

CITY OF WEST LINN
PLANNING DIRECTOR DECISION

FILE NOS.: DR-09-02/WAP-09-01

REQUEST: CLASS I DESIGN REVIEW TO CONSTRUCT AND
 INSTALL SIX SPACE ADDITION TO PARKING LOT
 AT CEDAROAK ELEMENTARY SCHOOL,
 LANDSCAPING AND STORM WATER
 FACILITIES ASSOCIATED WITH 46,215 SQUARE
 FOOT PRIMARY SCHOOL LOCATED AT 4515
 CEDAROAK DRIVE

TABLE OF CONTENTS

	<u>Page</u>
SPECIFIC DATA	2
SPECIFIC PROPOSAL	3
MAJOR ISSUES	3
PUBLIC COMMENTS	3
PLANNING DIRECTOR'S DECISION	4
CONDITIONS OF APPROVAL	4
 EXHIBITS	
PD-1 APPROVED SITE & LANDSCAPE PLAN	5
PD-2 APPLICANT'S SUBMITTAL	9

CITY OF WEST LINN
PLANNING AND DEVELOPMENT

SPECIFIC DATA

FILE NOS.: DR-09-02/WAP-09-01

REQUEST: CLASS I DESIGN REVIEW TO CONSTRUCT SIX SPACE
ADDITION TO PARKING LOT AT CEDAROAK
ELEMENTARY SCHOOL, LANDSCAPING AND STORM
WATER FACILITIES ASSOCIATED WITH 46,215 SQUARE
FOOT PRIMARY SCHOOL LOCATED AT 4515 CEDAROAK
DRIVE

OWNER/
APPLICANT: West Linn-Wilsonville School District
Attn.: Tim Woodley
PO Box 35,
West Linn, OR 97068

CONSULTANTS: Keith Liden,
Parsons Brinkerhoff
400 SW 6th Avenue, Suite 802
Portland, OR 97204

Karina Ruiz
Dulle Olson Weekes Architects
907 SW Stark St.
Portland, OR 97205

SITE
LOCATION: 4515 Cedaroak Drive

SITE SIZE: 11.2 acres

LEGAL
DESCRIPTION: Assessor's Map 2S-1E-24BA Tax Lot 1800

ZONING: R-10

COMP PLAN
DESIGNATION: Medium Density Residential

APPROVAL

CRITERIA:

CDC Chapters 55 Class I Design Review; 32, Water Resource Area Permit.

120-DAY RULE:

These applications were deemed complete on May 14, 2009. The 120-day period for making a decision will lapse on September 12, 2009. Therefore, the must exhaust all local review and appeals prior to that date. This decision is a planning director's decision. There is no public hearing although the director will accept written testimony and testimony in person or over the telephone prior to rendering his decision. This decision is appealable to City Council.

PUBLIC NOTICE:

Public notice was mailed to property owners in the affected area on May 19, 2009. The site was posted on May 28, 2009. The West Linn Tidings published notice on May 28, 2009. Therefore, public notice requirements of Chapter 99 of the Community Development Code have been satisfied. No neighborhood meeting was required per CDC Section 99.038.

SPECIFIC PROPOSAL

West Linn-Wilsonville School District wants to expand the Cedaroak School parking lot to add six spaces and to improve circulation. The proposal also includes construction of a storm detention and treatment facility in the middle of the parking lot. It will be heavily landscaped and create a softening quality to the hardscape. Additional landscaping will be introduced around the parking lot. The outfall of the treatment/detention facility into the small drainageway west of the parking lot triggers the WAP permit. The outfall will be pipe depositing runoff onto rip rap rock which will dissipate the erosive effect during heavy rainfall incidents.

MAJOR ISSUES

None

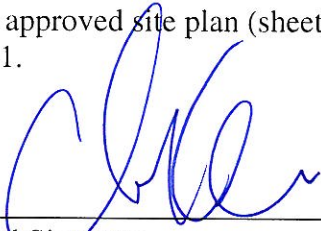
PUBLIC COMMENTS

As of June 15, 2009, staff had received just one public comment from Mae Bell of 4552 Cedaroak Drive. Mrs. Bell's concern was landscaping along the street frontage. Those concerns were assuaged by the applicant's landscape plan.

DECISION

Based upon the findings in the applicant's submittal, (PC-4) which are hereby adopted, I find that the approval criterion has been met and that the application is **APPROVED**. The following conditions of approval shall apply:

1. Half street improvements to centerline of Cedar Oak Drive shall include half street overlay, storm drains, curb, planter strip, 1.5-inch caliper street trees at 30 feet on center and six foot wide sidewalks for length of affected area.
2. Submit for Planning Director approval, a mitigation plan for the rip rap area around the storm outfall to the drainageway that will receive treated parking lot runoff.
3. The approved site plan (sheet C3.01) dated May 5, 2009 shall be the attached exhibit PD-1.



Approval Signature
Chris Kerr, Acting Planning Director

6-16-09
Approved this date

Decision final after 14 day appeal period which lapses:

6-30-09

Exhibit PD-1
Approved Site & Landscape Plans
(Refer to applicant's submittal for additional approved drawings)

SITE CONSTRUCTION NOTES

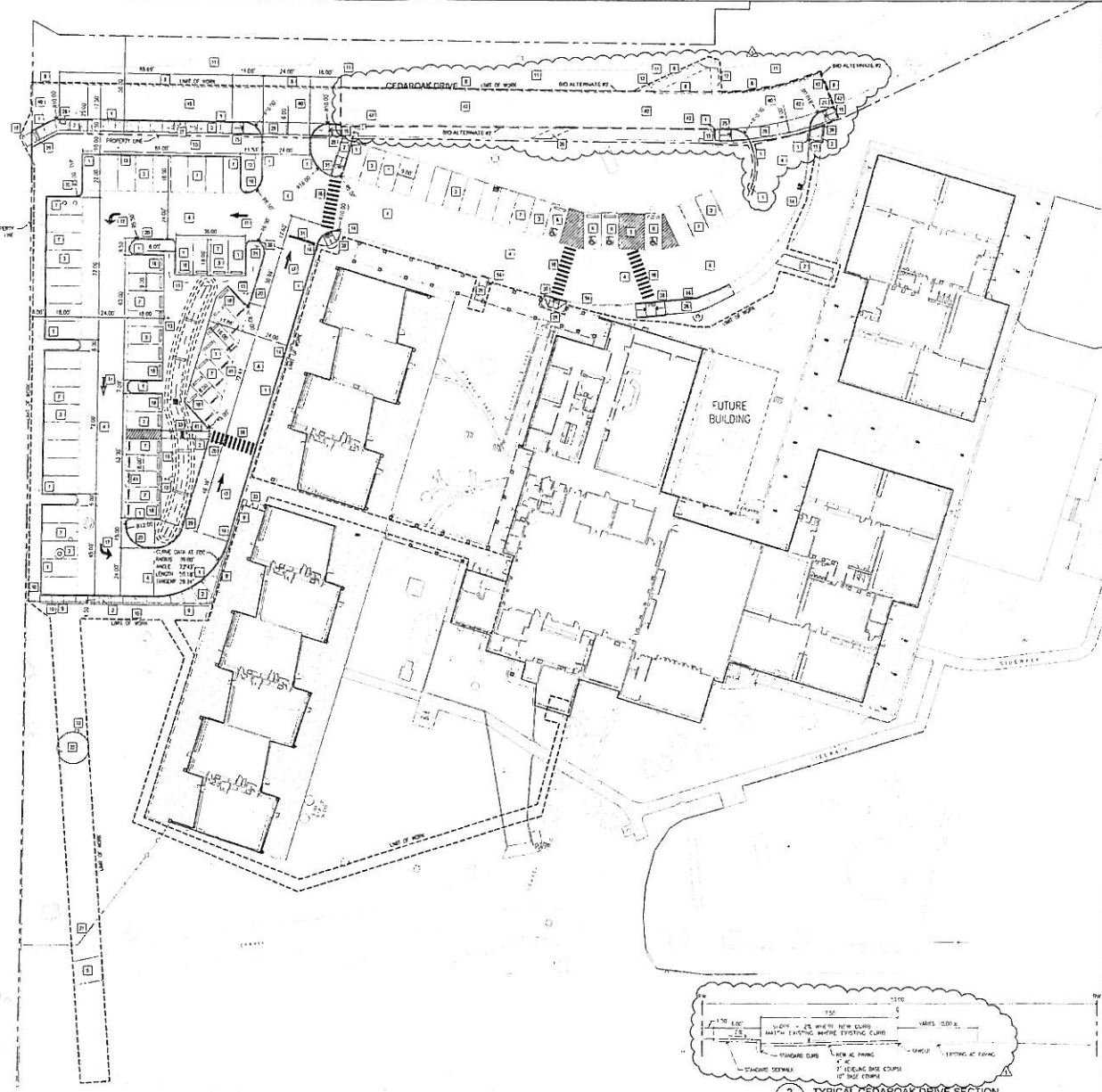
1. CONSTRUCT TYPICAL STRAIGHT CURB PER CITY OF WEST LINN CHANGING DRAWING HL-101
2. CONSTRUCT ASPHALT PER CITY OF WEST LINN CHANGING DRAWING HL-106
3. CONSTRUCT EXIST ASPHALT PAVEMENT SECTION
4. CONSTRUCT NEW ASPHALT PAVEMENT SECTION
5. RE-ESTABLISH ROAD SURFACE WITH 4" LAYER COMPACTED FINISH COURSE MATERIAL
6. CONSTRUCT ADA PARKING STALL
7. METAL 4" WIDE PARKING STOPPING - 18" (TYPICAL)
8. PATCH EXISTING AT PARKING, PROVIDE BACK FILL AT JUNT
9. CONSTRUCT NEW 4" DOWN LINE FENCE
10. SEE LANDSCAPE DRAWINGS FOR CONSTRUCTION INFORMATION
11. CONTRACTOR SHALL PATCH & FINISH ALL EXISTING ASPHALT PAVING AREAS FOR WHICH THERE ARE NO CONSTRUCTION TRUCK ROUTES. SHADDED PARKING AREAS SHALL BE REPAVED AND REFINISHED WITH MAINTENANCE PAVEMENT SECTION
12. PROVIDE AC FINISH PATCH WITHIN EXISTING LINESHEDS
13. METAL STREET LIGHT SEE ELECTRICAL DRAWINGS
14. PAINT CURB WHITE YELLOW
15. PATCH NEW ASPHALT TO EXISTING ASPHALT AND PROVIDE SMOOTH TRANSITION TO ADJACENT DRIVE CURVES
16. INSTALL EXISTING CURBING (WHITE)
17. METAL PAVEMENT MARKINGS (WHITE)
18. METAL PRECAST CONCRETE WHEEL STOPS (TYPICAL 9" DIA)
19. METAL ASPHALT RAMP TO TRANSITION TO EXISTING DRIVE 1-1/2" X 1/2" MAX (SECTION 2" AC / 4" BASE)
20. CONSTRUCT CURB CUTS AT 1/4" ON CENTER
21. REPAIR EXISTING FENCE AFTER INSTALLATION OF STORM DRAIN PIPE
22. METAL NEW ASPHALT PATCH AREA AFTER INSTALLATION OF STORM DRAIN PIPE
23. METAL VANGUARD GATE
24. METAL "DO NOT ENTER" SIGN
25. METAL END OF WALK CURB RAMP
26. PATCH AND REPAIR EXISTING CONCRETE SIDEWALK AND CURB
27. RELOCATE MARKERS PER CITY OF WEST LINN STANDARD DRAWING HL-104
28. METAL CURB RAMP PER CITY OF WEST LINN CHANGING DRAWING HL-106, MODIFIED TO MATCH WITHIN 0.5' AND MAINTAIN SLOPE AT THE WALKWAY
29. METAL 4" WHITE PAINTED STOP BAR
30. REPAIR/REPLACE DAMAGED/CRACKED FULL DEPTH CONCRETE SIDEWALK AND PROVIDE NEW CONCRETE WALKWAY
31. PROVIDE COLORED FRENCH CURBING
32. METAL POOL MARKER FOR LANDSCAPE DRAWINGS AND SITE OPERATIONS
33. CONSTRUCT TENSILE COURT ASPHALT PAVEMENT SECTION
34. PATCH AND REPAIR ALL DAMAGED LANDSCAPING, REPLACE IN KIND
35. CONSTRUCT NEW 1/2" DOWN LINE TENSILE COURT FENCE AND GATE
36. METAL CURB RAMP PER CITY OF WEST LINN CHANGING DRAWING HL-106, MODIFIED TO MATCH EXISTING WITHIN 0.5' AND MAINTAIN SLOPE AT 8:22% MAXIMUM
37. METAL 1/2" CURB OF FINISHED DRIVE PAVING SURFACE - 18" DIA. TALL WITH 4" SIDEWALK
38. CONSTRUCT ASPHALT SECTION PER TYPICAL, TECHNICAL DRIVE SECTION
39. METAL "TOWNSHIP" PAVEMENT MARKING (WHITE) TO DENOTE COMPLETE FINISHING WORK (TYPICAL 1/2")
40. RE-CONSTRUCT NEW PAVEMENT TO MATCH EXISTING STOPPING

PARKING STALL COUNT

	STANDARD STALLS	COMPACT STALLS	ADA STALLS	TOTAL STALLS
EXISTING	84	0	1	85
PROPOSED	0	17	4	21

GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND NOTIFY ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES BE AND EXISTING SITE DEVELOPMENT, FINISH WORK MATCHES EXISTING AND THAT EXISTING SECTION DRAWINGS FOR NEW CONSTRUCTION PROVIDE PROPER FINISHES AND DIMENSIONS. FINISHES FROM EXISTING TO BE MAINTAINED UNLESS OTHERWISE INDICATED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN ALL AREAS WHERE ASPHALT PATCHES ARE BEING PERFORMED, PROVIDE NEW PATCH DRIVING FOR ALL EXISTING PARKING MARKS AND PARKING STALLS. EXISTING STOPPING TO BE MAINTAINED OR, IF RECONSTRUCTION AREAS AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY PROJECTS. CONTRACTOR SHALL NOTIFY CITY INSPECTORS 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION, THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL MAINTAIN A MINIMUM OF ONE (1) SET OF REPAIR APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF SOILING AND UNWASHED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAVED TO AN 80% GOOD OR BETTER CONDITION.
7. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF WEST LINN CHANGING AND SPECIFICATIONS.



1 SITE PLAN
SCALE: 1" = 10'-0"

2 TYPICAL CEDAR OAK DRIVE SECTION
SCALE: 1" = 1'-0"



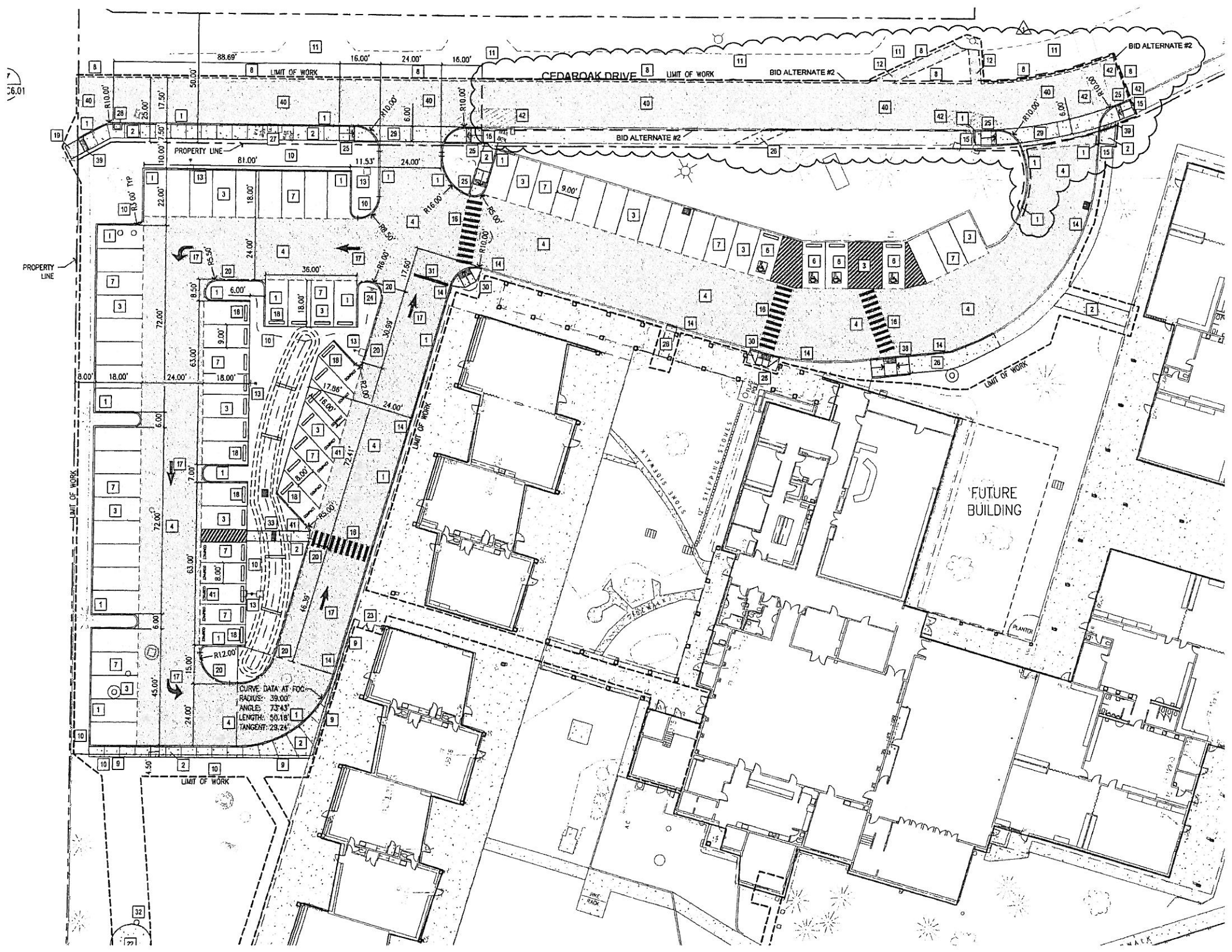
CEDAR OAK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District

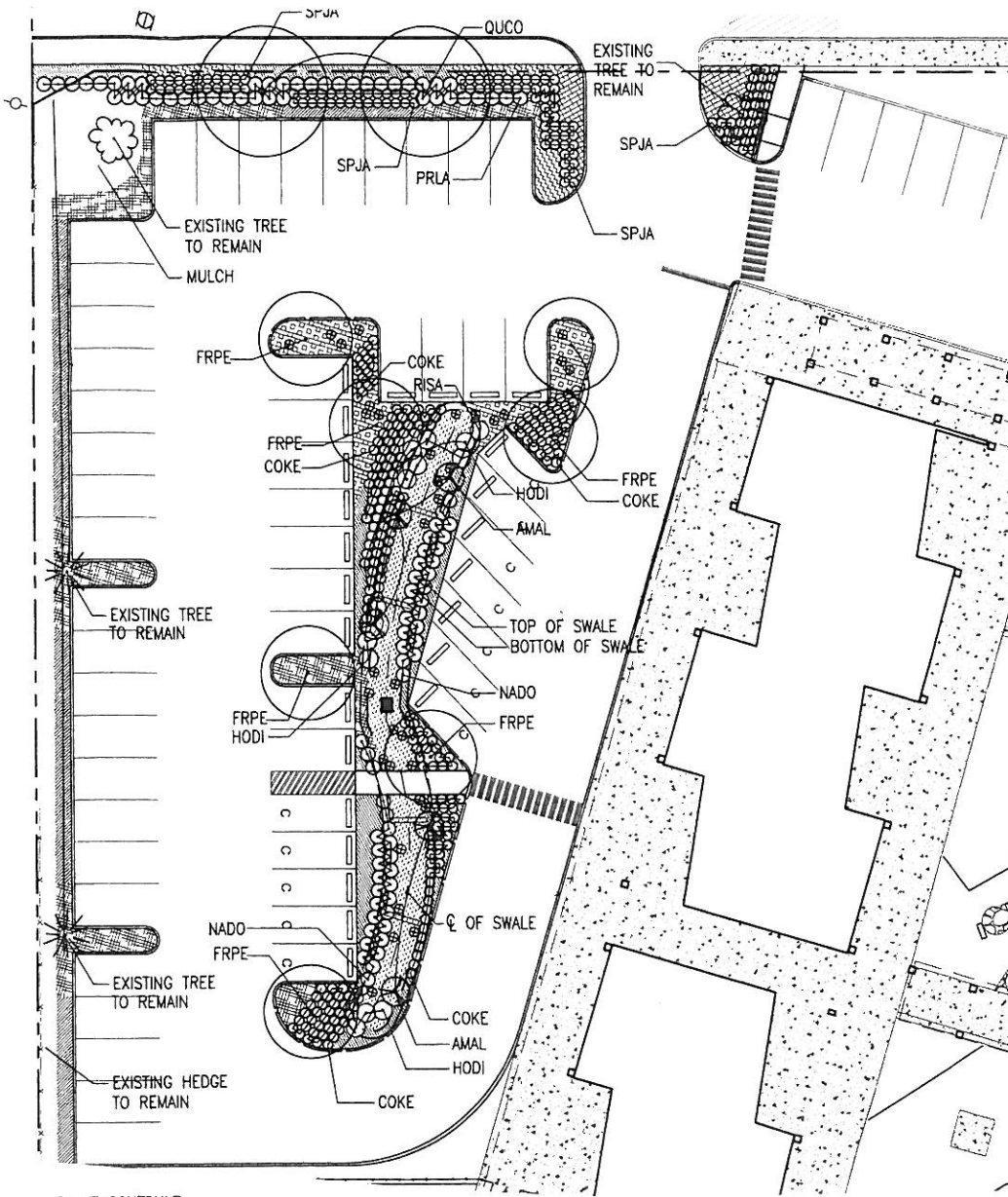
22210 SW Sanford Road
West Linn, OR 97148
T: (503) 873-7975
F: (503) 873-7044



phase | construction
documents
date | May 5th, 2009
revision
ADDENDUM #1: May 14, 2009

project # | 09003
SITE PLAN
C3.01





PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING	COMMENTS	DTL/SHEET
TREES							
	QUCO	QUERCUS COCCINEA	SCARLET OAK	2" CAL./B&B	AS SHOWN		X/XX
	FRPE	FRAXINUS PENNSYLVANICA 'MARSHALL'	MARSHALL ASH	2" CAL./B&B	AS SHOWN		X/XX
	AMAL	AMELANCHIER ALNIFOLIA	WESTERN SERVICEBERRY	1-1/2" CAL./B&B	AS SHOWN	MULTI-STEMMED	X/XX
SHRUBS							
	COKE	CORNUS SERICEA 'KELSEYII'	DWARF REDTWIG DOGWOOD	2 GAL. CONT.	AS SHOWN		X/XX
	NADO	NANDINA DOMESTICA 'WOODS DWARF'	DWARF NANDINA	2 GAL. CONT.	AS SHOWN		X/XX
	PRLA	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	CHERRY LAUREL	2 GAL. CONT.	AS SHOWN		X/XX
	RISA	RIBES SANGUINEUM	RED FLOWERING CURRENT	2 GAL. CONT.	AS SHOWN		X/XX
	SPJA	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	2 GAL. CONT.	AS SHOWN		X/XX
GROUNDCOVER							
	ARUV	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	4" POT	18" O.C.		X/XX
	FRCH	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	4" POT	18" O.C.		X/XX
	MARE	MAHONIA REPENS	CASCADE OREGON GRAPE	4" POT	18" O.C.		X/XX
	RUCA	RHUBUS CALCYNOIDES	CREEPING BRAMBLE	4" POT	18" O.C.		X/XX
WATER QUALITY MIX							
	25% CADI	CAREX DISPACEAE	GREEN SEDGE	1 GAL.	12" O.C.		X/XX
	25% CAOB	CAREX OBNUPTA	SLOUGH SEDGE	1 GAL.	12" O.C.		X/XX
	50% CAMO	SCRIPTUS MICROCARPUS	SMALL FRUITED BULRUSH	1 GAL.	12" O.C.		X/XX
WATER QUALITY PLANTINGS							
	CAQU	CAMASSIA QUAMASH	COMMON CAMAS	50	RANDOM- CLUMPS OF 5-8		X/XX
	CATE	CAREX TESTACEA	NEW ZEALAND ORANGE SEDGE	1 GAL.	18" O.C.		X/XX
	JUPA	JUNCUS PATENS 'ELK BLUE'	ELK BLUE RUSH	1 GAL.	AS SHOWN		X/XX

Exhibit PD-2
Applicant's Submittal

CEDAROAK PARK PRIMARY SCHOOL
Class I Design Review
April 7, 2009

APPLICATION SUMMARY

For Class I Design Review approval to construct 6 additional vehicle parking spaces, landscaping, and storm water facility improvements associated with an existing 46,215 square foot primary school located on an 11.22-acre site.

GENERAL INFORMATION

Location

4515 South Cedaroak Drive (2S 1E Section 24 BA ~~and 2S 1E Section 13 CC~~, Tax Lots 1800 ~~and 9400~~). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density Residential.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

Tim Woodley, Director of Operations
West Linn-Wilsonville School District
P. O. Box 35
West Linn, OR 97068
Phone: 503-673-7976
E-mail: woodleyt@wlwv.k12.or.us

Applicant's Representatives

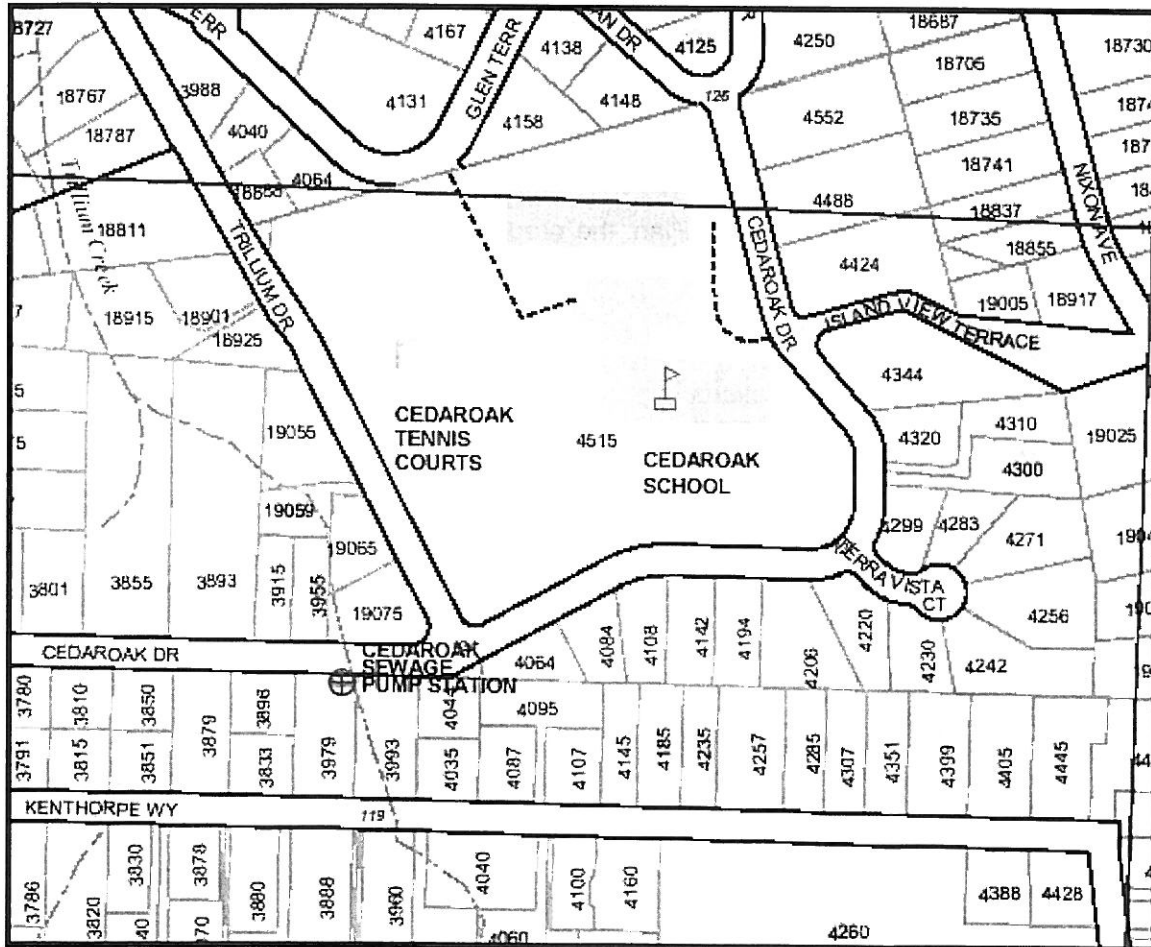
Keith Liden, AICP
Parsons Brinckerhoff
400 S. W. 6th Avenue, Suite 802
Portland, OR 97204
Phone: 503-478-2348
Fax: 503-274-1412
E-mail: liden@pbworld.com

Karina Ruiz
Dull Olson Weekes Architects
907 S. W. Stark Street
Portland, OR 97205
Phone: 226-6950
Fax: 273-9192
E-mail: KarinaR@dowa.com

Attachments and Plan Sheets

C1	Existing Conditions
C2	Demolition Plan
C3	Site Plan
C4	Grading and Erosion Control Plan
C5	Utility Plan
L1.0	Planting Plan
L2.0	Irrigation Plan
E0.1	Electrical Legend
E1.0	Site Lighting

Figure 1: Vicinity Map



Source: City of West Linn

Figure 2: Aerial Photo



Source: City of West Linn

BACKGROUND INFORMATION

Site Description

The site is developed with Cedar Oak Park Primary School, including a 46,215 square foot building, driveway, parking, and play fields. The entire site is approximately 11.22 acres. In addition to the school building, an athletic field is located on the southwest side of the school. Primary access to the school is provided by South Cedar Oak Drive, which runs along the east side of the site.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in Table 1.

**Table 1
Land Use Summary**

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 2S 1E Section 24 BA and 2S 1E Section 13 CC, Tax Lots 1800 and 9400 (11.22 acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u> North/East/South/West	R10	Single family residences

SCHOOL SITE IMPROVEMENTS

The district proposes three related site improvements for the school.

Parking Lot

The district proposes to reconfigure the existing parking lot to improve on-site circulation and to provide six additional spaces. The location of the existing driveways on Cedaroak Drive will not be changed. The existing parking lot contains 64 standard and 4 ADA parking stalls for total of 68. The proposed parking lot will contain 58 standard, 12 compact, and 4 ADA parking spaces for a total of 74. This increase in parking is intended to address the current nonconforming status of the school's on-site parking facilities. Sheets C1, C2, and C3 illustrate the existing conditions, the area of parking/driveway/landscaping removal, and the new parking lot arrangement. Sheets E0.1 and E1.0 show the proposed lighting for the parking area.

Landscaping

The landscaping associated with the parking lot will be replaced with new plantings. A key element will be a water treatment facility that will be landscaped with native species suited for treating water runoff before it is piped to the drainageway located in the northwestern portion of the site. The landscaping and irrigation plans are shown on Sheets L1.0 and L2.0.

Storm Water Improvements

The storm runoff collected at the school is currently discharged into various drywells around the campus. The school has historically experienced excessive ponding during storm events, which is likely due to the inability of the existing drywells to function efficiently due to low soil infiltration rates. The ponding is concentrated mostly in the parking lot and courtyard areas of the school. To alleviate this condition, a storm drain system is proposed to discharge runoff from the parking lot and a portion the roof areas to an existing drainage channel along the northwestern edge of the property. In accordance with the city requirements, the proposed system will provide detention and treatment of storm runoff to limit the maximum discharge from the site to predevelopment rates. The detention facility will consist of oversized underground pipes, and the discharge into the drainageway will be regulated by a flow control manhole. This drainage is not identified by the city as a wetland or riparian area.

DESIGN REVIEW AND WATER RESOURCE AREA PROTECTION CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include compliance with Chapter 55 Design Review and Chapter 32 Water Resource Area Protection.

Chapter 55 – Design Review

Section 55.090 contains the applicable approval standards for a Class I Design Review. This section refers to the criteria in Section 55.100 B. As stated in the CDC, Subsections 55.100 B (5-6) only apply in cases involving exterior architectural construction. The relevant criteria in Subsections 55.100 B (1-4) are addressed below.

55.100 B. Relationship to the Natural and Physical Environment

Sections 55.100 B. 1. and 2. are not relevant because there are no heritage trees on the site.

Section 55.100 B. 3. is satisfied because grading will only involve the parking area, and the natural drainage pattern will not be altered. In addition, the proposed storm water treatment will enhance the water quality compared to the existing condition.

Section 55.100 B. 4. is satisfied because the property is geologically stable. Furthermore, the existing school building will not be modified.

Section 55.100 B. 5. is satisfied because the school building will not be altered and the current building setback of over 50 feet from the northern property line will be retained.

Chapter 32 – Water Resource Area Protection

Section 32.050 contains additional applicable approval standards for the parking lot, landscaping, and storm drainage improvements proposed in this application. These criteria are addressed below.

32.050 Approval Criteria

Section 32.050 A. is satisfied because the drainageway has been shown on the site plans. City information indicates there are no wetlands or riparian areas on the site.

Section 32.050. B. is satisfied because the natural drainageway will be completely maintained in its current condition. Also, the proposed storm drainage treatment facilities and vegetation will improve the quality of the runoff from the current condition.

Section 32.050 C. is satisfied because the storm drainage detention and treatment will control the rate and improve the quality of water runoff leaving the site via the drainageway.

Section 32.050 D. is satisfied because the modification of the parking lot, occurring over 150 feet to the east, will not encroach on the existing drainageway.

Section 32.050 E. is satisfied because the school building footprint will not be changed and the parking lot will be well over 150 feet from the drainageway top of bank. There will be some temporary ground disturbance to install the storm drain line between the parking area and the drainageway. However, this will only involve the removal and replacement of natural grass.

Sections 32.050 F. and G. are satisfied because with the exception of the storm drain line noted above, all construction activity will be located well over 150 feet east of the drainageway top of bank. In addition, the appropriate erosion control measures will be taken.

Section 32.050 H. is not relevant because paved trails or walkways are not proposed within 15 feet of the drainageway.

Section 32.050 I. will be satisfied because sound engineering and water treatment principles are reflected in the proposed design to prevent erosion, poor water quality, or other water-related impacts.

Section 32.050 K. is satisfied because only a small amount of natural turf will be removed to install the storm drain line and it will then be replaced. No other vegetation in the drainageway will be affected.

Section 32.050 L. is satisfied because the school building footprint will not change, and the parking lot construction will be well over 150 feet east of the drainageway top of bank.

Section 32.050 M. is satisfied because the storm water treatment will occur over 200 feet east of the drainageway, and no encroachment will result.

Section 32.050 N. is not relevant because this is not a land division or Class II Design Review application. In addition, it does not involve opening a covered or piped drainage facility.

Section 32.050 O. is not relevant because a front yard setback reduction is not necessary or requested.

Section 32.050 P. is satisfied because the appropriate setbacks are proposed as noted above.

CONCLUSION

The proposed parking lot, landscaping, and storm drainage improvements satisfy all the relevant criteria as demonstrated above.

CEDAROAK PARK - PARKING LOT

West Linn - Wilsonville School District

CedarOak Park Primary School

4515 CedarOak Drive, West Linn OR 97068

CONTENTS

civil

C1.01 GENERAL ARRANGEMENT
C1.02 EXISTING CONDITIONS

C2.01 DEMOLITION PLAN
C2.02 DEMOLITION PLAN

C3.01 SITE PLAN
C3.02 SITE PLAN

C4.01 GRADING AND EROSION CONTROL PLAN
C4.02 GRADING AND EROSION CONTROL PLAN
C4.03 EROSION CONTROL NOTES

C5.01 UTILITY PLAN

C6.01 CIVIL DETAILS
C6.02 CIVIL DETAILS
C6.03 CIVIL DETAILS

landscape

L1.0 PLANTING PLAN

L2.0 IRRIGATION PLAN

L3.0 LANDSCAPE DETAILS

electrical

E0.1 ELECTRICAL LEGEND, LUMINAIRE
SCHEDULE AND DETAILS

E1.0 SITE LIGHTING

OWNER
West Linn - Wilsonville School District
22210 SW Spawley Road
West Linn, OR 97068
+ (503) 833-7176 F + (503) 873-1244

architect
Old Dixon Weavers Architects Inc.
901 S Oak Street
Portland, Oregon 97205
+ (503) 228-6861 F + (503) 273-9102

civil engineer
Wagner & King
15175 SW Seawood Parkway
Suite 140
Portland, OR 97224
+ (503) 226-1121 F + (503) 226-2105

landscape architect
Walker-Marty
111 SW Oak Street
Suite 202
Portland, OR 97204
+ (503) 218-3122 F + (503) 275-8878

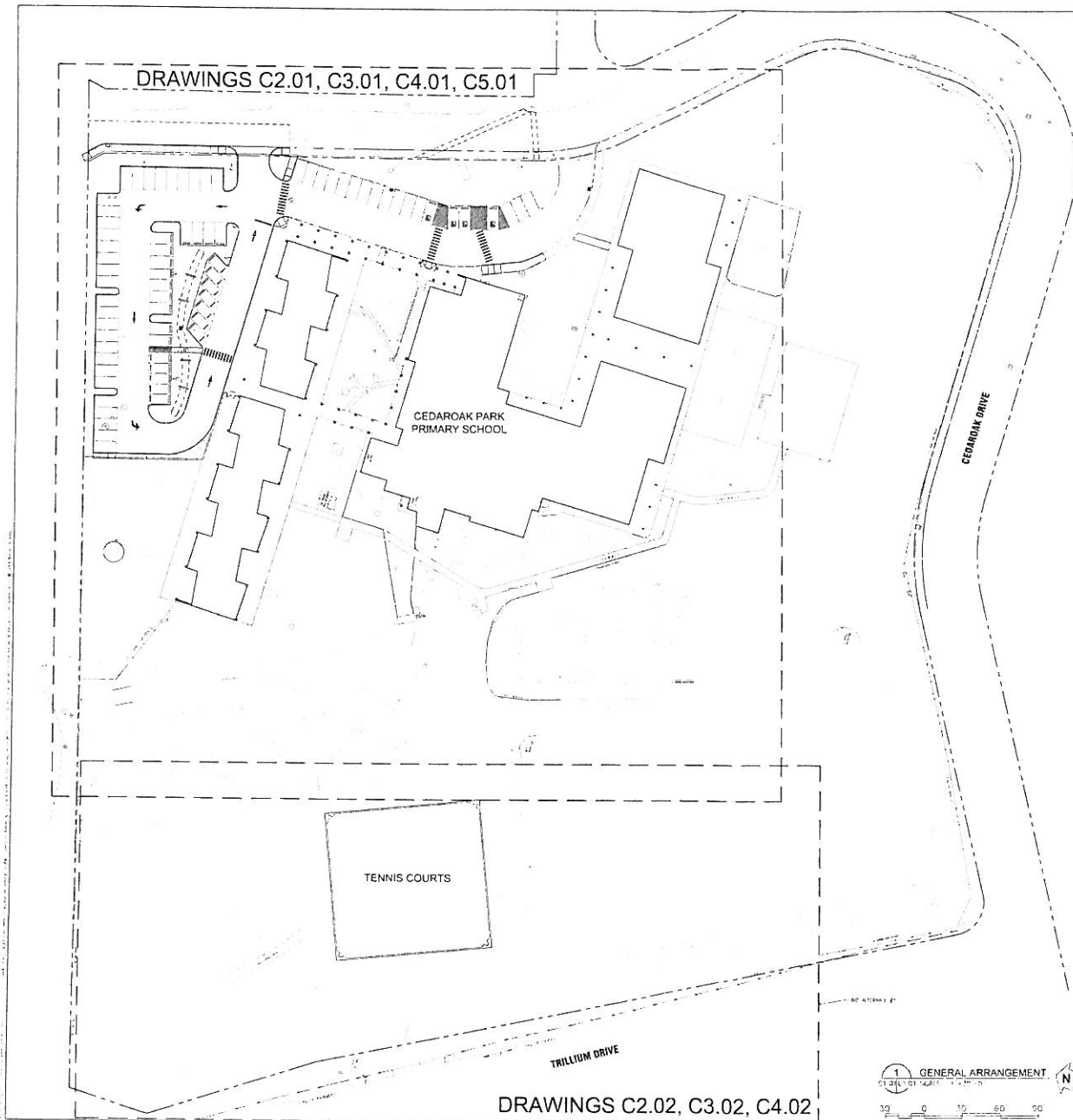
electrical engineer
PAE Consulting Engineers
608 SW 22 Avenue
Suite 102
Portland, OR 97204-2491
+ (503) 226-5327 F + (503) 226-2102

VICINITY MAP



CEDAROAK PARK PRIMARY - PARKING LOT
construction documents | may 5 2009 | project # 05003

CONSTRUCTION DOCUMENTS



DRAWINGS C2.01, C3.01, C4.01, C5.01

CEDAROK PARK
PRIMARY SCHOOL

TENNIS COURTS

TRILLIUM DRIVE

CEDAROK DRIVE

DRAWINGS C2.02, C3.02, C4.02

CIVIL ABBREVIATIONS

AC	APPROXIMATE COORDINATES	UT	UTILITY
BUILD	BUILDING	UT	UTILITY
CA	CONCRETE	UT	UTILITY
CB	CONCRETE BLOCK	UT	UTILITY
CC	CONCRETE CURB	UT	UTILITY
CD	CONCRETE DRIVE	UT	UTILITY
CE	CONCRETE EDGE	UT	UTILITY
CF	CONCRETE FLOOR	UT	UTILITY
CG	CONCRETE GRASS	UT	UTILITY
CH	CONCRETE HATCH	UT	UTILITY
CI	CONCRETE INTERLOCK	UT	UTILITY
CJ	CONCRETE JUNCTION	UT	UTILITY
CK	CONCRETE KICK	UT	UTILITY
CL	CONCRETE LAWN	UT	UTILITY
CM	CONCRETE MASONRY	UT	UTILITY
CN	CONCRETE NAIL	UT	UTILITY
CO	CONCRETE OIL	UT	UTILITY
CP	CONCRETE PAVEMENT	UT	UTILITY
CQ	CONCRETE QUARRY	UT	UTILITY
CR	CONCRETE RAMP	UT	UTILITY
CS	CONCRETE SIGN	UT	UTILITY
CT	CONCRETE TYPING	UT	UTILITY
CU	CONCRETE UNDER	UT	UTILITY
CV	CONCRETE VENT	UT	UTILITY
CW	CONCRETE WALL	UT	UTILITY
CX	CONCRETE WINDOW	UT	UTILITY
CY	CONCRETE YARD	UT	UTILITY
CZ	CONCRETE ZONE	UT	UTILITY
DC	CONCRETE DRAIN	UT	UTILITY
DD	CONCRETE DRAINAGE	UT	UTILITY
DE	CONCRETE DETENTION	UT	UTILITY
DF	CONCRETE DETENTION	UT	UTILITY
DG	CONCRETE DETENTION	UT	UTILITY
DH	CONCRETE DETENTION	UT	UTILITY
DI	CONCRETE DETENTION	UT	UTILITY
DJ	CONCRETE DETENTION	UT	UTILITY
DK	CONCRETE DETENTION	UT	UTILITY
DL	CONCRETE DETENTION	UT	UTILITY
DM	CONCRETE DETENTION	UT	UTILITY
DN	CONCRETE DETENTION	UT	UTILITY
DO	CONCRETE DETENTION	UT	UTILITY
DP	CONCRETE DETENTION	UT	UTILITY
DQ	CONCRETE DETENTION	UT	UTILITY
DR	CONCRETE DETENTION	UT	UTILITY
DS	CONCRETE DETENTION	UT	UTILITY
DT	CONCRETE DETENTION	UT	UTILITY
DU	CONCRETE DETENTION	UT	UTILITY
DV	CONCRETE DETENTION	UT	UTILITY
DW	CONCRETE DETENTION	UT	UTILITY
DX	CONCRETE DETENTION	UT	UTILITY
DY	CONCRETE DETENTION	UT	UTILITY
DZ	CONCRETE DETENTION	UT	UTILITY
EA	CONCRETE DETENTION	UT	UTILITY
EB	CONCRETE DETENTION	UT	UTILITY
EC	CONCRETE DETENTION	UT	UTILITY
ED	CONCRETE DETENTION	UT	UTILITY
EE	CONCRETE DETENTION	UT	UTILITY
EF	CONCRETE DETENTION	UT	UTILITY
EG	CONCRETE DETENTION	UT	UTILITY
EH	CONCRETE DETENTION	UT	UTILITY
EI	CONCRETE DETENTION	UT	UTILITY
EJ	CONCRETE DETENTION	UT	UTILITY
EK	CONCRETE DETENTION	UT	UTILITY
EL	CONCRETE DETENTION	UT	UTILITY
EM	CONCRETE DETENTION	UT	UTILITY
EN	CONCRETE DETENTION	UT	UTILITY
EO	CONCRETE DETENTION	UT	UTILITY
EP	CONCRETE DETENTION	UT	UTILITY
EQ	CONCRETE DETENTION	UT	UTILITY
ER	CONCRETE DETENTION	UT	UTILITY
ES	CONCRETE DETENTION	UT	UTILITY
ET	CONCRETE DETENTION	UT	UTILITY
EU	CONCRETE DETENTION	UT	UTILITY
EV	CONCRETE DETENTION	UT	UTILITY
EW	CONCRETE DETENTION	UT	UTILITY
EX	CONCRETE DETENTION	UT	UTILITY
EY	CONCRETE DETENTION	UT	UTILITY
EZ	CONCRETE DETENTION	UT	UTILITY
FA	CONCRETE DETENTION	UT	UTILITY
FB	CONCRETE DETENTION	UT	UTILITY
FC	CONCRETE DETENTION	UT	UTILITY
FD	CONCRETE DETENTION	UT	UTILITY
FE	CONCRETE DETENTION	UT	UTILITY
FF	CONCRETE DETENTION	UT	UTILITY
FG	CONCRETE DETENTION	UT	UTILITY
FH	CONCRETE DETENTION	UT	UTILITY
FI	CONCRETE DETENTION	UT	UTILITY
FJ	CONCRETE DETENTION	UT	UTILITY
FK	CONCRETE DETENTION	UT	UTILITY
FL	CONCRETE DETENTION	UT	UTILITY
FM	CONCRETE DETENTION	UT	UTILITY
FN	CONCRETE DETENTION	UT	UTILITY
FO	CONCRETE DETENTION	UT	UTILITY
FP	CONCRETE DETENTION	UT	UTILITY
FQ	CONCRETE DETENTION	UT	UTILITY
FR	CONCRETE DETENTION	UT	UTILITY
FS	CONCRETE DETENTION	UT	UTILITY
FT	CONCRETE DETENTION	UT	UTILITY
FU	CONCRETE DETENTION	UT	UTILITY
FV	CONCRETE DETENTION	UT	UTILITY
FW	CONCRETE DETENTION	UT	UTILITY
FX	CONCRETE DETENTION	UT	UTILITY
FY	CONCRETE DETENTION	UT	UTILITY
FZ	CONCRETE DETENTION	UT	UTILITY
GA	CONCRETE DETENTION	UT	UTILITY
GB	CONCRETE DETENTION	UT	UTILITY
GC	CONCRETE DETENTION	UT	UTILITY
GD	CONCRETE DETENTION	UT	UTILITY
GE	CONCRETE DETENTION	UT	UTILITY
GF	CONCRETE DETENTION	UT	UTILITY
GG	CONCRETE DETENTION	UT	UTILITY
GH	CONCRETE DETENTION	UT	UTILITY
GI	CONCRETE DETENTION	UT	UTILITY
GJ	CONCRETE DETENTION	UT	UTILITY
GK	CONCRETE DETENTION	UT	UTILITY
GL	CONCRETE DETENTION	UT	UTILITY
GM	CONCRETE DETENTION	UT	UTILITY
GN	CONCRETE DETENTION	UT	UTILITY
GO	CONCRETE DETENTION	UT	UTILITY
GP	CONCRETE DETENTION	UT	UTILITY
GQ	CONCRETE DETENTION	UT	UTILITY
GR	CONCRETE DETENTION	UT	UTILITY
GS	CONCRETE DETENTION	UT	UTILITY
GT	CONCRETE DETENTION	UT	UTILITY
GU	CONCRETE DETENTION	UT	UTILITY
GV	CONCRETE DETENTION	UT	UTILITY
GW	CONCRETE DETENTION	UT	UTILITY
GX	CONCRETE DETENTION	UT	UTILITY
GY	CONCRETE DETENTION	UT	UTILITY
GA	CONCRETE DETENTION	UT	UTILITY



CEDAROK PARK PRIMARY SCHOOL
 West Linn - Wilsonville School District
 22210 SW Sheford Road
 West Linn, OR 97168
 T: (503) 673-7975
 F: (503) 673-7944

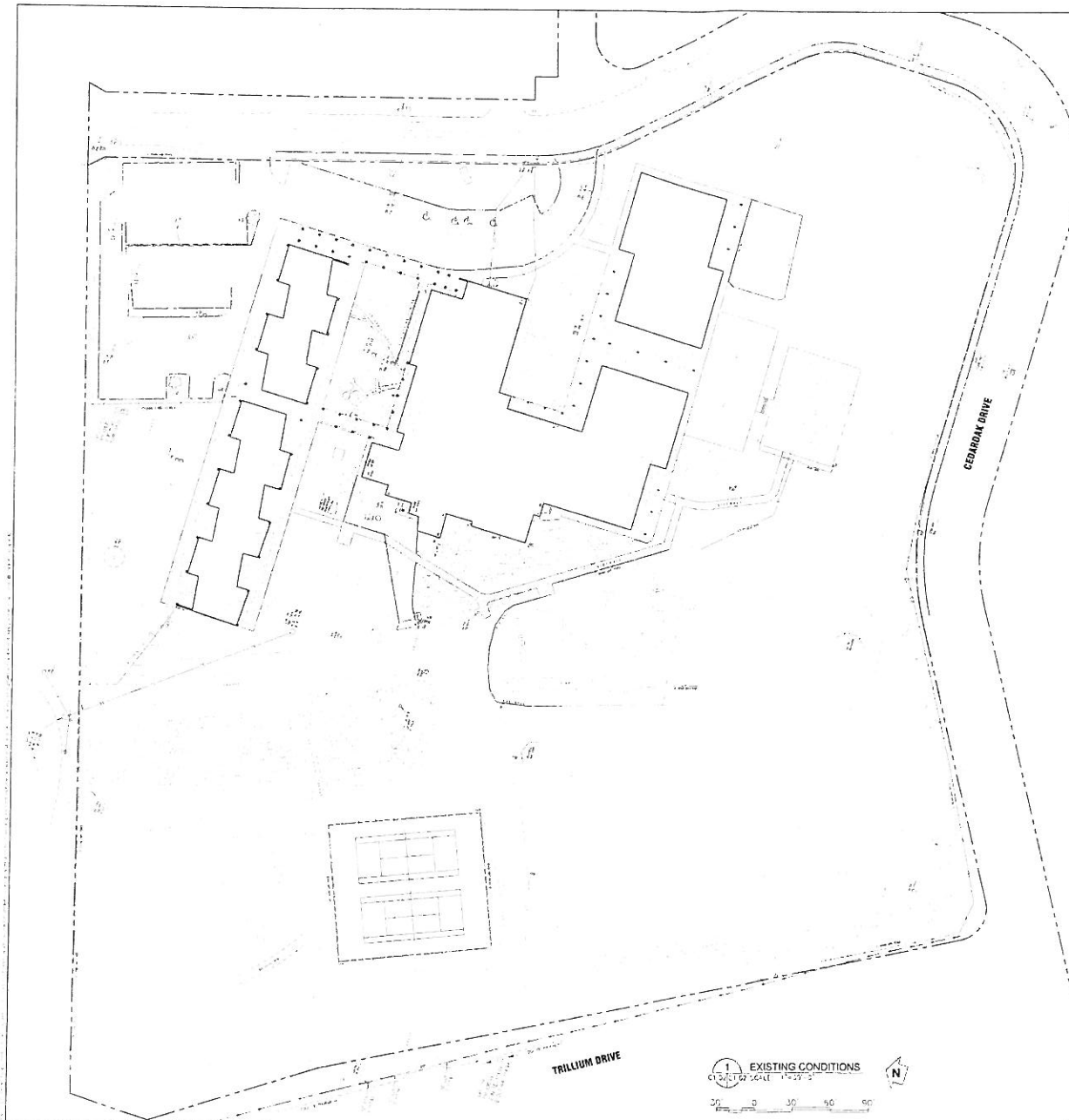


plate | construction
 documents
 date | May 5th, 2009
 revisions |

sheet # | 09033
 GENERAL ARRANGEMENT

C1.01



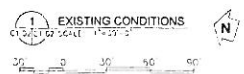


NOTES

1. EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED ON THE MOST RECENT AVAILABLE RECORDS AND VISUAL SURVEY. THE EXISTING CONDITIONS MAY BE DIFFERENT FROM THE ACTUAL CONDITIONS ON THE GROUND. THE CLIENT SHALL VERIFY THE EXISTING CONDITIONS BEFORE CONSTRUCTION.
2. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
3. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ADJACENT PROPERTY OWNERS.
4. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND DEEPENING AS NECESSARY.
5. CONFORM TO ALL CODES.

LEGEND

- WALL
- DOOR
- WINDOW
- GLASS CURTAIN WALL
- GLASS DOOR
- GLASS WALL
- GLASS PARTITION
- GLASS
- CONCRETE



COMPASS ENGINEERING
 ENGINEERING SURVEYING PLANNING
 1000 SW 15th Street, Suite 100
 Portland, OR 97204
 Phone: 503.255.1234
 Fax: 503.255.1235
 www.compasseng.com



CEDAR OAK PARK PRIMARY SCHOOL
 West Linn - Wilsonville School District
 22210 SW Stafford Road
 West Linn, OR 97148
 T: 503.673.7875
 F: 503.673.7844

WINZLER & KELLY
 15015 SW 15th Parkway, Suite 100
 Portland, OR 97224
 Phone: 503.255.1234
 Fax: 503.255.1235
 www.winzler.com

phase construction
documents
date May 28, 2009
revisions

project # | 09003
 EXISTING CONDITIONS

C1.02

SITE DEMOLITION NOTES

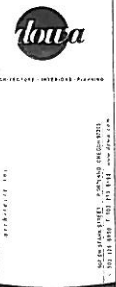
- 1) SAVE AND PROTECT EXISTING UTILITIES THROUGHOUT CONSTRUCTION ACTIVITIES.
- 2) SAVE AND PROTECT EXISTING CONCRETE FOUNDATION CONSTRUCTION ACTIVITIES.
- 3) SAVE AND PROTECT EXISTING CURB THROUGHOUT CONSTRUCTION ACTIVITIES.
- 4) SAVE AND PROTECT EXISTING LANDSCAPE THROUGHOUT CONSTRUCTION ACTIVITIES.
- 5) SAVE AND PROTECT EXISTING UTILITIES THROUGHOUT CONSTRUCTION ACTIVITIES.
- 6) SAVE AND PROTECT EXISTING BUILDING EXTERIOR THROUGHOUT CONSTRUCTION ACTIVITIES.
- 7) SAVE AND PROTECT EXISTING FLOORING THROUGHOUT CONSTRUCTION ACTIVITIES.
- 8) REMOVE EXISTING CURB.
- 9) REMOVE AND REMOVE EXISTING CURB AND REPLACE OF OFF-SITE.
- 10) SAVE EXISTING SIGN AND RELOCATE PER DIRECTION OF TOWN DISTRICT.
- 11) REMOVE AND REMOVE EXISTING SIGN AND ACCORDING TO TOWN AND DISTRICT OF OFF-SITE, SEE REMOVAL PER PLAN OF REMOVAL.
- 12) REMOVE AND REMOVE EXISTING SIGN AND REPLACE OF OFF-SITE.
- 13) REMOVE AND REMOVE EXISTING FENCE AND REPLACE OF OFF-SITE.
- 14) REMOVE AND REMOVE EXISTING ASPHALT PAVING SECTION TO BE REPAIRED TO EXISTING STANDARD TO PROVIDE CONCRETE WITH PAVING SECTION AS DETAILED REMOVE ALL REMAINING ASPHALT WITHIN DEMOLITION LIMITS AND REPLACE OFF-SITE.
- 15) REMOVE AS PAVING.
- 16) REMOVE EXISTING FENCE SEE LANDSCAPE DRAWINGS.
- 17) REMOVE AND SAVE EXISTING GATE REMOVAL PER SHEET C2.01.
- 18) REMOVE EXISTING ASPHALT PAVING SECTION TO FACE OF CURB.
- 19) REMOVE CONCRETE SLAB.
- 20) REMOVE AND REMOVE EXISTING CONCRETE AND REPLACE OF OFF-SITE.
- 21) SAVE AND PROTECT EXISTING STEEL BUILDING CONSTRUCTION METALS & HIGH QUALITY TENSILE-STEEL PROTECTION FINISHES.
- 22) RELOCATE EXISTING REAR FEATURE PER DIRECTION OF TOWN DISTRICT.
- 23) REMOVE EXISTING ASPHALT THAT AREA AS NECESSARY FOR INSTALLATION OF NEW ASPHALT DRIVE AND REPLACE OF OFF-SITE.
- 24) REMOVE PORTION OF EXISTING FENCE FOR INSTALLATION OF NEW ASPHALT DRIVE.
- 25) REMOVE AND REMOVE EXISTING EXTERIOR BARK PROTECT AND SAVE EXISTING PINE FOR FUTURE RELOCATION SEE SHEET C2.01.
- 26) SAVE AND PROTECT EXISTING WALKWAY THROUGHOUT CONSTRUCTION ACTIVITIES.
- 27) SAVE AND PROTECT EXISTING DRIVEWAY.
- 28) REMOVE EXISTING LIGHT POLE SEE ELECTRICAL DRAWINGS.
- 29) REMOVE EXISTING BASKETBALL POLE AND SAVE FOR REINSTALLATION.
- 30) REMOVE ALL TREE ROOTS WITHIN LIMITS OF TRUNK COVER.
- 31) REMOVE EXISTING WALKWAY AND SAVE FOR FUTURE INSTALLATION SEE SHEET C2.01.
- 32) COMPLETELY REMOVE ALL EXISTING AND SUBSEQUENT PANELS INCLUDING REAR DOORWAY AND REPLACE OF OFF-SITE.
- 33) REMOVE EXISTING POWER POLE AND CUP WIRE SEE ELECTRICAL DRAWINGS.
- 34) REMOVE EXISTING OVERHEAD UTILITIES SEE ELECTRICAL DRAWINGS.

NOTE
ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF WEST LINN STANDARDS AND SPECIFICATIONS

LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPRETATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR



1 DEMOLITION PLAN
SCALE 1/8" = 1'-0"



CEDAR OAK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District
22310 SW Suftord Road
West Linn, OR 97068
T: (503) 672-7915
F: (503) 672-7044

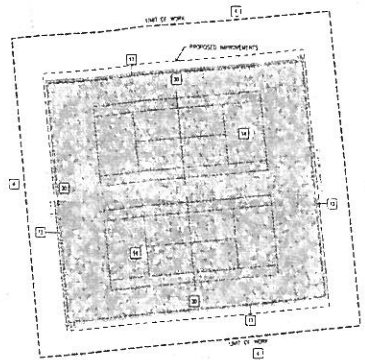


phase	construction
documents	
date	May 08, 2009
revisions	

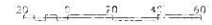
project # | 09003
DEMOLITION PLAN
C2.01

SITE DEMOLITION NOTES

- 1.1 SAVE AND PROTECT EXISTING SIGNAL THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.2 SAVE AND PROTECT EXISTING CONCRET THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.3 SAVE AND PROTECT EXISTING CURBS THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.4 SAVE AND PROTECT EXISTING LANDSCAPING THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.5 SAVE AND PROTECT EXISTING UTILITIES THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.6 SAVE AND PROTECT EXISTING BUILDING EXTERIOR THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.7 SAVE AND PROTECT EXISTING FENCING THROUGHOUT CONSTRUCTION ACTIVITIES
- 1.8 REMOVE EXISTING CURBS
- 1.9 DEMOLISH AND REMOVE EXISTING CURBS AND DISPOSAL OF OFF-SITE
- 1.10 SAVE EXISTING SIGN AND REMOVE PER ERECTION OF SCHOOL SIGNAGE
- 1.11 DEMOLISH AND REMOVE EXISTING GATE SIGN & ASSOCIATED SIGNAGE TO ASSURE COMPLIANCE TO PROVIDE CORRECT NEW SIGNAGE LOCATION AT SIGNAGE MOUNT ALL SIGNALS WITHIN DEMOLITION LIMITS AND REMOVE EXISTING
- 1.12 DEMOLISH AND REMOVE EXISTING STORM PILE AND DISPOSAL OF OFF-SITE
- 1.13 DEMOLISH AND REMOVE EXISTING FENCE AND DISPOSAL OF OFF-SITE
- 1.14 DEMOLISH AND REMOVE EXISTING SIGNAL FENCING SECTION REMOVE TO ASSURE COMPLIANCE TO PROVIDE CORRECT NEW SIGNAGE LOCATION AT SIGNAGE MOUNT ALL SIGNALS WITHIN DEMOLITION LIMITS AND REMOVE EXISTING
- 1.15 REMOVE ALL TREE ROOTS WITHIN LIMITS OF SIGNAGE
- 1.16 REMOVE EXISTING WALKWAY AND SAVE FOR FUTURE INSTALLATION SEE SHEET C2.01
- 1.17 REMOVE EXISTING POWER POLE AND GUY WIRE SEE ELECTRICAL DRAWINGS
- 1.18 REMOVE EXISTING OVERHEAD TRUNKS SEE ELECTRICAL DRAWINGS



**BID ALTERNATE #1
DEMOLITION PLAN**



CEDAR OAK PARK PRIMARY SCHOOL

Wilsonville School District

West Linn - Wilsonville School District
 22210 SW Starboard Road
 West Linn, OR 97068
 T (503) 673 8975
 F (503) 673 7044

WINZLER & KELLY
 15275 SW 34th Street, Suite 100
 Portland, OR 97224
 Phone: (503) 251-1111 Fax: (503) 251-1111
 www.winzler.com

phase	construction
docs	documents
date	May 05, 2003
revision	

project # | 03003
DEMOLITION PLAN
C2.02

SITE CONSTRUCTION NOTES

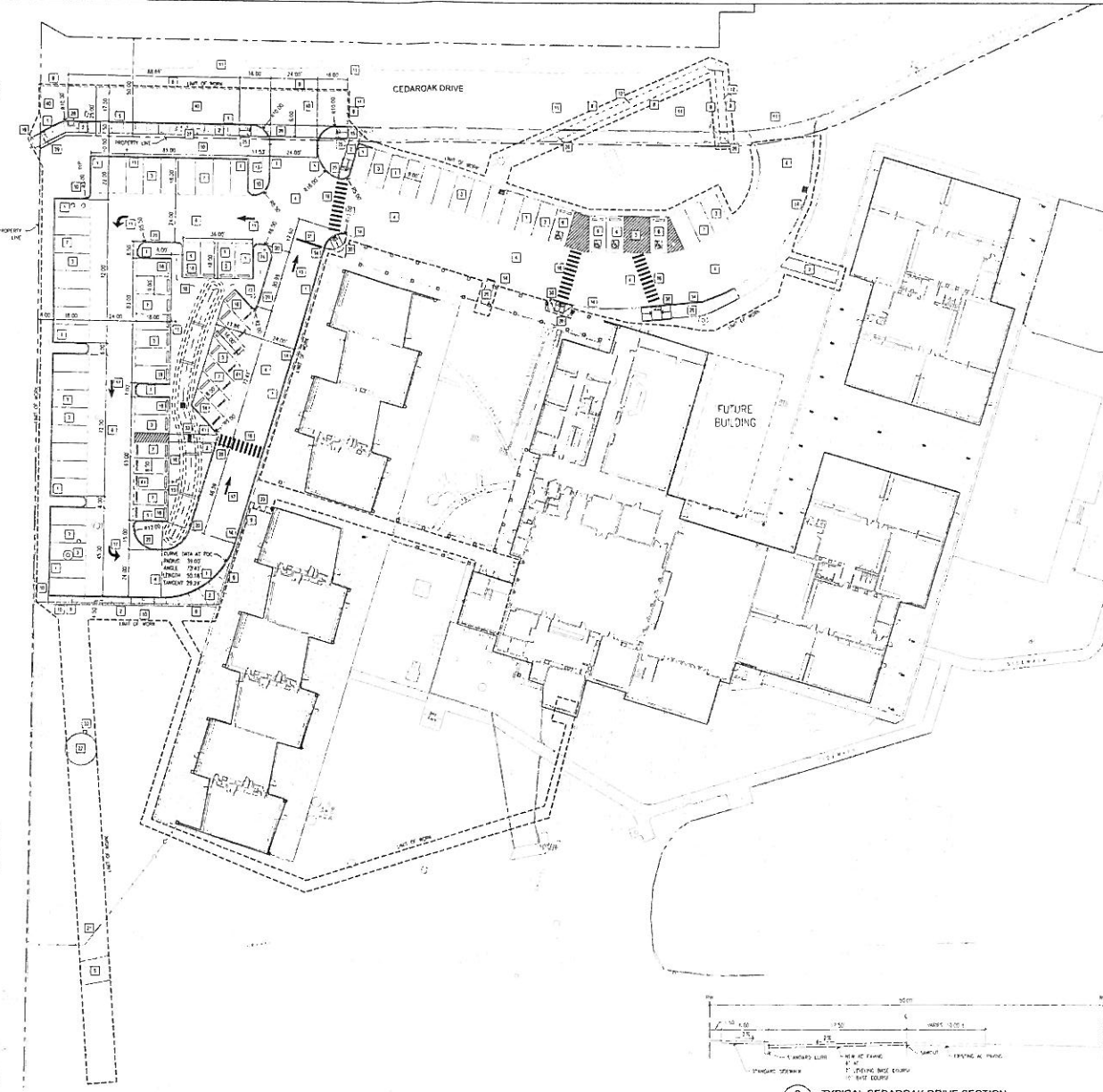
1. EXISTING FRENCH DRAINAGE CURBS PER CITY OF WEST LINN STANDARDS DRAWING M-104
2. CONSTRUCT SIDEWALK PER CITY OF WEST LINN STANDARDS DRAWING M-108
3. CONSTRUCT LIGHT SIGNAGE PARALLEL SECTION
4. CONSTRUCT HEAVY SIGNAGE PARALLEL SECTION
5. RE-PAVEMENT ROAD SURFACE WITH 6" LAYER COMPACTED 3/4" INCH COARSE MATERIAL
6. CONSTRUCT ALL PARKING STALLS
7. INSTALL 2" WIDE FINISHED SIDEWALK WITH 1" STRIKE
8. WITHIN EXISTING 4" FINISH FINISH ROAD EDGE AT CURB
9. CONSTRUCT NEW 4" CHALK LINE FINISH
10. SEE LANDSCAPE DRAWINGS FOR CONSTRUCTION INFORMATION
11. CONSTRUCTER SHALL PATCH & REPAIR ALL EXISTING ASPHALT PAVING LOTS FOR DRIVING AREAS AND CONSTRUCTION TRUCK WHEELS DAMAGED DURING AND AFTER CONSTRUCTION AND REPAVED WITH MATCHING PARALLEL SECTION
12. PROVIDE 8" FINISH PATCH MATCH EXISTING FINISHES
13. PROVIDE STREET LIGHT SEE ELECTRICAL DRAWINGS
14. FINISH CURB FINISH TYPICAL
15. MATCH NEW SIDEWALK TO EXISTING SIDEWALK AND PROVIDE SMOOTH TRANSITION TO ADJACENT DRIVEWAYS
16. INSTALL CROSSING TRENCH (DEPTH)
17. INSTALL PARALLEL CONCRETE WALKWAYS 12" THICK PER 12.51
18. INSTALL NORMAL RAMP TO TRANSITION TO EXISTING ONCE 12" THICK MAX THICKNESS OF 4" (4" SLOPE)
19. CONSTRUCT CURB CUTS AT 8" ON CENTER
20. EXISTING FINISH AFTER INSTALLATION OF STORM DRAIN PIPE
21. INSTALL NEW NORMAL PLAY AREA AFTER INSTALLATION OF STORM DRAIN PIPE
22. INSTALL SANITIZED CURB
23. INSTALL 10" WIDE EXIST' FIN
24. PATCH AND REPAIR EXISTING CONCRETE SIDEWALKS AND CURB
25. REPAVED WALKWAYS PER CITY OF WEST LINN STANDARDS DRAWING M-114
26. INSTALL OUTER RAMP PER CITY OF WEST LINN STANDARDS DRAWING M-122 SEE SHEET C3.01 CONCRETE TO EXISTING STORM DRAIN FINISH
27. CONSTRUCT SIDEWALK
28. INSTALL CURB RAMP PER CITY OF WEST LINN STANDARDS DRAWING M-124 REFERRED TO THIS RAMP WITHIN 5' SIDE WALK FROM CURB TO 108 MAXIMUM
29. INSTALL 12" WIDE FINISHED SIDEWALK
30. REPAVED SANITIZED SIDEWALKS TO REMOVE CONCRETE EXPOSURE AND PROVIDE NEW CONCRETE FINISH
31. PROVIDE CHUTE FRENCH CROSSING
32. INSTALL FOOT BARriers PER LANDSCAPE DRAWINGS AND SPECIFICATIONS
33. STAMPEDE TENSILE COURT KENNEL PARALLEL SECTION
34. PATCH AND REPAIR ALL DAMAGED LANDSCAPING, REPLACE IN PLACE
35. CONSTRUCT NEW 4" CHALK LINE TENSILE COURT FENCE AND GATES
36. INSTALL CURB RAMP PER CITY OF WEST LINN STANDARDS DRAWING M-124 REFERRED TO THIS CURB DRAWING WITHIN 5' AND MATCHED TOPGRADE TO EXISTING SIDEWALK
37. INSTALL 1" SECTION OF FINISHED SIDEWALK SURFACE ACROSS FULL WIDTH OF SIDEWALK
38. CONSTRUCT KENNEL SECTION PER TYPICAL CEDAROAK DRIVE SECTION
39. INSTALL "CONCRETE FINISHED MARKING (DEPTH) TO INDICATE CONCRETE PARKING SPACE (TYPICAL OF 12)

PARKING STALL COUNT

	STANDARD STALLS	COMPACT STALLS	NEW STALLS	TOTAL STALLS
EXISTING	18	0	4	22
PROPOSED	0	0	4	4

GENERAL SITE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT NEW FEATURES TO BE INSTALLED ON THE SITE CONFORM WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
3. IN AREAS WHERE EXISTING PAVING IS TO BE REMOVED, PROVIDE NEW PAVEMENT FOR ALL PAVED DRIVEWAYS AND PARKING AREAS. EXISTING CURBS TO BE MAINTAINED OR RECONSTRUCTED AS REQUIRED.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY INSPECTORS. CONTRACTOR SHALL NOTIFY CITY INSPECTORS 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE (1) SET OF REPAIR APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL AND GUARANTEED BY THE CONTRACTOR SHALL BE RESTORED TO AN AS GOOD OR BETTER CONDITION.
7. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO CITY OF WEST LINN STANDARDS AND SPECIFICATIONS.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

2 TYPICAL CEDAR OAK DRIVE SECTION
SCALE: 1/4" = 1'-0"



CEDAR OAK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District
2220 SW Standard Road
West Linn, OR 97138
T: (503) 673-7975
F: (503) 673-7044



DATE: 05/26/2009
DATE: May 26, 2009
REVISIONS:

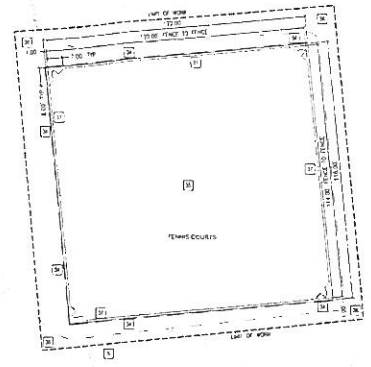
PROJECT # 29003

SITE PLAN

C3.01

SITE CONSTRUCTION NOTES

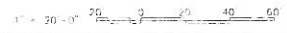
1. CONSTRUCT TYPICAL RETAIN WALL PER CITY OF WEST Linn STANDARD DRAWING NO. 107
2. CONSTRUCT SIDEWALK PER CITY OF WEST Linn STANDARD DRAWING NO. 106
3. CONSTRUCT HOOT ASHPALT PAVEMENT SECTION
4. CONSTRUCT MEANS ASHPALT PAVEMENT SECTION
5. RE-PAVEMENT ROAD SURFACE WITH A LAYER FURNISHABLE TO MEET CITY REQUIREMENTS
6. CONSTRUCT NEW PAVING STRIP
7. INSTALL 2" MIN PAVING STRONG WHITE PORTLAND CEMENT
8. WATER CURETING AC PAVING PROTECT EACH LAYER AT 24 HOURS
9. CONSTRUCT NEW 4" THICK ASPHALT
10. SEE LAYOUT FOR DIMENSIONS FOR CONSTRUCTION INFORMATION
11. FURNISH TYPICAL RAILWAY & RETAIN ALL EXISTING ASHPALT PAVING (SEE FOR STAGING AREAS AND CONSTRUCTION TRUCK ROUTES) EXISTING STAGING AREAS SHALL BE REPAVED AND REPLACED WITH NEW PAVING PARALLEL SECTION
12. PROVIDE AC PAVING PATCH WORKS EXISTING SIGNPOSTS
13. INSTALL STREET LIGHT (SEE ELECTRICAL DRAWING)
14. PAINT CURB TRAFFIC SIGN
15. MATCH NEW SIDEWALK TO EXISTING SIDEWALK AND PROVIDE SMOOTH TRANSITION TO ADJACENT GRADES GRADES
16. INSTALL CROSSING STRIP (WHITE)
17. INSTALL PRECAST MARKING LIMBS
18. INSTALL PRECAST CONCRETE WHEEL STOPS (TYPICAL OF 201)
19. INSTALL ASHPALT RAMP TO TRANSITION TO EXISTING GRADE (AS SHOWN SECTION 2, 4, 7, 8, 9)
20. CONSTRUCT CURB CURB IN 4" IN PAVEMENT
21. FILL AND FINISH GRADE AFTER INSTALLATION OF STORM DRAIN PIPE
22. INSTALL NEW ASHPALT PAVEMENT AFTER INSTALLATION OF STORM DRAIN PIPE
23. INSTALL SAWED CURB
24. INSTALL 2" MIN PAVEMENT SPIN
25. INSTALL END OF WALK CURB RAMP
26. FINISH AND REPAIR EXISTING CONCRETE SIDEWALK AND CURB
27. REPAVED WALKWAYS PER CITY OF WEST Linn STANDARD DRAWING NO. 114
28. INSTALL OUTER INLET PER CITY OF WEST Linn STANDARD DRAWING NO. 105 (SEE SHEET 112) CONNECT TO EXISTING STORM DRAIN SYSTEM
29. CONSTRUCT SIDEWALK
30. INSTALL CURB RAMP PER CITY OF WEST Linn STANDARD DRAWING NO. 104A (SEE SHEET 112) WALK WITH 5:5 AND SIDE WALKS 3:1 UP TO 12% MAXIMUM
31. INSTALL 1/2" WHITE PAINTED STOP BAR
32. REMOVAL SAWED SIDEWALK PAVE REMOVE CONCRETE ENCASUREMENT AND PROVIDE NEW CONCRETE ANCHOR
33. PROVIDE GRATES TRUCK CROSSING
34. INSTALL STOP BARRIER PER UNIFORM STANDARDS AND SPECIFICATIONS
35. CONSTRUCT TYPICAL HOOT ASHPALT PAVEMENT SECTION (SEE SHEET 111)
36. PATCH AND REPAIR ALL DAMAGED LANDSCAPING, REPLANT IN PLACE
37. CONSTRUCT NEW 12" CONCRETE RETAIN WALL AND 4" GABION
38. INSTALL CURB RAMP PER CITY OF WEST Linn STANDARD DRAWING NO. 104B (SEE SHEET 112) WALK WITH 5:5 AND PAVED PORTLAND SLURRY AT 8:12% MAXIMUM
39. INSTALL 2" LENSING OF PORTLAND CEMENT BOUND SURFACE (SEE SHEET 111) OF SIDEWALK
40. CONSTRUCT ASHPALT SECTION PER TYPICAL TENSOROM CONCRETE SECTION
41. INSTALL TYPICAL PAVEMENT MARKING LIMBS TO SHOW PAVED MARKING SHEET (TYPICAL OF 10)



**BID ALTERNATE #1
SITE PLAN**

GENERAL SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THAT ANY UTILITIES ARE AND EXISTING SITE DEVELOPMENT (PAVEMENT JOINTS, ETC.) ARE CORRECTLY AND THAT ALL UTILITIES ARE DEEPER THAN THE EXISTING GRADE. CONTRACTOR SHALL PROVIDE GENERAL SIGHT TRIANGULATION FOR NEW CONSTRUCTION POINTS, PROVIDE PRECISION AND CHANGE, LEVELS TO BE EXISTING TO IN EXISTING POINTS DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. IN ORDER TO PROTECT ASHPALT PAVEMENT IS BEING REPAVED, PROVIDE NEW TRAFFIC SIGNING FOR ALL APPROVE PAVING WORK AND MARKING STRIPES, EXISTING SIGNING TO BE REPAVED NOT IN RECONSTRUCTION AREAS TO PROTECT.
4. ALL CONSTRUCTION ACTIVITIES SHALL BE COORDINATED WITH CITY WORKS DEPARTMENT. CONTRACTOR SHALL NOTIFY CITY WORKS DEPARTMENT 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. DURING CONSTRUCTION THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL MAINTAIN A MINIMUM OF ONE (1) SET OF IN PLACE APPROVED PLANS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
6. UPON COMPLETION OF THE CONSTRUCTION PROJECT THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF OBSTACLES AND UNPAVED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAVED TO AS NEW OR BETTER CONDITION.
7. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF WEST Linn STANDARD AND SPECIFICATIONS.



CEDAROAK PARK PRIMARY SCHOOL
 West Linn - Wilsonville School District
 22210 SW Shilford Road
 West Linn, OR 97148
 P: (503) 637-7515
 F: (503) 637-7647



phase construction
documents
date May 28, 2008
revisions

project # | 09003
SITE PLAN
C3.02

GRADING NOTES

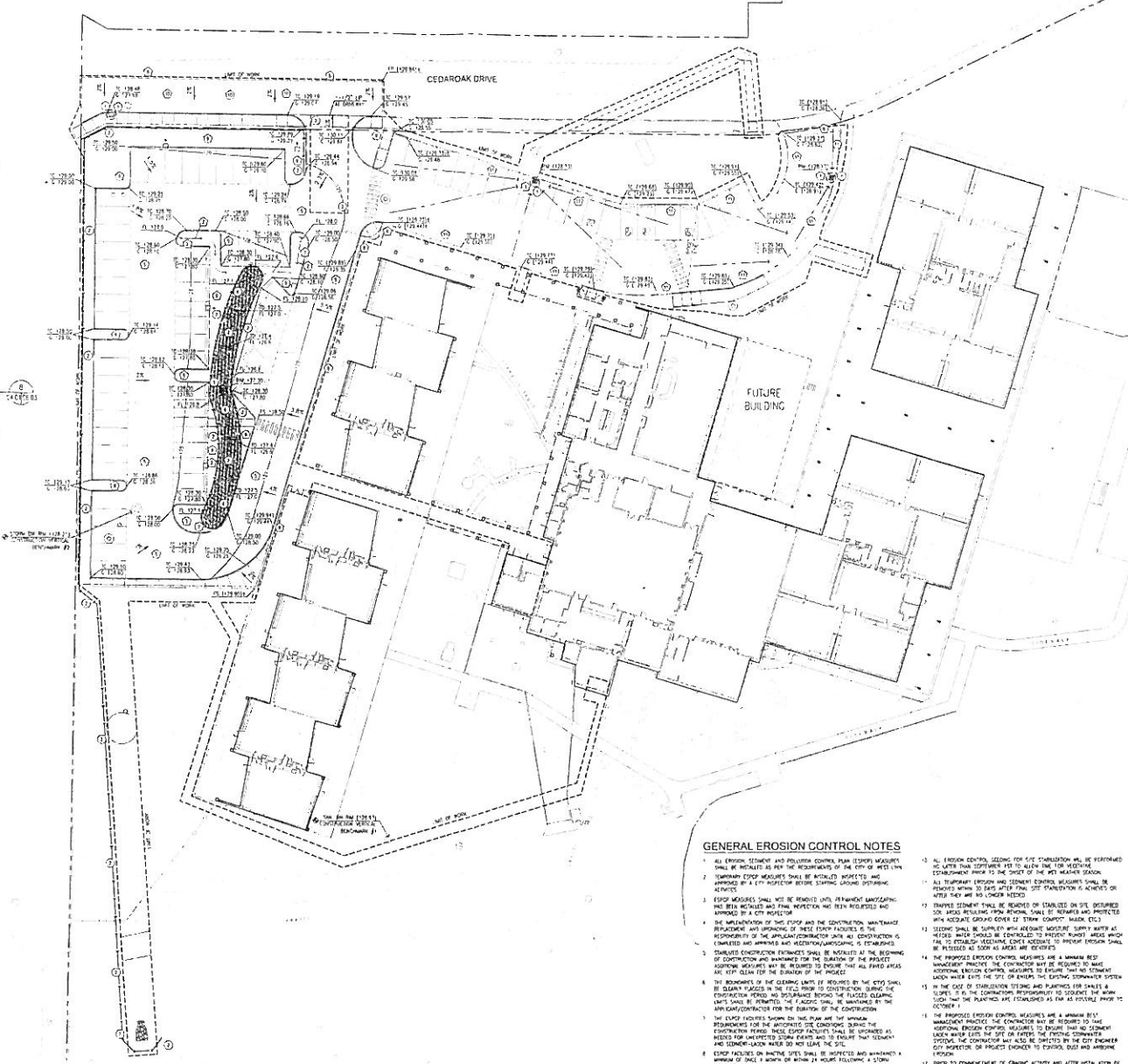
- 1. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 2. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 3. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 4. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 5. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 6. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 7. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 8. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 9. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.
- 10. EXISTING EARTH SHALL BE EXCAVATED TO A MINIMUM OF 18" BELOW FINISH GRADE.

EROSION CONTROL NOTES

- 1. SLOPE PROTECTION SHALL BE INSTALLED ON ALL EXPOSED SLOPES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 2. SLOPE PROTECTION SHALL BE INSTALLED ON ALL EXPOSED SLOPES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 3. SLOPE PROTECTION SHALL BE INSTALLED ON ALL EXPOSED SLOPES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 4. SLOPE PROTECTION SHALL BE INSTALLED ON ALL EXPOSED SLOPES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

GENERAL GRADING NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILSONVILLE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILSONVILLE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILSONVILLE.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILSONVILLE.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WILSONVILLE.



GENERAL EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.
- 10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION.

GRADING AND EROSION CONTROL PLAN



CEDAR OAK PARK PRIMARY SCHOOL
 West Linn - Wilsonville School District
 2210 SW Hubbard Road
 West Linn, OR 97148
 T (503) 673-3975
 F (503) 673-1044



date construction	comments
case May 09, 2009	
revisions	
project C4.01	
GRADING AND EROSION CONTROL PLAN	
C4.01	

GRADING NOTES

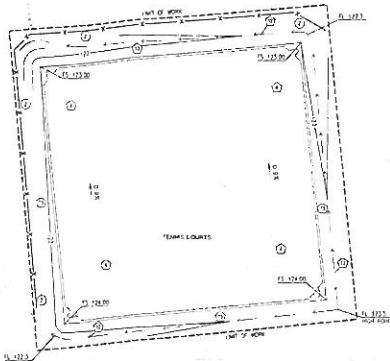
1. MINIMUM POSITIVE DRAINAGE TOWARD ALL EXISTING/PROPOSED DRAINAGE
2. EXISTING/PROPOSED DRAINAGE TOWARD EXISTING/PROPOSED DRAINAGE
3. MINIMUM POSITIVE DRAINAGE TOWARD WATER QUALITY TANKS
4. CONSTRUCTION OF TRENCHES FOR DRAINAGE REQUIRES PRECISE GRADING AND INSTALLATION BY CONTRACTOR. TRENCHES SHALL BE CONSTRUCTED TO EXACT GRADE SHOWN HEREIN.
5. PROPOSED ELEVATION AS SHOWN IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EXISTING/PROPOSED ELEVATIONS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
6. MATCH EXISTING/PROPOSED GRADES AT JOINTS BETWEEN THIS AND EXISTING/PROPOSED DRAWINGS.
7. MATCH EXISTING/PROPOSED GRADES AT JOINTS BETWEEN THIS AND EXISTING/PROPOSED DRAWINGS.
8. PROPOSED FINISH OF 1" TOPSOIL IN ALL VERTICALLY UNGRADED AREAS TO MAINTAIN DRAINAGE AND VEGETATION.
9. SLOPE FINISHES TO BE FROM EXISTING TO NEW FINISH TO BE SHOWN.
10. UNLESS OTHERWISE NOTED, NEW FINISHES TO MATCH EXISTING GRADES AND CURBS.
11. MATCH EXISTING/PROPOSED GRADES AT JOINTS BETWEEN THIS AND EXISTING/PROPOSED DRAWINGS.
12. PROPOSED POSITIVE DRAINAGE AWAY FROM TRENCHES TO BE A MINIMUM OF 1%.

EROSION CONTROL NOTES

1. PROVIDE SLOTTED PROTECTIVE MATS OVER ALL OPEN GRADES AND EXPOSED EARTHWORK AND HOLD MATS IN PLACE.
2. INSTALL SEDIMENT FENCE (SFENCE) AT ALL EXPOSED EARTHWORK AREAS.
3. CONSTRUCT TRUCK TRACK MATS AT ALL EXPOSED EARTHWORK AREAS.
4. PROVIDE SLOTTED MATS ON SLOPES AND BOTTOMS OF DITCHES.

GENERAL GRADING NOTES

1. SUBJECT OF EROSION CONTROL MEASURES BY CHANGING ENGINEERING OR CONSTRUCTION IS RESPONSIBLE FOR FULL VERIFICATION OF ALL SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS IN SURVEY DATA, INCLUDING ALL MODIFICATIONS AND REVISIONS, BEFORE COMMENCING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND SHALL MAINTAIN STAKING WITH A CLEARANCE MINIMUM OF 10 FEET FROM ALL EXISTING/PROPOSED CONSTRUCTION TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
3. ALL GRADES BETWEEN EXISTING/PROPOSED GRADES AND EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION WORKERS. CONTRACTOR SHALL MAINTAIN ALL EXISTING/PROPOSED GRADES THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING/PROPOSED GRADES THROUGHOUT CONSTRUCTION.
5. ALL EXISTING/PROPOSED GRADES AND EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
6. ALL EXISTING/PROPOSED GRADES AND EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. DURING ALL WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION TO A MINIMUM TO MAINTAIN MATS ON OTHER EXISTING/PROPOSED CONSTRUCTION.
8. ALL EXISTING/PROPOSED GRADES AND EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. COMPLETELY COVER ALL EXISTING/PROPOSED GRADES WITH A MINIMUM 2" DEEP PLASTIC OR PAPER MEMBRANE TO MAINTAIN MATS IN PLACE THROUGHOUT CONSTRUCTION AS PART OF EROSION CONTROL PLAN. MATS SHALL BE FULLY COMPLETELY APPLIED THROUGHOUT CONSTRUCTION.



BID ALTERNATE #1 GRADING AND EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

GENERAL EROSION CONTROL NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS PER THE REQUIREMENTS OF THE CITY OF WEST LIMA.
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY A CITY INSPECTOR BEFORE STARTING GRADING ACTIVITIES.
3. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL FURTHER LANDSCAPING HAS BEEN INSTALLED AND FINAL INSPECTION HAS BEEN REQUESTED AND APPROVED BY A CITY INSPECTOR.
4. THE MAINTENANCE OF THE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION IS THE RESPONSIBILITY OF THE APPROVED CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE CITY INSPECTOR.
5. STABILIZED CONSTRUCTION (STABILIZED) SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO PROTECT ALL EXPOSED AREAS AND KEEP THEM CLEAR FOR THE DURATION OF THE PROJECT.
6. THE REQUIREMENTS OF THE EROSION CONTROL MEASURES BY THE CITY SHALL BE FULLY MAINTAINED THROUGHOUT CONSTRUCTION. EXISTING/PROPOSED GRADES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
8. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
10. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
11. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
12. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
13. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
14. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
15. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
16. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
17. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
18. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
19. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVED BY THE CITY INSPECTOR.



CEDAROK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District
2240 SW Shiloh Road
West Linn, OR 97148
T: (503) 673-7975
F: (503) 673-1041



phase	construction
documents	
date	May 28, 2025
revisions	
project #	09003

GRADING AND EROSION CONTROL PLAN
C4.02

PROJECT LOCATION

Cedar Park Primary School
1400 S. 27th Street, Cedar Park, TX 78613

DEVELOPER

West Linn - Wilsonville School District
10000 NE 27th Street, Portland, OR 97220

ARCHITECTURE FIRM

West Linn - Wilsonville School District
10000 NE 27th Street, Portland, OR 97220

ENGINEERING FIRM

West Linn - Wilsonville School District
10000 NE 27th Street, Portland, OR 97220

PERMITTEE'S SITE INSPECTOR

West Linn - Wilsonville School District
10000 NE 27th Street, Portland, OR 97220

ATTENTION EXCAVATORS

Excavators must call 811 to locate utilities before any excavation work begins.

PROPERTY DESCRIPTION

1400 S. 27th Street, Cedar Park, TX 78613

NARRATIVE DESCRIPTIONS

1. EXISTING CONDITIONS: The site is currently vacant and contains no structures or utilities.

DEVELOPMENT CONDITIONS

1. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CEDAR PARK SUBDIVISION ORDINANCE.

PERMITS AND APPROVALS

1. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.

NEEDING WATER SERVICES

1. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.

STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES

- 1. THE PERMITTEE IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.
2. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.
3. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.

LOCAL AGENCY EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CEDAR PARK.

INSPECTION FREQUENCY

Table with 2 columns: Inspection Period and Frequency. Includes rows for Active Period, Pre-Construction, and Post-Construction.

BMP MATRIX FOR CONSTRUCTION PHASES

Matrix table showing BMP implementation for various construction phases: Planning, Design, Construction, and Post-Construction.

RATIONALE STATEMENT

The proposed construction project complies with all applicable erosion and sediment control regulations.

Project information for Cedar Oak Park Primary School, including location, contact info for Winzler & Killy, and permit details.

C4.03

STORM CONSTRUCTION NOTES

1. INSTALL 18" HDPE STORM PIPE
2. ADJUST EXISTING UTILITY PIPES, BENCH, CLEANOUT, ETC. 2' MIN TO NEW FINISHED SURFACE
3. INSTALL 18" HDPE STORM PIPE STEEL CAP FOR FUTURE CONNECTION
4. INSTALL 18" PUMP FOR WASTEWATER
5. INSTALL 18" HDPE STORM PIPE
6. INSTALL 18" HDPE STORM PIPE
7. INSTALL 18" HDPE STORM PIPE
8. INSTALL 18" HDPE STORM PIPE
9. INSTALL 18" HDPE STORM PIPE
10. INSTALL 18" HDPE STORM PIPE
11. INSTALL 18" HDPE STORM PIPE
12. INSTALL 18" HDPE STORM PIPE
13. INSTALL 18" HDPE STORM PIPE
14. INSTALL 18" HDPE STORM PIPE
15. INSTALL 18" HDPE STORM PIPE
16. INSTALL 18" HDPE STORM PIPE
17. INSTALL 18" HDPE STORM PIPE
18. INSTALL 18" HDPE STORM PIPE
19. INSTALL 18" HDPE STORM PIPE
20. INSTALL 18" HDPE STORM PIPE
21. INSTALL 18" HDPE STORM PIPE
22. INSTALL 18" HDPE STORM PIPE
23. INSTALL 18" HDPE STORM PIPE
24. INSTALL 18" HDPE STORM PIPE
25. INSTALL 18" HDPE STORM PIPE
26. INSTALL 18" HDPE STORM PIPE
27. INSTALL 18" HDPE STORM PIPE
28. INSTALL 18" HDPE STORM PIPE
29. INSTALL 18" HDPE STORM PIPE
30. INSTALL 18" HDPE STORM PIPE
31. INSTALL 18" HDPE STORM PIPE
32. INSTALL 18" HDPE STORM PIPE
33. INSTALL 18" HDPE STORM PIPE
34. INSTALL 18" HDPE STORM PIPE
35. INSTALL 18" HDPE STORM PIPE
36. INSTALL 18" HDPE STORM PIPE
37. INSTALL 18" HDPE STORM PIPE
38. INSTALL 18" HDPE STORM PIPE
39. INSTALL 18" HDPE STORM PIPE
40. INSTALL 18" HDPE STORM PIPE
41. INSTALL 18" HDPE STORM PIPE
42. INSTALL 18" HDPE STORM PIPE
43. INSTALL 18" HDPE STORM PIPE
44. INSTALL 18" HDPE STORM PIPE
45. INSTALL 18" HDPE STORM PIPE
46. INSTALL 18" HDPE STORM PIPE
47. INSTALL 18" HDPE STORM PIPE
48. INSTALL 18" HDPE STORM PIPE
49. INSTALL 18" HDPE STORM PIPE
50. INSTALL 18" HDPE STORM PIPE

ELECTRICAL NOTES

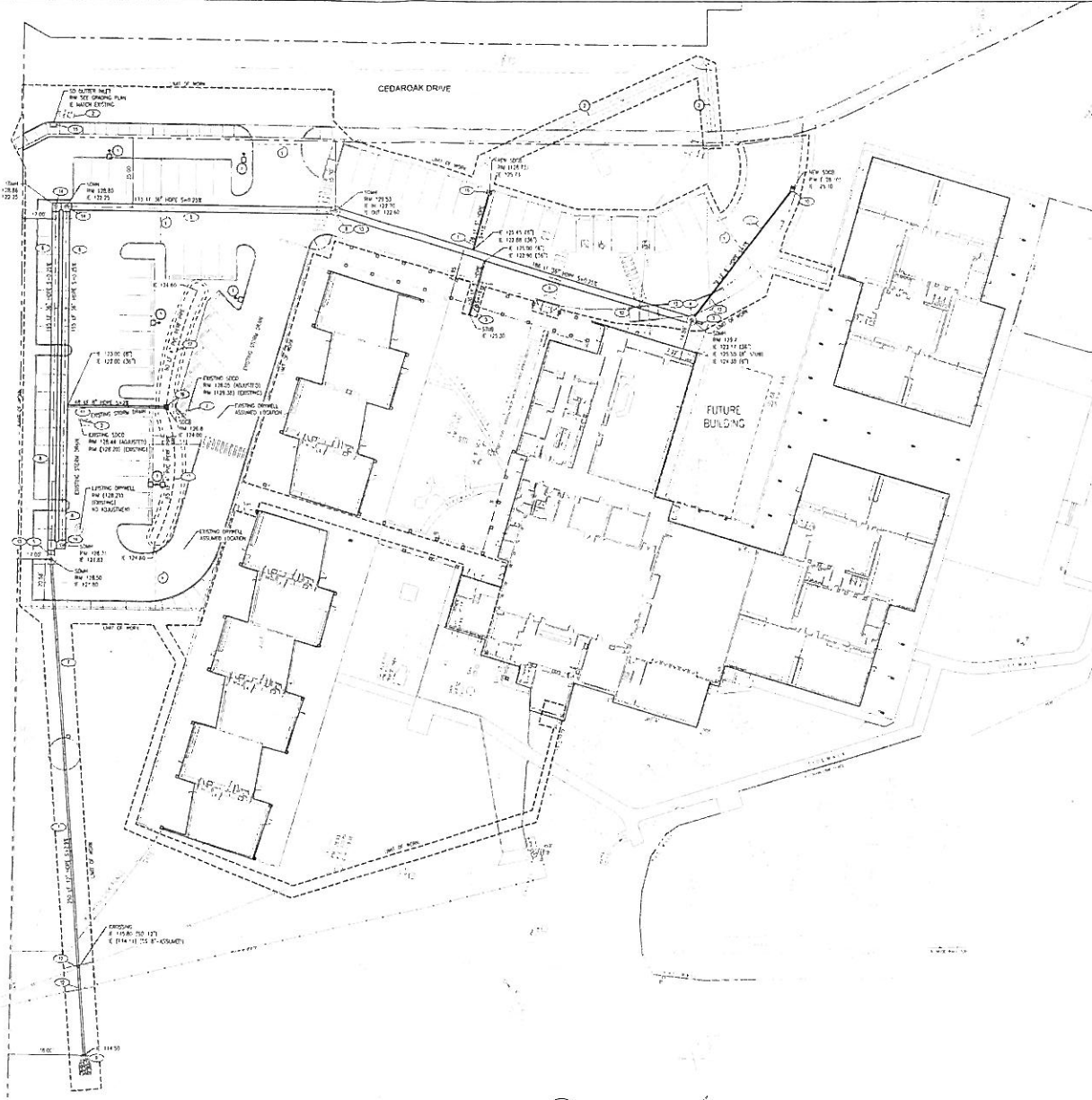
1. PROVIDE SEE LIGHTING SEE ELECTRICAL DRAWINGS
2. INSTALL UNDERGROUND ELECTRICAL UTILITIES SEE ELECTRICAL DRAWINGS

WATER UTILITY NOTES

1. INSTALL UNDERGROUND WATER UTILITY UTILITIES SEE ELECTRICAL DRAWINGS

GENERAL UTILITY NOTES

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD DRAWINGS AND INTERPRETATION OF VISUAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
2. ALL UTILITIES FOR WORK SHALL BE DELETED AND RECOORDINATED WITH EXISTING UTILITIES IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION ON ANY OTHER SECTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
4. CONTRACTOR SHALL COORDINATE A UTILITY LOCATE AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION FOR EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES LOCATED ON THE SITE. BEFORE PROTECTING AND WORKING ON UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
6. ALL UTILITY CONSTRUCTION ON PRIVATE PROPERTY SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN PLUMBING CODE UNLESS A UTILITY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STAMPED REQUIREMENTS OF THE MUNICIPAL JURISDICTION.
7. ALL BURIED LINES TO HAVE 2" MINIMUM COVER UNLESS NOTED OTHERWISE.
8. SEE LANDSCAPE DRAWINGS FOR IRRIGATION LINES.
9. ALL EXISTING UTILITIES WILL BE IN SERVICE DURING ALL CONSTRUCTION ACTIVITIES UNLESS OTHERWISE INDICATED.



UTILITY PLAN
C5.01



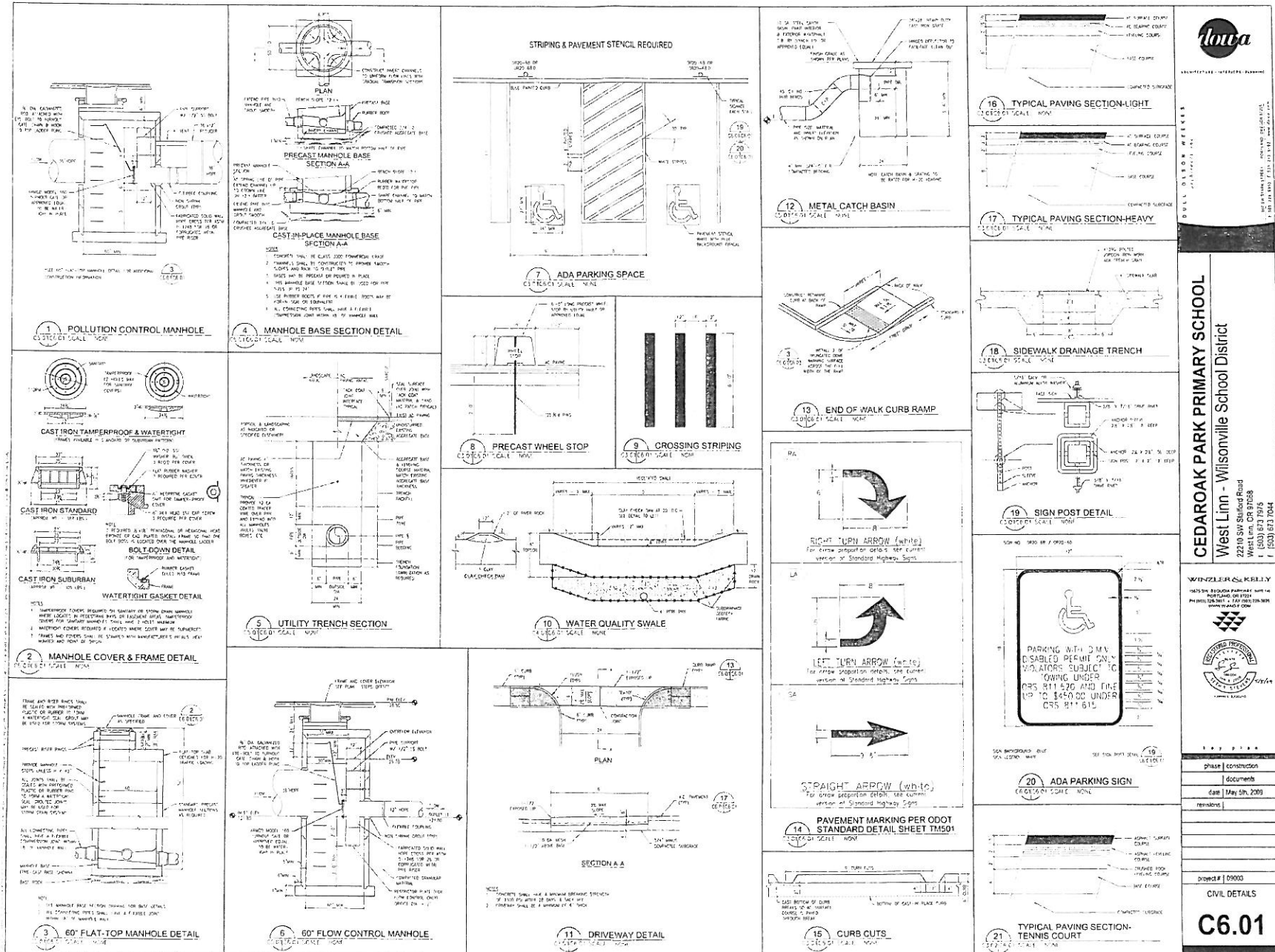
DULL GLOBE WEEKS

CEDAR OAK PARK PRIMARY SCHOOL
 West Linn - Wilsonville School District
 22210 SW Cedar Oak Road
 West Linn, OR 97146
 P: (503) 673-7875
 F: (503) 673-7044



phase	construction
documents	
date	May 24, 2015
revisions	

project # 0923
 UTILITY PLAN
C5.01



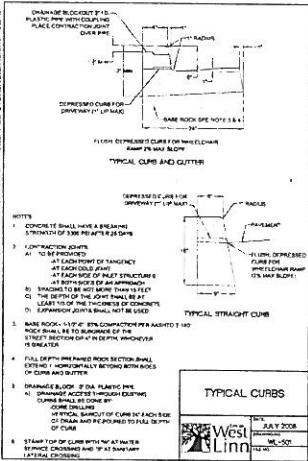
CEDAR OAK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District
22210 SW Shiloh Road
West Linn, OR 97148
TEL: (503) 674-7915
F: (503) 674-7044



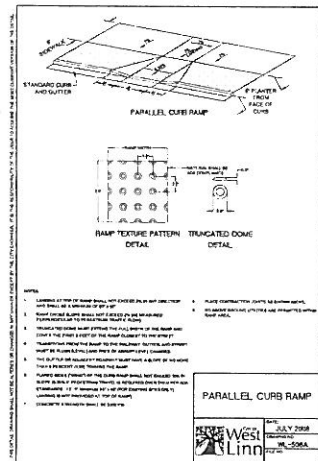
WINZLER & KELLY
1425 SW EQUINE PARKWAY SUITE 10
PORTLAND, OR 97201
PHONE: (503) 241-1111 FAX: (503) 241-1100
WWW.WKENGINEERS.COM

phase | construction
document |
date | May 09, 2009
revision |

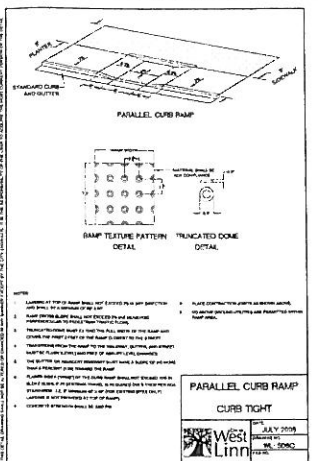
project # | 0900
CIVIL DETAILS
C6.01



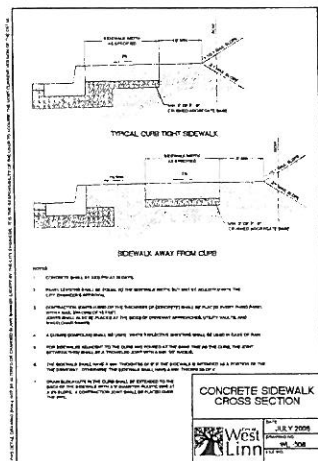
1 WEST LINN TYPICAL CURB
C:\PROJECT\SCALE: NONE



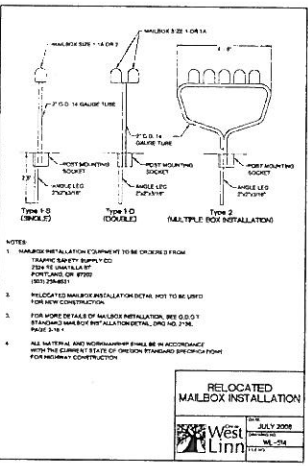
2 WEST LINN CURB RAMP
C:\PROJECT\SCALE: NONE



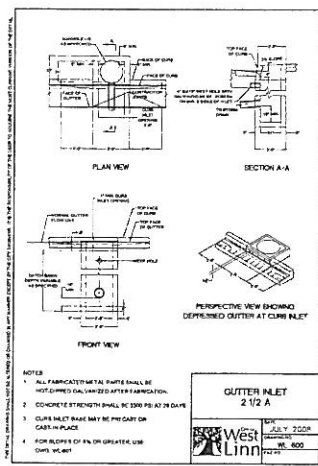
3 WEST LINN CURB RAMP
C:\PROJECT\SCALE: NONE



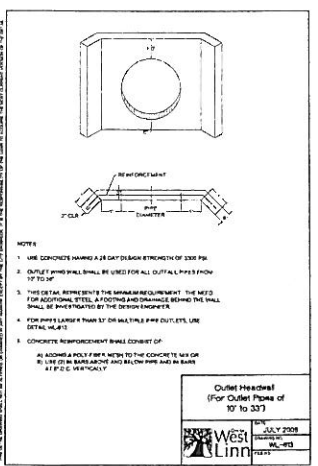
4 WEST LINN SIDEWALK
C:\PROJECT\SCALE: NONE



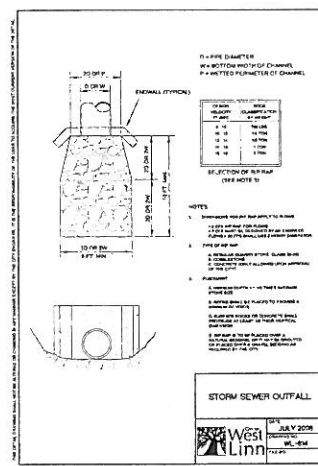
5 WEST LINN MAILBOX RELOCATION
C:\PROJECT\SCALE: NONE



6 WEST LINN GUTTER INLET
C:\PROJECT\SCALE: NONE



7 WEST LINN OUTLET HEADWALL
C:\PROJECT\SCALE: NONE



8 WEST LINN STORM OUTFALL
C:\PROJECT\SCALE: NONE

LOWE

ARCHITECTURE INTERIORS & PLUMBING

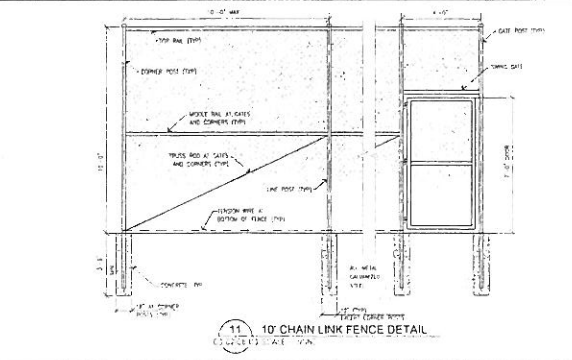
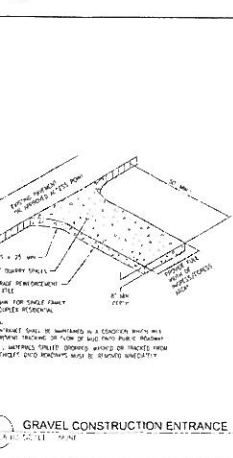
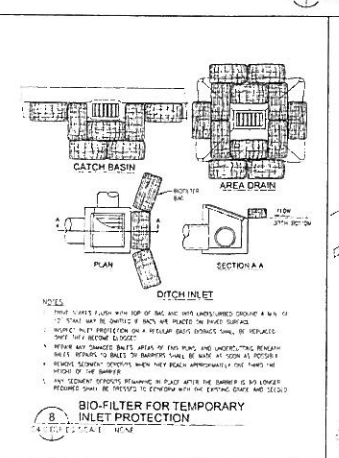
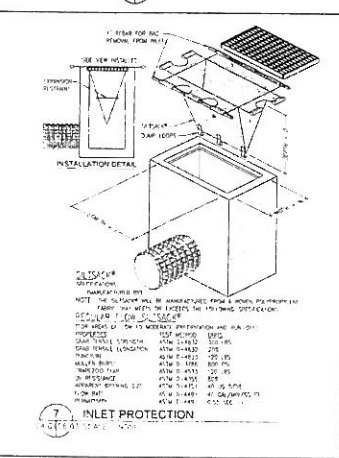
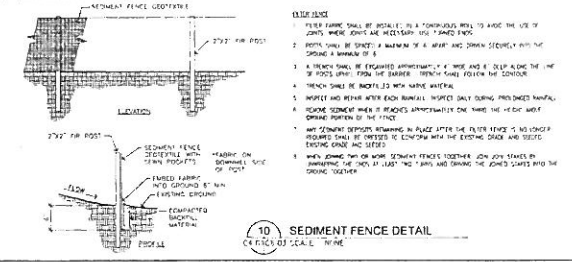
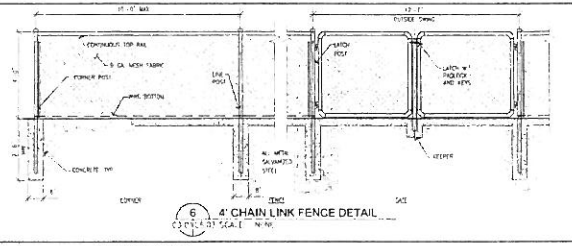
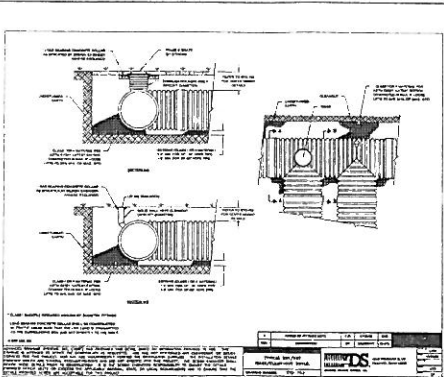
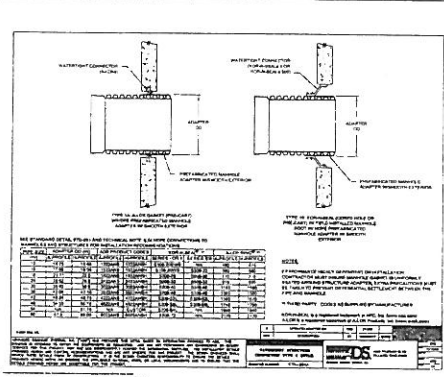
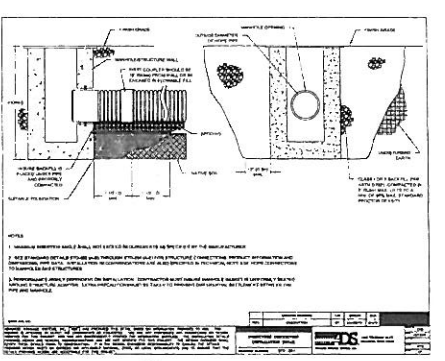
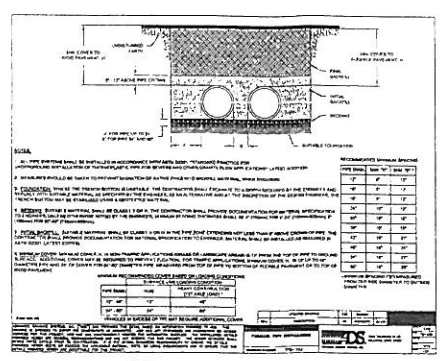
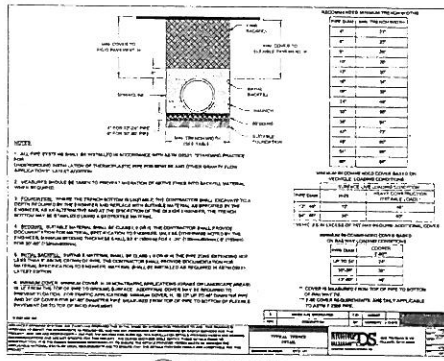
2220 SW Stafford Road
West Linn, OR 97158
L: (503) 673-7875
F: (503) 673-7874

CEDAR OAK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District

WINZLER & KELLY
1515 SW 32nd Avenue, Suite 10
Portland, OR 97219
P: (503) 253-7811 F: (503) 253-7816
WWW.WKAD.COM

phase | construction
documents
date | May 15, 2009
revisions

project # | 09003
CIVIL DETAILS
C6.02



lowca
CORPORATE - ALBANY, N.Y.
SULLY, SULLY & ASSOCIATES, INC.
222 S. CLARK STREET - CHICAGO, IL 60606
TEL: 312.542.4800 - FAX: 312.542.4801 - WWW.LOWCA.COM

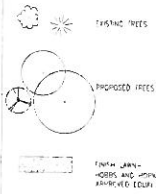
CEDAROK PARK PRIMARY SCHOOL
West Linn - Wilsonville School District
22210 SW Shiloh Road
West Linn, OR 97148
TEL: (503) 673-7815
F: (503) 673-7041

WINZLER & KELLY
1425 NW 82nd Avenue Suite 100
Portland, OR 97225
PHONE: 503.254.1100 - FAX: 503.254.1101
WWW.WKENGINEERS.COM

phase construction
documents
date May 31, 2009
revisions

project # | 05003
CIVIL DETAILS
C6.03

LEGEND



GENERAL NOTES

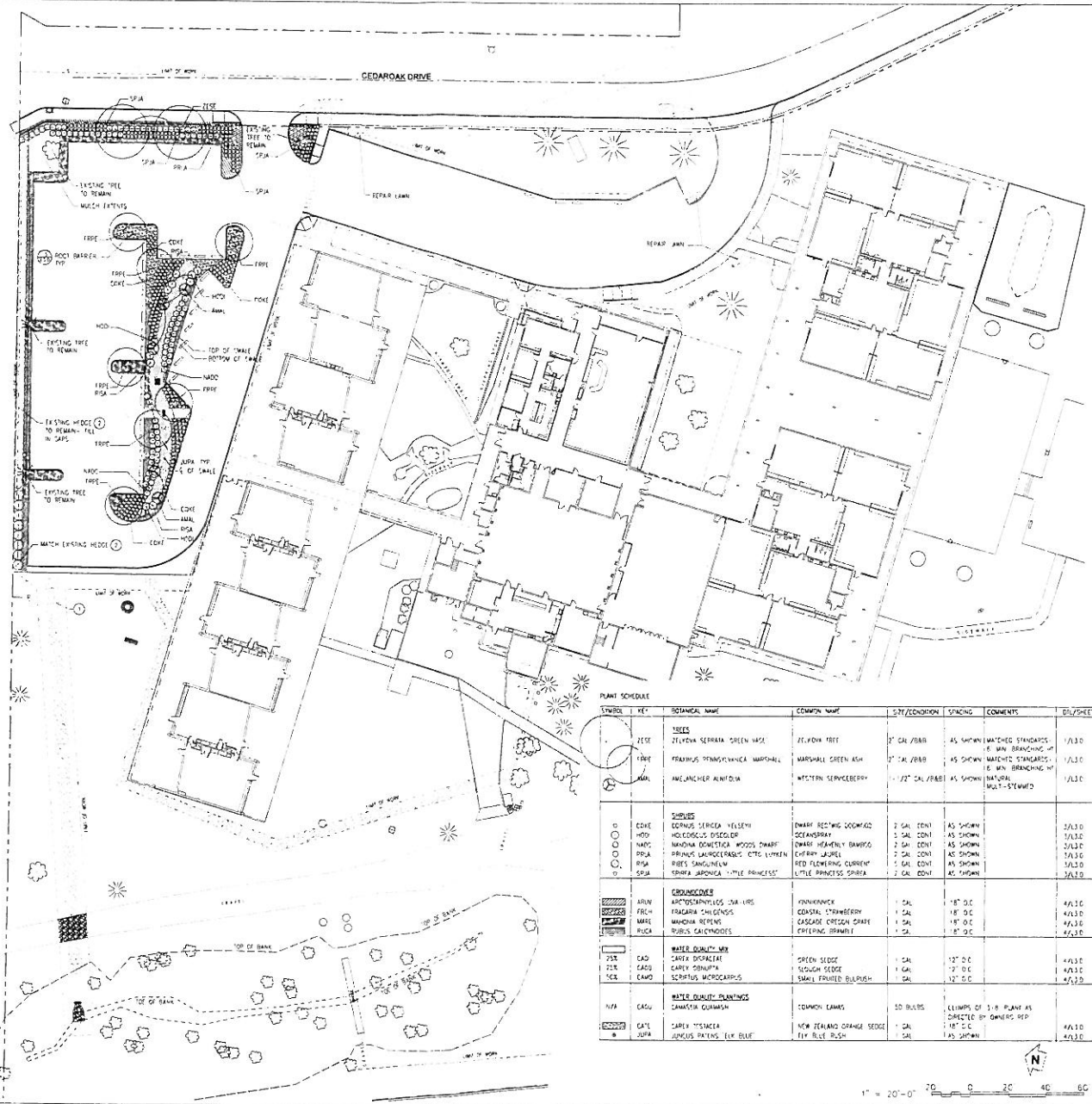
- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL REMEDIATION. EXISTING TREES AND SHRUBS INDICATED TO REMAIN COORDINATE WITH THE OWNER'S REPRESENTATIVE.
- PLANTING AREAS TO BE SUFFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY LANDSCAPE WORK.
- IDENTIFY ALL PLANTING AREAS IN FIELD WITH WHITE PELLE-MARKING TAPE OR APPROVED EQUIV. PLANTING DEFS. TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
- FOR PLANTING OCCURRING IN MASSES OF SAME SPECIES PLANT LABELING REFERS TO ALL IDENTICAL SPECIES. UNLESS REFER TO SPECIES AND LEGEND FOR SPECIFIC INFORMATION.
- THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
- SHRUBS AND GROUNDCOVER TO BE PLANTED A MINIMUM OF ONE FOOT FROM CENTER MARKING FROM PAVEMENT EDGES UNLESS OTHERWISE NOTED.
- PROVIDE ROOT BARRIER AROUND ALL TREES WITHIN 3' OF FINISH CURBS, WALLS, BUILDINGS, OPEN DUCTS AND OTHER APPURTENANCES. REFER TO ENR FOR ROOT BARRIER AT TRENCH CUTS.
- PLANT QUANTITIES WHERE INDICATED ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR PROVIDING PLANTS IN QUANTITIES AND LOCATIONS SHOWN ON DRAWINGS.
- PROVIDE JOIST NETTING ON ALL SLOPES WITH GRADIENT OF 3% OR GREATER AS CREDITED IN THE FIELD BY THE OWNER'S REPRESENTATIVE. *MARLE FABRIC TO BE USED WITH METAL STAKES AT 4' OC.

INTERIOR LANDSCAPING NOTES

PROVIDE AMOUNT OF INTERIOR LANDSCAPING PER EDC SECTION SA-CED (B) 5 MINIMUM PER SQ. FT. TOTAL PARKING LOT AREA. TOTAL PARKING AREA INCLUDING DRIVE AISLES = 22,145 SQ. FT.
TOTAL NEW INTERIOR LANDSCAPING (EXCLUDING PERIMETER) INCLUDING 1 COMMONS FACILITY = 3,250 SQ. FT.
INTERIOR LANDSCAPING IS CALCULATED AT 1/8" PER TOTAL PARKING AREA.

KEY NOTES

- RE-SEED AREAS OF DISURBANCE DUE TO CONSTRUCTION
- PROVIDE ADDITIONAL PLANTS TO CONTINUE EXISTING WEDGE QUANTITY TO BE OBSERVED IN FIELD. FOR BRACING PURPOSES PROVIDE 1/4" 74" BAB 5" MALL CEDARS. FILL IN GAPS AT EXISTING WEDGE. MATCH EXISTING WEDGE PLANT. MATCH W/ WITHIN 2' AND EXISTING ICE SPRINKLER. LANDSCAPE ARCHITECT TO APPROVE PRIOR TO INSTALLATION.



SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE/ZONATION	PLACING	COMMENTS	QTY/SHEET
TREES	ZEDE	ZELYNIA SERENA GREEN WASE	ZELYNIA TREE	3" CAL / 8'8"	AS SHOWN	MATCHED STANDARDS, 16' MIN BRANCHING	1/130
	EDRE	FRAXINUS SPANISH/ALICE MARSHALL	MARSHALL GREEN ASH	3" CAL / 8'8"	AS SHOWN	MATCHED STANDARDS, 16' MIN BRANCHING	1/130
	ABUL	AMELANCHIER ALNUTOMA	WINTER GREEN BERRY	1-2" CAL / 8'8"	AS SHOWN	MULTI-STEMMED	1/130
SHRUBS	EDCE	CORNUS SERICEA VELDEYI	DWARF REDTID DOGWOOD	2 GAL CONT	AS SHOWN		1/130
	HOED	MOELICUS DISSELDI	SEASIDE	2 GAL CONT	AS SHOWN		1/130
	WANC	MANHATTAN BERRYWOOD DWARF	DWARF MANHATTAN BERRYWOOD	2 GAL CONT	AS SHOWN		1/130
	PRJA	PRUNUS LAUROCEARAS CITE LYONEN	ENFRAY LAUREL	2 GAL CONT	AS SHOWN		1/130
	PRJA	RIBES SANGUINELUM	RED FLOWERING QUINCY	2 GAL CONT	AS SHOWN		1/130
PRJA	SPREA JAPONICA "LITTLE PRINCESS"	LITTLE PRINCESS SPREA	2 GAL CONT	AS SHOWN		1/130	
GROUNDCOVERS	ARUN	ANTHROPOLITES USA VMS	YONKONICK	1 GAL	18" O.C.		4/130
	FRCH	FRAGARIA CHLIDGENS	CENTRAL STRAWBERRY	1 GAL	18" O.C.		4/130
	MARE	MANHATTAN BERRYWOOD	CASCADE CRISCH STRAPE	1 GAL	18" O.C.		4/130
	PRCA	WIBLYS CALYNDODIA	EXTERIOR BERRYWOOD	1 GAL	18" O.C.		4/130
WATER QUALITY PLANTS	ZIK	CAREX DOUGLASSII	GREEN SEDGE	1 GAL	12" O.C.		4/130
	ZIK	CAREX OBLONGA	RED SEDGE	1 GAL	12" O.C.		4/130
	CAWD	SCIRPUS MICROCARPUS	SMALL FRUITED BLURBUSH	1 GAL	12" O.C.		4/130
WATER QUALITY PLANTINGS	CAWD	DIANUS QUAMASH	COMMON EWING	10 BULBS	ELLIPSES OF 1-8" PLANT AS DIRECTED BY OWNERS REP		4/130
	CAFE	CAREX TESSIERA	NEW ZEALAND ORANGE SEDGE	1 GAL	18" O.C.		4/130
CAFE	JUNCUS PATENS ERM BLUE	ERM BLUE PUSH	1 GAL	AS SHOWN		4/130	

1" = 20'-0" 0 20 40 60



BULL BLISSON WEEKS
ARCHITECTS
1115 W. OAK ST. SUITE 200
PORTLAND, OREGON 97202
PHONE 503.228.1122
FAX 503.228.4899

CEDAROAK PARK PRIMARY - PARKING LOT
WEST LINN WILSONVILLE SCHOOL DISTRICT
22200 SW STAFFORD RD WEST LINN OREGON 97088
T 503.653.1002

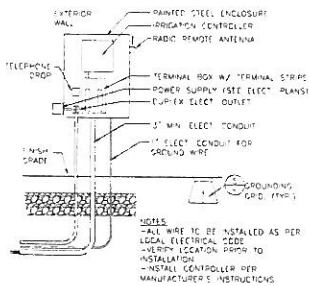
Planning
Urban Design
Landscape Architecture
WALKER-MACY
1115 W. OAK ST. SUITE 200
PORTLAND, OREGON 97202
PHONE 503.228.1122
FAX 503.228.4899



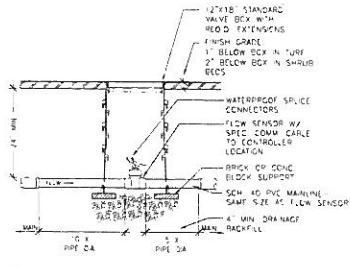
DATE: 11/12/2009
DRAWN BY: J. BROWN
CHECKED BY: J. BROWN
DATE: 11/12/2009

PROJECT # 38003
PLANTING PLAN

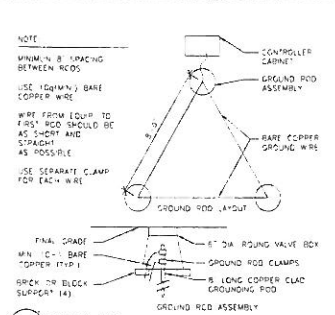
L1.0



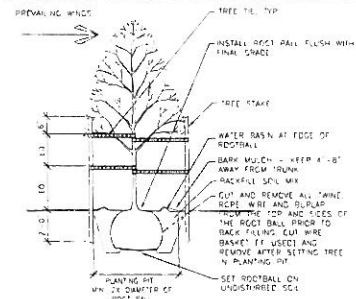
13 IRRIGATION CONTROL PANEL
SCALE 1/2" = 1'-0"



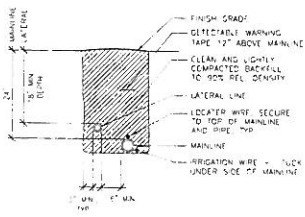
9 FLOW SENSOR
SCALE 1/2" = 1'-0"



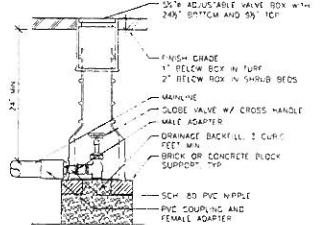
5 GROUND ROD
SCALE 1/2" = 1'-0"



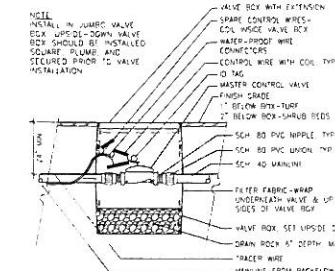
1 DECIDUOUS TREE PLANTING
SCALE 1/2" = 1'-0"



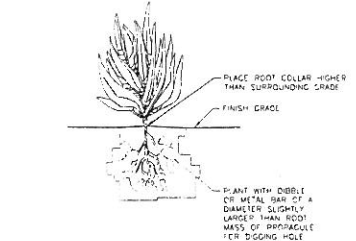
14 PIPE TRENCH
SCALE 1/2" = 1'-0"



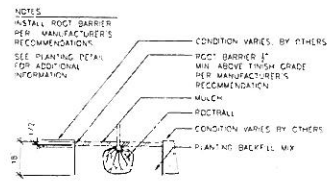
10 DRAIN VALVE
SCALE 1/2" = 1'-0"



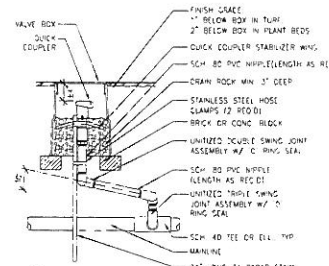
6 MASTER VALVE
SCALE 1/2" = 1'-0"



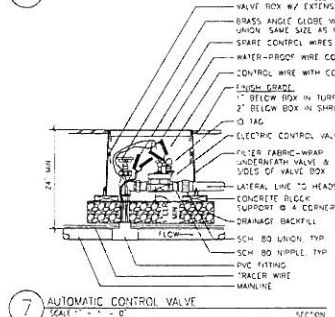
2 PALM PLANTING
SCALE 1/2" = 1'-0"



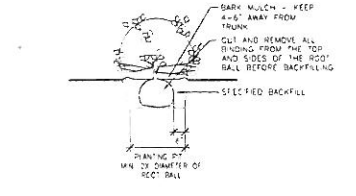
15 ROOT BARRIER
SCALE 1/2" = 1'-0"



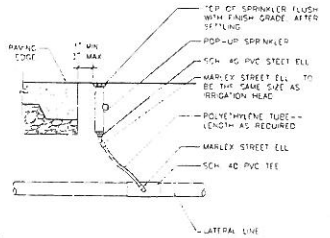
11 QUICK COUPLER
SCALE 1/2" = 1'-0"



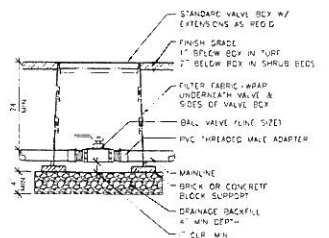
7 AUTOMATIC CONTROL VALVE
SCALE 1/2" = 1'-0"



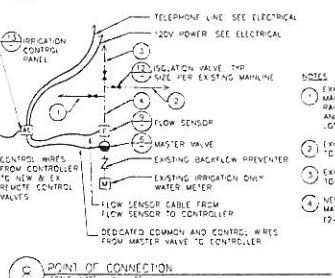
3 SHRUB PLANTING
SCALE 1/2" = 1'-0"



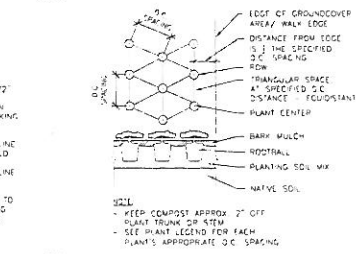
16 SPRAY HEAD
SCALE 1/2" = 1'-0"



12 SOLENOID VALVE
SCALE 1/2" = 1'-0"



8 POINT OF CONNECTION
SCALE 1/2" = 1'-0"



4 GROUNDCOVER SPACING
SCALE 1/2" = 1'-0"



CEDAR OAK PARK PRIMARY - PARKING LOT
WEST LINN WILSONVILLE SCHOOL DISTRICT
2270 SW STAFFORD RD WEST LINN OREGON 97068
1 (503) 673 7622

Planning:
Chris Depp
Landscape Architect
WALKER-MACY
117 SW Oak Street
Portland, Oregon 97204
Phone 503.251.4222
Fax 503.251.8818

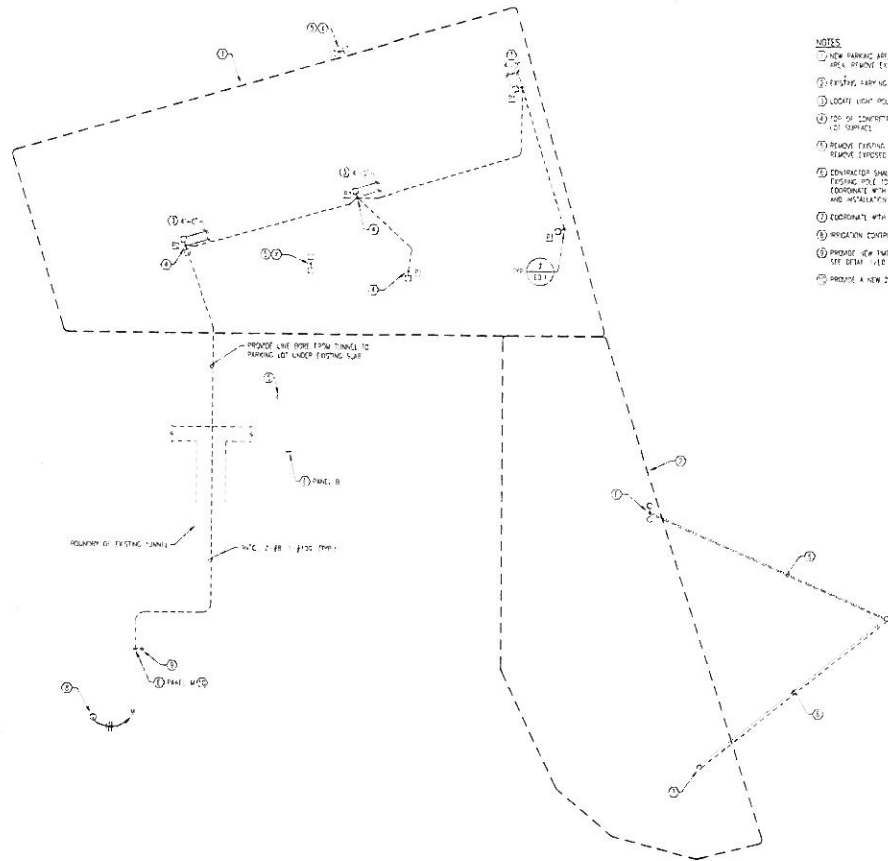


Project:	Cedar Oak Park
Location:	Wilsonville, Oregon
Date:	July 12, 2005
Drawn by:	W.M.
Checked by:	W.M.
Scale:	As Shown

Drawn # 122003

LANDSCAPE DETAILS

L3.0



- NOTES**
1. NEW PARKING AREA REFER TO CIV. PLANS FOR DEMO OF OLD PARKING AREA & DEMO EXISTING LUMINAIRE
 2. EXISTING PARKING AREA, EXISTING LIGHTING TO REMAIN
 3. LOCATE LIGHT POLE A MINIMUM OF 4'-0" FROM CURB STOP
 4. TOP OF CONCRETE POLE BASE SHALL BE AT SAME ELEVATION AS PARKING LOT FINISH
 5. REMOVE EXISTING LUMINAIRE, TRIM AND CONDUIT BACK TO PANEL, & REMOVE EXPOSED CONDUIT ON BUILDING
 6. CONTRACTOR SHALL PROVIDE UNDERGROUND RAILWAY ACROSS STREET TO EXISTING POLE TO RE-ROUTE OVERHEAD LINE TO UNDERGROUND SERVICE COORDINATE WITH SETTING ELECTRICAL WITH CONDUIT, POLE, REPAIRS AND INSTALLATION OF CONDUITS
 7. COORDINATE WITH SERVICE UTILITY FOR REMOVAL OF UNUSED POLE
 8. WIRELESS CONTROLLER, PROVIDE 120VAC AND DEDICATED PNEUM LINE
 9. PROVIDE NEW SWITCHLOCK IN BOILER ROOM AND LOCATE TO CELL ON ROOF SEE OTHER SHEET FOR ADDITIONAL INFORMATION
 10. PROVIDE A NEW DOUBLE AND ZEROED CIRCUIT BREAKER IN EXISTING PANEL

SITE LIGHTING PLAN
 112 SCALE: 1" = 20'-0"



BULL GLOBE WEEKLY

CEDAR OAK PARK PRIMARY - PARKING LOT
WEST LINN WILSONVILLE SCHOOL DISTRICT
 2220 SW STAFFORD RD WEST LINN OREGON 97136
 11/20/09 09:04



phase construction
documents
date May 12, 2009
revisions

project # | 09003
 SITE LIGHTING
E1.0