR  
WEST LINN OR 97068-1511

GUNTER TODD J & WENDY G  
4320 CEDAROAK DR  
WEST LINN OR 97068-1667

GUNTHER STEPHAN W & DAWN G  
18665 NIXON AVE  
WEST LINN OR 97068-1621

HAATIA LLOYD WARREN TRUSTEE  
4271 TERRA VISTA CT  
WEST LINN OR 97068-1655

HACKETT JAMES E & KATHLEEN M  
PO BOX 193  
LAKE OSWEGO OR 97034-0223

HAINS PROPERTIES LLC  
11295 SE PINE CT  
PORTLAND OR 97216-3342

HANBY GEORGE DANIEL JR TRUSTEE  
18815 PARKWOOD PL  
WEST LINN OR 97068-1029

HARMON DAVID W & JUDITH N  
4312 STANFORD ST  
CHEVY CHASE MD 20815-5210

HARTFELL ADOLF & BARBARA  
4230 TERRA VISTA CT  
WEST LINN OR 97068-1655

HAYES ROBERT L TRUSTEE  
4424 CEDAROAK DR  
WEST LINN OR 97068-1669

HENDERSON ROBERT B  
19095 NIXON AVE  
WEST LINN OR 97068-2154

HOLM DARIN R TRUSTEE  
4785 CALAROGA DR  
WEST LINN OR 97068-1505

HOPPE HEATHER MARIE  
2308 HEATHERFIELD RD  
NORMAN OK 73071-1440

HORVATH E MARIE  
4256 TERRA VISTA CT  
WEST LINN OR 97068-1655

HOXHA ARTAN  
4064 GLEN TER  
WEST LINN OR 97068-1617

HUDSON CHRISTOPHER T  
4160 KENTHORPE WAY  
WEST LINN OR 97068-2124

HYMARK CUSTOM HOMES INC  
4407 CALAROGA DR  
WEST LINN OR 97068-1034

IUS GINO L & GERMAINE A  
4040 GLEN TER  
WEST LINN OR 97068-1617

JAEGER CRAIG L & KATHLEEN A  
18705 NIXON AVE  
WEST LINN OR 97068-1623

KEARNEY PATRICK M & HEIDI S  
19055 TRILLIUM DR  
WEST LINN OR 97068-1675

KILIAN RICHARD M & SHARON L  
18837 NIXON AVE  
WEST LINN OR 97068-1625

KILSTROM LONN K & ANN M  
3855 CEDAROAK DR  
WEST LINN OR 97068-1607

KING EVALOIS A  
4145 KENTHORPE WAY  
WEST LINN OR 97068-2111

KING LAMONT A  
4257 KENTHORPE WAY  
WEST LINN OR 97068-2113

KING MARSHALL R & NANCY L  
18687 NIXON AVE  
WEST LINN OR 97068-1621

KURZENBERGER CARL T  
4148 ELMRAN DR  
WEST LINN OR 97068-1510

LORANCE ESTHER I & MICHAEL C  
18735 NIXON AVE  
WEST LINN OR 97068-1623

MACNAUGHTON SCOTT C & TERE R  
3924 WELLINGTON PL  
WEST LINN OR 97068-3668

MAGEE GERALD J & JUDITH C  
18925 TRILLIUM DR  
WEST LINN OR 97068-1665

MCCARTHY SEAN G  
4142 CEDAROAK DR  
WEST LINN OR 97068-1613

MCDONALD CARMEN M & JENNIFER A  
3882 KENTHORPE WAY  
WEST LINN OR 97068-2157

MCDONALD RYAN A & JENNIFER A  
4194 CEDAROAK DR  
WEST LINN OR 97068-1613

MCLACHLAN MONTE E & MARLA J  
19045 NIXON AVE  
WEST LINN OR 97068-2154

MCNAMARA JOHN E & MARIANA  
19005 NIXON AVE  
WEST LINN OR 97068-2154

MEYERS GRACE J  
4100 KENTHORPE WAY  
WEST LINN OR 97068-2124

MILLER JEFFREY & SUSAN  
4300 CEDAROAK DR  
WEST LINN OR 97068-1667

MILLER JOHN M & DONNA D  
3825 RIDGEWOOD WAY  
WEST LINN OR 97068-1651

MILLER MILES J  
18595 NIXON AVE  
WEST LINN OR 97068-1522

NICHOLS JAMES M & SHEILA M  
4073 ELMRAN DR  
WEST LINN OR 97068-1508

NIELSON JAY & LISA M  
4344 CEDAROAK DR  
WEST LINN OR 97068-1667

NORBY JOHN C & KARLENE A  
4040 KENTHORPE WAY  
WEST LINN OR 97068-2122

OLSEN LAWRENCE O  
3993 KENTHORPE WAY  
WEST LINN OR 97068-2107

OREILLY MARGARET TESKE  
4025 ELMRAN DR  
WEST LINN OR 97068-1508

OSTERGARD WALTER A & BONNIE J  
4450 ELMRAN DR  
WEST LINN OR 97068-1516

PALMER DAVID & JANICE A  
18741 NIXON AVE  
WEST LINN OR 97068-1623

PASS DAVID A & MARLYNN A  
PO BOX 382  
WEST LINN OR 97068-0382

PENNINGTON TERRY LEE SR & KARYN  
19065 TRILLIUM DR  
WEST LINN OR 97068-1675

PERRY MAUREEN & JOSEPH A  
4064 CEDAROAK DR  
WEST LINN OR 97068-1611

PIERCE DAVID O & METTE K IPSEN  
PO BOX 615  
WEST LINN OR 97068-0615

POLLMANN DENNIS A & SHARON M  
3879 KENTHORPE WAY  
WEST LINN OR 97068-2159

PORTER MICHELLE P  
3927 RIDGEWOOD WAY  
WEST LINN OR 97068-1653

PREDEEK ERIC D  
3880 KENTHORPE WAY  
WEST LINN OR 97068-2157

PRICE WYLIADA M & DARYL  
3787 RIDGEWOOD WAY  
WEST LINN OR 97068-1649

RIDGEWAY STEVEN & KRISTI J  
3915 CEDAROAK DR  
WEST LINN OR 97068-1607

ROLLINSON KEITH THOMAS & M A  
3925 GLEN TER  
WEST LINN OR 97068-1606

RONNING GERALD J & DONNA M  
3753 RIDGEWOOD WAY  
WEST LINN OR 97068-1649

SCHELOT STEVEN N & SUSAN I  
4167 GLEN TER  
WEST LINN OR 97068-1619

SCHOEPPER BRETT B  
4095 KENTHORPE WAY  
WEST LINN OR 97068-2132

SCHWARK RYERSON E  
18915 TRILLIUM DR  
WEST LINN OR 97068-1665

SHERMAN STEVE & RITA  
19065 NIXON AVE  
WEST LINN OR 97068-2154

SHIIKI MICHAEL J & SARAH  
18901 TRILLIUM DR  
WEST LINN OR 97068-1665

SOMMERSET SCOTT T  
PO BOX 62  
WHEELER OR 97147-0062

SPEARS TONY L & LINDA L  
4138 ELMRAN DR  
WEST LINN OR 97068-1510

TOBIN STEPHAN A TRUSTEE  
19025 NIXON AVE  
WEST LINN OR 97068-2154

TREADGOLD SHARON M  
4044 CEDAROAK DR  
WEST LINN OR 97068-1611

VANCE DELBERT CLARK & JEANNE A  
4087 KENTHORPE WAY  
WEST LINN OR 97068-2132

WALKER SALLY A  
1521 N JANTZEN AVE  
PORTLAND OR 97217-8100

WEDDLE CARSON FRANCIS &  
NORMA R  
18675 NIXON AVE  
WEST LINN OR 97068-1621

WELLS GEORGE A & RICHETTA M  
3888 KENTHORPE WAY  
WEST LINN OR 97068-2158

WEST LINN-WILS SCH DIST #3J  
PO BOX 35  
WEST LINN OR 97068-0035

WHITBEY WAYNE ALLEN & LORA LEE  
2104 18TH ST  
WEST LINN OR 97068-4232

WIITANEN RICHARD M & SHEILA  
4092 ELMRAN DR  
WEST LINN OR 97068-1511

WILLIAMS KRISTI A & BRIAN D  
19075 TRILLIUM DR  
WEST LINN OR 97068-1675

WILLIAMS PATRICIA BADIA  
3896 CEDAROAK DR  
WEST LINN OR 97068-1609

WOODARD DONNA  
3979 KENTHORPE WAY  
WEST LINN OR 97068-2107

WORAM AKIE  
PO BOX 1053  
LAKE OSWEGO OR 97034-0119

TIM WOODLEY DIR. OF  
OPERATIONS  
WEST LINN-WILSONVILLE SCHOOL  
DIST  
PO BOX 35

KEITH LIDEN, AICP  
PARSONS BRINCKERHOFF  
400 SW 6TH AVE, STE 802  
PORTLAND OR 97204

THEA WAYBURN  
DULL OLSON WEEKES ARCHITECTS  
907 SW STARK ST  
PORTLAND OR 97205

JIM EVERETT  
TVF&R  
7401 SW WASHO CT STE 101  
TUALATIN OR 97062

ROGER WOehl SUPERINTENDANT  
WLWV SCHOOL DISTRICT 3JT  
PO BOX 35  
WEST LINN OR 97068

JEFF HALLIN  
WLWV SCHOOL BOARD CHAIR  
31501 SW ORCHID DR  
WILSONVILLE OR 97070

MARY FURROW  
WLWV SCHOOL BOARD VICE CHAIR  
3120 SW CASCARA CT  
WILSONVILLE OR 97070

DALE HOOGESTRAAT  
WLWV SCHOOL BOARD  
4155 ROSE PARK DR  
WEST LINN OR 97068

LORI BEIGHT  
WLWV SCHOOL BOARD  
2388 APPALOOSA WAY  
WEST LINN OR 97068

KEITH STEELE  
WLWV SCHOOL BOARD  
21415 MILES DR  
WEST LINN OR 97068

STEVE GARNER  
BHT NA PRESIDENT  
3525 RIVERKNOLL WAY  
WEST LINN OR 97068

SALLY MCLARTY  
BOLTON NA PRESIDENT  
19575 RIVER RD # 64  
GLADSTONE OR 97027

ALEX KACHIRISKY  
HIDDEN SPRINGS NA PRESIDENT  
6469 PALOMINO WAY  
WEST LINN OR 97068

JEFF TREECE  
MARYLHURST NA PRESIDENT  
1880 HILLCREST DR  
WEST LINN OR 97068

BILL RELYEA  
PARKER CREST NA PRESIDENT  
3016 SABO LN  
WEST LINN OR 97068

THOMAS BOES  
ROBINWOOD NA PRESIDENT  
18717 UPPER MIDHILL DR  
WEST LINN OR 97068

DEAN SUHR  
ROSEMONT SUMMIT NA  
PRESIDENT  
21345 MILES DR  
WEST LINN OR 97068

DAVE RITTENHOUSE  
SAVANNA OAKS NA PRESIDENT  
2101 GREENE ST  
WEST LINN OR 97068

KRISTIN CAMPBELL  
SKYLINE RIDGE NA PRESIDENT  
1391 SKYE PARKWAY  
WEST LINN OR 97068

TROY BOWERS  
SUNSET NA PRESIDENT  
2790 LANCASTER ST  
WEST LINN OR 97068

BETH KIERES  
WILLAMETTE NA PRESIDENT  
1852 4TH AVE  
WEST LINN OR 97068

ALMA COSTON  
BOLTON NA DESIGNEE  
PO BOX 387  
WEST LINN OR 97068

SUSAN VAN DE WATER  
HIDDEN SPRINGS NA DESIGNEE  
6433 PALOMINO WAY  
WEST LINN OR 97068

KEVIN BRYCK  
ROBINWOOD NA DESIGNEE  
18840 NIXON AVE  
WEST LINN OR 97068

DOREEN VOKES  
SUNSET NA SEC/TREAS  
4972 PROSPECT ST  
WEST LINN OR 97068

**Spir, Peter**

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**From:** Spir, Peter  
**Sent:** Friday, April 23, 2010 7:19 AM  
**To:** 'Liden, Keith S.'  
**Subject:** RE: Cedaroak Primary - Application Clarification

Keith

As I understood things at the initial pre-apps, the proposed library and parking lot project at Cedaroak was broken into two parts: DR-09-02 would add six new parking spaces to be followed by CUP-10-01 which proposes to add 1,100 sq ft for a library. This extra parking was intended to address the additional parking needs of the library. It accomplishes that. CDC 66.080(B)(2) has long been interpreted to mean that so long as the enlargement or alteration of the non-conforming use (school) is matched with improvements (parking) that keep the non-conformity from changing (adversely), then the approval criteria of CDC Chapter 66 is met. For that reason, I would simply go with the Ch 66 "Expansion of non-conforming structure" and not submit a variance. Of course, you are free to keep the variance application in your submittal as a "back up" in the event the PC diverges from past interpretations of the code and demands a variance.

Peter

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**From:** Liden, Keith S. [mailto:Liden@pbworld.com]  
**Sent:** Thursday, April 22, 2010 2:19 PM  
**To:** Spir, Peter  
**Cc:** Soppe, Tom; Karina Ruiz; theaw@dowa.com; Amy Berger; Patrick Tortora; Ben Vaughn; Andrew Holder  
**Subject:** [BULK] Cedaroak Primary - Application Clarification  
**Importance:** Low

Peter,

Thanks for clarifying the items in the incomplete letter for Cedaroak. For the 7 items in your letter, we will:

1. Include the other criteria in the narrative and simply explain how several of them are not applicable.
2. Provide an affidavit with the correct posting date, which was Feb. 18<sup>th</sup>.
3. Request a waiver to the audio tape requirement.
4. Explain the proposed use of the pergola and amphitheater.
5. Show the bike parking on the site plan (in addition to the landscaping plan where it is now shown).
6. Provide the site plan information from last year's design review application or request a waiver because of the limited scope of this project.
7. Work with engineering regarding the street lighting.

Regarding our conversation about whether a variance is necessary, the e-mail trail regarding process and the variance is below. Looking at your reference to 66.080 B, it appears to be open to interpretation if the district would need a separate variance or would be allowed to just address the criteria in 66.080 B, which states:

B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

1. If the enlargement, in and of itself, meets all provisions of this Code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this Code. (ORD. 1192)
2. If the enlargement, in and of itself, does not meet all provisions of the Code, review and approval by the Planning Director for single family structures, and by the Planning Commission for non-single family structures under the provisions of Section 99.060(B) is required subject to the following standards.

(ORD. 1192)

- a. The enlargement or alteration will not change the non-conformity; and
- b. All other applicable ordinance provisions will be met.

I'm not sure what "in and of itself" means. Does it mean that if the addition (in our case) meets the setback and height requirements it's good to go? Or does it mean that if the district provided additional parking based on the size of the addition (2 spaces for Cedaroak 1,100 sf addition and 3 for Bolton 2,500 sf addition) only without resolving the underlying nonconforming parking issue, it's good to go?

Because this appears to be saying that the addition can't increase the level of nonconformity, I think one could argue that a variance is needed. Naturally, we'd rather not request a variance, but we also don't want it determined by the Planning Commission that our application should have included such a request if we didn't.

Please let me know what you and Tom think because this interpretation affects both applications. Thanks.

**Keith Liden, AICP**

Lead Planner

### PlaceMaking

Parsons Brinckerhoff

400 SW 6<sup>th</sup> Avenue, Suite 802, Portland, OR 97204

Direct: 503-478-2348 | Office: 503-274-8772

[www.pbworld.com/pbplacemaking](http://www.pbworld.com/pbplacemaking)

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**From:** Spir, Peter [mailto:[pspir@westlinnoregon.gov](mailto:pspir@westlinnoregon.gov)]

**Sent:** Tuesday, March 02, 2010 6:42 AM

**To:** Liden, Keith S.

**Subject:** RE: Cedaroak Primary - Another Question

For the second phase at Cedaroak which entails expanded classroom/instructional space, it may be processed as a Class I Design Reviews so long as it is less than a 5% increase in size of building. Consequently 55.090 would apply with focus on architecture, defensible space/surveillance as well as the standard architectural issues of transparency etc etc.

x	Peter Spir <a href="mailto:pspir@westlinnoregon.gov">pspir@westlinnoregon.gov</a> <i>Associate Planner</i> 22500 Salamo Rd. West Linn, OR, 97068 P: (503) 723-2539 F: (503) 656-4106 Web: <a href="http://westlinnoregon.gov">westlinnoregon.gov</a>
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West Linn Sustainability Please consider the impact on the environment before printing a paper copy of this email.

Public Records Law Disclosure This e-mail is subject to the State Retention Schedule and may be made available to the public.

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**From:** Liden, Keith S. [mailto:[Liden@pbworld.com](mailto:Liden@pbworld.com)]

**Sent:** Monday, March 01, 2010 3:18 PM

**To:** Spir, Peter

**Subject:** [BULK] Cedaroak Primary - Another Question

**Importance:** Low

Peter,

Another question. As a Class I Design Review, do use the abbreviated review criteria list in 55.090, or does the Conditional Use aspect of the application (60.070 A 6) mean that all of Chapter 55 is applicable anyway? Just want to make sure I

address what I need to. Thanks.

**Keith Liden, AICP**

Lead Planner

### PlaceMaking

Parsons Brinckerhoff

400 SW 6<sup>th</sup> Avenue, Suite 802, Portland, OR 97204

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**From:** Spir, Peter [mailto:[pspir@westlinnoregon.gov](mailto:pspir@westlinnoregon.gov)]

**Sent:** Wednesday, February 24, 2010 8:39 AM

**To:** Liden, Keith S.

**Subject:** RE: Cedar Oak Primary

Keith

I agree that a CUP is required and that a Class I DR is required.

I looked at the DR-09-02 staff report for Cedar Oak and the pre-app notes of Feb 2009 and it seems that an expansion of a non-conforming structure will be required due to ongoing parking deficiencies.

The six spaces installed in phase one provided for the additional parking needs of phase one only. As far as I know it did not correct the overall parking shortfall.

For this new phase, the 1,100 sq ft expansion will require two 1.1 spaces. Fractions are rounded up meaning that two parking spaces are actually required (1 space per 1000 sq ft and 1 per additional employee). If you cannot meet the required number of parking spaces for phase two, then either a Class II variance would be required or a demonstration that 66.080(B)(2) can be met.

Knowing what the total parking requirement is for the school as it is now (total square footage and total number of employees) would be helpful so we can establish what parking deficiency exists.

The deposit fee for a CUP is 3,650 dollars


Class I DR deposit fee is 850 dollars

Exp of Non Conf Structure deposit fee is 1,200 dollars

Class II Variance deposit fee is 1,800 dollars

If the neighborhood meeting per CDC 99.038 addressed phase 2 and that is reflected in the meeting minutes then you do not need another one.

Peter

	<p>Peter Spir  <a href="mailto:pspir@westlinnoregon.gov">pspir@westlinnoregon.gov</a>  <i>Associate Planner</i>            22500 Salamo Rd.            West Linn, OR, 97068            P: (503) 723-2539            F: (503) 656-4106            Web: <a href="http://westlinnoregon.gov">westlinnoregon.gov</a></p>
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**From:** Liden, Keith S. [mailto:[Liden@pbworld.com](mailto:Liden@pbworld.com)]

**Sent:** Tuesday, February 23, 2010 3:31 PM

**To:** Spir, Peter

**Cc:** Thea Wayburn

**Subject:** [BULK] Cedar Oak Primary

**Importance:** Low

Peter,



When the district had the pre-application meeting with you regarding Cedar Oak on February 9, 2009, we reviewed the site improvements to the parking lot and landscaping as well as a future phase to expand the library by 2,500 sf and enclose existing breezeways (approx. 3,500 sf). Because this 6,000 sf expansion would represent more than a 5% expansion of the 46,215 sf building, a Class II Design Review is required. A Conditional Use Permit is also required to expand the school. As you know, the district received design review approval to do the first phase of work to improve the parking lot and landscaping.

The district is now preparing a Conditional Use/Design Review application for the library expansion. Due to budgetary constraints, the phase two work we presented last year has now been reduced to include a library expansion of only 1,100 sf and no enclosure of the breezeways or other additions. This is an expansion of only 2.4%. Because the parking lot was enlarged by 6 spaces in the first phase of work and the building expansion is now less than 5%, am I correct that the application would now include:

- Conditional Use Permit;
- Class I Design Review; and
- No variance for the expansion of a nonconforming building because we added sufficient parking to compensate for a 1,100 sf expansion?

Could you confirm this and the total application fee? Thanks.

**Keith Liden, AICP**

Lead Planner

### **PlaceMaking**

Parsons Brinckerhoff

400 SW 6<sup>th</sup> Avenue, Suite 802, Portland, OR 97204

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**Spir, Peter**

**From:** Liden, Keith S. [Liden@pbworld.com]  
**Sent:** Wednesday, April 21, 2010 3:45 PM  
**To:** Spir, Peter; theaw@dowa.com  
**Cc:** Karina Ruiz; Amy Berger  
**Subject:** [BULK] RE: completeness determination for Cedaroak library expansion  
**Importance:** Low

Peter,

I have reviewed the incomplete letter with the district and DOWA. We will get the amendments incorporated. One important item is the notice posting affidavit. The district is well aware of the 20-day notice, but February 23<sup>rd</sup> was mistakenly entered as the date the Cedaroak property was posted. The person who prepared the affidavit had the understanding that both notices for Bolton (which was on February 23<sup>rd</sup>) and Cedaroak were posted on the same date. This is incorrect. The Cedaroak notice was posted at the same time it was mailed on February 18<sup>th</sup>. We ask to be able to submit a corrected affidavit regarding the posting.

The other items you request appear to be generally straightforward, but I do have a few questions that will be easier to discuss. I'm open all day tomorrow. Please let me know what a good time would be for me to call, or you can call me. I'm in the office by 7:15 or so.

Thanks.

**Keith Liden, AICP**  
 Lead Planner

**PlaceMaking**  
 Parsons Brinckerhoff  
 400 SW 6<sup>th</sup> Avenue, Suite 802, Portland, OR 97204  
 Direct: 503-478-2348 | Office: 503-274-8772  
[www.pbworld.com/pbplacemaking](http://www.pbworld.com/pbplacemaking)

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**From:** Spir, Peter [mailto:pspir@westlinnoregon.gov]  
**Sent:** Wednesday, April 21, 2010 7:28 AM  
**To:** Liden, Keith S.; theaw@dowa.com  
**Subject:** completeness determination for Cedaroak library expansion

x	Peter Spir <a href="mailto:pspir@westlinnoregon.gov">pspir@westlinnoregon.gov</a> <i>Associate Planner</i> 22500 Salamo Rd. West Linn, OR, 97068 P: (503) 723-2539 F: (503) 656-4106 Web: <a href="http://westlinnoregon.gov">westlinnoregon.gov</a>
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Exhibit PC-5  
Applicant's Submittal

# **CEDAROAK PARK PRIMARY SCHOOL Conditional Use, Class I Design Review, Non-Conforming Structure, and Variance**

April 27, 2010

## **APPLICATION SUMMARY**

For Conditional Use and Class I Design Review approval to construct a 1,100 square-foot library expansion and related interior remodeling. The existing primary school is 46,215 square feet and located on an 11.22-acre site. The application also includes a request to expand a non-conforming structure that does not meet current parking standards.

## **GENERAL INFORMATION**

### **Location**

4515 South Cedaroak Drive (2S 1E Section 24 BA, Tax Lot 1800). Its location is shown in Figure 1.

### **Comprehensive Plan and Zoning Designations**

The Comprehensive Plan designation is Low Density Residential.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

### **Applicant and Owner**

Tim Woodley, Director of Operations  
West Linn-Wilsonville School District  
P. O. Box 35  
West Linn, OR 97068  
Phone: 503-673-7976  
E-mail: [woodleyt@wlwv.k12.or.us](mailto:woodleyt@wlwv.k12.or.us)

### **Applicant's Representatives**

Keith Liden, AICP  
Parsons Brinckerhoff  
400 S. W. 6<sup>th</sup> Avenue, Suite 802  
Portland, OR 97204  
Phone: 503-478-2348  
Fax: 503-274-1412  
E-mail: [liden@pbworld.com](mailto:liden@pbworld.com)

Thea Wayburn  
Dull Olson Weekes Architects  
907 S. W. Stark Street  
Portland, OR 97205  
Phone: 226-6950  
Fax: 273-9192  
E-mail: [theaw@dowa.com](mailto:theaw@dowa.com)

## Plan Sheets and Supplemental Materials

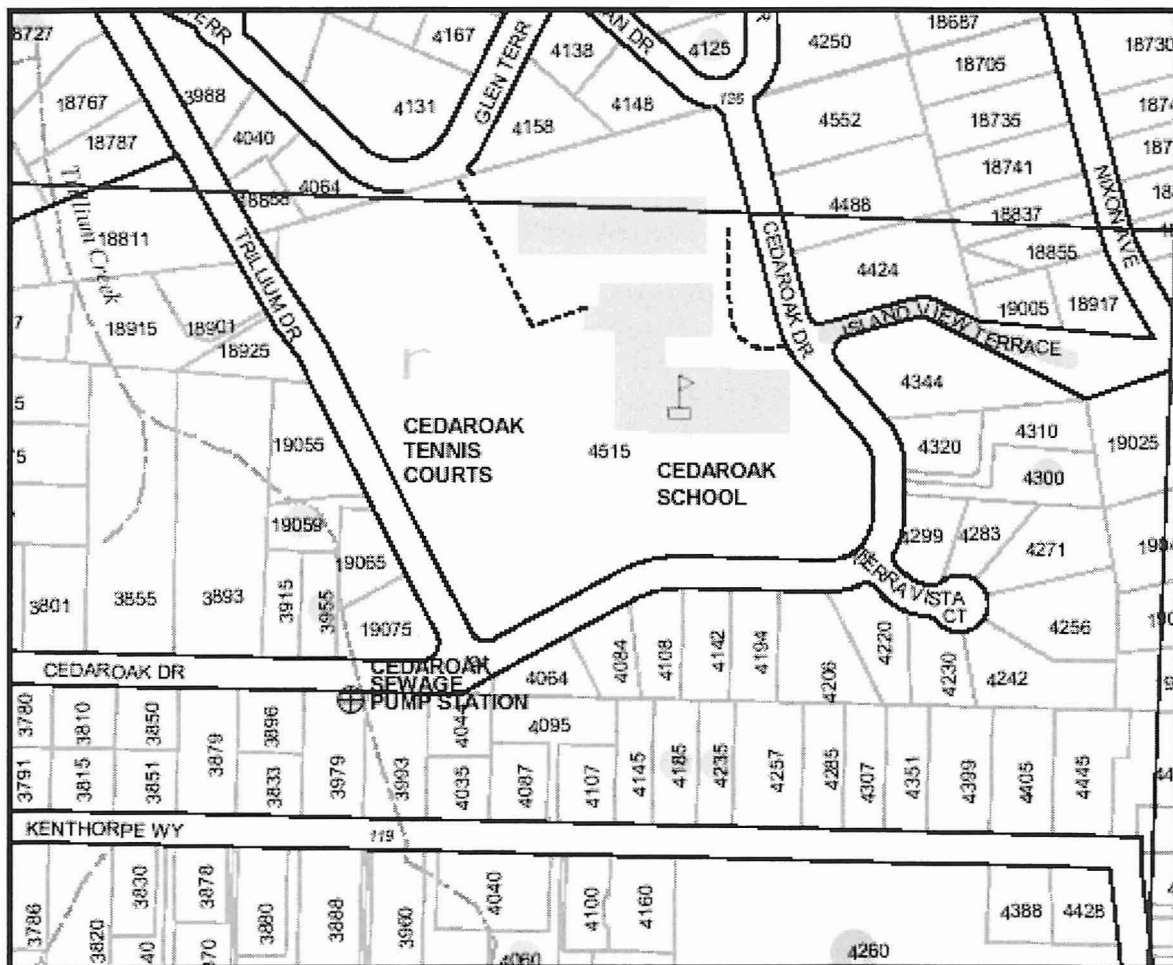
### Cover Sheet

C1.00	Existing Conditions
C1.01	Utility Plan
C1.02	Site Demo and Details
L1.0	Landscape Plan
A2.00	Overall Plan
A2.01	Existing and Proposed Floor Plans
A3.01	Exterior Elevations

### Materials Sheet

### Preliminary Stormwater Drainage Design Memorandum

Figure 1: Vicinity Map



Source: City of West Linn

**Figure 2: Aerial Photo**



Source: City of West Linn

## **BACKGROUND INFORMATION**

### **Site Description**

The site is developed with Cedar Oak Park Primary School, including a 46,215 square-foot building, driveway, parking, and play fields. The entire site is approximately 11.22 acres. In addition to the school building, an athletic field is located on the southwest side of the school. Primary access to the school is provided by South Cedar Oak Drive, which runs along the south and east sides of the site. TriMet provides scheduled bus service along Willamette Drive (Route 35 Macadam/Greeley). Currently, there are 407 students and 48 staff at the school.

In anticipation of the library expansion and remodeling, the district recently completed a renovation of the parking lot (DR-09-02/WAP-09-01). This increased the number of vehicle parking spaces from 64 standard and 4 ADA parking stalls to 58 standard, 12 compact, and 4 ADA parking spaces. This 6-space increase was intended to address the current nonconforming status of the school's on-site parking facilities. The parking lot landscaping and storm water treatment facilities were also upgraded to be consistent with current city standards. There are also the school's street frontage can accommodate approximately 12 to 16 on-street parking spaces for a total of 86 to 90 spaces. There are approximately 15 bicycle rack spaces located on the west side the building.

### Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

**Table 1**  
**Land Use Summary**

<i><b>Properties in the Vicinity</b></i>	<i><b>Zone Designation</b></i>	<i><b>Land Use</b></i>
<u>Subject Property</u> 2S 1E Section 24 BA, Tax Lot 1800 (11.22 acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u> North/East/South/West	R10	Single family residences

### SCHOOL SITE IMPROVEMENTS

The district planned improvements for the school in two phases. The first phase to complete a number of site improvements, including the 6-space parking lot expansion, was approved by the city (DR-09-02/WAP-09-01) and constructed. The second phase improvements are proposed in this application. They include the following:

#### Library

The library will be enlarged to provide additional education materials and an improved learning environment. This 1,100 square-foot addition will expand the existing library to the south toward the southern wing of classrooms as shown in Sheets A2.00, A2.01, and A3.01. Some existing landscaping, including three small fruit trees, will be removed near the library addition (Sheet C1.02). Landscaping will be restored around the perimeter of the construction site as shown in Sheet L1.0.



## **Parking**

As noted above, the number of vehicle parking spaces was recently increased from 68 to 74. The city's parking standard is one vehicle space for every 1,000 square feet of floor area plus one space per staff member. With 46,215 square feet and 48 staff, the school would need 95 parking spaces. The 1,100 square-foot library addition would increase this requirement to 96 spaces. Bicycle parking is required at a rate of two spaces per classroom for a total of 44 spaces (22 classrooms). The district proposes to supplement the existing bike rack with 12 new, covered bike rack spaces located adjacent to the south classrooms (Sheets C1.01 and L1.0). In addition, a location for 18 future, covered spaces are shown near the north classrooms at the front of the building. Currently, approximately 2 to 3 cyclists come to school, and this number can be as high as 20 during the better weather in the spring and fall. This relatively low number is because only 4<sup>th</sup> and 5<sup>th</sup> graders are old enough to ride safely to school. The proposed number of new bike spaces will be more than adequate to meet current demand.

## **Amphitheater and Pergola**

A small outdoor amphitheater and pergola are proposed on the west side of the building. They will be used for outdoor class sessions and will be surrounded with new lawn. An area of improved landscaping is proposed adjacent to the amphitheater (Sheet L1.0).

## **Storm Water Improvements**

The storm system was upgraded as part of the parking lot improvements noted above. Stormwater resulting from the new impervious areas will be treated by a new rain garden located adjacent to the library addition. Further details are provided in Preliminary Stormwater Drainage Design Memorandum from Winzler and Kelly.

## **CONDITIONAL USE REVIEW CRITERIA**

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Non-Conforming Structures (Chapter 66), Variance Criteria (Chapter 75), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

### ***Chapter 11 Single Family Residential Detached, R-10***

#### **Section 11.060 Conditional Uses**

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

#### **Section 11.080 Dimensional Requirements, Conditional Uses**

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 11.22-acre site for many years, and the

building footprint will be expanded slightly. The school enrollment capacity will not be changed by the library addition or the related interior remodeling. Adequate area continues to be available for the school building, activity fields, parking, landscaping, and buffering. Because the addition and remodeling will be within an interior location on the site, it will have no meaningful affect on surrounding properties.

Because the library addition is located internally on the site, the existing building setbacks will not be affected. The school building currently covers 9.5% of the site, and the addition will have virtually no impact on this figure. The enlarged building will continue to easily satisfy the maximum building coverage standard of 35%.

The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. Based on the property area of 11.22 acres, a maximum floor area of almost 200,000 square feet is allowed. With the library expansion, the building floor area of 47,315 square feet is well below the maximum allowed.

## ***Chapter 60 Conditional Uses***

### ***Section 60.070 Approval Standards and Conditions***

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

#### ***A. The following criteria shall be satisfied.***

##### ***1. The site size and dimensions provide:***

###### ***a. Adequate area for the needs of the proposed use.***

This site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the school's enrollment capacity. As shown on the site plan, the 1,100 square-foot library addition will be located within the general perimeter of the existing school building footprint and will not reduce any existing setbacks from surrounding properties.

###### ***b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.***

As shown on the site plan information, the setback distances for buildings, parking, fields, and related facilities from all property will be the same as the existing situation. The building, parking, and fields will retain their current location and orientation, and therefore, the proposed addition and renovation will not have any adverse impact on surrounding properties.

##### ***2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.***

The existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. The school has served the community on the site for

many years. The school has proven that it can operate in a manner, which is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the addition will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed addition is flat and has no physical limitations. The landscaping near the addition will be restored following construction (Sheet L1.0).

**3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.***

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. The relevant city policies are addressed under criterion 7 below.

**4. *All required public facilities have adequate capacity to serve the proposal.***

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The building addition will replace lawn, a hedge, and three small fruit trees. This will be replaced by new landscaping and a rain garden to handle the small amount of additional runoff caused by the library expansion. The existing systems will continue to be adequate because the amount of impervious surface and student/teacher capacity will be consistent with the current conditions.

**5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.***

The applicable requirements of the R-10 zone are met, and the library addition remodeling will not change the building setbacks on the perimeter of the building. With the addition, the building coverage will be less than 10% of the site, meeting the lot coverage maximum of 35%. The building will also be well below the floor area ratio (FAR) maximum of 0.45.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the site continues to be adequate. The library addition will not be over the 35-foot allowable height. Building setbacks will not be modified, and all will exceed the 20-foot minimum.

**6. *The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.***

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

**7. *The use will comply with the applicable policies of the Comprehensive Plan.***

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

*Specific Policy 10 (Water Quality):*

*Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.*

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

*Specific Policy 13 (Water Quality):*

*Require that new development be connected to the City's sanitary sewer system.*

The school will continue to be connected to sanitary sewer.

*Specific Policy 19 (Noise Control)*

*Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.*

The proposed improvements will not change use patterns on the site or associated noise. Most important, the building function, orientation, and capacity will remain essentially as it is today.

*Specific Policy 19 (Urban Forest):*

*Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:*

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

The "Public Facilities and Services" section contains several relevant policies.

*General Policy 3 (Public Facilities and Services):*

*Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:*

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

*General Policy 5 (Public Facilities and Services):*

*Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.*

- a. Solid Waste Collection and Recycling*
- b. Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. Schools.*
- d. Health Services.*

These services are available.



*General Policy 1 (Energy Conservation):*

*Conserve energy through the appropriate location of land uses (through zoning).*

*General Policy 2 (Energy Conservation):*

*Ensure energy efficient provision of public facilities and services.*

The new library addition will offer significant energy savings by meeting current energy standards related to both increased insulation values and modern heating and cooling equipment.

**B. Development review provisions in Chapter 55 shall be satisfied.**

These criteria are addressed below.

**C. The Planning Commission may impose conditions.**

The district understands that the Planning Commission has the authority to impose conditions.

**D. Aggregate extraction uses.**

This subsection is not relevant because aggregate extraction is not proposed.

***Chapter 66 Non-Conforming Structures***

This chapter provides that any enlargement or alteration to a non-conforming structure containing a conforming use may be permitted if the enlargement or alteration will not change the degree of non-conformity, and all other applicable ordinance provisions have been met. The existing structure does not comply with the city's parking standards.

Cedaroak is currently required to have 95 off-street parking spaces, and the parking lot was recently expanded by 6 spaces to 74. On-street parking is allowed along much of the school property frontage yielding a total of 86 to 90 spaces that are available for the school. The 1,100 square-foot addition will raise the required parking to 96 spaces. This addition does not increase the enrollment capacity of the school, the current staffing needs, or the parking demand.

The school is also required to have 44 bike parking spaces. As noted above, the district proposes to provide 12 new spaces located adjacent to the south classrooms. This will supplement the existing 15 spaces and provide more than adequate parking for the bicyclists who come to the school.

## Chapter 75 Variances

A variance is being sought for expansion of a non-conforming structure as it relates to off-street parking.

*Chapter 75 requires that a variance will only be approved if it meets six criteria:*

1. *Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.*

The school building is non-conforming because it only partially satisfies the current city requirement for off-street parking. The library addition would increase the parking requirement from 95 to 96 spaces, and the recent parking lot expansion raised the number of off-street parking spaces from 68 to 74. The district is faced with an extraordinary circumstance because it has maximized the number of parking spaces in the existing parking area north of the school. Additional parking would require a second lot on the south side of the building. This would have a very detrimental impact on the school because this would reduce the amount of playfield space, and it would be awkward to connect such a parking lot with the entrances to the school located on the north side of the building. As the only school in the neighborhood, the circumstances do not apply to other properties in the vicinity.

To reduce the degree of nonconformity for bicycle parking, the district proposes to supplement the existing bicycle parking with 12 new spaces, which will be covered and located near building entrances as required by the CDC. Should additional bike parking be warranted in the future, the district has identified another excellent covered location for more bicycle parking.

2. *The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.*

Since the school was established, the use of the automobile has become more prevalent and parking requirements have increased. This change has resulted in amendments to the Community Development Code that have resulted in the existing parking being out of compliance regarding the number of parking spaces provided. The faculty, parents, and the neighborhood have learned to make the best of the parking situation. Unlike other schools, Cedaroak has street frontage that provides 12 to 16 on-street parking spaces directly in front of the school. When considered in combination, between 86 and 90 spaces are available – an amount that is close to the 96-space requirement. In addition, school bus serve is provided, the Cedaroak neighborhood is walkable, with interconnected streets, and TriMet bus service is available approximately 1/3-mile to the west on Willamette Drive.

3. *The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.*

With the exception of parking, all other code requirements will be met. The addition will not create and code compliance issues, and it will not conflict with the goals and policies of the Comprehensive Plan. In addition, parking was not mentioned as an issue during the neighborhood meeting.

4. *The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.*

After evaluating the existing Cedaroak Primary School facility, the School District determined that a larger library was necessary to provide improved educational resources and to promote student opportunities for learning. The library will not increase parking demand because it will not raise the enrollment capacity of the school or increase the number of school staff. As noted above, the district expanded the existing parking lot this past fall with the addition of 6 spaces. This more than compensates for the one additional space triggered by the code for the library addition.

With the expanded 74-space parking lot, the school will have a 12-space deficit compared to the code standard. This is further reduced when the addition 12 to 16 on-street parking spaces are considered. The proposed new bike parking will also help reduce any parking deficiencies.

5. *The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.*

The extraordinary circumstance creating the need for the variance is created by the existing site layout. The district enlarged the parking lot on the north side of the school to the maximum extent possible. Additional parking would require the creation of a second lot on the south side of the site. The district considered the trade-offs of adding more parking to the site and removing some of the existing outdoor school facilities, such as the athletic fields and play areas. The elimination of outdoor school facilities was determined to not be appropriate given the benefits these areas provide to the students and the community.

6. *The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.*

Continuation of the school operation with the library addition and 6 new on-site parking spaces and 12 new bike parking spaces will not impose physical limitations on the existing or future uses of other properties in the area because the library expansion is internally located, and accommodation of the current parking demand will be further improved.

## ***Chapter 99 Procedures for Decision-Making: Quasi-Judicial***

This chapter requires that the neighborhood is contacted and the proposed development discussed with any affected neighborhood for conditional use permits for developments over 1,500 square feet. A neighborhood meeting with the Robinwood Neighborhood Association was held on March 9, 2010. The meeting attendees had no objections or concerns about the proposed improvements.

An audio tape recording was not taken of the meeting by the district or the neighborhood. According to CDC Section 99.035 (C), which allows the Planning Director to waive submittal requirements, the district requests a waiver of the audio tape provision in CDC 99.038 (5) e. This agenda item involved the district explaining the proposal followed by no objections or conversation by the attendees. The district has reviewed the minutes and finds them to accurately describe this portion of the neighborhood association meeting.

### **DESIGN REVIEW CRITERIA**

The Conditional Use requirements include compliance with Chapter 55 Design Review. Section 55.090(A) refers to specific portions of Section 55.100 that apply to Class I Design Review applications. During the pre-application meeting, all of the school improvements, including the parking lot, were discussed as one application. The size and scope meant it was a Class II Design Review. Subsequently, the district elected to divide the work into two separate projects and development applications. Because of the limited scope of the library expansion, it is a Class I Design Review.

Section 55.090(B) states that adequate public facilities must be available. This criterion is satisfied because the school is currently served by a full range of public utilities and streets.

Section 55.090(A)(3) allows the planning staff to require the applicant to address additional criteria in Section 55.100. Because a specific list of additional criteria was not identified, the applicant elected to address all of the criteria in 55.100 that normally apply to a Class II Design Review.

#### **55.100 Approval Standards - Class II Design Review**

##### **A. The provisions of the following chapters shall be met:**

##### **1. Chapter 33 - Storm Water Quality and Detention**

The approval criteria in Section 33.040 identify a number of things that must be accomplished according to city requirements during construction. These requirements will be met in coordination with the district, Planning Director, and City Engineer.

##### **2. Chapter 34, Accessory Structures**

Not applicable - none proposed.

**3. Chapter 38, Additional Yard Area Required**

This chapter applies to buildings on streets with inadequate right-of-way widths. These standards are not applicable because all of the necessary street right-of-way and related improvements are provided.

**4. Chapter 40, Building Height Limitations and Exceptions**

Not applicable – the proposed addition will meet the 35-foot building height limitation of the R-10 Zone.

**5. Chapter 42, Clear Vision Areas**

The standards for clear vision areas adjacent to driveways will continue to be satisfied or exceeded. The proposed improvements are not near the driveway entrances and exits, retaining the required clear vision areas.

**6. Chapter 44, Fences and Screening Outdoor Storage**

Not applicable – the library addition will not have an effect on existing fences or storage.

**7. Chapter 46, Off-Street Parking and Loading**

*Section 46.070* requires parking spaces to be no farther than 200 feet from building entrances. The existing parking layout was previously approved by the city. Parking will not be changed by this application. However, as explained above, the district added 6 new parking spaces last year as the first phase of improvements for the school.

*Section 46.090 B. 6.* contains parking requirements for a primary school. The parking was approved previously by the city and no changes to the design of the parking lot are proposed. Therefore, city standards will continue to be met with the exception of the variance for a non-conforming structure noted above.

*Section 46.120* requires a 15-foot wide drive for loading and unloading passengers. This is not applicable because the current site layout and on-site circulation has been previously approved by the city, and no changes to the driveways are proposed.

*Section 46.130* requires two loading spaces for the school (100,000+ sq. ft.). This is not applicable because the current site layout and loading has been previously approved by the city, and no changes are proposed.

*Section 46.140* contains the design standards for parking areas. As noted above, the parking lot was previously approved by the city and will not be changed. The site plan complies with all of the relevant standards with the exception of the number of on-site spaces.

*Section 46.150 A. and B.* contain a variety of standards pertaining to parking lot design, pavement, pedestrian access, handicapped parking, and grades. No changes to these facilities, which have been previously approved by the city, are proposed, and these standards will continue to be satisfied.



*Section 46.150 B.* contains bicycle standards. As described above, the district proposes to significantly improve the bike parking by:

1. Retaining the existing 15 spaces on the west side of the building near the proposed amphitheater.
2. Providing 12 new bike parking spaces located under cover adjacent to the south classrooms.

## **8. Chapter 48, Access**

*Section 48.040* requires that service drives have a minimum width of 24 feet. The driveways will continue to have a minimum width of 24 feet.

Access drives in the parking area (*Section 48.020 F.*) will continue to meet code requirements.

*Section 48.060* requires that the minimum/maximum curb cut should be 16-36 feet. The existing driveways will continue to be less than 36 feet.

## **9. Chapter 52, Signs**

Not applicable because no new or amended signs are proposed.

## **10. Chapter 54, Landscaping**

The landscaping plan to re-establish landscaping removed during construction will comply with the city's landscaping requirements. The approval criteria are satisfied as noted below:

*Sections 54.020 A, B, and C* encourage preservation of existing trees. No trees will be removed.

*Section 54.020 D.* does not apply because there are no heritage trees on the site.

*Section 54.020 E.* is satisfied because well over 20% of the site will be landscaped, and dimensional requirements for landscaped areas will continue to be met.

## **55.100 B. Relationship to the Natural and Physical Environment**

*Sections 55.100 B. 1. and 2.* are not relevant because there are no heritage trees on the site.

*Section 55.100 B. 3.* is satisfied because grading will only involve the new library expansion, and the natural drainage pattern will not be altered. In addition, the storm water treatment was recently enhanced as part of the parking lot renovation to improve water quality.

*Section 55.100 B. 4.* is satisfied because the property is geologically stable. Furthermore, the existing school building will not be significantly modified.

*Section 55.100 B. 5.* is satisfied because the school building will not be significantly altered, and the current building setbacks will be retained.

*Section 55.100 B. 6.* is met based on the findings below:

- a. The architectural design for the addition will be consistent with the architectural style of the existing building.
- b/c. The proposed design is compatible with the natural environment because only a minimum amount of area will be used for the addition. The proposed addition to Cedaroak Primary School is located internally between two existing wings of the facility. The proposed library addition effectively complements the existing structure by using consistent rhythm of windows, rooflines, building lines, material, and colors as the existing primary school.
- d. The site size and the addition location are sufficient to displace any contrasting architectural styles that the proposed building might add to the surrounding area. As illustrated in the plan sheets, the addition is located in the approximate center of the site with the existing school building on three sides.
- e. The human scale of the proposed building is represented in the design approach, which is consistent with the existing building design.
- f. The criterion related to windows applies only to commercial and office buildings, not school structures.
- g. The addition will feature finish materials, which are the same or similar to existing building materials. The window wall and clerestory windows will provide natural daylight into the new library as well as a visual connection to the surrounding landscaped areas.
- h. Climatic concerns are considered in the proposed building designs due to the public use associated with school buildings. The new addition will meet all current energy efficiency standards.
- i. The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the addition and its internal location on the site will maintain the current pedestrian-friendly character of the neighborhood.

*Section 55.100 B. 7.* is not relevant because the library addition will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

### **C. Compatibility Between Adjoining Uses, Buffering and Screening**

The building entry and operation of the school will not be changed by the addition.

### **D. Privacy and Noise**

School activities and associated noise will not be affected by this proposal.

**E. Private Outdoor Area**

This is not applicable because it applies only to multi-family residential development.

**F. Shared Outdoor Recreation Areas**

This is not applicable because it applies only to multi-family residential development.

**G. Demarcation of Public, Semi-Public and Private Spaces**

The operation and main entry for the school will not be amended.

**H. Public Transit**

This is not relevant because public transit service is not available or planned adjacent to the site. The nearest transit is approximately 1/3-mile to the west on Willamette Drive.

**I. Public Facilities**

The proposed addition will slightly increase the stormwater runoff rate. However, a rain garden is being added per the City of Portland Stormwater Management Manual to account for the required detention and water quality. This system will minimize the impact to the downstream system.

**J. Crime Prevention and Safety/Defensible Space**

Access, building entrance locations, and existing lighting will not be affected by the library addition. The windows on the library addition will retain visibility of the adjacent yard area.

**K. Provisions for Persons with Disabilities**

City code criteria and ADA requirements will be satisfied during the final building and facility design for the addition and remodeling work.

**L. Signs**

Not applicable because new signs or sign modifications are not proposed.

**M. Utilities**

The addition and other remodeling will not require any change to the existing utility services for the school.

**N. Wireless Communication Facilities**

This is not relevant because no wireless communication facilities are proposed.

**O. Refuse and Recycling Standards**

This is not relevant because the district does not propose to change the existing refuse and recycling facilities. The addition will not change the volume of type of refuse or recyclable material generated.

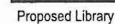
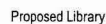
**CONCLUSION**

The proposed library expansion and other building remodeling satisfy all the relevant criteria as demonstrated above.

22210 SW Stafford Rd, Tualatin, Oregon, 97062

Walker Macy Landscape Architects  
111 SW Oak St.  
Suite 200  
Portland, Oregon, 97204  
t: (503) 228-3122 f: (503) 273-8876

- Interior remodel and a 1,137 sf building addition;
- Replacement of windows at administration;
- Amphitheater and Pergola (Pergola is an additive alternate);
- New landscaping.



AA	ANGLE	EA	EXPANSE	GA	GAUGE	MA	MAINTAINABLE	TA	TEMPERED GLAZING
AB	ANCHOR BOLT	EB	EXPANSION JOINT	GB	GRAVEL	MB	MACHINABLE	TB	TEMP OF CURB
AC	ARCHITECTURAL IRONING TILE	EC	EXTENSION	GBA	GRAVEL CONTRACTOR	MC	MACHINERY	TC	TEMPERATURE
AD	ARCHITECTURAL IRONING TILE	ED	ELECTRICAL	GBB	GRAVEL CONTRACTOR	MTS	NOT TO SCALE		
AF	ABOVE FINISH FLOOR	EE	ELECTRIC	GCB	GRAVEL CONTRACTOR				
AG	ARCHITECTURAL IRONING TILE	EF	ELECTRIC PANEL	GCB	GRAVEL CONTRACTOR	OC	ON CENTER	TP	TPO
AL	ALUMINUM	EG	ELECTRIC	GCB	GRAVEL CONTRACTOR	OD	ON CENTER	TP	TPO
AM	ALUMINUM	EH	ELECTRIC	GCB	GRAVEL CONTRACTOR	OF	ON CENTER	TP	TPO
AN	ANCHOR BOLT	EI	ELECTRIC	GCB	GRAVEL CONTRACTOR	OH	ON CENTER	TP	TPO
AO	ANCHOR BOLT	EJ	ELECTRIC	GCB	GRAVEL CONTRACTOR	OP	ON CENTER	TP	TPO
AR	ANCHOR BOLT	EK	ELECTRIC	GCB	GRAVEL CONTRACTOR	OR	ON CENTER	TP	TPO
AS	ANCHOR BOLT	EL	ELECTRIC	GCB	GRAVEL CONTRACTOR	OS	ON CENTER	TP	TPO
AT	ANCHOR BOLT	EM	ELECTRIC	GCB	GRAVEL CONTRACTOR	OT	ON CENTER	TP	TPO
AV	ANCHOR BOLT	EN	ELECTRIC	GCB	GRAVEL CONTRACTOR	OU	ON CENTER	TP	TPO
AW	ANCHOR BOLT	EO	ELECTRIC	GCB	GRAVEL CONTRACTOR	OV	ON CENTER	TP	TPO
AX	ANCHOR BOLT	EP	ELECTRIC	GCB	GRAVEL CONTRACTOR	OW	ON CENTER	TP	TPO
AY	ANCHOR BOLT	EQ	ELECTRIC	GCB	GRAVEL CONTRACTOR	OX	ON CENTER	TP	TPO
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BD	BOTTOM OF CURB	EU	ELECTRIC	GCB	GRAVEL CONTRACTOR	OV	ON CENTER	TP	TPO
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BF	BOTTOM OF CURB	EW	ELECTRIC	GCB	GRAVEL CONTRACTOR	OX	ON CENTER	TP	TPO
BG	BOTTOM OF CURB	EX	EXTENSION	GA	GAUGE	MA	MAINTAINABLE	TA	TEMPERED GLAZING
BO	BOTTOM OF CURB	EB	EXPANSION JOINT	GB	GRAVEL	MB	MACHINABLE	TB	TEMP OF CURB
BP	BOTTOM OF CURB	EC	EXTENSION	GBA	GRAVEL CONTRACTOR	MC	MACHINERY	TC	TEMPERATURE
BR	BOTTOM OF CURB	ED	ELECTRICAL	GBB	GRAVEL CONTRACTOR	MTS	NOT TO SCALE		
BS	BOTTOM OF CURB	EE	ELECTRIC	GCB	GRAVEL CONTRACTOR	OC	ON CENTER	TP	TPO
BT	BOTTOM OF CURB	EF	ELECTRIC PANEL	GCB	GRAVEL CONTRACTOR	OD	ON CENTER	TP	TPO
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BU	BOTTOM OF CURB	EI	ELECTRIC	GCB	GRAVEL CONTRACTOR	OP	ON CENTER	TP	TPO
BU	BOTTOM OF CURB	EJ	ELECTRIC	GCB	GRAVEL CONTRACTOR	OR	ON CENTER	TP	TPO
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BU	BOTTOM OF CURB	EX	EXTENSION	GA	GAUGE	MA	MAINTAINABLE	TA	TEMPERED GLAZING
BU	BOTTOM OF CURB	EB	EXPANSION JOINT	GB	GRAVEL	MB	MACHINABLE	TB	TEMP OF CURB
BU	BOTTOM OF CURB	EC	EXTENSION	GBA	GRAVEL CONTRACTOR	MC	MACHINERY	TC	TEMPERATURE
BU	BOTTOM OF CURB	ED	ELECTRICAL	GBB	GRAVEL CONTRACTOR	MTS	NOT TO SCALE		
BU	BOTTOM OF CURB	EE	ELECTRIC	GCB	GRAVEL CONTRACTOR	OC	ON CENTER	TP	TPO
BU	BOTTOM OF CURB	EF	ELECTRIC PANEL	GCB	GRAVEL CONTRACTOR	OD	ON CENTER	TP	TPO
BU	BOTTOM OF CURB	EG	ELECTRIC	GCB	GRAVEL CONTRACTOR	OF	ON CENTER	TP	TPO
BU	BOTTOM OF CURB	EH	ELECTRIC	GCB	GRAVEL CONTRACTOR	OH	ON CENTER	TP	TPO
BU	BOTTOM OF CURB	EI	ELECTRIC	GCB	GRAVEL CONTRACTOR	OP</			

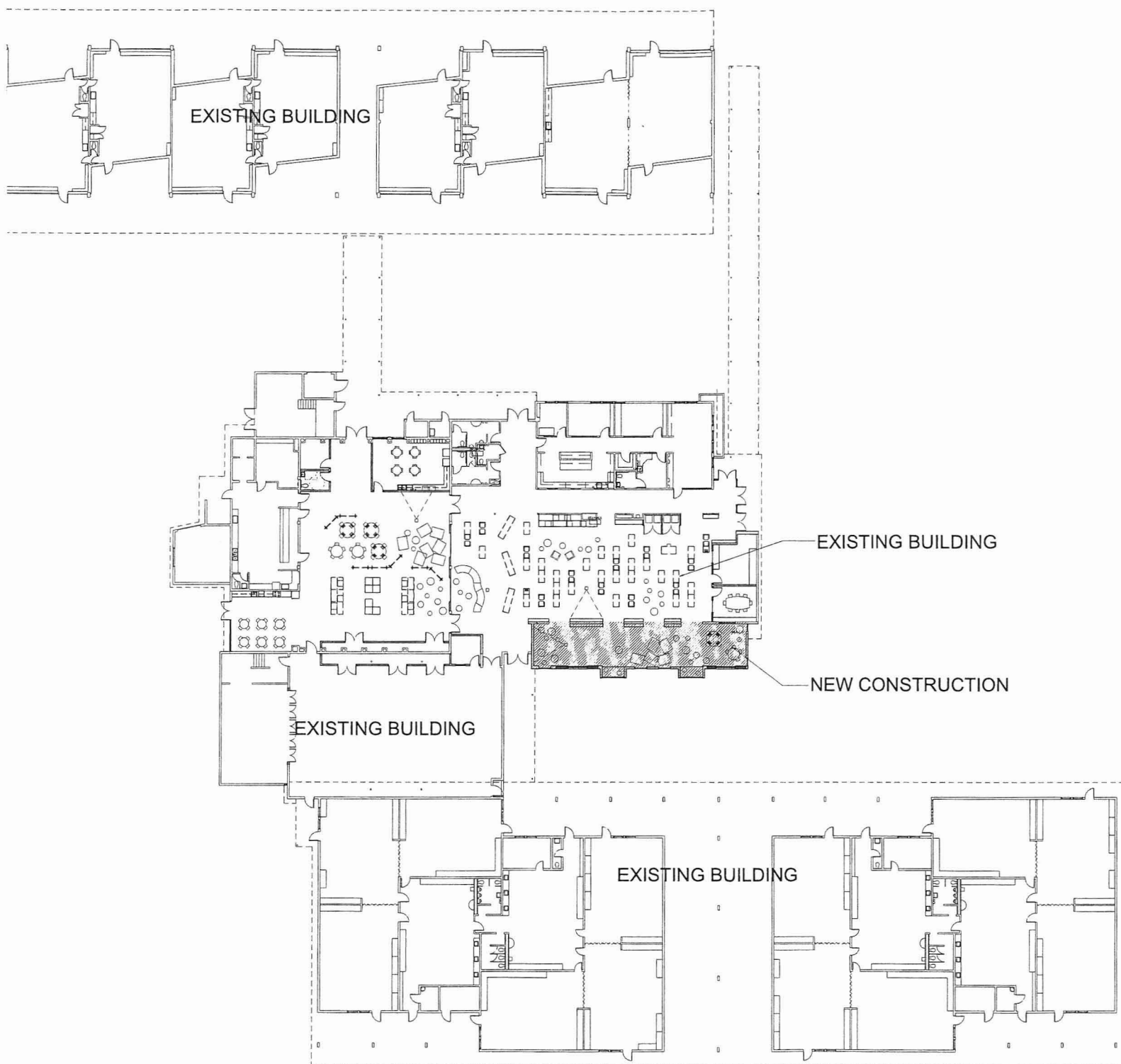
Figure 1: Examples of standard architectural symbols.

CEDAR OAK PARK PRIMARY SCHOOL ADDITION/REMODEL

CONDITIONAL USE/ CLASS I DESIGN REVIEW









2210 SW STAFFORD RD., TUALATIN, OR 97062  
T: (503) 673 7042  
West Linn-Wilsonville School District #3JT

CEDARROAK PARK PRIMARY - ADDITION/REMODEL

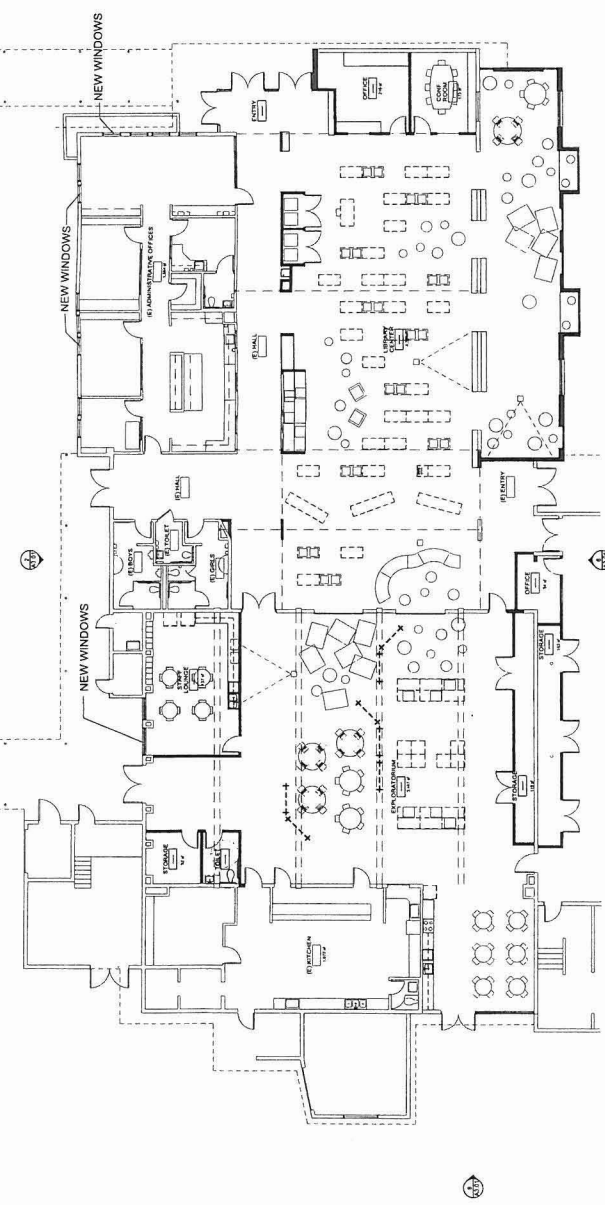
phase	conditional use/
date	03/2010
revision	

project # 0603  
existing and proposed  
floor plans

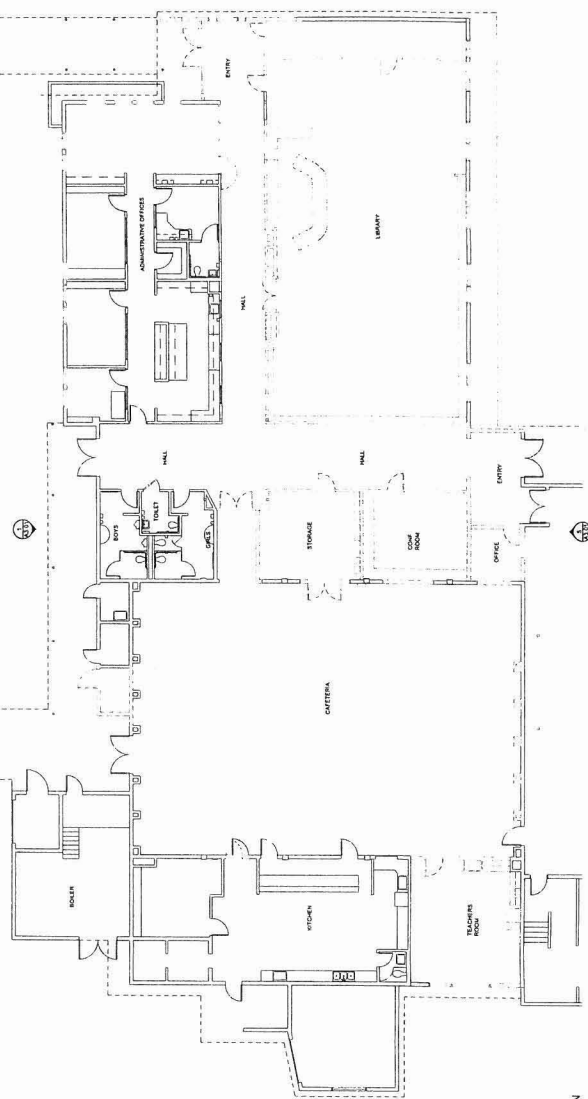
A2.01

LEGEND:

NEW WALL
EXISTING WALL
WALL TO BE REMOVED

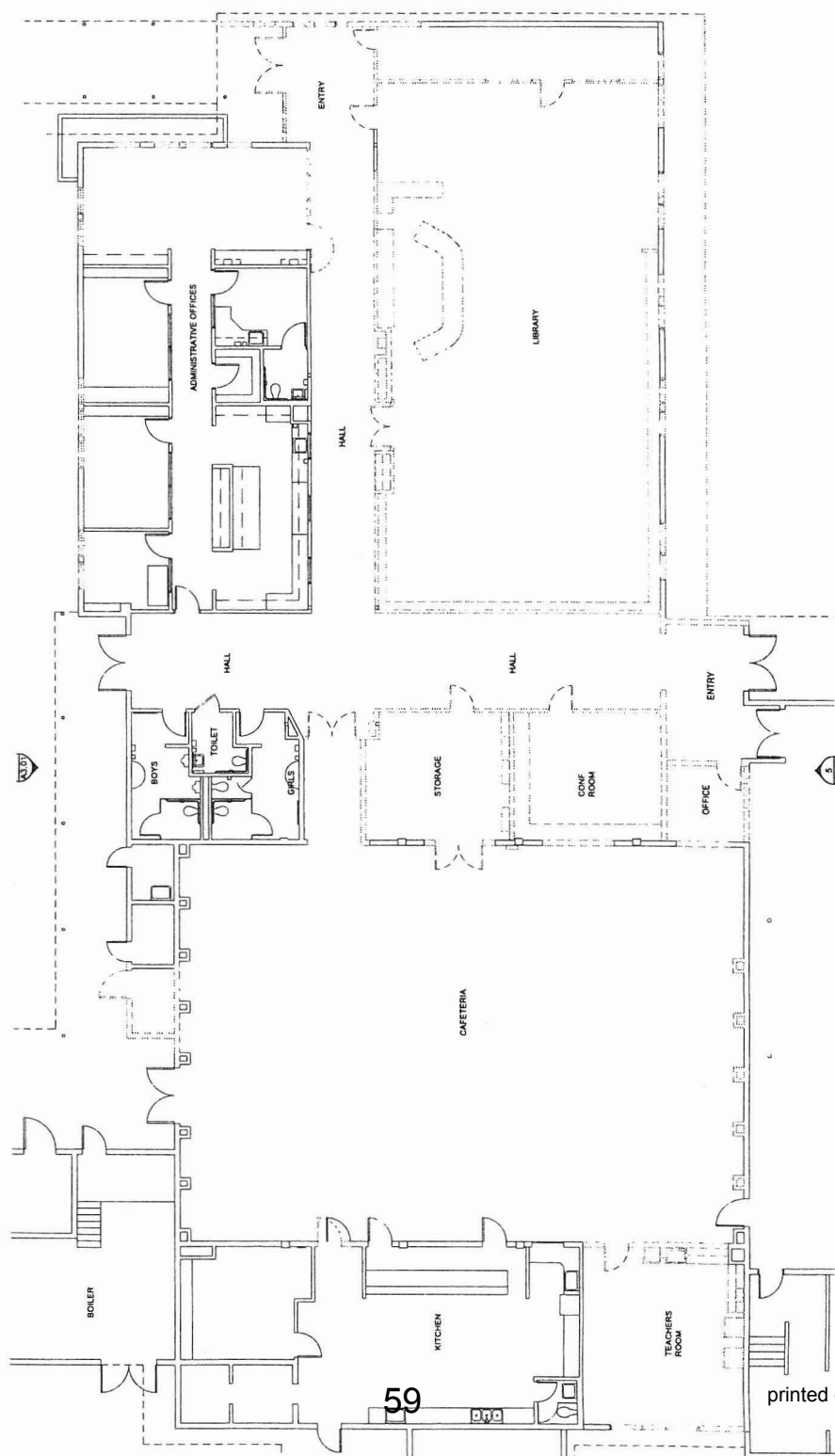


PROPOSED FLOOR PLAN 2  
SCALE: 1/8" = 1'-0"



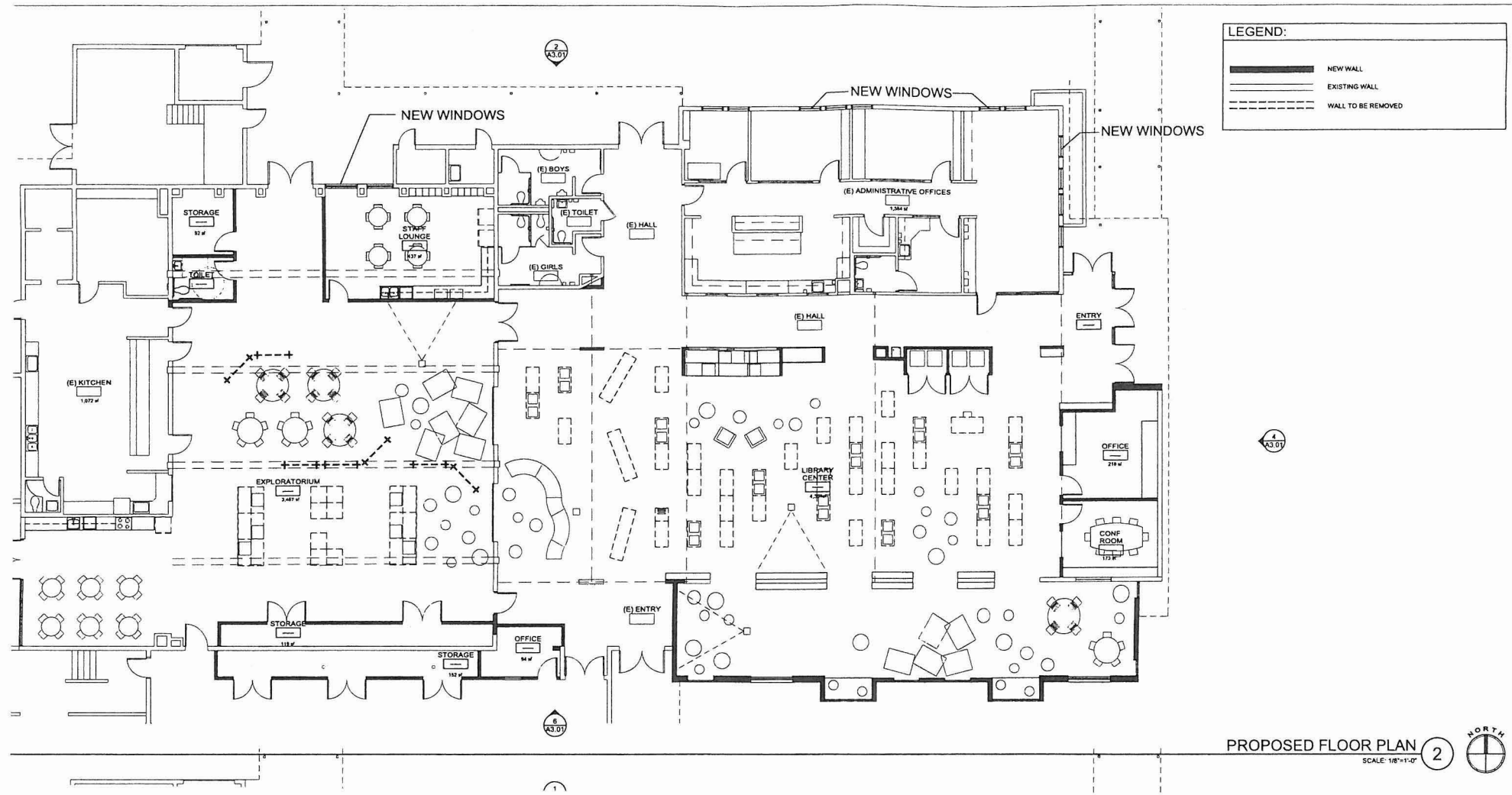
EXISTING FLOOR PLAN 1  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

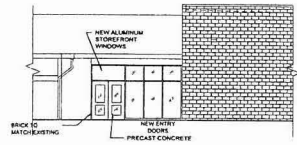


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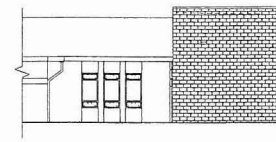
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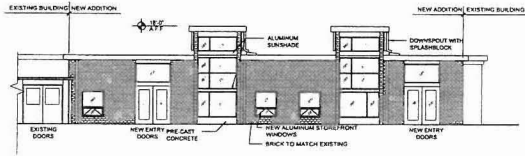
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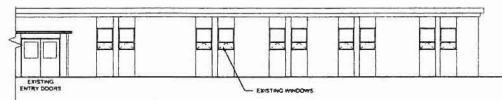
PROPOSED WEST ELEVATION 8  
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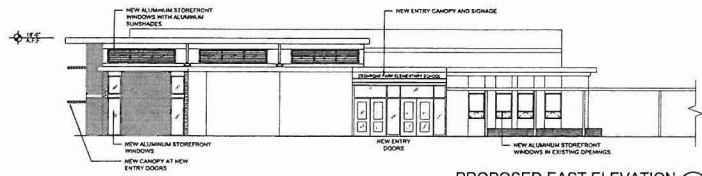
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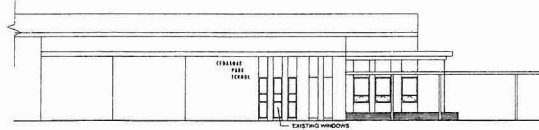
PROPOSED SOUTH ELEVATION 6  
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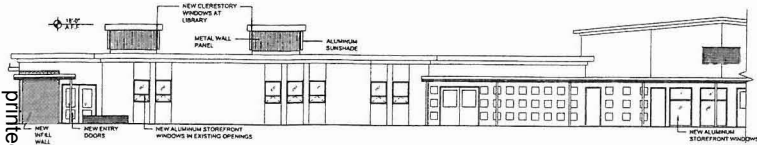
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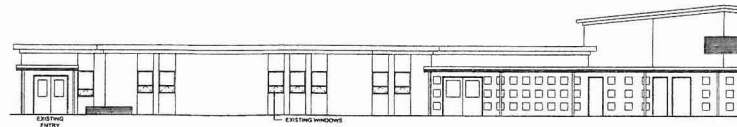
PROPOSED EAST ELEVATION 4  
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION 3  
SCALE: 1/8"=1'-0"



PROPOSED NORTH ELEVATION 2  
SCALE: 1/8"=1'-0"



EXISTING NORTH ELEVATION 1  
SCALE: 1/8"=1'-0"



ARCHITECTURE INTERIORS PLANNING

BULL OLSON WEEKES  
architects, pc

1000 WEST MAIN STREET SUITE 200  
DES MOINES, IOWA 50319  
P: 515.281.1100 F: 515.281.1101 WWW.BOWEN.COM

CEDAR OAK PARK PRIMARY - ADDITION/REMODEL

West Linn-Wilsonville School District #3 JT  
2210 SW STAFFORD RD, TUALATIN, OR 97062  
T: (503) 673 7042

phase	conditional use/
class	class I design rev.
date	03/10/10
revisions	
project #	09003

exterior elevations

A3.01

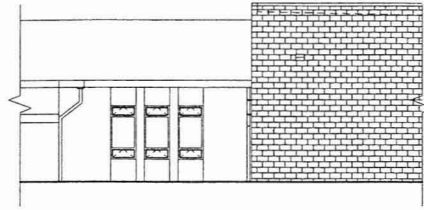




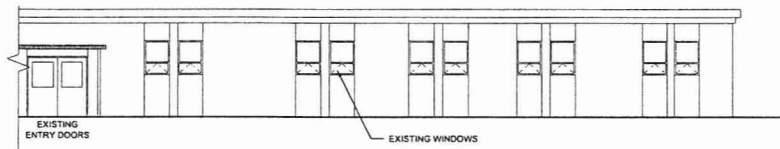
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DULL OLSON WEEKES  
architects inc.

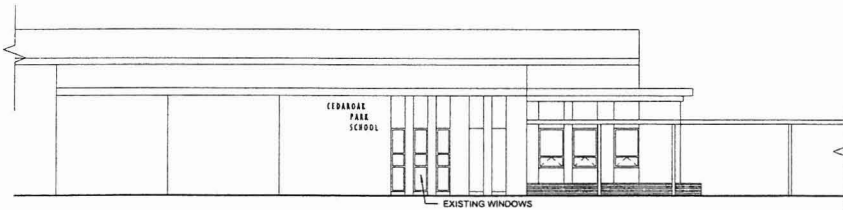
807 SW STARK STREET, PORTLAND, OREGON 97205  
P: 503 226 8855 / F: 503 273 9192 www.dova.com



EXISTING WEST ELEVATION 7  
SCALE: 1/8"=1'-0"



EXISTING SOUTH ELEVATION 5  
SCALE: 1/8"=1'-0"



EXISTING EAST ELEVATION 3  
SCALE: 1/8"=1'-0"



EXISTING NORTH ELEVATION 1  
SCALE: 1/8"=1'-0"

CEDAR OAK PARK PRIMARY - ADDITION/REMODEL

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062  
t: (503) 673 7042

phase	conditional use/
	class I design rev.
date	03/10/10
revisions	

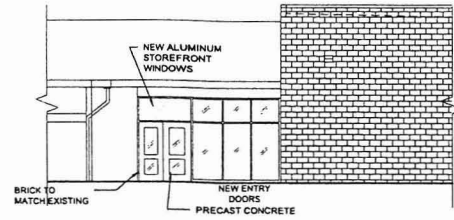
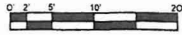
project # | 09003

exterior elevations

**A3.01**

printed on recycled paper

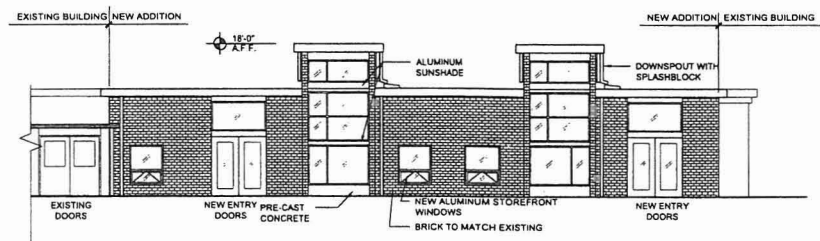
NOT FOR CONSTRUCTION



PROPOSED WEST ELEVATION

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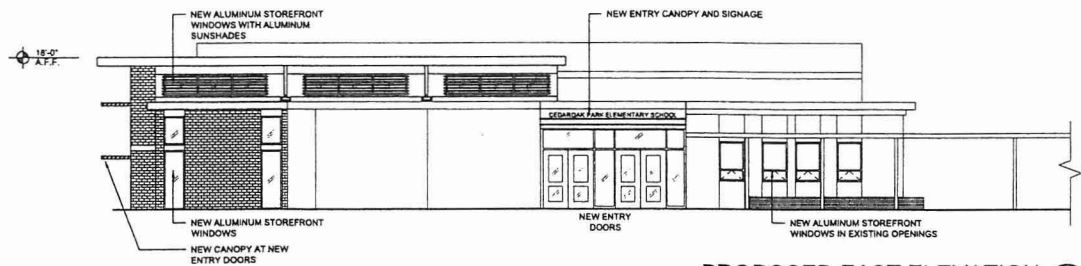
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PROPOSED SOUTH ELEVATION

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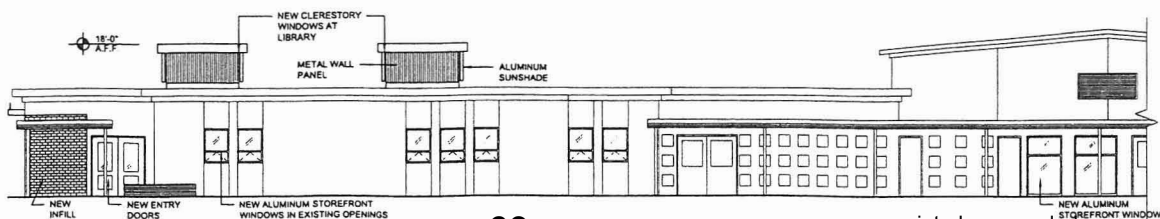
6



PROPOSED EAST ELEVATION

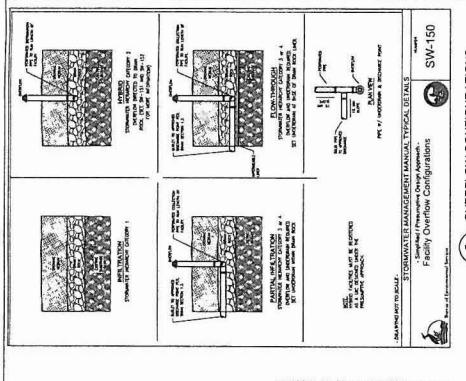
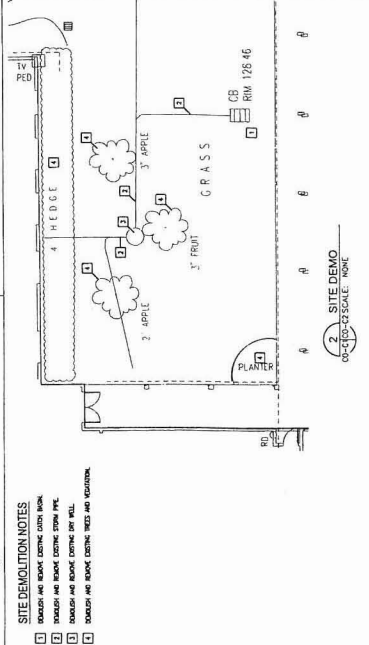
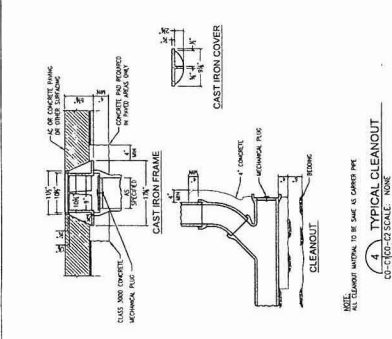
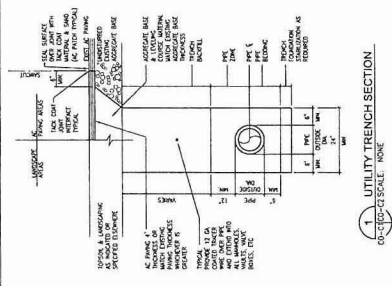
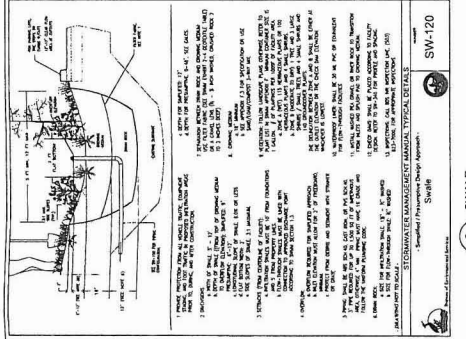
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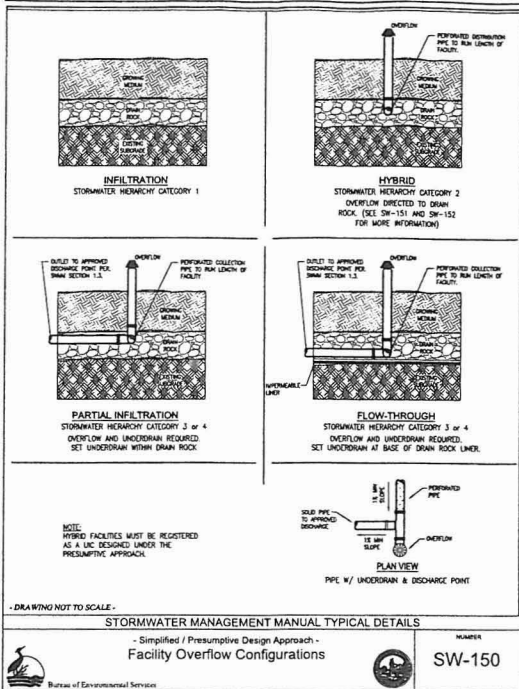
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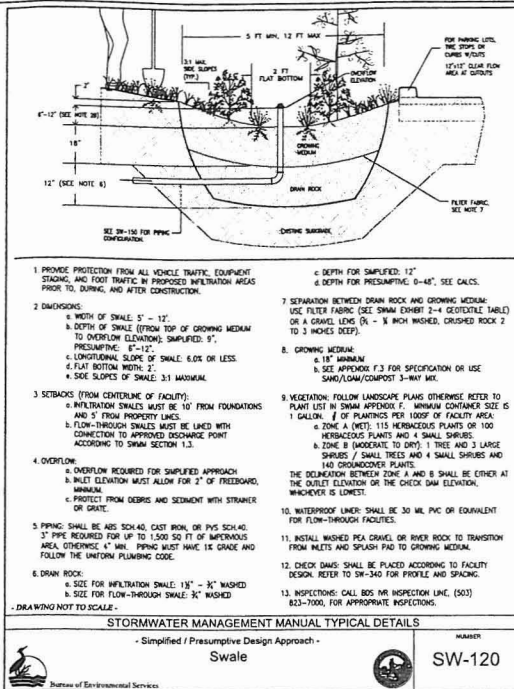
## CIVIL ABBREVIATIONS

- [illegible]





5 OVERFLOW CONFIGURATIONS  
C101C102 SCALE: NONE

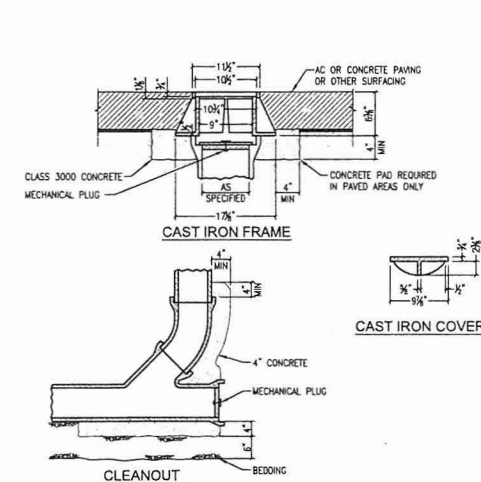


3 SWALE  
C101C102 SCALE: NONE

## CIVIL ABBREVIATIONS

AB	ANCHOR BOLT	NC	NOT IN CONTRACT
AC	ASPHALTIC CONCRETE	NO	NUMBER
ADP	ASBESTOS CONCRETE PIPE	NOM	NOMINAL
		NTS	NOT TO SCALE
BLOC	BUILDING	OC	ON CENTER
BOT	BOTTOM OF TRENCH	OH	OVERHEAD
BOS	BOTTOM OF CONCRETE	OW	OIL/WATER SEPARATOR
BOS	BOTTOM OF SUMP		
CA	COMPRESSED AIR	PD	POLYDRAIN
CB	CATCH BASIN	ERF	PERFORATED STORM DRAIN
CJ	CONSTRUCTION JOINT	PV	POST INDICATOR VALVE
C	CURB INLET	POC	POINT OF CONNECTION
CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE
CMP	CORRUGATED METAL PIPE	PMT	PAVEMENT
CND	CONDUIT	PW	POTABLE WATER
CO	CLEANOUT		
CONC	CONCRETE	R	RADIUS
COND	CONDENSATE RETURN		
DA	DRAINAGE	RCP	REINFORCED CONCRETE PIPE
DB	DUCTILE IRON PIPE	RM	RM ELEVATION
DP	DOWNSPOUTS	RR	RAILROAD
DW	DRYWELL		
DWG	DRAWING	S	SLOPE
		SAH	SANITARY
E	ELECTRICAL POWER	SB	SPLASH BLOCK
ELEV	ELEVATION	SD	STORM DRAIN
ELEC	EXISTING	SS	STORM SEWER
EXIST	EXISTING	STM	STEAM
FA	FIRE ALARM	TB	THRUST BLOCK
FD	FOUNDATION DRAIN	TBM	TEMPORARY BENCH MARK
FF	FINISH FLOOR	TO	TO
FI	FIRE HYDRANT	TEL	TELEPHONE
FW	FIRE WATER	TBL	TOP OF BERM
		TOC	TOP OF CONCRETE
GR	GUTTER	TOG	TOP OF GRADE
CR	GRADE	TOP	TOP OF PIPE
GV	GATE VALVE	TYP	TYPICAL
HB	HOSE BIBB	UOND	UNDERGROUND
HOPE	HIGH DENSITY POLYETHYLENE	UNO	UNLESS NOTED OTHERWISE
HI	HAND HOLE		
HPC	HIGH PRESSURE GAS	VCP	VITRIFIED CLAY PIPE
HC	HANDICAPPED	VT	VENT
HYD	HYDRANT	W	WATER VALVE
IE	INVERT ELEVATION	WM	WATER METER
IRIGATION	IRIGATION	WTR	WATER
L	LENGTH	WV	WATER VALVE
LP	LIGHT POLE	WTF	WELDED WIRE FABRIC
MAX	MAXIMUM	XTMR	TRANSFORMER
MH	MANHOLE		
MIN	MINIMUM		

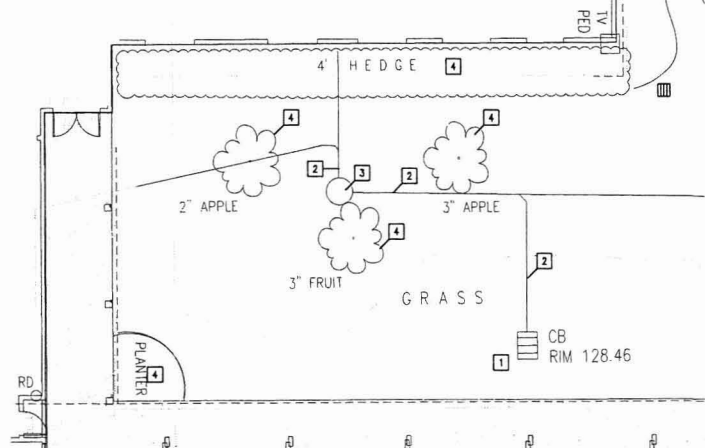
1 UTILITY TRENCH SECTION  
CO-C1C0-C2 SCALE: NONE



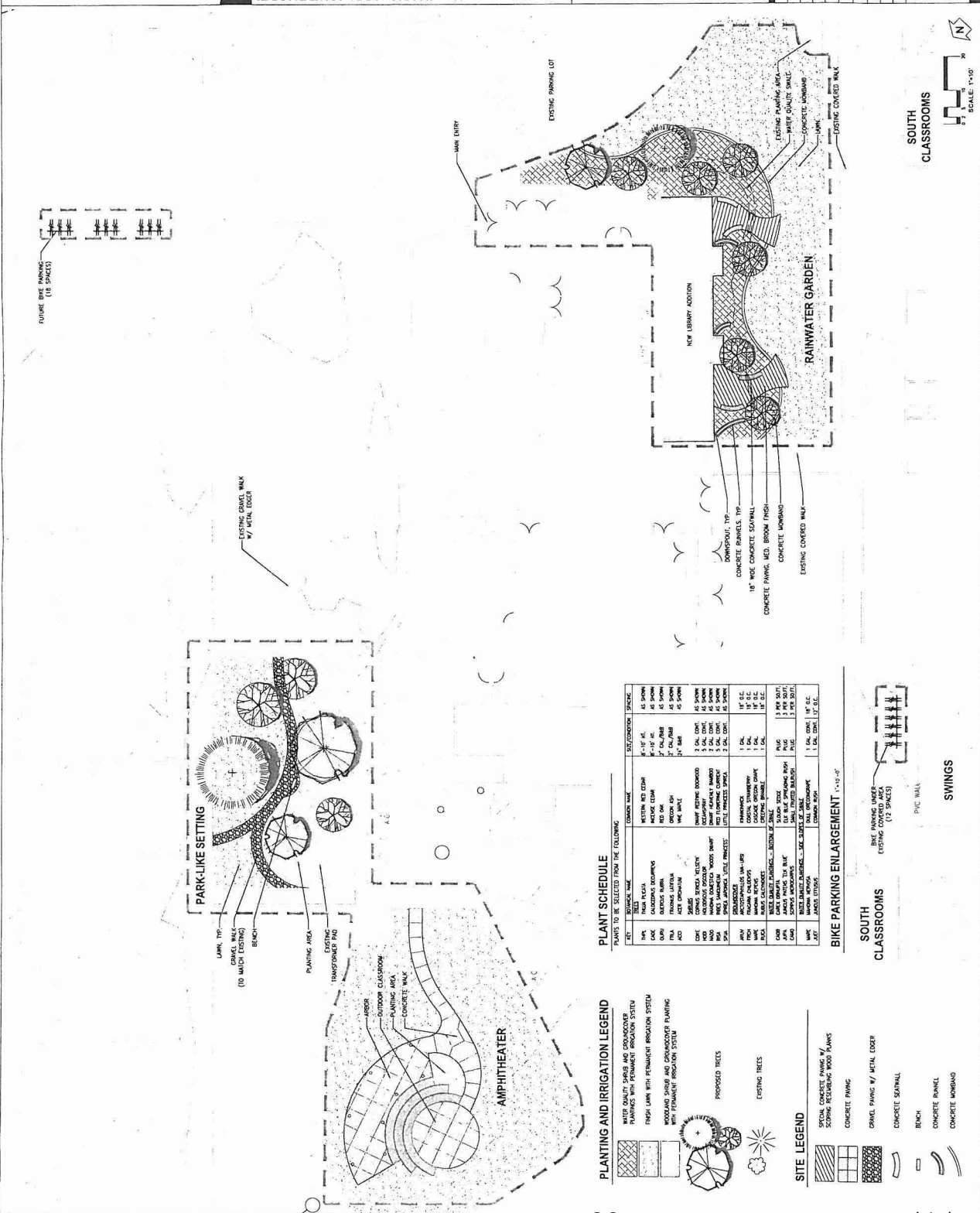
4 TYPICAL CLEANOUT  
CO-C1C0-C2 SCALE: NONE

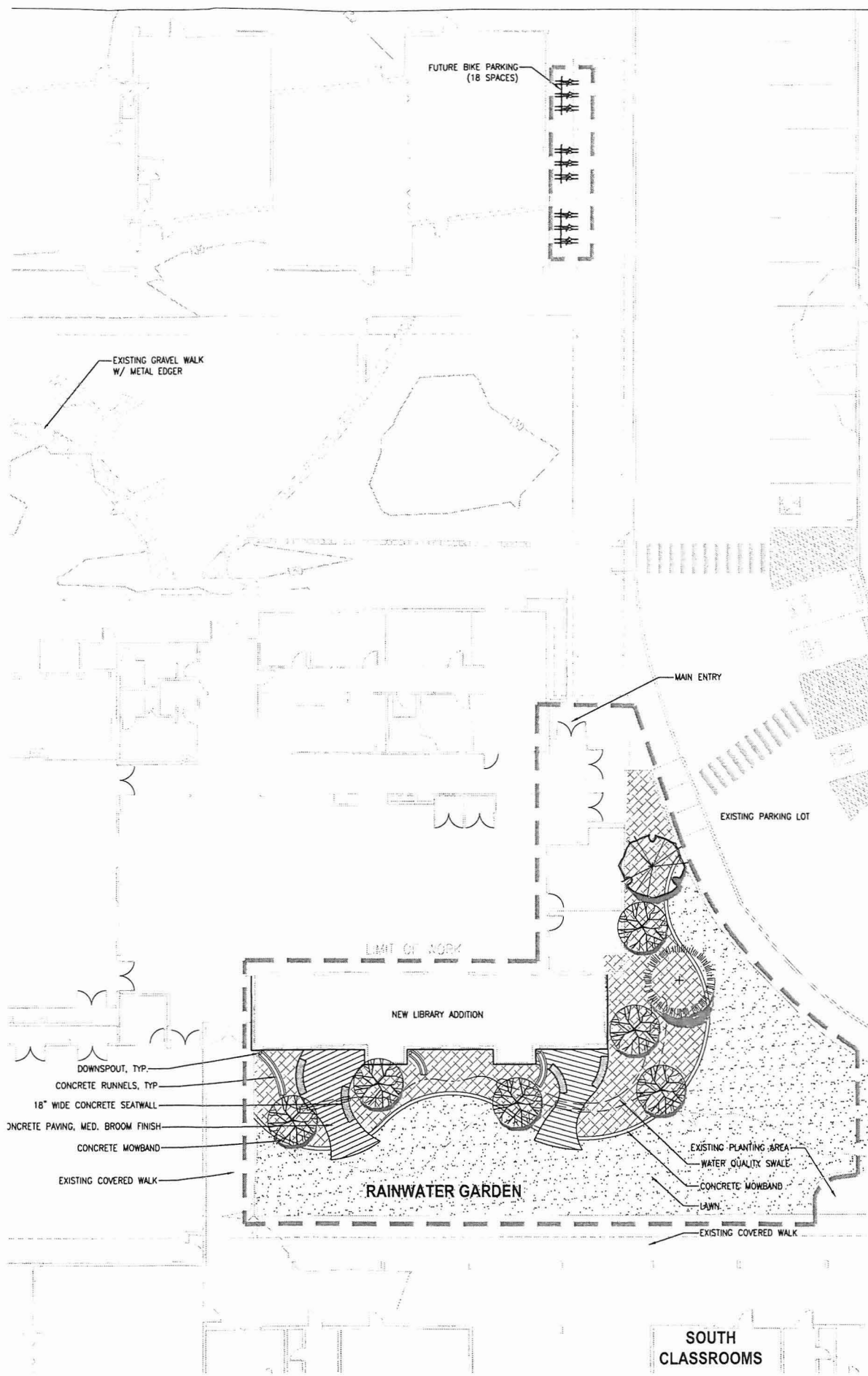
## SITE DEMOLITION NOTES

- DEMOLISH AND REMOVE EXISTING CATCH BASIN.
- DEMOLISH AND REMOVE EXISTING STORM PIPE.
- DEMOLISH AND REMOVE EXISTING DRY WELL.
- DEMOLISH AND REMOVE EXISTING TREES AND VEGETATION.



2 SITE DEMO  
CO-C1C0-C2 SCALE: NONE





ARCHITECTURE • INTERIORS • PLANNING

DULL OLSON WEEKES  
architects inc.

907 SW STARK STREET • PORTLAND, OREGON 97205  
P: 503 226 6950 / 503 273 9192 www.douta.com

# CEDAR OAK PARK PRIMARY - ADDITION/REMODEL

West Linn-Wilsonville School District #3JT

2210 SW STAFFORD RD, TUALATIN, OR 97062  
t: (503) 673 7042

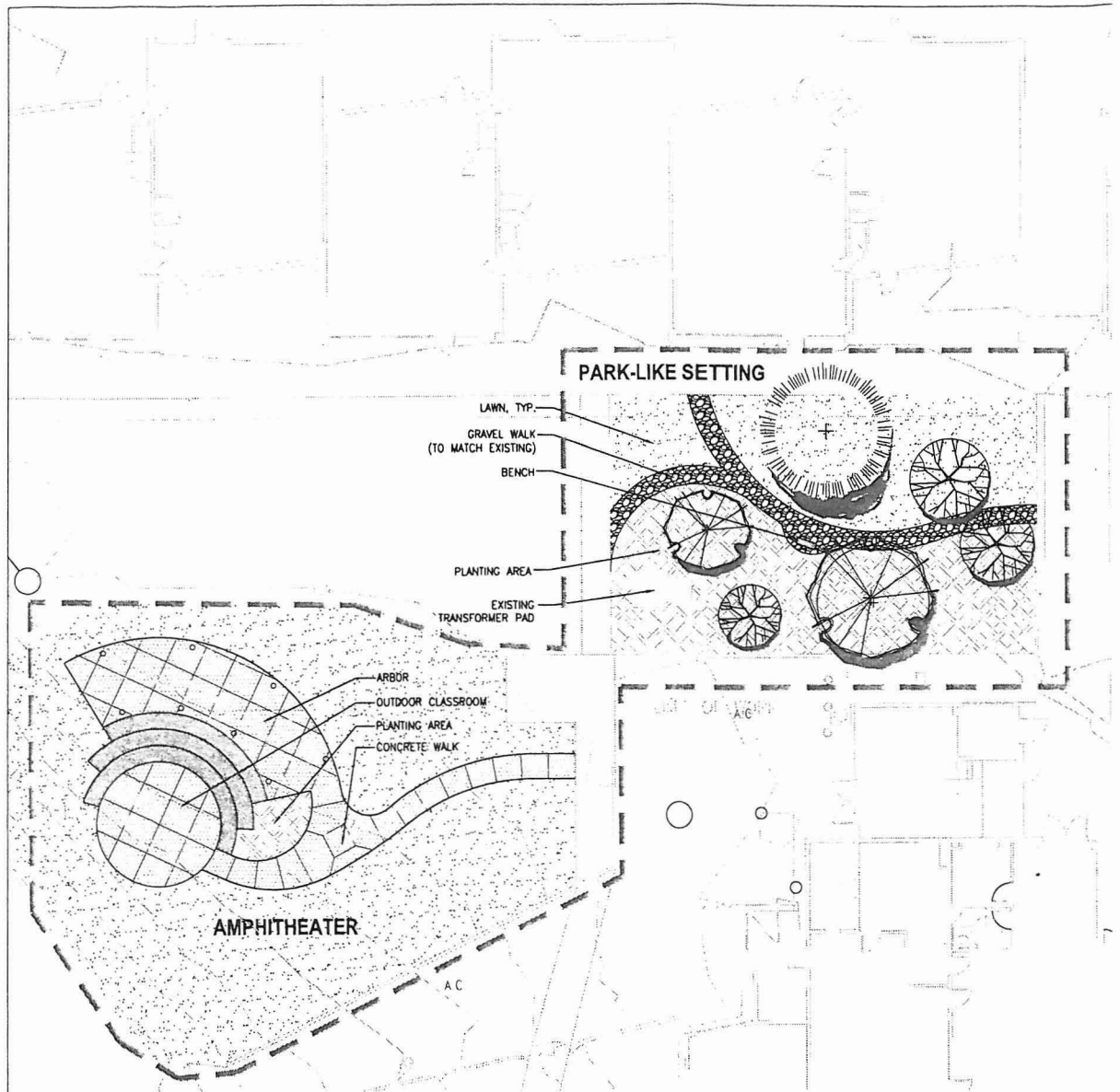
WALKER MACY

phase	conditional use/
	class I design rev.
date	03/10/10
revisions	

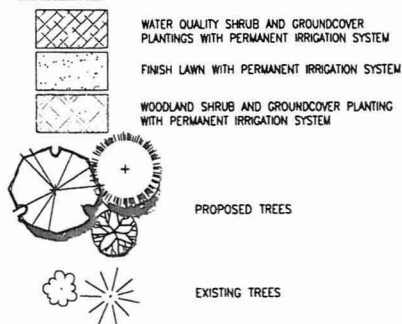
project # 09003  
LANDSCAPE PLAN

L1.0

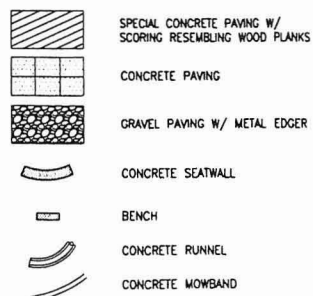




### PLANTING AND IRRIGATION LEGEND



### SITE LEGEND



### PLANT SCHEDULE

PLANTS TO BE SELECTED FROM THE FOLLOWING

KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
<b>TREES</b>				
THPL	THUJA PLICATA	WESTERN RED CEDAR	8'-10' HT.	AS SHOWN
CAOC	CALOCEDRUS DECURRENS	INCENSE CEDAR	8'-10' HT.	AS SHOWN
OURU	QUERCUS RUBRA	RED OAK	2" CAL./B&B	AS SHOWN
FRLA	FRAXINUS LATIFOLIA	OREGON ASH	2" CAL./B&B	AS SHOWN
ACCI	ACER CROCATUM	YALE MAPLE	24" B&B	AS SHOWN
<b>SHRUBS</b>				
COKE	CORNUS SERICEA 'KELSEY'	DWARF REDTID DOGWOOD	2 GAL. CONT.	AS SHOWN
HODI	HOLDOSCUS DISCOLOR	OCEANSPRAY	5 GAL. CONT.	AS SHOWN
MAHO	MAHONIA DOMESTICA 'WOODS DWARF'	DWARF HEAVENLY BAMBOO	2 GAL. CONT.	AS SHOWN
RISA	RIBES SANGUINEUM	RED FLOWERING CURRENT	5 GAL. CONT.	AS SHOWN
SPJA	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2 GAL. CONT.	AS SHOWN
<b>GROUNDCOVER</b>				
ARUN	ARCTOSTAPHYLOS UVA-URSI	KINKKINIX	1 GAL.	18" O.C.
FRCH	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	1 GAL.	18" O.C.
MARE	MAHONIA REPENS	CASCADE OREGON GRAPE	1 GAL.	18" O.C.
RUCA	RUBUS CALYNDONES	CREeping BRAMBLE	1 GAL.	18" O.C.
<b>WATER QUALITY PLANTINGS - BOTTOM OF SIBBLE</b>				
CAOB	CAREX OENANTHA	SLOUGH SEDGE	PLUG	3 PER SQ.FT.
JUPA	JUNCUS PATENS 'ELK BLUE'	ELK BLUE SPREADING RUSH	PLUG	3 PER SQ.FT.
CAHO	SCIRPUS MACROCARPUS	SMALL FRUITED BULRUSH	PLUG	3 PER SQ.FT.
<b>WATER QUALITY PLANTINGS - SIDE SLOPES OF SIBBLE</b>				
MARE	MAHONIA REPENS	DALL OREGONGRAPE	1 GAL. CONT.	18" O.C.
JUET	JUNCUS EFFUSUS	COMMON RUSH	1 GAL. CONT.	12" O.C.

### BIKE PARKING ENLARGEMENT 1"=10'-0"

SOUTH  
CLASSROOMS

BIKE PARKING UNDER  
EXISTING COVERED AREA  
(12 SPACES)



PVC WALL

printed on recycled paper  
SWINGS

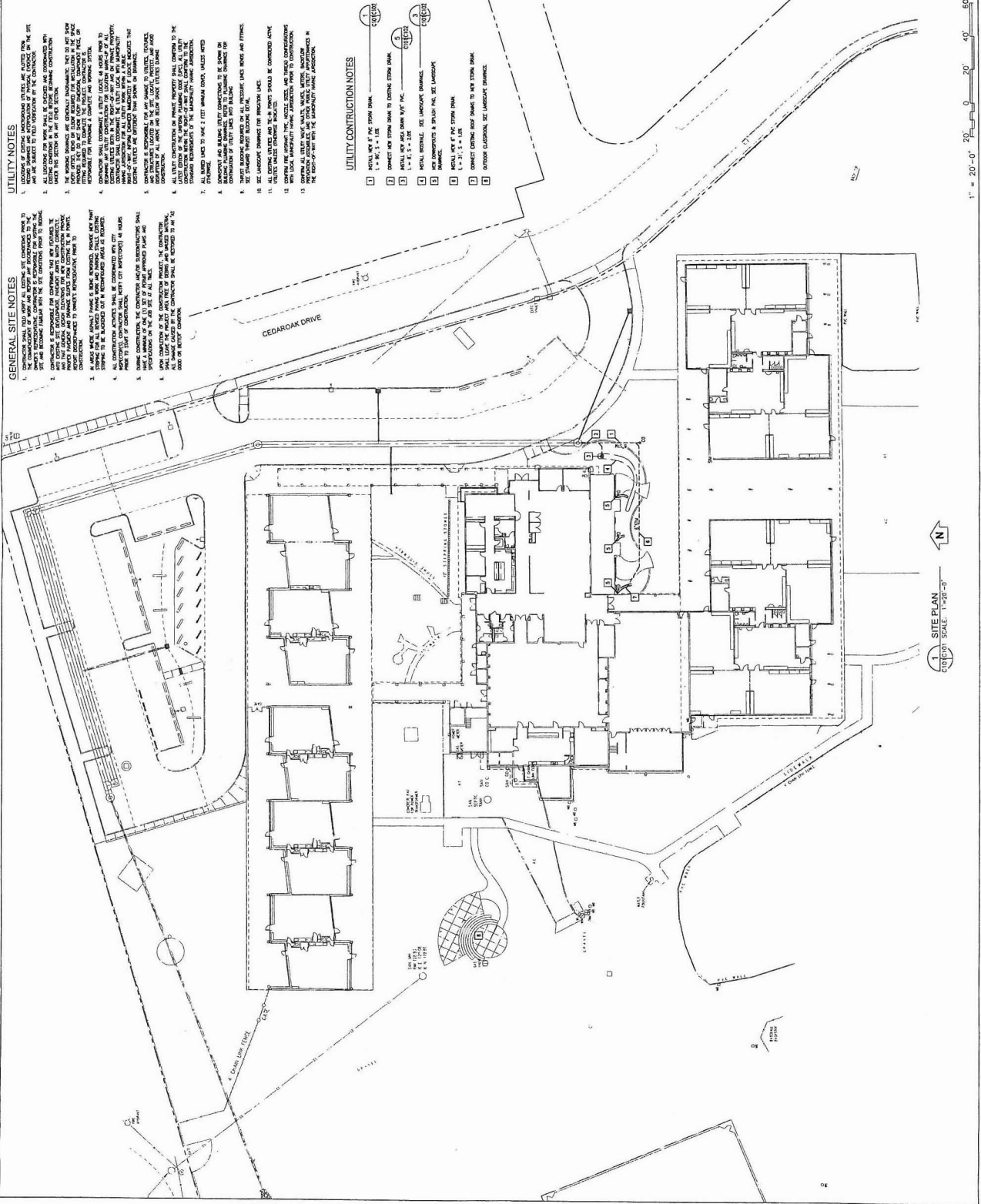


ARCHITECTURAL & LANDSCAPE ARCHITECTURE  
10000 W. 10TH AVE. SUITE 100  
DENVER, CO 80202  
TEL: (303) 733-7042  
WWW.LOUCA-ARCH.COM

CEDARROAK PARK PRIMARY - ADDITION/REMODEL

West Linn-Wilsonville School District #3JT  
2210 SW STAFFORD RD, TUALATIN, OR 97062

phase	conditional sale
class	class design rev.
date	03/10/10
revision	
project #	09003
UTILITY PLAN	
C101	



UTILITY CONSTRUCTION NOTES

1. LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL EXISTING UTILITIES AND STRUCTURES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING LANDSCAPE AND PLANTING DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING PAVING AND SURFACING DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING FENCING AND BARRIERS DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SIGNAGE AND MARKERS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.

GENERAL SITE NOTES

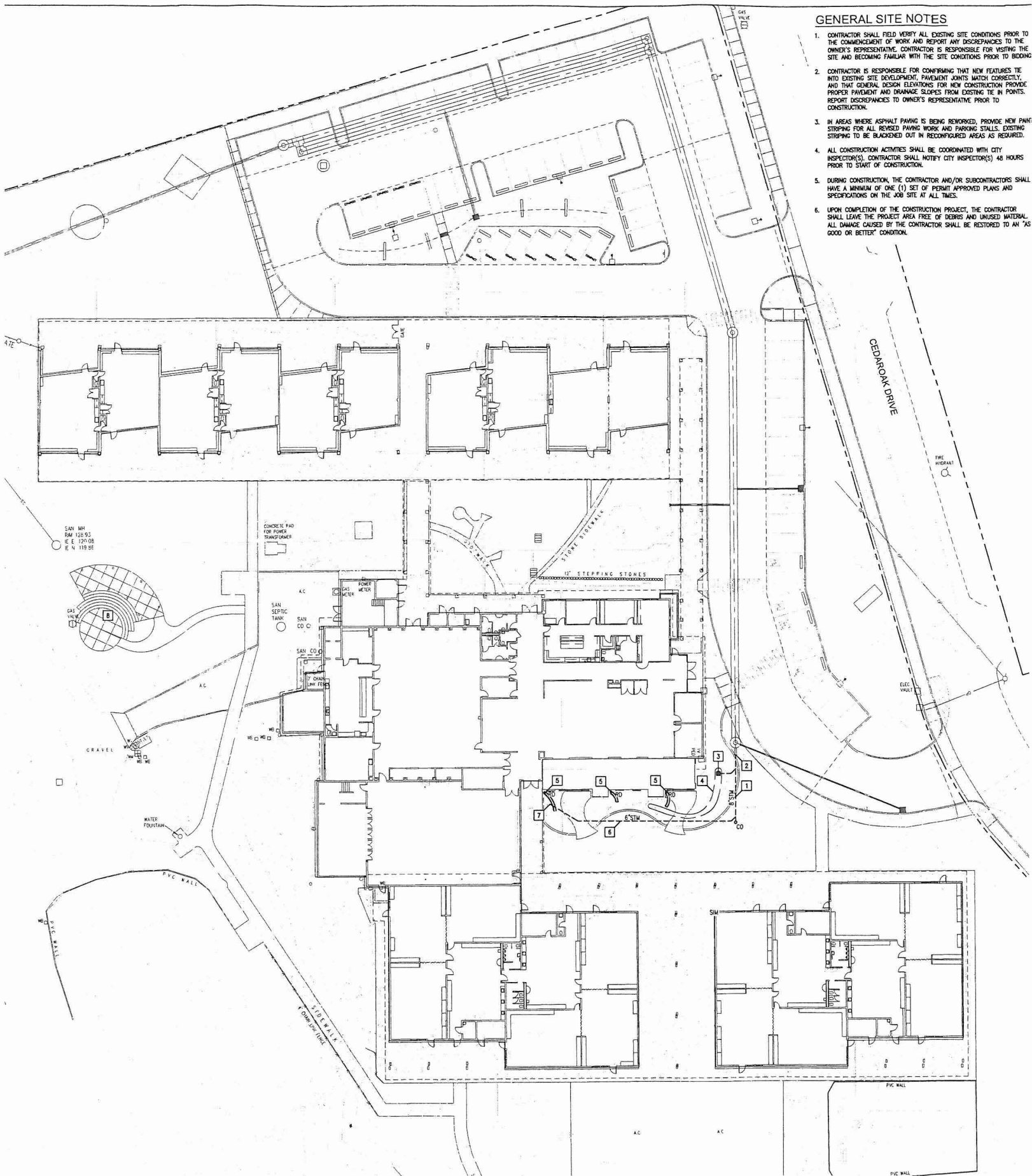
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1 SITE PLAN  
SHEET SCALE: 1/8"=1'-0"

1" = 20'-0" 20' 0' 20' 40' 60'

# GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TIE INTO EXISTING SITE DEVELOPMENT. PAVEMENT JOINTS MATCH CORRECTLY, AND THAT GENERAL DESIGN ELEVATIONS FOR NEW CONSTRUCTION PROVIDE PROPER PAVEMENT AND DRAINAGE SLOPES FROM EXISTING TIE IN POINTS. REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE ASPHALT PAVING IS BEING REWORKED, PROVIDE NEW PAINT STOPPING FOR ALL REVERSED PAVING WORK AND PAVING STALLS. EXISTING STOPPING TO BE BLACKENED OUT IN RECONFIGURED AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTOR(S). CONTRACTOR SHALL NOTIFY CITY INSPECTOR(S) 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL HAVE A MINIMUM OF ONE (1) SET OF PERMIT APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.



1 SITE PLAN  
C101C101 SCALE: 1"=20'-0"





**Parsons  
Brinckerhoff**

400 SW Sixth Avenue  
Suite 802  
Portland, OR 97204-1628  
503-274-8772  
Fax: 503-274-1412

April 27, 2010

Peter Spir, Associate Planner  
West Linn Planning Department  
22500 Salamo Road  
West Linn, OR 97068

RE: CDC Waiver Requests

Dear Peter,

The West Linn-Wilsonville School District has submitted three different development applications for city review and approval. These include two conditional use/design review applications, which will be re-submitted this week following completeness review, for Bolton Primary School (CUP-10-02/DR-10-03/VAR-10-04/MIS-10-06) and Cedaroak Primary School (CUP-10-01/DR-10-02/VAR-10-03/MIS-10-05). The third is a Class I Design Review application for the baseball improvements at WLHS, which will be submitted this week for the first time. The purpose of this letter is to request a waiver of CDC submittal requirements for these applications as provided in CDC Section 99.035.

#### Bolton and Cedaroak

A waiver is requested from CDC Section 99.038(5)(e) to provide an audio tape of the neighborhood meeting. The district (and apparently the neighborhoods) did not realize that a tape was required, and therefore, no tape was made for the Bolton and Robinwood neighborhood association meetings. Minutes have been provided as part of the applications. Because both meetings only involved a brief presentation by the district about the library additions followed by no comments or concerns by the attendees, a tape is unnecessary. The district has reviewed the minutes for both meetings and finds they accurately describe the discussion.

#### WLHS Baseball Field Improvements

The applicant is requesting a waiver of the submittal requirement to provide topographic information for the entire project property (CDC 55.120 A). In this case, no topographic survey information is available for the undeveloped portion of the school district property to the west of the football and baseball fields. In addition, the improvements are focused solely around the baseball field. Because no construction activity of any kind is proposed outside of this area, the district requests a waiver from this submittal requirement and to provide this information for the project area only.

A waiver to the acoustic study requirement (CDC 55.120 M) is requested. The remodeling and renovation work will not expand the school capacity or intensity of use and therefore, the noise generated from the site will not change.

The waiver requests are also included in the narrative for each application. This letter is in response to your pre-application meeting note indicating that waiver requests needed to be in letter form.

Please contact me if you need anything further.

Sincerely,

A handwritten signature in black ink, appearing to read "Keith S. Liden". The signature is fluid and cursive, with the first name "Keith" being more prominent.

Keith S. Liden, AICP

cc: Bob Teters, WLWV School District  
Tim Woodley, WLWV School District  
Thea Wayburn, DOWA  
Steve Winkle, DOWA  
Tom Soppe, City of West Linn



**Parsons  
Brinckerhoff**

400 SW Sixth Avenue  
Suite 802  
Portland, OR 97204-1628  
503-274-8772  
Fax: 503-274-1412

April 27, 2010

Peter Spir, Associate Planner  
West Linn Planning Department  
22500 Salamo Road  
West Linn, OR 97068

RE: CUP-10-01/DR-10-02/VAR-10-03/MIS-10-05 Cedaroak Primary School

Dear Peter,

In response to your April 21<sup>st</sup> letter indicating the Design Review application was incomplete, we made the requested changes. Attached are four sets of the narrative, civil and landscaping plan sheets, reduced 11X17-inch versions of the plan sheets, and a CD of all the materials.

The information related to the Community Development Code sections in your letter have been provided in the following manner:

- **55.100(E)(F)(H)(O)** - Responses have been provided. Because the pre-application meeting did not yield a list of criteria in 55.100 to be addressed, we elected to address all of them.
- **99.038(3)** - A corrected affidavit is included confirming that posting of the property did occur as required.
- **99.038(5)(e)** - A waiver is requested, per CDC 99.035 to allow the district to rely on the Robinwood Neighborhood Association minutes. The portion of the meeting dealing with this application was very brief. The district described the proposal, and there were no objections or comments. The district finds that the meeting minutes accurately describe the district portion of the meeting.
- **Amphitheater and pergola** - These two areas are to be used for school-related activities. This is described in the application narrative on page 5.
- **Covered bike parking** - This was shown on the landscape plan (Sheet L1.0), and it is now also shown on the utility plan (Sheet C1.01).
- **55.120 Site Plan** - An existing conditions plan sheet (C1.00) has been added.
- **Engineering Department** - The district does not object to conducting a street light analysis, however, because the district is interested in beginning the application process as soon as possible, we request this be made a condition of application approval rather than application acceptance. This will give the district adequate time to complete the work in coordination with the City Engineer.

COA  
OK pm Khai  
5-12-10



Because the need for a parking variance is open to interpretation, we decided to include the parking variance as part of the application.

Please contact me if you need anything further.

Sincerely,

A handwritten signature in black ink, appearing to read "Keith S. Liden". The signature is fluid and cursive, with the first name "Keith" being more prominent.

Keith S. Liden, AICP

cc: Bob Teters, WLWV School District  
Thea Wayburn, DOWA



# WINZLER & KELLY

15575 SW Sequoia Pkwy, Ste. 140  
Portland, OR 97224-7233

Date: 3-12-10

## MEMORANDUM

Project No.: 10884-09015    Project Name: Cedaroak Park Primary School Remodel  
To: Khoi Le, City of West Linn  
From: Patrick Tortora, P.E.  
Copies To: M. Wharry, P.E.  
Subject: Preliminary Stormwater Drainage Design Memorandum

---

This memorandum is to address the proposed storm drainage improvement related to the proposed library and possible amphitheatre addition.

### **Project Description:**

A 1,100 sf addition is proposed on the south side of the core building, to create a larger and more versatile library. In addition to the library addition is an amphitheatre on the west side of the school to be cut into the existing slope of the school yard. The amphitheatre has no associated building or canopy, it consists of concrete benches, pavers and lawn carved into the existing slope creating natural learning environment 1,468sf. Refer to the Site Plan under separate cover.

The new impervious area summary (approximates):

New Library Rooftop: 2,200 sf

Associated Hardscape for Library Addition: 510 sf

Amphitheatre: 1,468 sf

Total area: 4,178sf

### **Existing Conditions:**

There is an existing storm drain drywell that collects rooftop drainage and storm water from an area drain in the courtyard where the library will be added.

As part of an earlier project a detention system was designed and constructed to accept storm water from the existing structures and proposed addition for this project.

### **Proposed Storm System:**

As part of this project, the existing drywell will be decommissioned per DEQ regulations. The associated roof drains will be collected and routed to the detention system that was previously constructed.

It is being proposed to size the raingarden for the total new impervious area of 4,178 sf. The runoff from the amphitheater will not be directly treated by a specific facility; however it will inadvertently be treated by draining through the grass of the playfield.

The proposed roof drains from the library addition and associated hardscape will drain to a proposed raingarden. The raingarden is sized using the City of Portland Stormwater Management Manual Presumptive Approach. See attached calculations. The raingarden is sized for 4,178 sf of impervious surface, resulting in a raingarden size of 708 sf. Refer to the Utility Plan under separate cover.



# Presumptive Approach Calculator ver. 1.1

Catchment Data

Project Name: Cedaroak Park Primary School  
Project Address: 0  
West Linn, Oregon  
Designer: PRT  
Company: Winzler & Kelly

Catchment ID: A  
Date: 03/12/10  
Permit Number: 0  
Run Time

## Drainage Catchment Information

Catchment ID: A  
Catchment Area: 4,178 SF  
Impervious Area: 0.10 ac  
Impervious Area Curve Number,  $CN_{imp}$ : 98  
Time of Concentration,  $T_c$ , minutes: 5 min.

## Site Soils & Infiltration Testing Data

Infiltration Testing Procedure: Open Pit Falling Head  
Native Soil Field Tested Infiltration Rate ( $I_{test}$ ): 0.01 in/hr  
Bottom of Facility Meets Required Separation From High Groundwater Per BES SWMM Section 1.4: Yes

## Correction Factor Component

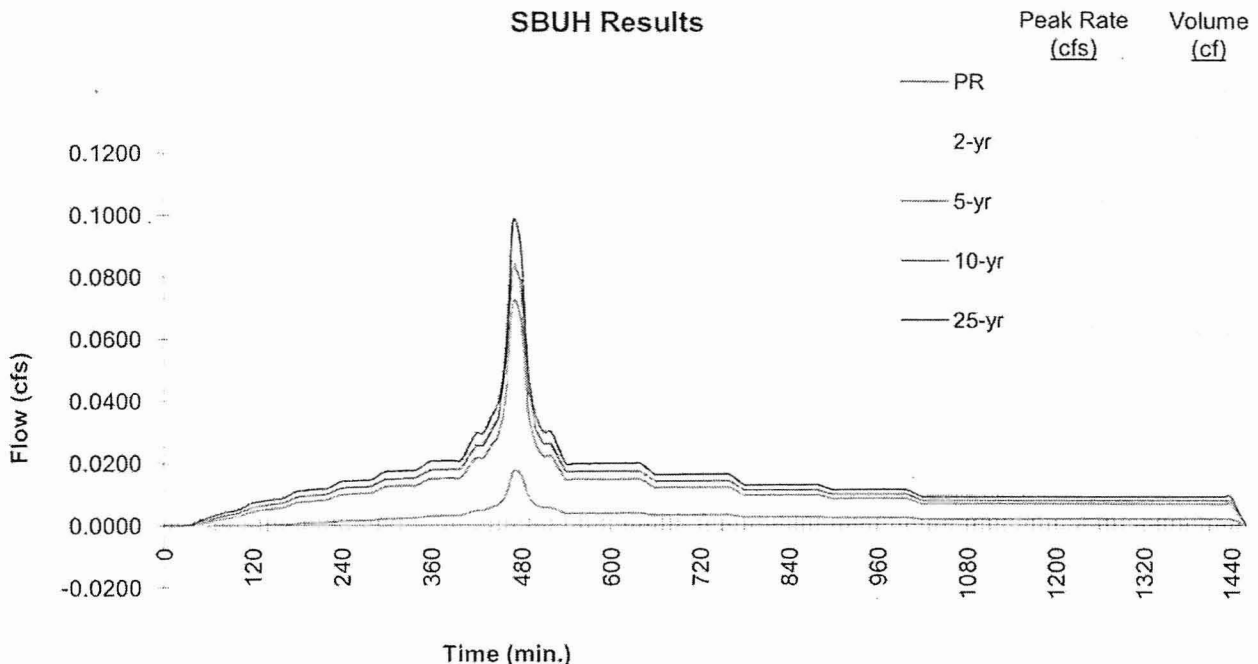
$CF_{test}$  (ranges from 1 to 3): 2

## Design Infiltration Rates

$I_{dsgn}$  for Native ( $I_{test} / CF_{test}$ ): 0.01 in/hr Design infiltration rate < 0.5 in/hr  
 $I_{dsgn}$  for Imported Growing Medium: 2.00 in/hr

Execute SBUH Calculations

## SBUH Results



Printed: 3/13/2010 2:26 PM



# Presumptive Approach Calculator ver. 1.1

Catchment ID: **A**

Project Name: Cedarok Park Primary School

Catchment ID: A

Date: 3/12/2010

Run Time

## Instructions:

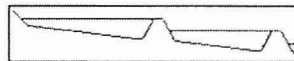
1. Identify which Stormwater Hierarchy Category the facility.
2. Select Facility Type.
3. Identify facility shape of surface facility to more accurately estimate surface volume, except for Swales and sloped planters that use the PAC Sloped Facility Worksheet to enter data.
4. Select type of facility configuration.
5. Complete data entry for all highlighted cells.

Catchment facility will meet Hierarchy Category: 3

## Goal Summary:

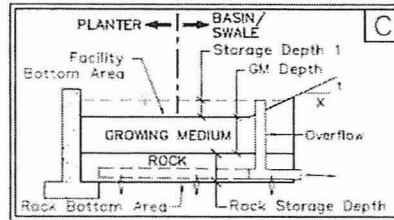
Hierarchy Category	SWMM Requirement	RESULTS box below needs to display		Facility configurations allowed
		Pollution Reduction as a	10-yr (aka disposal) as a	
3	Off-site flow to drainageway, river, or storm-only pipe system	PASS	N/A	ALL

Facility Type = Swale



Facility Configuration: C

Refer to Sloped Facility Worksheet and enter Variable Parameters



Calculation Guide  
Max. Rock Stor.  
Bottom Area  
Per Swale Dims

## DATA FOR ABOVE GRADE STORAGE COMPONENT

Infiltration Area = 345 sf  
Surface Capacity Volume = 194.5 cf

Growing Medium Depth = 18 in  
Freeboard Depth = N/A in

Surface Capacity at Depth 1 = 194 cf  
GM Design Infiltration Rate = 2.00 in/hr  
Infiltration Capacity = 0.016 cfs

## BELOW GRADE STORAGE

Rock Storage Bottom Area = 200 sf  
Rock Storage Depth = 18 in  
Rock Void Ratio = 0.3  
Storage Depth 3 = 12 in

Rock Storage Capacity = 60 cf  
Native Design Infiltration Rate = 0.01 in/hr  
Infiltration Capacity = 0.000 cfs

<b>RESULTS</b>		Overflow Volume	
Pollution Reduction	<b>PASS</b>	169 CF	0% Surf. Cap. Used
			100% Rock Cap. Used
Output File			
	2-yr	5-yr	10-yr
Peak cfs	0.016	0.016	0.050

Current data has been exported:

Cedarok Park PS - Swale Data.xls  
3/13/2010 2:26:28 PM

<b>FACILITY FACTS</b>	
Total Facility Area Including Freeboard =	708 SF
Sizing Ratio (Total Facility Area / Catchment Area) =	0.169



## Presumptive Approach Calculator Ver 1.1

## Instructions:

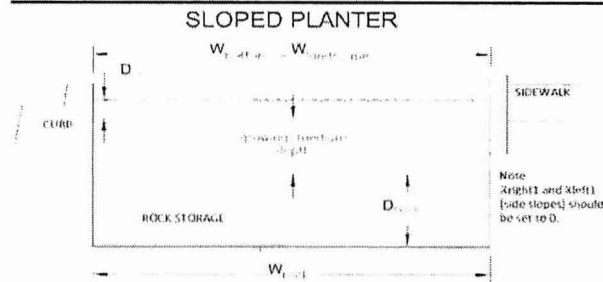
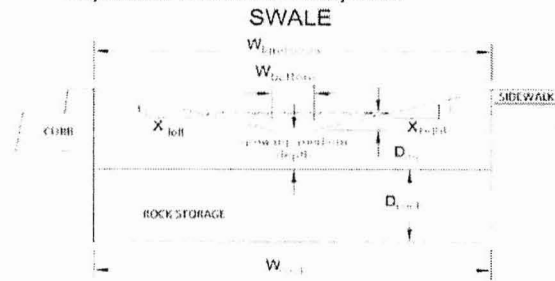
1. Refer to facility graphics and fill in all relevant facility parameters in the Data Entry table below. Data entry cells vary based on Facility Configuration selected on Facility Design Data tab.
2. Delete all facility parameters that may have been entered by the previous iteration that are no longer applicable.

Project Name: Cedar oak Park Primary School

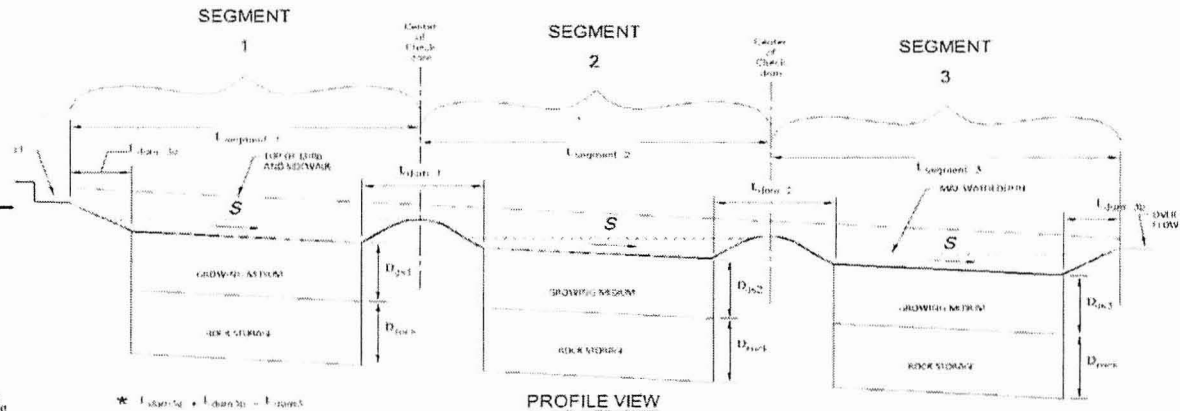
Date: 3/12/2010

Run Time

Catchment ID: A



Note:  
X\_right:1 and X\_left:1  
[side slopes] should  
be set to 0.

Data Entry  
Parameters

Variable Description	Facility Segment	Length of facility segment (ft)	Downstream Check Dam Length (ft)	Longitudinal Facility Slope (ft/ft)	Bottom Width (ft)	Side Slope Right	Side Slope Left	Downstream Depth (inches)	Landscape Width (ft)	Rock Storage Width (ft)	Rock Storage Depth (inches)	Rock Void Ratio
Unit		(ft)	(ft)	(ft/ft)	(ft)			(inches)	(ft)	(ft)	(inches)	
Variable Symbol		L <sub>segment</sub>	L <sub>dam</sub>	S	W <sub>bottom</sub>	X <sub>right:1</sub>	X <sub>left:1</sub>	D <sub>db</sub>	W <sub>landscape</sub>	W <sub>rock</sub>	D <sub>rock</sub>	v
	1	12	2	0.005	2	4	4	9	10	10	18	0.3
	2	12	2	0.005	2	4	4	9	10	10		
	3	12	2	0.005	2	4	4	9	10	10		
	4	12	2	0.005	2	4	4	9	10	10		
	5	12	2	0.005	2	4	4	9	10	10		
	6											
	7											
	8											
	9											
	10											

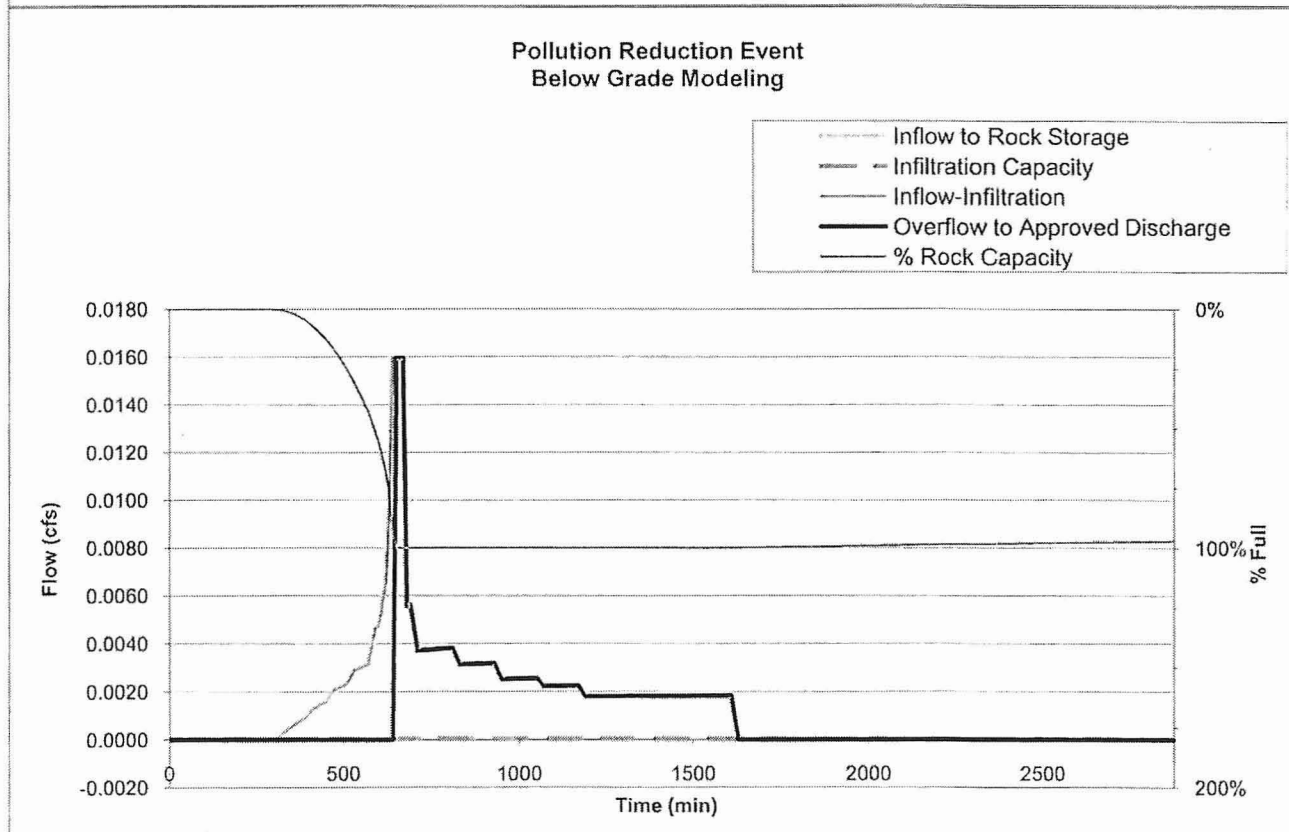
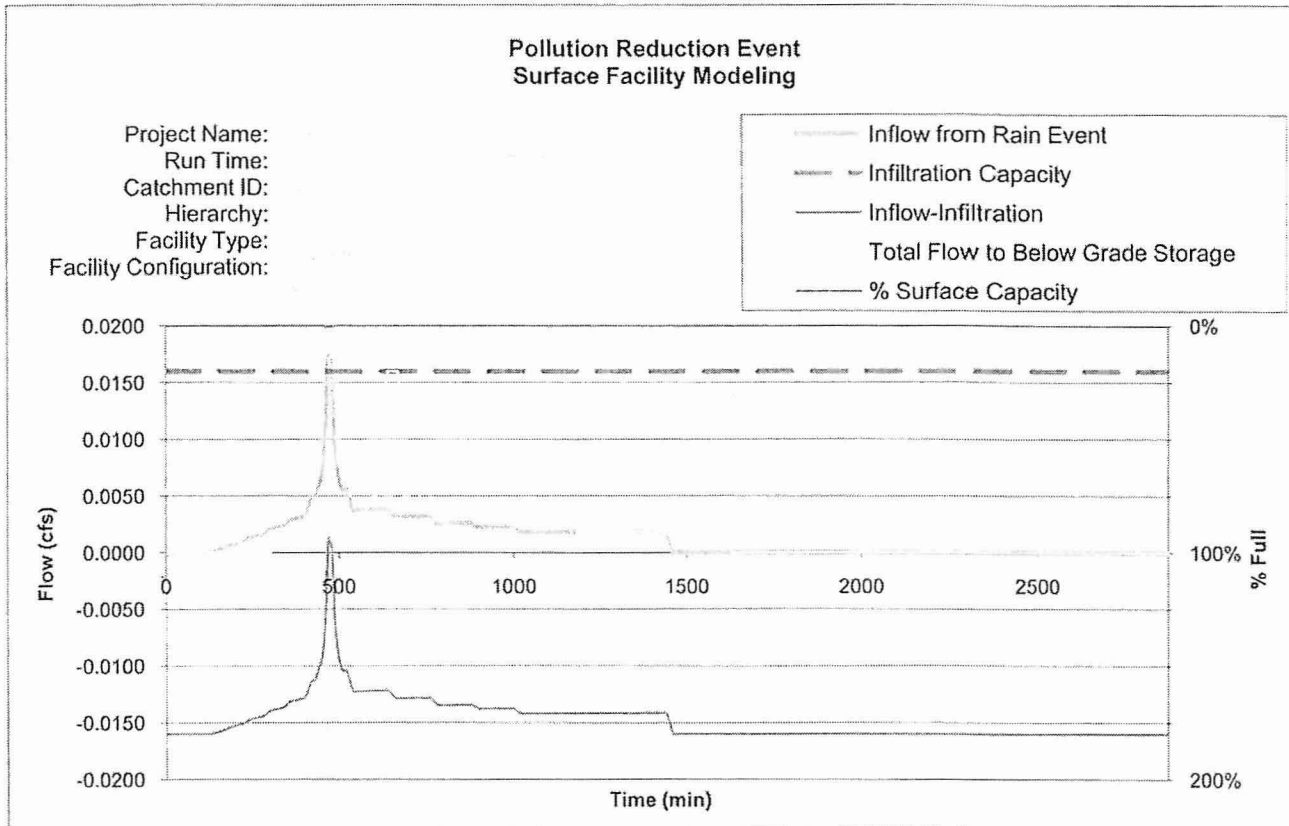
Worksheet Calculations

## Rock Storage Parameters

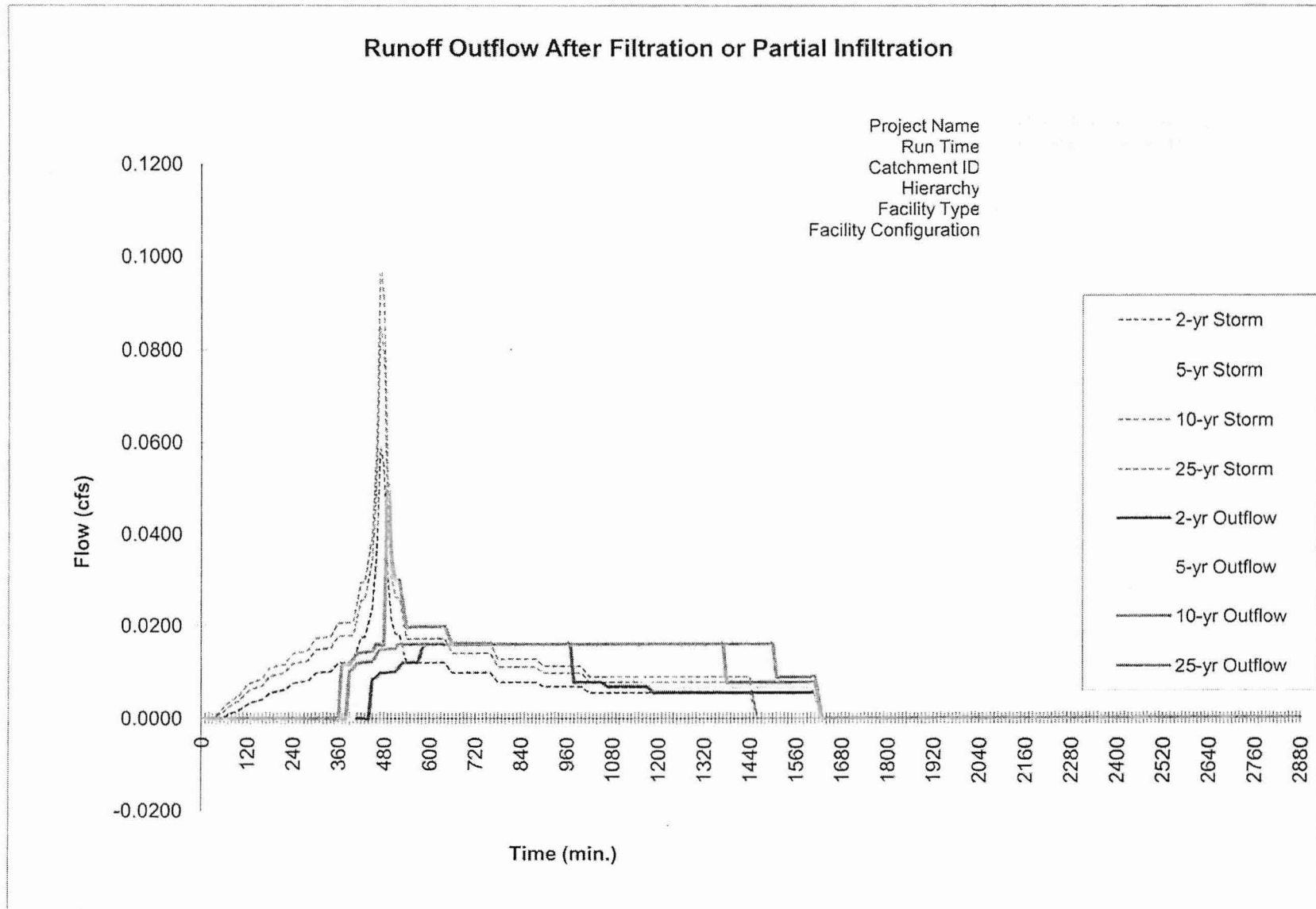
Rock Storage Width (ft)	Rock Storage Depth (inches)	Rock Void Ratio
10	18	0.3

Depth 3 = 12

## Error Messages







## SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

## 1. Article Addressed to:

Robin Wood Neighborhood  
 Ass. President (Thomas Bees)  
 18717 Upper Midhill Dr.  
 West Linn, OR  
 97068

## COMPLETE THIS SECTION ON DELIVERY

A. Received by (Please Print Clearly) B. Date of Delivery

THOMAS BEES

2/19/10

C. Signature

X

☐ Agent☐ Addressee

D. Is delivery address different from item 1?

☐ Yes

If YES, enter delivery address below:

☐ No

## 3. Service Type

☒ Certified Mail☐ Express Mail☐ Registered☒ Return Receipt for Merchandise☐ Insured Mail☐ C.O.D.

## 4. Restricted Delivery? (Extra Fee)

☐ Yes

## 2. Article Number (Copy from service label)

7009 0820 0000 9577 3441

UNITED STATES POSTAL SERVICE

15 FEB 2010 PM 3:12

15 FEB 2010 PM 3:12

First-Class Mail  
Postage & Fees Paid  
USPS  
Permit No. G-10

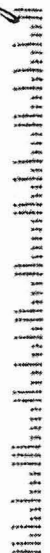
• Sender: Please print your name, address, and ZIP+4 in this box •

West Linn Wilsonville School  
District

P.O. Box 35  
West Linn, OR

97068

Attn: Amy B.



**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Robinson Neighborhood  
association Deigne  
(Karin Buick)  
18840 Nixon Ave.  
West Linn, Ok.  
97068*

2. Article Number (Copy from service label)

7009 0820 0000 9577 3458

**COMPLETE THIS SECTION ON DELIVERY**

A. Received by (Please Print Clearly)

*Karin Buick*

B. Date of Delivery

C. Signature

*X*

☐ Agent

☐ Addressee

D. Is delivery address different from item 1?

☐ Yes

If YES, enter delivery address below:

☐ No

3. Service Type

☒ Certified Mail

☐ Express Mail

☐ Registered

☒ Return Receipt for Merchandise

☐ Insured Mail

☐ C.O.D.

4. Restricted Delivery? (Extra Fee)

☐ Yes

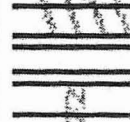
PS Form 3811, July 1999

Domestic Return Receipt

102595-99-M-1789

UNITED STATES POSTAL SERVICE

PORTLAND, OR 97208



First-Class Mail  
Postage & Fees Paid  
USPS  
Permit No. G-10

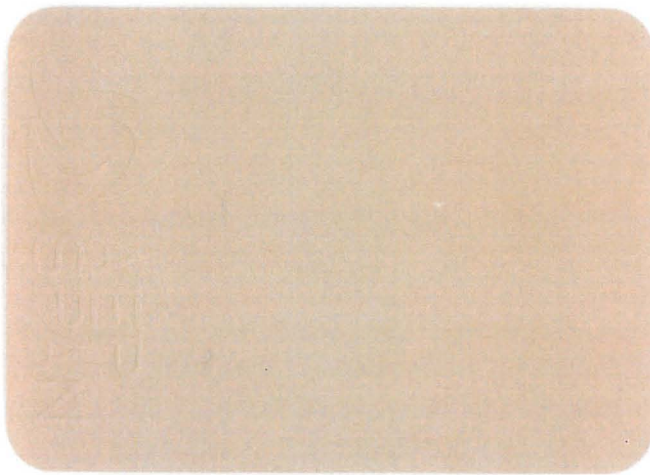
• Sender: Please print your name, address, and ZIP+4 in this box •

West Linn Wilsonville  
School Dist  
P.O. Box 35  
West Linn, OR.  
97148 ATTN: Amy D.

## Cedaroak Park Primary School – Exterior Colors/Materials



New brick to match existing brick (shown above)



Metal panel, Trim color





# DEVELOPMENT REVIEW APPLICATION

PLANNING &amp; BUILDING

CITY OF WEST LINN

INSTRUMENT TIME

TYPE OF REVIEW (Please check all boxes that apply):

- |   |  |
|---|--|
| <input type="checkbox"/> Annexation                                 | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures |
| <input type="checkbox"/> Appeal and Review *                        | <input type="checkbox"/> One-Year Extension *                              |
| <input checked="" type="checkbox"/> Conditional Use 3650.00         | <input type="checkbox"/> Planned Unit Development                          |
| <input checked="" type="checkbox"/> Design Review I 850.00          | <input type="checkbox"/> Pre-Application Meeting *                         |
| <input type="checkbox"/> Easement Vacation                          | <input type="checkbox"/> Quasi-Judicial Plan or Zone Change                |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities         | <input type="checkbox"/> Street Vacation                                   |
| <input type="checkbox"/> Final Plat or Plan                         | <input type="checkbox"/> Subdivision                                       |
| <input type="checkbox"/> Flood Plain Construction                   | <input type="checkbox"/> Temporary Uses *                                  |
| <input type="checkbox"/> Hillside Protection and Erosion Control    | <input type="checkbox"/> Tualatin River Greenway                           |
| <input type="checkbox"/> Historic District Review                   | <input checked="" type="checkbox"/> Variance II 1800.00                    |
| <input type="checkbox"/> Legislative Plan or Change                 | <input type="checkbox"/> Water Resource Area Protection/Wetland            |
| <input type="checkbox"/> Lot Line Adjustment * / **                 | <input type="checkbox"/> Willamette River Greenway                         |
| <input type="checkbox"/> Minor Partition (Preliminary Plat or Plan) | <input type="checkbox"/> Other/Misc  |

Home Occupation / Pre-Application / Sidewalk Use Application \* / Permanent Sign Review \* / Temporary Sign Application  
require individual application forms available in the forms and application section of the City Website or at City Hall.

TOTAL FEES/DEPOSIT \$7500.00

\* No CD required / \*\* Only one copy needed

West Linn-Wilsonville Sch. Dist. P.O. Box 35

West Linn, OR 97062

503-673-7976

OWNER'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Tim Woodley	Same as above			

APPLICANT'S	ADDRESS	CITY	ZIP	PHONE(res.& bus.)
Keith Liden, Parsons Brinckerhoff, 400 SW 6th Ave., Suite 802		Portland, OR	97204	503-478-2348

CONSULTANT	ADDRESS	CITY	ZIP	PHONE
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SITE LOCATION Cedar oak Primary 515 Cedar oak Drive

Ass Tax Lot(s): 1800/9400 Total Land Area: 33 acres

able (excluding deposit).

tentative should be present at all public hearings.

on appeal. No permit will be in effect until the appeal

ngle sided) of application materials  
tion. One (1) complete set of digital  
ubmitted on CD in PDF format.

the filing of this application, and authorizes on site review  
h all code requirements applicable to my application.

X  
SIGN

Date 12.3.09

X Keith Liden

Date 3.23.10

BY SIGNING THIS APPLICATION, THE CITY IS AUTHORIZED REASONABLE ACCESS TO THE PROPERTY.  
ACCEPTANCE OF THIS APPLICATION DOES NOT INFER A COMPLETE SUBMITTAL.  
COMPLETENESS WILL BE DETERMINED WITHIN 30 DAYS OF SUBMITTAL.

PLANNING AND BUILDING; 22500 SALADO RD #1000; WEST LINN, OR 97068;

PHONE: 656-4211 FAX: 656-4106

**CEDAROAK PARK PRIMARY SCHOOL**  
**Conditional Use, Class I Design Review,**  
**Non-Conforming Structure, and Variance**  
March 23, 2010

**APPLICATION SUMMARY**

For Conditional Use and Class I Design Review approval to construct a 1,100 square-foot library expansion and related interior remodeling. The existing primary school is 46,215 square feet and located on an 11.22-acre site. The application also includes a request to expand a non-conforming structure that does not meet current parking standards.

**GENERAL INFORMATION****Location**

4515 South Cedaroak Drive (2S 1E Section 24 BA, Tax Lot 1800). Its location is shown in Figure 1.

**Comprehensive Plan and Zoning Designations**

The Comprehensive Plan designation is Low Density Residential.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

**Applicant and Owner**

Tim Woodley, Director of Operations  
West Linn-Wilsonville School District  
P. O. Box 35  
West Linn, OR 97068  
Phone: 503-673-7976  
E-mail: [woodleyt@wlwv.k12.or.us](mailto:woodleyt@wlwv.k12.or.us)

**Applicant's Representatives**

Keith Liden, AICP  
Parsons Brinckerhoff  
400 S. W. 6<sup>th</sup> Avenue, Suite 802  
Portland, OR 97204  
Phone: 503-478-2348  
Fax: 503-274-1412  
E-mail: [liden@pbworld.com](mailto:liden@pbworld.com)

Thea Wayburn  
Dull Olson Weekes Architects  
907 S. W. Stark Street  
Portland, OR 97205  
Phone: 226-6950  
Fax: 273-9192  
E-mail: [theaw@dowa.com](mailto:theaw@dowa.com)



area plus one space per staff member. With 46,215 square feet and 48 staff, the school would need 95 parking spaces. The 1,100 square-foot library addition would increase this requirement to 96 spaces. Bicycle parking is required at a rate of two spaces per classroom for a total of 44 spaces (22 classrooms). The district proposes to supplement the existing bike rack with 12 new, covered bike rack spaces located adjacent to the south classrooms. In addition, a location for 18 future, covered spaces are shown near the north classrooms at the front of the building. Currently, approximately 2 to 3 cyclists come to school, and this number can be as high as 20 during the better weather in the spring and fall. This relatively low number is because only 4<sup>th</sup> and 5<sup>th</sup> graders are old enough to ride safely to school. The proposed number of new bike spaces will be more than adequate to meet current demand.

### **Amphitheater**

A small outdoor amphitheater is proposed on the west side of the building. It will be used for outdoor class sessions. It will be surrounded with new lawn. An area of improved landscaping is proposed adjacent to the amphitheater (Sheet L1.0).

### **Storm Water Improvements**

The storm system was upgraded as part of the parking lot improvements noted above. Stormwater resulting from the new impervious areas will be treated by a new rain garden located adjacent to the library addition. Further details are provided in Preliminary Stormwater Drainage Design Memorandum from Winzler and Kelly.

## **CONDITIONAL USE REVIEW CRITERIA**

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11), Conditional Use evaluation criteria (Chapter 60), Non-Conforming Structures (Chapter 66), Variance Criteria (Chapter 75), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

### ***Chapter 11 Single Family Residential Detached, R-10***

#### **Section 11.060 Conditional Uses**

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

#### **Section 11.080 Dimensional Requirements, Conditional Uses**

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has successfully operated on this 11.22-acre site for many years, and the building footprint will be expanded slightly. The school enrollment capacity will not be changed by the library addition or the related interior remodeling. Adequate area continues to be available for the school building, activity fields, parking, landscaping, and buffering. Because the addition and remodeling will be within an interior location on

the site, it will have no meaningful affect on surrounding properties.

Because the library addition is located internally on the site, the existing building setbacks will not be affected. The school building currently covers 9.5% of the site, and the addition will have virtually no impact on this figure. The enlarged building will continue to easily satisfy the maximum building coverage standard of 35%.

The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. Based on the property area of 11.22 acres, a maximum floor area of almost 200,000 square feet is allowed. With the library expansion, the building floor area of 47,315 square feet is well below the maximum allowed.

## **Chapter 60 Conditional Uses**

### **Section 60.070 Approval Standards and Conditions**

This code section states that the applicant must provide evidence substantiating that the proposed use satisfies seven criteria, which are addressed below:

#### **A. The following criteria shall be satisfied.**

##### **1. The site size and dimensions provide:**

###### **a. Adequate area for the needs of the proposed use.**

This site has proven to be adequate for the primary school and its associated facilities. The proposal will not increase the school's enrollment capacity. As shown on the site plan, the 1,100 square-foot library addition will be located within the general perimeter of the existing school building footprint and will not reduce any existing setbacks from surrounding properties.

###### **b. Adequate area for aesthetic design treatment to mitigate any possible adverse effect from the use on surrounding properties and uses.**

As shown on the site plan information, the setback distances for buildings, parking, fields, and related facilities from all property will be the same as the existing situation. The building, parking, and fields will retain their current location and orientation, and therefore, the proposed addition and renovation will not have any adverse impact on surrounding properties.

##### **2. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features.**

The existing primary school site has proven to be suitable for the district and the community. The approval of the new bond measure to provide the funding for the improvements demonstrates continued community support for the proposed rejuvenation of the school. The school has served the community on the site for many years. The school has proven that it can operate in a manner, which is compatible with the surrounding neighborhood. Because the capacity of the school will be unchanged, the addition will not pose any new potential impacts for the surrounding neighborhood.

The area of the proposed addition is flat and has no physical limitations. The landscaping near the addition will be restored following construction (Sheet L1.0).

**3. *The granting of the proposal will provide for a facility that is consistent with the overall needs of the community.***

The needs of the community are best expressed by its approval of the bond measure to finance these improvements. The relevant city policies are addressed under criterion 7 below.

**4. *All required public facilities have adequate capacity to serve the proposal.***

Transportation

Because the capacity and operation of the primary school will not change, no additional traffic impacts will result.

Water

Water service is presently adequate, and because no additional demands will be placed on the system, it will adequately continue to serve the school.

Sanitary and Storm Sewer

Sanitary and storm sewer service is currently satisfactory. The building addition will replace lawn, a hedge, and three small fruit trees. This will be replaced by new landscaping and a rain garden to handle the small amount of additional runoff caused by the library expansion. The existing systems will continue to be adequate because the amount of impervious surface and student/teacher capacity will be consistent with the current conditions.

**5. *The applicable requirements of the zone are met except as modified by the Conditional Use chapter.***

The applicable requirements of the R-10 zone are met, and the library addition remodeling will not change the building setbacks on the perimeter of the building. With the addition, the building coverage will be less than 10% of the site, meeting the lot coverage maximum of 35%. The building will also be well below the floor area ratio (FAR) maximum of 0.45.

The appropriate lot size is confirmed as part of the conditional use review. Because the use is proposed to remain essentially as it is today, the site continues to be adequate. The library addition will not be over the 35-foot allowable height. Building setbacks will not be modified, and all will exceed the 20-foot minimum.



**6. The supplementary requirements set forth in Chapters 52 to 55, if applicable, are met.**

Chapter 52 - Signs

Not relevant because no signs are proposed.

Chapter 53 - Sidewalk Use

This CDC chapter applies to commercial activities on public sidewalks. It is not applicable to this proposal.

Chapter 54 - Installation and Maintenance of Landscaping

This is addressed in the following section relating to Design Review.

Chapter 55 - Design Review

The Design Review criteria are addressed in the following section.

**7. The use will comply with the applicable policies of the Comprehensive Plan.**

The relevant city of West Linn policies for schools are found in the city's Comprehensive Plan. The relevant policies are addressed below.

The "Natural Environment" section contains one policy that is relevant to the request.

*Specific Policy 10 (Water Quality):*

*Require that new development be designed and executed so as to avoid further degradation of surface and ground water quality by runoff, paying particular attention to the mitigation of soil erosion during and after the development process.*

Appropriate erosion control and water quality measures will be taken to comply with this policy and related regulations. These measures will be reviewed by the city as part of the building permit process.

*Specific Policy 13 (Water Quality):*

*Require that new development be connected to the City's sanitary sewer system.*

The school will continue to be connected to sanitary sewer.

*Specific Policy 19 (Noise Control)*

*Ensure that new commercial, industrial, and public facility development is landscaped and designed so that DEQ noise standards are met and neighboring noise sensitive properties are not negatively impacted by the new land use or associated activities.*

The proposed improvements will not change use patterns on the site or associated noise. Most important, the building function, orientation, and capacity will remain essentially as it is today.

*Specific Policy 19 (Urban Forest):*

*Require that land development will maintain existing trees, which exceed six inches in diameter at breast height (DBH) except where:*

- A roadway is being developed*
- A building site is being developed*
- Solar access is needed for a solar heating system.*

The "Public Facilities and Services" section contains several relevant policies.

*General Policy 3 (Public Facilities and Services):*

*Ensure development will coincide with the provision of adequate public facilities and services. The City recognizes the following public facilities and services as those services which shall be provided coincident with development:*

- A. Access*
- B. Storm drainage*
- C. Water*
- D. Sewer services*

As discussed above, these facilities are currently provided.

*General Policy 5 (Public Facilities and Services):*

*Monitor, coordinate with, and regulate the activities of the following, where appropriate, as they affect existing and future residents and businesses.*

- a. Solid Waste Collection and Recycling*
- b. Utilities - Electricity, Natural Gas, Telephone, and Cable TV.*
- c. Schools.*
- d. Health Services.*

These services are available.

*General Policy 1 (Energy Conservation):*

*Conserve energy through the appropriate location of land uses (through zoning).*

*General Policy 2 (Energy Conservation):*

*Ensure energy efficient provision of public facilities and services.*

The new library addition will offer significant energy savings through meeting current energy standards related to both increased insulation values and modern heating and cooling equipment.

**B. Development review provisions in Chapter 55 shall be satisfied.**

These criteria are addressed below.

**C. The Planning Commission may impose conditions.**

The district understands that the Planning Commission has the authority to impose conditions.

**D. Aggregate extraction uses.**

This subsection is not relevant because aggregate extraction is not proposed.

**Chapter 66 Non-Conforming Structures**

This chapter provides that any enlargement or alteration to a non-conforming structure containing a conforming use may be permitted if the enlargement or alteration will not change the degree of non-conformity, and all other applicable ordinance provisions have been met. The existing structure does not comply with the city's parking standards.

Cedaroak is currently required to have 95 off-street parking spaces, and the parking lot was recently expanded by 6 spaces to 74. On-street parking is allowed along much of the school property frontage yielding a total of 86 to 90 spaces that are available for the school. The 1,100 square-foot addition will raise the required parking to 96 spaces. This addition does not increase the enrollment capacity of the school, the current staffing needs, or the parking demand.

The school is also required to have 44 bike parking spaces. As noted above, the district proposes to provide 12 new spaces located adjacent to the south classrooms. This will supplement the existing 15 spaces and provide more than adequate parking for the bicyclists who come to the school.

**Chapter 75 Variances**

A variance is being sought for expansion of a non-conforming structure as it relates to off-street parking.

*Chapter 75 requires that a variance will only be approved if it meets six criteria:*

- 1. Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, legally existing prior to the date of this ordinance, topography, or other circumstances over which the applicant has no control.*

The school building is non-conforming because it only partially satisfies the current city requirement for off-street parking. The library addition would increase the parking requirement from 95 to 96 spaces, and the recent parking lot expansion raised the number of off-street parking spaces from 68 to 74. The district is faced with an extraordinary circumstance because it has maximized the number of parking spaces in the existing parking area north of the school. Additional parking would require a second lot on the south side of the building. This would have a very detrimental impact on the school because this would reduce the amount of playfield space, and it would be awkward to connect such a parking lot with the entrances to the school located on the north side of the building. As the only school in the neighborhood, the circumstances do not apply to other properties in the vicinity.

To reduce the degree of nonconformity for bicycle parking, the district proposes to supplement the existing bicycle parking with 12 new spaces, which will be covered and located near building entrances as required by the CDC. Should additional bike parking be warranted in the future, the district has identified another excellent covered location for more bicycle parking.

2. *The variance is necessary for the preservation of a property right of the applicant, which is substantially the same as a right possessed by owners of other property in the same zone or vicinity.*

Since the school was established, the use of the automobile has become more prevalent and parking requirements have increased. This change has resulted in amendments to the Community Development Code that have resulted in the existing parking being out of compliance regarding the number of parking spaces provided. The faculty, parents, and the neighborhood have learned to make the best of the parking situation. Unlike other schools, Cedaroak has street frontage that provides 12 to 16 on-street parking spaces directly in front of the school. When considered in combination, between 86 and 90 spaces are available – an amount that is close to the 96-space requirement. In addition, school bus service is provided, the Cedaroak neighborhood is walkable, with interconnected streets, and TriMet bus service is available approximately 1/3-mile to the west on Willamette Drive.

3. *The authorization of the variance will not be materially detrimental to the purposes and standards of this Code, will not be inconsistent with all other regulatory requirements, and will not conflict with the goals and policies of the West Linn Comprehensive Plan.*

With the exception of parking, all other code requirements will be met. The addition will not create and code compliance issues, and it will not conflict with the goals and policies of the Comprehensive Plan. In addition, parking was not mentioned as an issue during the neighborhood meeting.

4. *The variance request is the minimum variance, which would alleviate the exceptional and extraordinary circumstance.*

After evaluating the existing Cedaroak Primary School facility, the School District determined that a larger library was necessary to provide improved educational resources and to promote student opportunities for learning. The library will not increase parking demand because it will not raise the enrollment capacity of the

school or increase the number of school staff. As noted above, the district expanded the existing parking lot this past fall with the addition of 6 spaces. This more than compensates for the one additional space triggered by the code for the library addition.

With the expanded 74-space parking lot, the school will have a 12-space deficit compared to the code standard. This is further reduced when the addition 12 to 16 on-street parking spaces are considered. The proposed new bike parking will also help reduce any parking deficiencies.

5. *The exceptional and extraordinary circumstance does not arise from the violation of this ordinance.*

The extraordinary circumstance creating the need for the variance is created by the existing site layout. The district enlarged the parking lot on the north side of the school to the maximum extent possible. Additional parking would require the creation of a second lot on the south side of the site. The district considered the trade-offs of adding more parking to the site and removing some of the existing outdoor school facilities, such as the athletic fields and play areas. The elimination of outdoor school facilities was determined to not be appropriate given the benefits these areas provide to the students and the community.

6. *The variance will not impose physical limitations on other properties or uses in the area, and will not impose physical limitations on future use of neighboring vacant or underdeveloped properties as authorized by the underlying zoning classification.*

Continuation of the school operation with the library addition and 6 new on-site parking spaces and 12 new bike parking spaces will not impose physical limitations on the existing or future uses of other properties in the area because the library expansion is internally located, and accommodation of the current parking demand will be further improved.

### ***Chapter 99 Procedures for Decision-Making: Quasi-Judicial***

This chapter requires that the neighborhood is contacted and the proposed development discussed with any affected neighborhood for conditional use permits for developments over 1,500 square feet. A neighborhood meeting with the Robinhood Neighborhood Association was held on March 15, 2010. The District will provide the meeting notes once they are submitted by the neighborhood association.

## DESIGN REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include compliance with Chapter 55 Design Review.

### 55.100 Class II Design Review

#### **A. The provisions of the following chapters shall be met:**

##### **1. Chapter 33 - Storm Water Quality and Detention**

The approval criteria in Section 33.040 identify a number of things that must be accomplished according to city requirements during construction. These requirements will be met in coordination with the district, Planning Director, and City Engineer.

##### **2. Chapter 34, Accessory Structures**

Not applicable - none proposed.

##### **3. Chapter 38, Additional Yard Area Required**

This chapter applies to buildings on streets with inadequate right-of-way widths. These standards are not applicable because all of the necessary street right-of-way and related improvements are provided.

##### **4. Chapter 40, Building Height Limitations and Exceptions**

Not applicable – the proposed addition will meet the 35-foot building height limitation of the R-10 Zone.

##### **5. Chapter 42, Clear Vision Areas**

The standards for clear vision areas adjacent to driveways will continue to be satisfied or exceeded. The proposed improvements are not near the driveway entrances and exits, retaining the required clear vision areas.

##### **6. Chapter 44, Fences and Screening Outdoor Storage**

Not applicable – the library addition will not have an effect on existing fences or storage.

##### **7. Chapter 46, Off-Street Parking and Loading**

Section 46.070 requires parking spaces to be no farther than 200 feet from building entrances. The existing parking layout was previously approved by the city. Parking will not be changed by this application. However, as explained above, the district added 6 new parking spaces last year as the first phase of improvements for the school.



*Section 46.090 B. 6.* contains parking requirements for a primary school. The parking was approved previously by the city and no changes to the design of the parking lot are proposed. Therefore, city standards will continue to be met with the exception of the variance for a non-conforming structure noted above.

*Section 46.120* requires a 15-foot wide drive for loading and unloading passengers. This is not applicable because the current site layout and on-site circulation has been previously approved by the city, and no changes to the driveways are proposed.

*Section 46.130* requires two loading spaces for the school (100,000+ sq. ft.). This is not applicable because the current site layout and loading has been previously approved by the city, and no changes are proposed.

*Section 46.140* contains the design standards for parking areas. As noted above, the parking lot was previously approved by the city and will not be changed. The site plan complies with all of the relevant standards with the exception of the number of on-site spaces.

*Section 46.150 A. and B.* contain a variety of standards pertaining to parking lot design, pavement, pedestrian access, handicapped parking, and grades. No changes to these facilities, which have been previously approved by the city, are proposed, and these standards will continue to be satisfied.

*Section 46.150 B.* contains bicycle standards. As described above, the district proposes to significantly improve the bike parking by:

1. Retaining the existing 15 spaces on the west side of the building near the proposed amphitheater.
2. Providing 12 new bike parking spaces located under cover adjacent to the south classrooms.

## **8. Chapter 48, Access**

*Section 48.040* requires that service drives have a minimum width of 24 feet. The driveways will continue to have a minimum width of 24 feet.

Access drives in the parking area (*Section 48.020 F.*) will continue to meet code requirements.

*Section 48.060* requires that the minimum/maximum curb cut should be 16-36 feet. The existing driveways will continue to be less than 36 feet.

## **9. Chapter 52, Signs**

Not applicable because no new or amended signs are proposed.

## **10. Chapter 54, Landscaping**

The landscaping plan to re-establish landscaping removed during construction will comply with the city's landscaping requirements. The approval criteria are satisfied as noted below:

*Sections 54.020 A, B, and C* encourage preservation of existing trees. No trees will be removed.

*Section 54.020 D.* does not apply because there are no heritage trees on the site.

*Section 54.020 E.* is satisfied because well over 20% of the site will be landscaped, and dimensional requirements for landscaped areas will continue to be met.

## **55.100 B. Relationship to the Natural and Physical Environment**

*Sections 55.100 B. 1. and 2.* are not relevant because there are no heritage trees on the site.

*Section 55.100 B. 3.* is satisfied because grading will only involve the new library expansion, and the natural drainage pattern will not be altered. In addition, the storm water treatment was recently enhanced as part of the parking lot renovation to improve the water quality.

*Section 55.100 B. 4.* is satisfied because the property is geologically stable. Furthermore, the existing school building will not be significantly modified.

*Section 55.100 B. 5.* is satisfied because the school building will not be significantly altered, and the current building setbacks will be retained.

*Section 55.100 B. 6.* is met based on the findings below:

- a. The architectural design for the addition will be consistent with the architectural style of the existing building.
- b/c. The proposed design is compatible with the natural environment because only a minimum amount of area will be used for the addition. The proposed addition to Cedaroak Primary School is located internally between two existing wings of the facility. The proposed library addition effectively complements the existing structure by using consistent rhythm of windows, rooflines, building lines, material, and colors as the existing primary school.
- d. The site size and the addition location are sufficient to displace any contrasting architectural styles that the proposed building might add to the surrounding area. As illustrated in the plan sheets, the addition is located in the approximate center of the site with the existing school building on three sides.
- e. The human scale of the proposed building is represented in the design approach, which is consistent with the existing building design.

- f. The criterion related to windows applies only to commercial and office buildings, not school structures.
- g. The addition will feature finish materials, which are the same or similar to existing building materials. The window wall and clerestory windows will provide natural daylight into the new library as well as a visual connection to the surrounding landscaped areas.
- h. Climatic concerns are considered in the proposed building designs due to the public use associated with school buildings. The new addition will meet all current energy efficiency standards.
- i. The proposed site plan is consistent with the city of West Linn's vision statement to provide safe and attractive pedestrian-friendly site and building environments. The design of the addition and its internal location on the site will maintain the current pedestrian-friendly character of the neighborhood.

Section 55.100 B. 7. is not relevant because the library addition will not increase the enrollment capacity or staffing needs for the school. No traffic impact will be caused by the addition.

#### **C. Compatibility Between Adjoining Uses, Buffering and Screening**

The building entry and operation of the school will not be changed by the addition.

#### **D. Privacy and Noise**

School activities and associated noise will not be affected by this proposal.

#### **G. Demarcation of Public, Semi-Public and Private Spaces**

The operation and main entry for the school will not be amended.

#### **I. Public Facilities**

The proposed addition will slightly increase the stormwater runoff rate. However, a rain garden is being added per the City of Portland Stormwater Management Manual to account for the required detention and water quality. This system will minimize the impact to the downstream system.

#### **J. Crime Prevention and Safety/Defensible Space**

Access, building entrance locations, and existing lighting will not be affected by the library addition. The windows on the library addition will retain visibility of the adjacent yard area.

#### **K. Provisions for Persons with Disabilities**

City code criteria and ADA requirements will be satisfied during the final building and facility design for the addition and remodeling work.

**L. Signs**

Not applicable because new signs or sign modifications are not proposed.

**M. Utilities**

The addition and other remodeling will not require any change to the existing utility services for the school.

**CONCLUSION**

The proposed library expansion and other building remodeling satisfy all the relevant criteria as demonstrated above.

Mar. 9<sup>th</sup> 2010  
RNA Minutes  
33 Present

7:09 President Thomas Boes called meeting to order

Thomas made motion to pass previous months meeting minutes, Bob seconded, motion passed with 1 objection and 1 abstention.

Tim Woodly from West Linn/Wilsonville school district and Architectural firm Dull Olson Weeks had representatives Carina Ruis and Theo Waburt present their plans for Cedaroak Park Primary School. Plans are to enlarge and open up the library, create an outdoor amphitheater classroom by the gully and remove the cafeteria by turning it into more learning space, children will now be eating their lunches in their classrooms. Principal Cathy Miller was also present to answer questions.

Treasure Report was given by Robert, started at 1837.32 less 111.43 ending 1725.89 –babysitting.

Announcements. There will be a Planning Commission Meeting on 17<sup>th</sup> about Transmission tower. Trillium Creek Restoration grant was supported by metro, now applying for a matching grant, should begin by the summer of 2011. OSU tree school will be March 20<sup>th</sup>. Police station ballet will be on May 18<sup>th</sup>. Trimet has eliminated rout 154 to Willamette. The Film “Sea of Change” will be shown on the 20<sup>th</sup> at Maddox Woods. May 15<sup>th</sup> will be the Lock Festival, and the city is needing volunteers for it.

City Council Review. They passed the Pedestrian and Bike enhancement and Safe Routs to schools unanimously, also received an ODOT grant of 85,000 to help with this. They approved the resolution to create an Economic Development Committee with the amendment by Councilor Burges that it consist of 5 representatives of business community, 1 representative from the Chamber of Commerce and 4 who are appointed by city councilors. Also they amended the CDC on Barns.

Updates. Sat 13<sup>th</sup> the league of neighborhoods will be having a meeting on the financing of the new WLPD. April 10<sup>th</sup> will be the May primaries.

Libby Bard with the L.O. water facility presented the beginnings of their proposed renovations of their water treatment facility on Kenthorp to facilitate their new needs due to the merger with the city of Tigard. She was invited to the next meeting and asked to bring a copy of the L.O. water rights.

Members of RNA have formed a Canoe/Kayak club and invited anyone interested to join and advised that anything over 10ft long is now required to have a river permit.

Committee Reports. Planning committee, Kevin address again that there will be a hearing on Mar 17<sup>th</sup> on the additional 10ft of the cell tower planned by AT&T. RNA Node, Randall summarized the meeting with Parks director Ken W. and is requesting anyone interested in being involved to sign up also there will be an outdoor cleanup on May 1<sup>st</sup>. Rivers & Docks, Marshall said it sounds like they are going to leave ramp where it is and extend the dock out farther and angle it downriver. Parks, Don said the meetings on trails were positive and theme was on school safety routs (1 mile primary, 1 and ½ for other schools). Also a requested trail across the LO water property was denied due to Homeland Security issues. Bathrooms are still online for parks, no idea where the porta potty for Midhill Park went. Michael requested a “time sensitive” request for up to 50\$ for the research copy fees needed to locate the parks boundaries. Don made the motion, there were several seconds, and it passed unanimously. Streams, Andy said the county would pay for stream signs, and perhaps we should have a contest to design them. REPcom, Esther said still waiting to hear back from TVF, State Geology, “Map your Neighborhood”.

Old Business. Marry Ellen’s request to succeed their two houses on Skypark Way to join the Skyline neighborhood. Michael made the motion, there were several seconds it passed unanimously.

Leo motioned to adjourn meeting, there were several seconds

9:12 meeting adjourned

CITY OF WEST LINN  
22500 Salamo Rd.  
West Linn, OR. 97068  
(503) 656-4211

PLANNING RECEIPT  
Receipt: # 935549  
Date : 03/25/2010  
Project: #CU-10-01  
BY: JN

\*\*\*\*\*

NAME : WL/WV SCHOOL DIST/CEDAROAK PRIMARY

ADDRESS : PO BOX 35

CITY/STATE/ZIP: WEST LINN OR 97068

PHONE # : 673-7976

SITE ADD. : 4515 CEDAROAK DR

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TYPE I HOME OCCUPATIONS		HO	\$
PRE-APPLICATIONS	Level I ( ), Level II ( )	DR	\$
HISTORIC REVIEW	Residential Major ( ), Minor ( ), New ( )	DR	\$
	Commercial Major ( ), Minor ( ), New ( )		
SIGN PERMIT	Face ( ), Temporary ( ), Permanent ( )	DR	\$
SIDEWALK USE PERMIT		DR	\$

APPEALS	Plan. Dir. Dec. ( ), Subdivsion ( ),	DR	\$
	Plan Comm./City Coun. ( ), Nbhd ( )		

LOT LINE ADJUSTMENT	LA	\$
CITY/METRO BUSINESS LICENSE	BL	\$

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The following items are paid by billing against the up-front deposit estimate.  
If the amount of time billed to your project exceeds the amount covered by the  
deposit, additional payment may be required.

DESIGN REVIEW	Class I (X), Class II ( )	RD	\$	850.00
VARIANCE	Class I ( ), Class II (X)	RD	\$	1800.00
SUBDIVISION	Standard ( ), Expedited ( )	RD	\$	
ANNEXATION	"Does Not Include Election Cost"	RD	\$	
CONDITIONAL USE		RD	\$	3650.00
ZONE CHANGE		RD	\$	
MINOR PARTITION		RD	\$	
MISCELLANEOUS PLANNING		RD	\$	1200.00

Boundry Adjustments	( )		
Modification to approval	( )	Water Resource	
Code Amendments	( )	Area Protection	( )
Comp. Plan Amendments	( )	Street Vacations	( )
Temporary Permit Admin.	( )	Easement Vacations	( )
Temporary Permit Council	( )	Will. River Greenway	( )
Flood Management	( )	Tualatin River Grwy.	( )
Inter-Gov. Agreements N/C	( )	Street Name Change	( )
Alter Non-Conforming Res.	( )	Code Interpretations	( )
Alter Non-Conforming Comm.	(X)	Type II Home Occ.	( )
Measure 37 Claims	( )	Planned Unit Dev. PUD	( )

TOTAL REFUNDABLE DEPOSIT	RD	\$	7500.00
GENERAL MISCELLANEOUS Type:	PM	\$	

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TOTAL	Check #	Credit Card (X)	Cash ( )	\$	7500.00
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