



STAFF REPORT FOR THE HISTORIC REVIEW BOARD

FILE NUMBER: HDR-26-01

HEARING DATE: August 6, 2026

REQUEST: Class II Historic Design Review to add approximately 924 square feet to an existing “Not in Period” single-family residence to in the Willamette Historic District.

**APPROVAL
CRITERIA:** West Linn Community Development Code

- Chapter 25 Overlay Zones – Historic District
- Chapter 99 Procedures for Decision Making: Quasi-Judicial

**STAFF REPORT
PREPARED BY:** Aaron Gudelj, Associate Planner

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GENERAL INFORMATION

APPLICANT/

OWNER: Whitney and Nick Harvick
1819 4th Avenue
West Linn, OR 97068

CONSULTANT: Keith Abel

SITE LOCATION: 1819 4th Avenue

TAXLOT #: 31E02BD02700

SITE SIZE: 20,400 square feet

ZONING: R-10 Residential

COMP PLAN

DESIGNATION: Medium Density Residential

APPROVAL

CRITERIA: Community Development Code (CDC)
Chapter 25: Overlay Zones – Historic District
Chapter 99: Procedures for Decision Making: Quasi-Judicial.

120-DAY PERIOD: This application became complete on July 21, 2026. The 120-day maximum application processing period ends on November 18, 2026.

PUBLIC NOTICE: Public notice was mailed to property owners within 500 feet of the subject property, the State Historic Preservation Office, and the Willamette Neighborhood Association on July 29, 2026. The property was posted with a sign on August 8, 2026. The notice was posted on the City's website on July 29, 2026. Therefore, public notice requirements of CDC 99 have been met.

EXECUTIVE SUMMARY

The applicant has requested approval for a 924 sq. ft. addition to an existing “Not in Period” single family residence within the Willamette Historic District.

The subject corner lot is zoned R-10 Residential and contains a single-family residence and an accessory shed on the southeast portion of the lot.

BACKGROUND AND CONTEXT

The single-family residence was originally built in 1986.

The City approved the Historic Design Review on November 24, 1989 (DR-89-37; Exhibit PD-3) for construction of a sun deck.

Additional City records show the original building permit from 1986 for the construction of the home and permits from 1989 (Building Permit; Sun Deck), 1998 (Mechanical & Plumbing Permit), and 2017 (Plumbing & Mechanical Permit; Water Heater). These permits are included as exhibits to this report (Exhibit PD-3).

Public comments. As of the publication of this staff report, staff have not received any comments from the public.

RECOMMENDATION

Staff respectfully recommends the Historic Review Board **approve** HDR-26-01 based on 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. These findings and conditions demonstrate compliance with the applicable approval criteria.

RECOMMENDED CONDITIONS OF APPROVAL:

General:

- 1. The applicant shall construct the project in substantial conformance with the submitted application materials, except as modified by the conditions in Exhibit HRB-1.**

ADDENDUM **APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS** **HDR-26-01**

Chapter 11; RESIDENTIAL, R-10

11.030 PERMITTED USES

The following are uses permitted outright in this zoning district:

1. Single-family attached or detached residential unit.

.....

Staff Finding 1: The subject lot is zoned R-10, Residential, and the applicant proposes to enlarge the existing single-family residence. The criterion is met.

CHAPTER 25, HISTORIC RESOURCES

25.020 USE OF THIS CHAPTER

A. Applicability. This chapter shall apply to all properties designated as historic resources as shown on the City's zoning map and properties listed on the National Register. Specific sections apply as noted in subsections B and C of this section.

Staff Finding 2: The subject property is within the Willamette Historic District as shown on the City's zoning map. The criterion is met by submittal of this application.

C. Applicability of historic design standards. Development subject to this chapter must comply with applicable Historic Design Review standards unless otherwise approved through the modifications process under CDC [25.080](#). The "X" in the following chart indicates which standards are applicable to different types of development.

STANDARDS APPLICABILITY MATRIX						
SECTION	PROPOSED ACTIVITY	ADDITIONS AND ALTERATION S	ADDITIONS AND ALTERATION S	NEW CONSTRUCTIO N	ACCESSORY STRUCTURE S	ACCESSORY STRUCTURE S
	LOCATION	HISTORIC LANDMARK	HISTORIC DISTRICT	HISTORIC DISTRICT	HISTORIC LANDMARK	HISTORIC DISTRICT
25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES	A. STANDARDS FOR ALTERATIONS AND ADDITIONS	X	X	X	X	X
	B. STANDARDS FOR				X	X

STANDARDS APPLICABILITY MATRIX						
SECTION	PROPOSED ACTIVITY	ADDITIONS AND ALTERATIONS	ADDITIONS AND ALTERATIONS	NEW CONSTRUCTION	ACCESSORY STRUCTURES	ACCESSORY STRUCTURES
	LOCATION	HISTORIC LANDMARK	HISTORIC DISTRICT	HISTORIC DISTRICT	HISTORIC LANDMARK	HISTORIC DISTRICT
	ACCESSORY STRUCTURES					
<u>25.070</u> ADDITIONAL DESIGN STANDARDS APPLICABLE TO HISTORIC DISTRICTS	A. STANDARDS FOR ALTERATIONS AND ADDITIONS		X			X
	B. STANDARDS FOR NEW CONSTRUCTION			X		X
	C. WILLAMETTE HISTORIC DISTRICT GENERAL STANDARDS		X	X		X

Staff Finding 3: The subject project is an expansion of an existing single-family residence. The project is subject to the Design Standards of Chapter 25.060. Findings for the project as it applies to Chapter 25.060, and addressing applicable criteria, are found later in this report, Findings 6 through Findings 22.

25.030 PERMITTED USES

Unless otherwise provided for in this chapter, uses permitted by the base zoning district that are in accordance with the CDC are allowed on sites containing historic resources.

Staff Finding 4: The existing property is in the R-10 Residential zone and contains a single-family residence. The criterion is met.

25.040 HISTORIC DESIGN REVIEW PROCESSES

Proposed changes to historic resources that are not exempted by subsection A of this section...are subject to subsection B of this section, Class I historic design review, or subsection C of this section,

Class II historic design review...The processes for conducting Class I and Class II historic design review are in Chapter 99 CDC.

.....

A. Exemptions from Historic Design Review. The following are exempt from Historic Design Review:

1. Ordinary maintenance. Ordinary maintenance or repair including a change of facade colors, unless the color is specifically listed in the historic resource inventory, historic resource nomination, or National Register nomination as an attribute that contributes to the resource's historic significance.

.....

C. Class II Historic Design Review. All proposed new construction, alterations, and additions, not identified as exempt under subsection A of this section, or subject to Class I Historic Design Review under subsection B of this section, are subject to Class II Historic Design Review and must meet the applicable approval standards. (Ord. 1614 § 6, 2013; Ord. 1735 § 3 (Exh. B), 2022)

Staff Finding 5: The proposed addition of approximately 924 square feet to an existing single-family residence requires a Class II Historic Design Review. The criteria are met.

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original exterior construction and overall structural integrity. The original exterior construction and structural integrity shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, windows and doors including their related functional and decorative features, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

Staff Finding 6: The existing single-family residence was built in 1986 and is classified as "Not in Period" within the Willamette Historic District and does not contain any historic elements. The applicant states that the renovations will retain the original exterior construction and the new elements will be constructed with matching exterior siding, roof shingles, and windows. The criteria are met.

2. Retention of exterior historic material. Removal or alteration of historic exterior materials and features shall be avoided during the construction of new additions or alterations. Deteriorated materials and architectural features shall be repaired rather than replaced, unless the material is beyond repair. In the event replacement of an existing feature is necessary, new materials shall match those of the original building in terms of composition, design, color, texture, and other visual features.

Staff Finding 7: The existing single-family residence was built in 1986 and is classified as “Not in Period” within the Willamette Historic District and does not contain any historic elements. The applicant states that the renovations will maintain the aesthetics of the existing structure through matching exterior siding, roof shingles, and windows used as part of the renovation. The criteria are met.

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

Staff Finding 8: The existing single-family residence was built in 1986 and is classified as “Not in Period” within the Willamette Historic District. The applicant states that the renovations will maintain the time period consistency of the existing structure through matching exterior siding, roof shingles, and windows used as part of the renovation. The criteria are met

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

Staff Finding 9: The existing single-family residence was built in 1986 and does not contain historic elements. The single-family home has not acquired a historic significance on its own since it was constructed in 1986. The criterion does not apply

5. Differentiate old from new. Alterations, additions, and related new construction shall be differentiated from the original buildings to avoid creating a false sense of history, and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property. Additions and alterations shall be done in accordance with the Secretary of the Interior’s Standards for new exterior additions to historic buildings.

Staff Finding 10: The existing single-family home was built in 1986. The proposed renovations will match the existing exterior of the building through installation of matching siding, roofing, and windows. A false sense of history will not be created. The criterion is met.

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

Staff Finding 11: If completed, the proposed addition could be discontinued, and the essential form and integrity of the property could be re-instated. The criterion is met.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

Staff Finding 12: The proposed 984 square foot addition is at the rear of the building and is substantially smaller than the entire 2,100 square foot home. The proposed addition will be setback from the original front of the house by 15 feet and lower in height by 21 inches compared to the original home. Windows and doors will match the existing structure. The criteria are met.

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

Staff Finding 13: The proposed addition will be 21 inches lower in height compared to the existing structure and roof pitch will be maintained. The criterion is met.

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

Staff Finding 14: The applicant proposes to match the new roof shingles with the existing shingle roofing. The criterion is met.

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding must be with building materials consistent with the original construction.

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

Staff Finding 15: The applicant proposes to incorporate matching siding and exterior walls on the new building elements. The criteria are met.

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, half-round or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

Staff Finding 16: The proposed addition will not include any replacement of existing gutters and downspouts. New gutters and downspouts will match the existing gutters and downspouts. The criterion is met.

13. New windows. New windows shall be located on rear or secondary facades, unless required for a new use. New windows shall match the appearance and size of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with the original historic appearance and material, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. Replacement of existing windows shall meet standards for window replacement.

14. Storm windows.

.....

15. *Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance and material, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color, method of operation and related features, such as shutters.*

Staff Finding 17: The applicant states that new windows be consistent with the existing windows size, style, appearance, color and will include wood frames and sashes to match the existing windows. The new windows will be consistent with the profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins of the existing windows. No storm windows are proposed, and no replacement windows are proposed. The criteria are met.

16. *Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.*

Staff Finding 18: The applicant proposes installing fiberglass doors consistent with the existing doors. The criteria are met.

17. *Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:*

- a. Maintain the shape, width, and spacing of the original columns; and*
- b. Maintain the height, detail, and spacing of the original balustrade.*

Staff Finding 19: The existing front porch will not be enclosed or enlarged during the proposed construction. No alterations to the existing front porch are proposed. The criteria are met.

18. *Decks. Decks shall be located in the rear yard or the portion of the side yard behind the front 50 percent of the primary structure.*

Staff Finding 20: The applicant proposes to enlarge the existing rear deck by 224 square feet. The proposed deck enlargement is located behind the front 50% of the home. The criterion is met.

19. *Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:*

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or*
- b. It is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter 27 CDC).*

Staff Finding 21: The foundation of the existing home will not be repaired, and the proposed addition will not result in raising or lowering of the building. The criteria are met.

20. *Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.*

Staff Finding 22: The proposed addition does not include and exterior lighting. The criterion does not apply.

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:

a. Similar in scale and mass to adjacent properties, and constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

Staff Finding 23: The existing single-family home is classified as “Not in Period”. The proposed addition will be similar in scale and mass to the adjacent properties. The proposed addition will be constructed to maintain the privacy of the adjacent properties through window placement and landscaping and will maintain the style of the existing building through matching siding, roof shingles, and windows. The criteria are met.

B. Standards for new construction. The standards in this section apply only to new construction, including new accessory structures, in a historic district. The standards for new construction do not apply to alterations and additions to existing structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

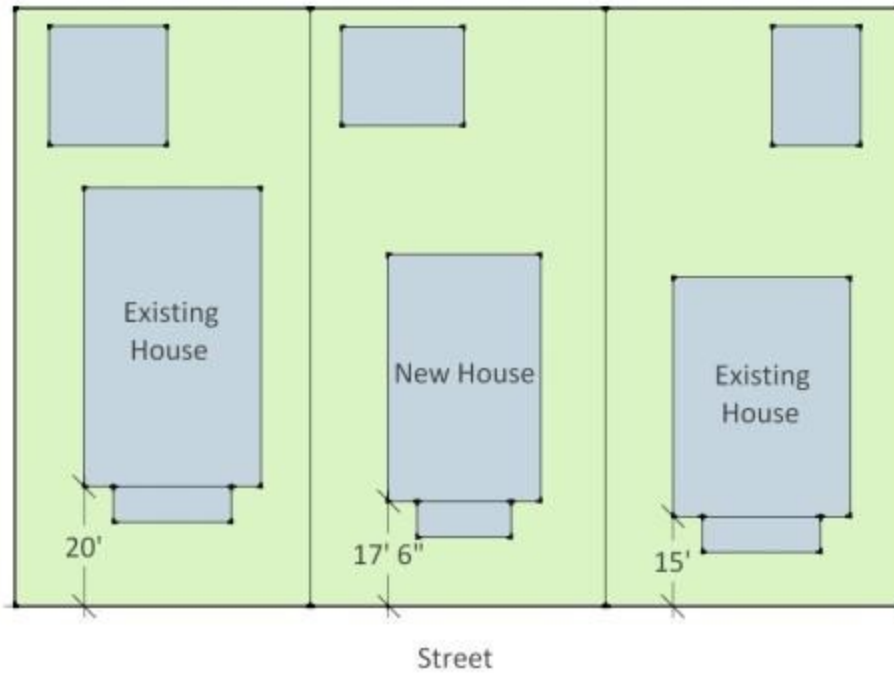
Staff Finding 24: The proposed project is not classified as new construction. The criterion does not apply.

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.



1.

2. **Figure 4: Front Yard Setback**

Staff Finding 25: The existing front yard setback will not be altered as part of the proposed addition. The criteria are met.

3. *Side yard setback. Side yard setbacks shall be five feet, except:*

- a. *Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and*
- b. *One-story accessory structures may be sited within three feet of the side property line and two-story accessory structures shall be a minimum of 15 feet from the side property line.*

4. *Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:*

- a. *Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and*
- b. *One- and two-story accessory structures may be sited within five feet of the side street property line.*

4. *Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.*

Staff Finding 26: The proposed project complies with the 15-foot side yard setback from 13th Street, and the 20-foot rear yard setback. No accessory structures are proposed. The criteria are met.

5. *Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.*

6. *Repealed by Ord. 1675.*

Staff Finding 27: The proposed project will maintain the existing orientation of the building. The criteria are met.

7. *Building height.*

a. *Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.*

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Staff Finding 28: The existing building is 27'-6" tall and the proposed addition will be 25'-6" tall. The criterion is met.

8. *Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.*

Staff Finding 29: The proposed addition is 23' wide and 25'-6" tall. The criterion is met.

9. *Roof pitch. Roofs shall have a pitch of at least 6:12.*

10. *Garage access and parking areas.*

a. *Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.*

b. *Parking areas.*

1) *No residential lot shall be converted solely to parking use.*

2) *No rear yard area shall be converted solely to parking use.*

3) *When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014; Ord. 1675 § 33, 2018; Ord. 1735 § 3 (Exh. B), 2022)*

Staff Finding 30: The existing roof pitch will not be altered, and the proposed roof addition will have a roof pitch of 6:12. No parking areas are proposed, and no garages access will be altered. The criteria are met.

Chapter 99

PROCEDURES FOR DECISION MAKING: QUASI-JUDICIAL

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99.030 APPLICATION PROCESS: WHO MAY APPLY, PRE-APPLICATION CONFERENCE, REQUIREMENTS, REFUSAL OF APPLICATION, FEES

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B. *Pre-application conferences.*

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f. *Historic Design Review (Class II);*

Staff Finding 31: The application held a pre-application conference with City Staff on May 7th, 2025 (Attachment PD-4). The criterion is met.

99.060 APPROVAL AUTHORITY

D. Historic Review Board authority. The Historic Review Board shall review an application for compliance with Chapters 25 and 58 CDC, as applicable. The Historic Review Board shall have the authority to:

- 1. Approve, deny, or approve with conditions an application regarding the following:*
 - a. Class II Historic Design Review;*

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Staff Finding 32: The application is being presented to the Historic Review Board at its August 18, 2026 meeting. The criterion is met.

99.080 NOTICE

Notice shall be given in the following ways:

- A. Class A Notice. Notice of proposed....*

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B. Class B Notice. Notice of a proposed action on a development application pursuant to CDC 99.060 shall be given by the Director in the following manner:

- 1. At least 14 days prior to the decision date, a notice shall be sent by mail to:*
 - a. The applicant or their agent;*
 - b. The affected recognized neighborhood association or citizens advisory committee; and*
 - c. All property owners of record within 300 feet of the site perimeter;*
- 2. At least 10 days prior to the earliest date that the approval authority can take action on the application, the applicant shall place a sign, provided by the Community Development Department, on the subject property in plain view. The sign shall state, "This property is the subject of a land use decision," with the type of use or request indicated.*
- 3. The Director shall cause an affidavit of mailing of notice and posting of notice to be filed and made part of the administrative record.*
- 4. At the conclusion of the land use action the signs shall be removed.*

Staff Finding 38: The applicant's proposal has been properly noticed per Exhibit PD-5. Public notice was mailed to the Willamette Neighborhood Association and affected property owners within 300 feet of the site on July 29, 2026. The notice criteria of CDC Chapter 99 have been met.

PD-1 – APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT Aaron Gudelj	PROJECT NO(S). HDR-26-01	PRE-APPLICATION NO. PA-26-06
NON-REFUNDABLE FEE(S) \$100	REFUNDABLE DEPOSIT(S)	TOTAL \$100

Type of Review (Please check all that apply):

- | | | |
|---|--|--|
| ☐ Annexation (ANX) | ☐ Final Plat (FP) Related File # _____ | ☐ Subdivision (SUB) |
| ☐ Appeal (AP) | ☐ Flood Management Area (FMA) | ☐ Temporary Uses (MISC) |
| ☐ CDC Amendment (CDC) | ☐ Historic Review (HDR) | ☐ Time Extension (EXT) |
| ☐ Code Interpretation (MISC) | ☐ Lot Line Adjustment (LLA) | ☐ Right of Way Vacation (VAC) |
| ☐ Conditional Use (CUP) | ☐ Minor Partition (MIP) | ☐ Variance (VAR) |
| ☐ Design Review (DR) | ☐ Modification of Approval (MOD) | ☐ Water Resource Area Protection/Single Lot (WAP) |
| ☐ Tree Easement Vacation (MISC) | ☐ Non-Conforming Lots, Uses & Structures | ☐ Water Resource Area Protection/Wetland (WAP) |
| ☐ Expediated Land Division (ELD) | ☐ Planned Unit Development (PUD) | ☐ Willamette & Tualatin River Greenway (WRG) |
| ☐ Extension of Approval (EXT) | ☐ Street Vacation | ☐ Zone Change (ZC) |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address:

Assessor's Map No.:

Tax Lot(s):

Total Land Area:

Brief Description of Proposal:

Applicant Name*:

Address:

City State Zip:

Phone:

Email:

Owner Name (required):

Address:

City State Zip:

Phone:

Email:

Consultant Name:

Address:

City State Zip:

Phone:

Email:

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all application costs.**
2. All information provided with the application is considered a public record and subject to disclosure.
3. The owner/applicant or their representative should attend all public hearings related to the application.
4. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
5. Submit this form, application narrative, and all supporting documents as a single PDF through the web page: <https://westlinnoregon.gov/planning/submit-land-use-application>.

The undersigned property owner authorizes the application and grants city staff the right of entry onto the property to review the application. The applicant and owner affirm that the information provided in this application is true and correct. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

Whitney Harwick

Applicant's signature

Date

Whitney Harwick

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Owner's signature (required)

Historic Review Board Date

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resource eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original exterior construction and overall structural integrity. The original exterior construction and structural integrity shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, windows and doors including their related functional and decorative features, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance. **With this addition, we will be using the same products and stylistic features (i.e. cedar siding and decorative shingles) as the existing original exterior construction. We have included photos and examples of the exterior below.**





Existing Siding

2. Retention of exterior historic material. Removal or alteration of historic exterior materials and features shall be avoided during the construction of new additions or alterations. Deteriorated materials and architectural features shall be repaired rather than replaced, unless the material is beyond repair. In the event replacement of an existing feature is necessary, new materials shall match those of the original building in terms of composition, design, color, texture, and other visual features. **This does not apply to our proposed addition as our home is not in period and is a non-historic, non-compatible building and therefore does not have any exterior historical materials.**

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed. **Although our house was built in 1986 and is not in period and is a non-historic, non-compatible building, we are maintaining time period consistency to match our existing home.**

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved. **This does not apply to our proposed addition as our home is not in period and is a non-historic, non-compatible building and therefore has not acquired historic significance.**

5. Differentiate old from new. Alterations, additions, and related new construction shall be differentiated from the original buildings to avoid creating a false sense of history, and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property. Additions and alterations shall be done in accordance with the Secretary of the Interior's Standards for new exterior additions to historic buildings. **The proposed addition will be set back approximately 15 feet from the original, existing front of house and will be 21 inches lower than the original, existing roofline, providing a clear differentiation from the original building. Additionally, the existing building is not in period and is a non-historic, noncompatible, and by matching the existing structural design there is not an opportunity to create a false sense of history.**

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired. **Our addition will be constructed so that, if removed, our property would be unimpaired. However, our existing home is not in period and is a non-historic, non-compatible building, therefore there is no historic integrity to maintain.**

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply. **The proposed addition will be set back approximately 15 feet from the original, existing front of house. The new front elevation meets the requirements, sitting 21 inches lower than the original building. Window and door openings will be consistent with those of the existing building.**





8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained. Although our home is not in period and is a non-historic, non-compatible building, the building height and the roof pitch will be maintained, 12-6, as shown below.



9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

We will be replacing the existing roof with architectural composition shingles, the same materials as the existing building, as shown below.

Roofing: Biltmore AR Architectural Singles



Color: Charcoal Grey



Existing Roof

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding must be with building materials consistent with the original construction.

The proposed addition will not include any replacement of the existing finish materials on the walls and siding. The exterior siding of the addition will match the existing siding of the original building. We will use cedar bevel siding, smooth, ½"x4", plain bevel smooth. It will be painted to match the house, Benjamin Moore Whale Gray.



4" cedar beveled smooth.



Existing Siding

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted. **The exterior siding of the addition will match the existing texture, finish and style of the era of the original building. We will use cedar bevel siding, smooth, ½"x4", plain bevel smooth. It will be painted to match the house, Benjamin Moore Whale Gray.**

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, half-round or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

The proposed addition will not include any replacement of existing gutters and downspouts. New metal gutters and downspouts will match existing rectangular gutters and downspouts. See below existing house gutter and downspout.



13. New windows. New windows shall be located on rear or secondary facades, unless required for a new use. New windows shall match the appearance and size of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with the original historic appearance and material, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. Replacement of existing windows shall meet standards for window replacement. **New windows will be located on the rear or secondary facades. Size, style, appearance and color will be consistent with the windows on the existing building, using wood window frames and sashes. Appearance and materials, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins will remain consistent with the existing building. We will not be replacing any existing windows.**

Windows: JELD-WEN vinyl single hung



Premium Atlantic™ Vinyl
Single-Hung

14. Storm windows. Storm windows shall be made of painted wood, a material with a baked enamel finish, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building. **This does not apply to our proposed addition as no storm windows will be included.**

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance and material, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color, method of operation and related features, such as shutters. **This does not apply to our proposed addition as we will not be replacing any existing windows.**

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance. **All doors in the proposed addition will be made of fiberglass clad materials consistent with the existing building.**

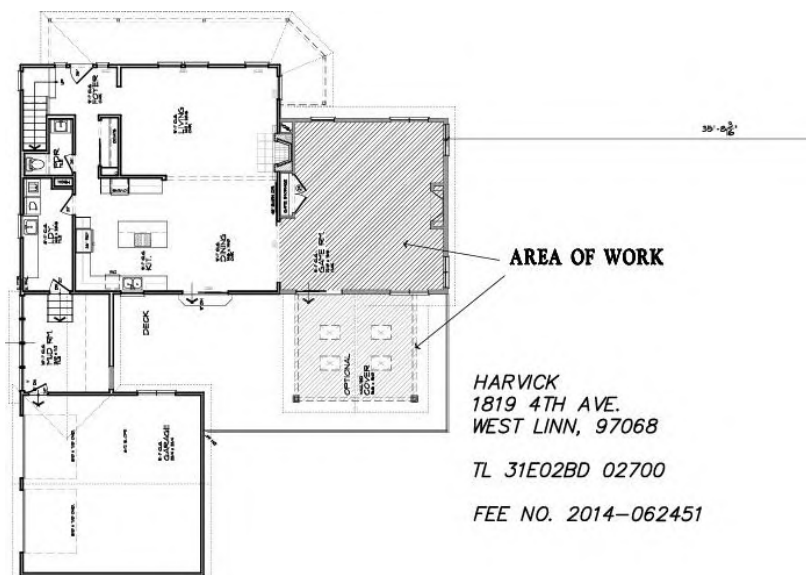
17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

- a. Maintain the shape, width, and spacing of the original columns; and
- b. Maintain the height, detail, and spacing of the original balustrade.

Our existing front porch will not be enclosed or enlarged during the proposed addition's construction. There will be no alterations to the existing front porch that faces the street.

18. Decks. Decks shall be located in the rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

Our existing deck is located in the rear yard. In the proposed addition, we will be enlarging the deck in the existing space to align with the addition, as shown below.



19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that: **This does not apply as we will not be repairing or constructing a foundation that will result in raising or lowering the building elevation.**

a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or

b. It is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter [27](#) CDC).

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted. **This does not apply as the proposed addition does not include any residential lighting.**

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC: **This does not apply as the proposed addition is not an accessory structure.**

1. All accessory structures.

a. Location.

1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC 25.070(C)(1) through (4);

2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter 34 CDC;

3) Detached accessory structures shall be in the rear yard; and

4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

b. Height. Accessory structures in the Willamette Historic District are subject to CDC 25.070(C)(7). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter 34 CDC.

2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

a. The structure is located behind the house's front building line;

b. A structure in the front yard cannot be converted to a heated accessory structure;

c. A story may be added to an existing non-contributing garage or similar accessory

structure; provided, that the final design meets the setback standards of this chapter for a two-story accessory structure (see CDC 25.070(C)(1) through (4)) for the historic district, or the setbacks in Chapter 34 CDC for a historic landmark; and

d. The conversion of an existing structure is not required to meet the design standards in CDC 34.030, but it must conform to all applicable requirements of this chapter. (Ord. 1614 § 6, 2013; Ord. 1735 § 3 (Exh. B), 2022)

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:

a. Similar in scale and mass to adjacent properties, and constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.



The proposed addition will be similar in scale and mass to adjacent properties. For reference, above is the property located across the street: 1808 4th Ave. The proposed addition will be constructed so that it maintains the privacy of the adjacent residential properties through window placement/orientation and landscaping.

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history. The proposed addition to the existing, not in period building follows all applicable standards and does not create a false sense of history.

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such

buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character. **The proposed addition to the existing, not in period, noncompatible building are consistent with all applicable standards in CDC 25.060 and 25.070 and will maintain the style of the existing building.**

B. Standards for new construction. The standards in this section apply only to new construction, including new accessory structures, in a historic district. The standards for new construction do not apply to alterations and additions to existing structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)). **This section does not apply as there is no new construction nor accessory structures in our proposed addition.**

1. New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following: **This section does not apply as there is no new construction nor accessory structures in our proposed addition.**

a. Massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.

b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.

c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.

2. Reconstruction. Reconstruction of buildings that existed within the district during the period of significance is allowed. Reconstructions shall be done in accordance with the Secretary of the Interior's Standards for Reconstruction. **This section does not apply as there is no reconstruction of existing buildings in our proposed addition.**

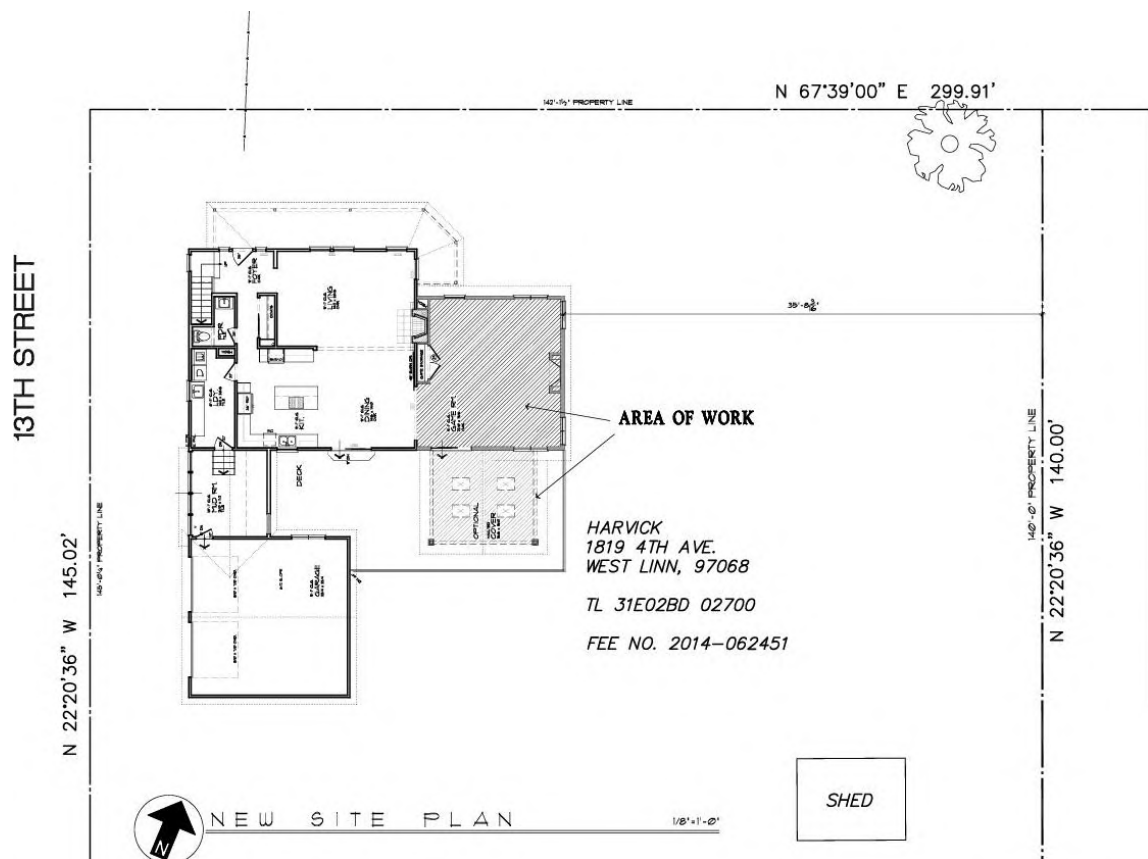
3. Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site. **This section does not apply as there are no archaeological resources on our property, and no new construction in our proposed addition.**

alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

- a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

The front yard setbacks meet requirements and will not be altered in any way with the proposed addition, as shown below.



- b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

This does not apply as the proposed addition does not include any unenclosed porches with no living space above.

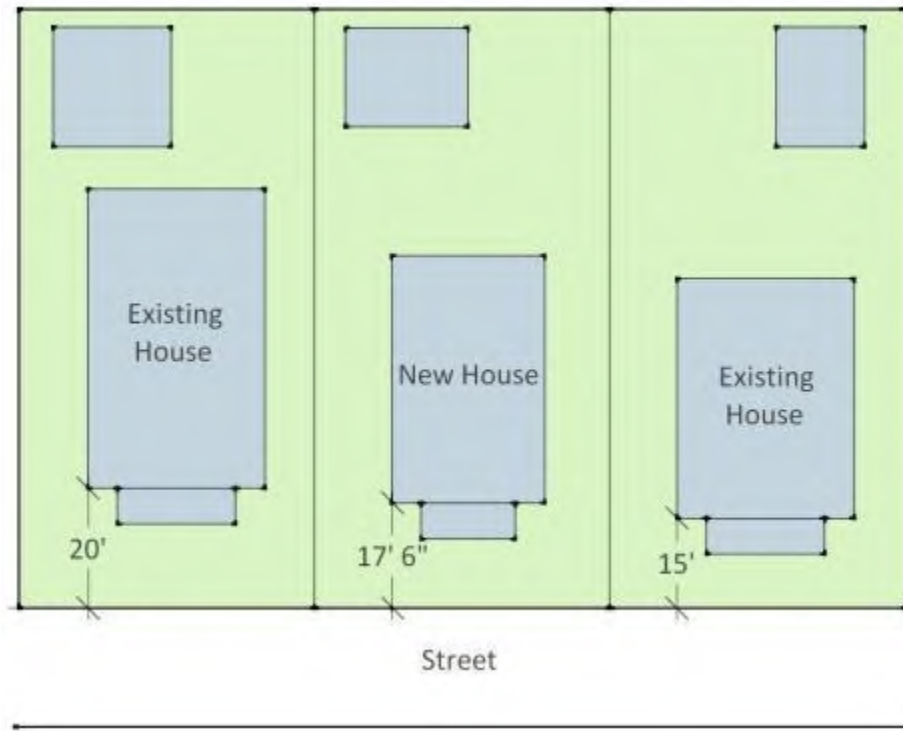


Figure 4: Front Yard Setback

2. Side yard setback. Side yard setbacks shall be five feet, except: **All side yard setbacks in the proposed addition meet or exceed the five feet requirement, including areas with bays, porches and chimneys.**

a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

b. One-story accessory structures may be sited within three feet of the side property line and two-story accessory structures shall be a minimum of 15 feet from the side property line. **The proposed addition does not include any one-story accessory structures therefore this does not apply.**

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except: **All side street setbacks in the proposed addition meet or exceed the ten feet requirement, including areas with bays, porches and chimneys.**

a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and

b. One- and two-story accessory structures may be sited within five feet of the side street property line. **The proposed addition does not include any one or two-story accessory structures therefore, this does not apply.**

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

All rear yard setbacks in the proposed addition meet or exceed the minimum requirement of 20 feet and do not include any accessory structures.

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage. The proposed addition is oriented to maintain the direction of the existing building and that of the majority of the homes on the street, as shown in the included site plan.

6. *Repealed by Ord. [1675](#).*

7. Building height. Proposed addition height = 25'-6", existing building height = 27'-6".

a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

b. *Repealed by Ord. 1735.*

c. *Repealed by Ord. 1735.*

d. Accessory structures shall not exceed the height of the primary dwelling. The proposed addition does not include any accessory structures, therefore, this does not apply in scope of work.

8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width. The proposed addition is 23' wide and 25'6" tall.

9. Roof pitch. Roofs shall have a pitch of at least 6:12. The proposed addition includes a roof pitch of 6:12.

10. Garage access and parking areas. The proposed addition does not include garage access and parking areas, therefore this does not apply.

a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available. The proposed addition does not include garage access, therefore this does not apply.

b. Parking areas. The proposed addition does not include parking areas, therefore this does not apply.

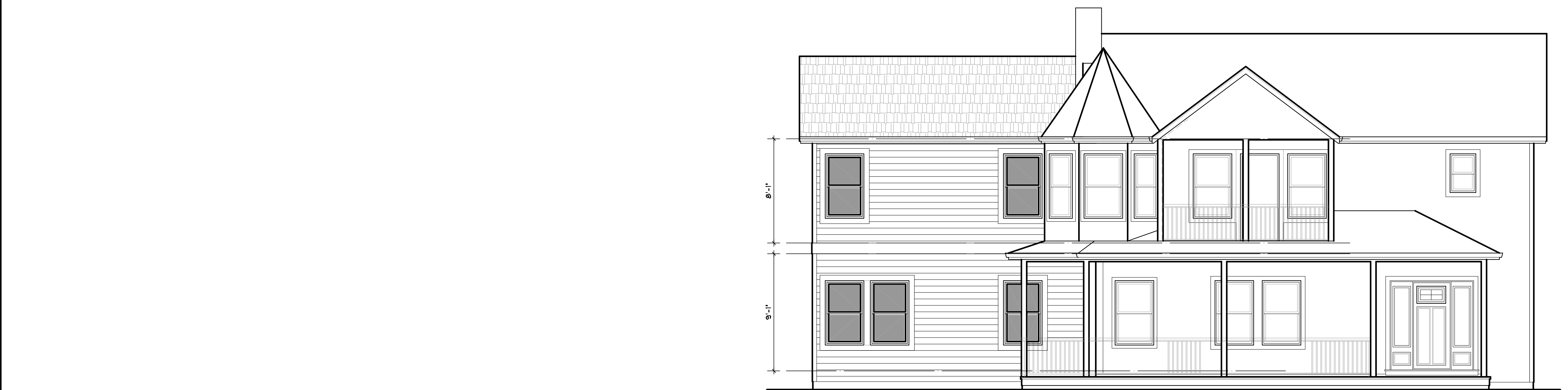
1) No residential lot shall be converted solely to parking use.

2) No rear yard area shall be converted solely to parking use.

3) When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014; Ord. 1675 § 33, 2018; Ord. 1735 § 3 (Exh. B), 2022)

This does not apply as there are no adjacent alleys to the property.





FRONT ELEVATION
"NEW"



REAR ELEVATION
"NEW"



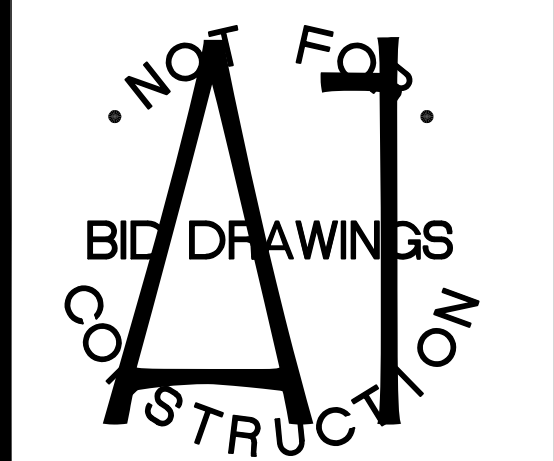
LEFT-SIDE "EAST" ELEVATION "NEW"

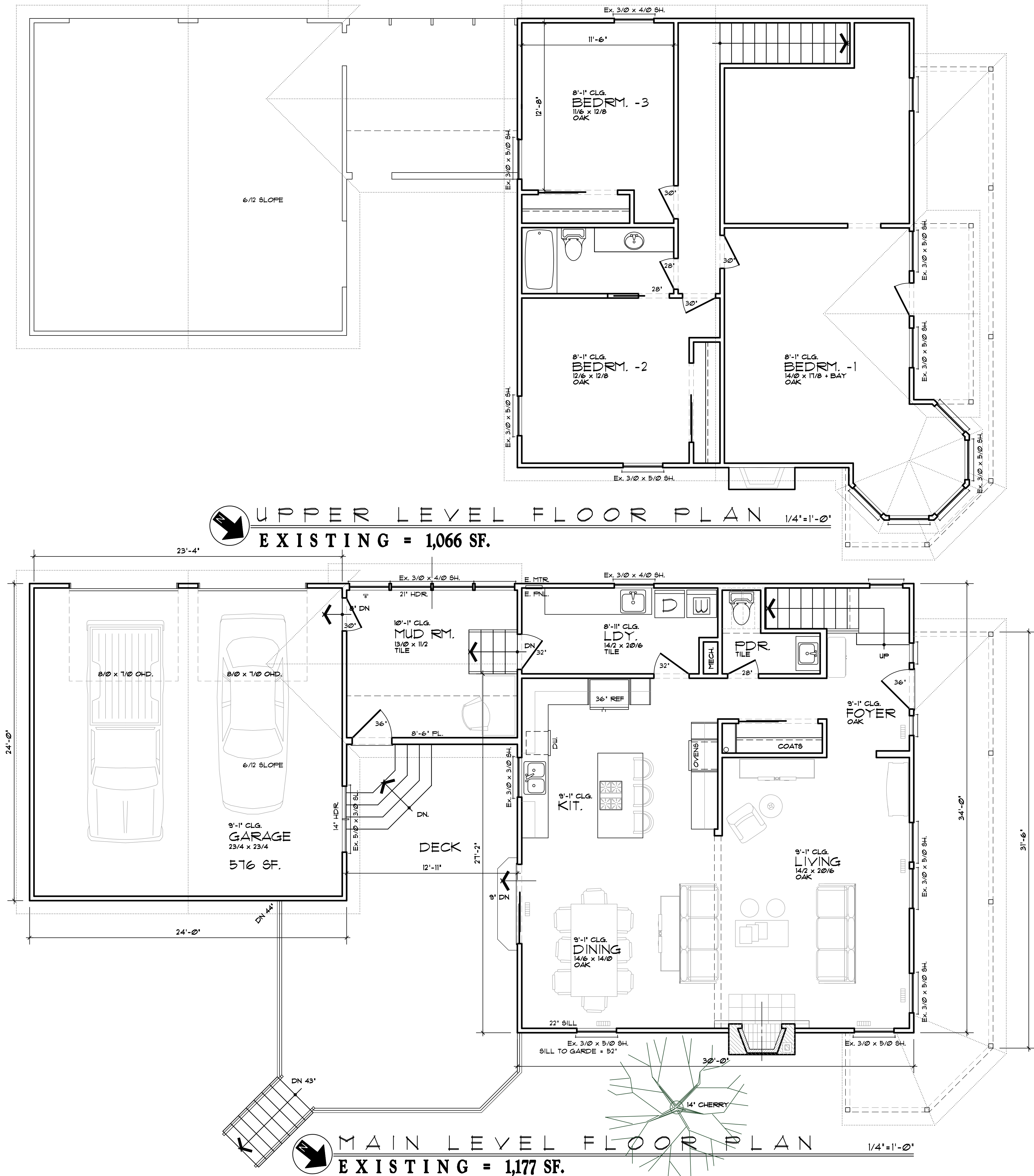
MATCH ALL EXISTING MATERIALS AND FINISHES.

18 DEC. 25	LAYOUT
18 MAR. 26	DESIGN
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EX. UPPER LEVEL LIVING	1,066 SQ. FT.
EX. MAIN LEVEL LIVING	1,177 SQ. FT.
EXISTING LIVING	2,243 SQ. FT.
UPPER ADDITION	492 SQ. FT.
MAIN ADDITION	492 SQ. FT.
TOTAL NEW ADDITION	984 SQ. FT.
NEW TOTAL LIVING	3,227 SQ. FT.
NEW COVERED DECK	224 SQ. FT.
EXISTING GARAGE	576 SQ. FT.

HARVICK ADDITION
1819 4th AVE. IN WEST LINN, OR.
DESIGNED FOR:
Nick & Whitney Harvick
(503) 449-0577

KEITH ABEL
RESIDENTIAL DESIGN LLC
5757 RIDGETOP CT. LAKE OAKWOOD, OR 97037 784-5815
keithabel@comcast.net





18 DEC. 25 LAYOUT
11 MAR. 26 DESIGN

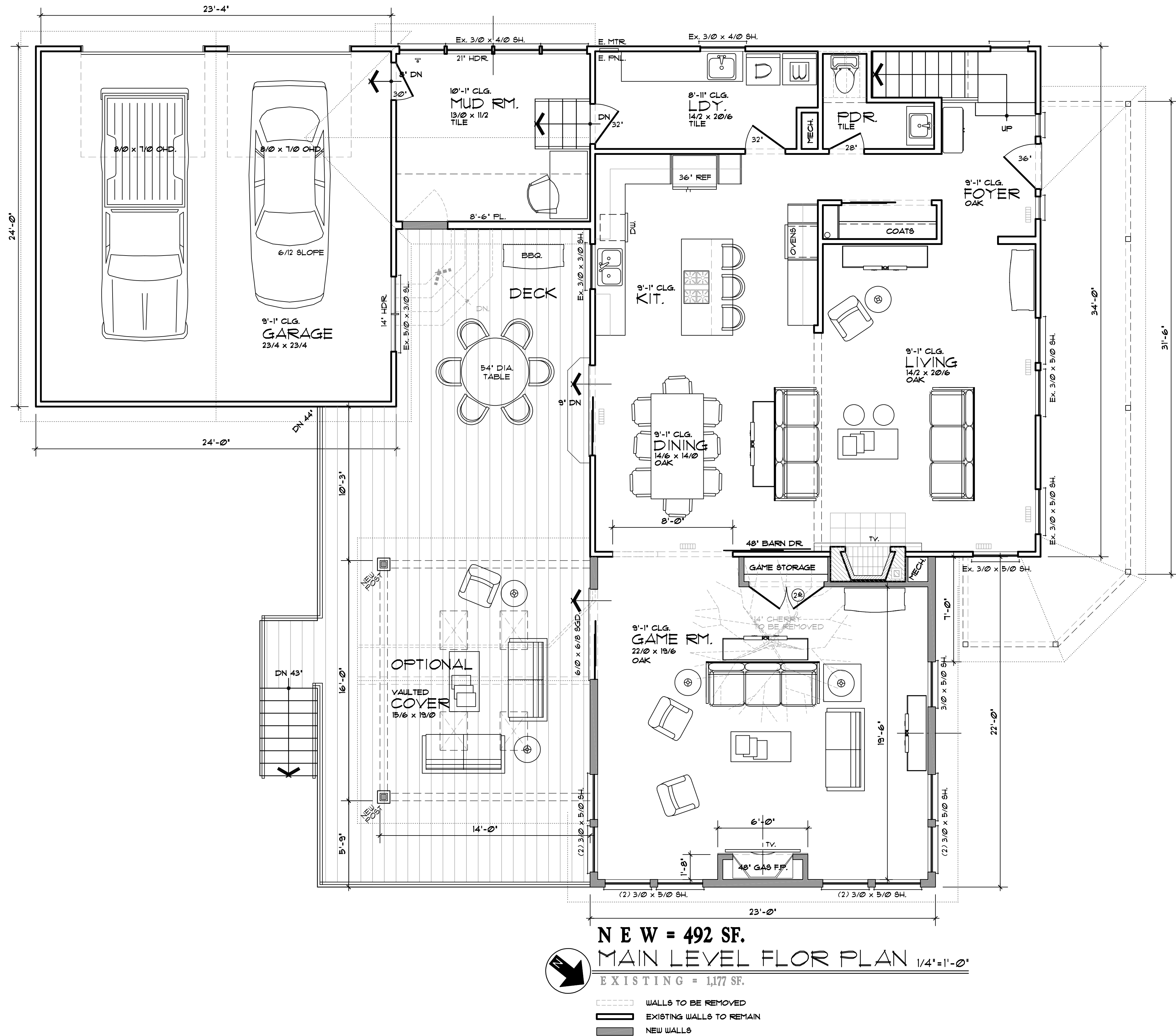
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keithabel@comcast.net





N E W = 492 SF.
MAIN LEVEL FLOOR PLAN 1/4"=1'-0"
EXISTING = 1,177 SF.

 WALLS TO BE REMOVED
 EXISTING WALLS TO REMAIN
 NEW WALLS

HARVICK ADDITION

1819 4th AVE. IN WEST LINN, OR.

Nick & Whitney Harvick

(503) 449-0577

YOUTH R ABLE

keithabel @ comcast.net
5757 RINGTOP CT
LAKE OAK, FL 32845-8155

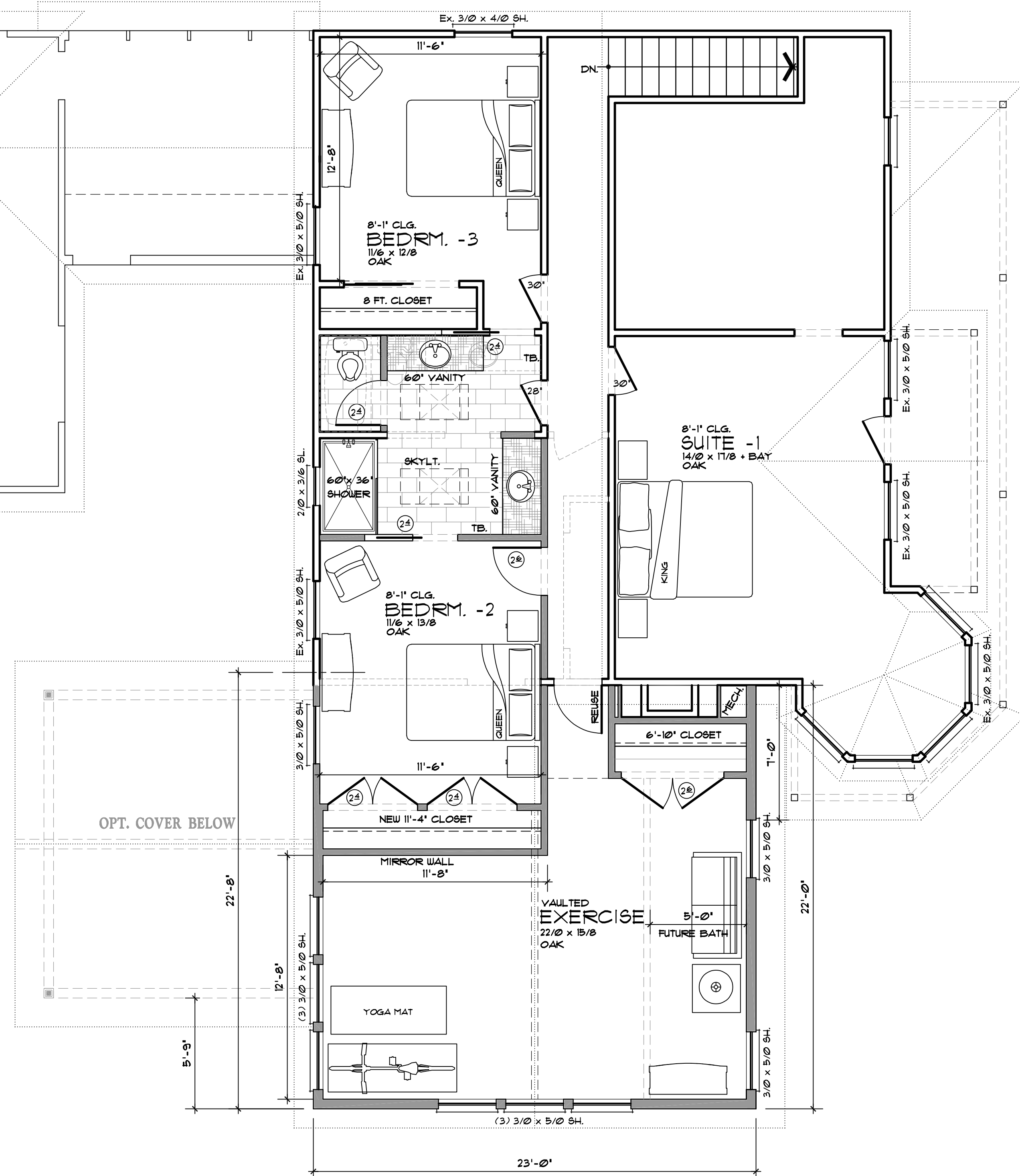
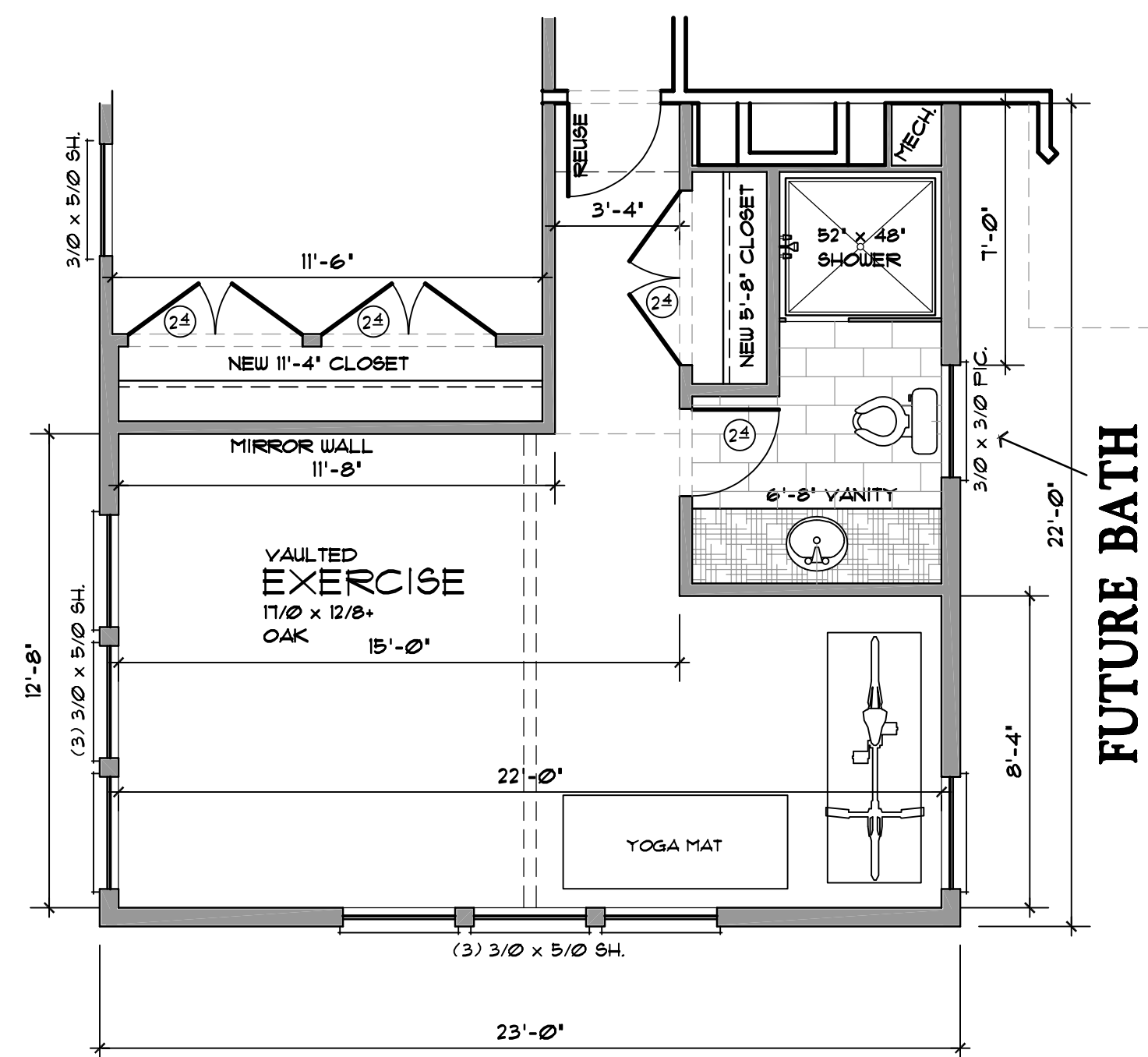
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EXISTING GARAGE 576 SQ. FT.

18 DEC. 25	LAYOUT
18 MAR 26	DESIGN

[illegible]

KEITH R ABEL
EVIDENTIAL DESIGN LLC.
5757 RINDGOLF CT. LAKE OSWEGO, OR. 97031 784-5815
keithabel@comcast.net

NOT FOR CONSTRUCTION

1819 4TH AVENUE

142'-1 1/2" PROPERTY LINE N 67°39'00" E 299.91'

10'-0" EASEMENT

20'-0" SETBACK

35'-0 3/8"

REMOVE 10' CHERRY TREE

AREA OF WORK
TWO STORY 984 SF. ADDITION

224 SF. COVERED DECK

HARVICK
1819 4TH AVE.
WEST LINN, 97068

TL 31E02BD 02700

FEE NO. 2014-062451

N 22°20'36" W 140.00'

140'-0" PROPERTY LINE

13TH STREET

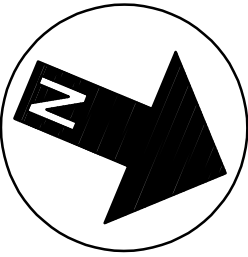
145'-0 1/4" PROPERTY LINE

N 22°20'36" W 145.02'

10'-0" EASEMENT

EX. CONC.
DRIVEWAY

15'-0" EASEMENT



NEW SITE PLAN

1/8" = 1'-0"

ZONE R-10 WITH HISTORIC OVERLAY

LOT AREA = 20,399 SF.

MAX. BUILDING HT. = 35 FT., ACTUAL EXISTING BUILD HT. = 21'-6"

MAX LOT COVERAGE = 35% = 3,230 SF., ACTUAL LOT COVERAGE = 15.8%

MAX FAR = 45% = 3,227 SF., = 15.8% FAR

SHED

20'-0" SETBACK

5.02'

S 22°07'52" E

S 67°39'00" W 42.15'

N 67°38'57" E 99.95'

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18 DEC. 15
18 MAR. 16
DESIGN
LAYOUT

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HARVICK ADDITION

1819 4th AVE. IN WEST LINN, OR.

DESIGNED FOR:

Nick & Whitney Harvick

(5 0 3) 4 4 9 - 0 5 7 7

KEITH R ABEL

RESIDENTIAL DESIGN LLC
5757 RIDGETOP CT. LAKE OSWEGO, OR. (503) 784-5815

keithabel@comcast.net

NOT FOR
CONSTRUCTION
BID DRAWINGS

PD-2 COMPLETENESS LETTER



CITY OF West Linn

July 21, 2026

Whitney and Nick Harvick
1819 4th Avenue
West Linn, OR 97068

Subject: HDR-26-01 – 1819 4th Avenue; Class II Historic Design Review – Completeness Determination

Dear Whitney and Nick Harvick:

The Planning Department has reviewed your Class II Design Review application submitted on June 22, 2026 for 1819 4th Avenue and has determined that it is **complete**. As provided in ORS 227.178, the City must take final action within 120 days, making the final decision due by November 12, 2026.

Please note that a completeness determination is not an approval of your application. It only means the City has received all the required information and can now begin the review process.

The City will mail a public notice to property owners within 500 feet of the site, the neighborhood association, and relevant agencies. The notice will explain how to submit comments during a 20-day public comment period and will list the earliest date a decision could be made. All comments received will be reviewed and considered before deciding on whether the application meets the relevant standards in the Community Development Code.

This application requires a public hearing. The Historic Review Board will conduct a public hearing on August 18, 2026 and will make the decision after the hearing. Applicants should attend and present their request to the Historic Review Board at the public hearing. Persons with party status may appeal the decision within 14 days from the day the final decision was mailed pursuant to CDC 99.240.

Please contact me at 503-742-6057, or by email at agudelj@westlinnoregon.gov if you have any questions about the process.

Sincerely,

Aaron Gudelj

Aaron Gudelj; Associate Planner

PD-3 ARCHIVED BUILDING-RELATED PERMITS

65-4760

NOTICE OF DECISION

(DR-89-37)

The Clackamas County Historic Review Board on November 24, 1989, approved the application by Jim Haynes at 1819 SW 4th Avenue to construct a sundeck with the following conditions of approval:

1. That the design and railings must be installed as proposed in the application.
2. That the railings must be painted to match the color of the railings around the front porch.

The Board also determined that it was not necessary to paint the deck surface itself, but it does recommend (not require) the planting of a shrub/bush at the north edge of the deck to 1) provide screening from 4th Avenue; 2) identify the deck as a private space; 3) to break up the horizontal line along the east side of the house.

The decision was rendered after fulfilling notice provisions of Section 99.080 of the West Linn Development Code.

The Commission based its approval upon the attached findings.

The decision will become effective on December 10, 1989, unless application for review of the decision is filed with the Planning Director on or before that date.

An appeal/review requires a \$150.00 fee and must state the specific grounds on which it is based.

If you have any questions, please contact Peter Spir of the City of West Linn Development Services.

11-29-89
DATE

Charles Awalt
CHARLES AWALT
CLACKAMAS COUNTY HISTORIC
REVIEW BOARD

/par
notice3

Sent 11/20/89

JIM HANES 1919 4TH AVE.
HISTORIC REVIEW

MICHAEL & MARY BRINEY
1808 SE 4TH STREET
WEST LINN, OR 97068

DONALD & HELEN MICHAEL
1220 SE 12TH STREET
WEST LINN, OR 97068

JAMES & JUDITH HANES
1819 SW 4TH AVENUE
WEST LINN, OR 97068

RICHARD & CYDIAN ELLERY
1852 4TH AVENUE
WEST LINN, OR 97068

GUSTAVE & FRANCES BEUKER
1825 TUALATIN AVENUE
WEST LINN, OR 97068

VIOLA MAY BENNETT
1296 SE 12TH
WEST LINN, OR 97068

MARY VENTURA
1962 SE 4TH AVENUE
WEST LINN, OR 97068

WILLIAM & ZELLA EYLER
1200 SE 12TH STREET
WEST LINN, OR 97068

CRITESER & BESSIE DURWARD
21890 SW JOHNSON ROAD
WEST LINN, OR 97068

JERRY & JANE CALHOUN
1892 SE 4TH AVENUE
WEST LINN, OR 97068

ROBERT & HELEN MORGAN
1249 SE 14TH STREET
WEST LINN, OR 97068

HOWARD & URDEANE SHIPLEY
1220 SE 13TH STREET
WEST LINN, OR 97068

HUBERT & MARY PROFFITT
1798 SE 4TH AVENUE
WEST LINN, OR 97068

VERLE ZACUR
C/O JOHN PURCELL
1831 SE 5TH AVENUE
WEST LINN, OR 97068

VICTOR & ARLISS DUNGEY
1242 13TH STREET
WEST LINN, OR 97068

CAP BROYLES
1788 4TH AVENUE
WEST LINN, OR 97068

DIANE KAY ANDRIKOPOULOS
1797 5TH AVENUE
WEST LINN, OR 97068

DONALD & JEANETTE HARRIS
1250 SE 13TH STREET
WEST LINN, OR 97068

MILTON & MARJORIE WHITE
1744 SE 4TH AVENUE
WEST LINN, OR 97068

BARBARA CARTER
1767 SE 5TH AVENUE
WEST LINN, OR 97068

LAWRENCE & MARY WERT
1296 SE 4TH AVENUE
WEST LINN, OR 97068

WALTER & ELLA PETERSON
1724 SE 4TH AVENUE
WEST LINN, OR 97068

DAVID & SANDRA SIMMEN
1883 SE 5TH AVENUE
WEST LINN, OR 97068

CHRIS & VIRGINIA BROWN
1775 SE 4TH AVENUE
WEST LINN, OR 97068

BRIAN JELGERHUIS
1295 SE 12TH STREET
WEST LINN, OR 97068

CHARLES AWALT
1847 SE 5TH AVENUE
WEST LINN, OR 97068

MARVIN & LAURA UNBRAS
1745 4TH AVENUE
WEST LINN, OR 97068

STEVEN & BONNIE CLEMENT
1260 SE 12TH STREET
WEST LINN, OR 97068



The City of
West Linn

2042 8th Avenue
West Linn, Oregon 97068

Development Services (503) 656-4211

TO: CLACKAMAS COUNTY HISTORIC REVIEW BOARD

FROM: WEST LINN PLANNING STAFF

SUBJECT: EXTERIOR MODIFICATION OF A PRINCIPLE BUILDING
(HOUSE) IN WILLAMETTE HISTORIC DISTRICT OF
WEST LINN

DATE: NOVEMBER 15, 1989

FILE NO: DR-89-37

SPECIFIC DATA

APPLICANT: THE GAZEBO GUYS

PROPERTY OWNER: JIM HAYNES

ADDRESS: 1819 SW 4TH AVENUE, WEST LINN, OR

ZONING: R-10 WITH AN OVERLAY CLASSIFICATION OF A
HISTORIC DISTRICT

APPLICABLE

CODE PROVISIONS: CHAPTER 26

LAND USE: THE RELATIVELY NEW STRUCTURE BUILT IN THE
STYLE APPROPRIATE TO THE HISTORIC DISTRICT
OCCUPIES THE NORTHWEST CORNER OF THE SITE
WITH A LARGE GARDEN AREA ON THE EAST PORTION
OF THE SITE. IT IS THE APPLICANT'S INTENT TO
CONSTRUCT A SUN DECK, PARTIALLY IN A RECESSED
AREA OF THE HOUSE, WHICH WOULD ALLOW EXPOSURE
TO THE SUN, VIEWS OF THE WILLAMETTE RIVER, AND
AT THE SAME TIME, SCREEN THE PROPOSED SUN DECK
FROM FOURTH AVENUE AND ADJACENT STREETS. IT IS
EXPECTED THAT THE APPLICANT WILL CONTINUE THE
SAME PATTERN OF RAILINGS THAT ARE IN EXISTENCE
ON THE FRONT PORCH AROUND THE NEW SUN DECK AND
WILL ALSO USE THE SAME COLOR SCHEME.

PARCEL SIZE: .75 ACRES

LEGAL

DESCRIPTION: ASSESSOR'S MAP 3-1E-2BD; TAX LOT 2700

LOT SIZE: 100' X 145' OR .33 ACRES

SURROUNDING

LAND USE: EAST: SINGLE-FAMILY RESIDENTIAL ON A VERY
LARGE LOT.
SOUTH: SINGLE-FAMILY RESIDENTIAL ON A VERY
LARGE LOT.
WEST: SINGLE-FAMILY RESIDENTIAL, HOWEVER THERE
ARE THE INTERVENING STREETS THAT PROVIDE
BUFFERING
NORTH: SINGLE-FAMILY RESIDENTIAL, HOWEVER THERE
ARE THE INTERVENING STREETS THAT PROVIDE
BUFFERING.

FINDINGS

The approval criteria is contained in Section 26.060(C) relating to alterations and relocations.

The first consideration is the retention of the original construction. Nothing in this proposal is intended to remove or alter the existing structure at this property.

The next consideration is the time period consistency which is related to other criteria on visual integrity and style. The use of the same railing design as found elsewhere on this structure will assure compliance. Please refer to Exhibit E which shows the comparison of the proposed wood railings and the existing wood railings on the porch of the house. The deck railings will be painted the same color as the railings on the existing structure. The applicant does not propose to paint the surface of the deck at the present time intending instead to leave it in its natural wood color. The scale and proportion of this addition is visually compatible with the existing structure. This is facilitated by the fact that the original construction left a recessed area between the garage and the house. The deck will fill in this recessed area and only extend six feet out from the general footprint or perimeter of the house (on the side closest to 4th Avenue).

RECOMMENDATION

Based upon the above findings, staff recommends approval of the sun deck addition (DR-89-37) with the following Conditions of Approval:

1. All deck and rail surfaces that are visible from adjacent parcels and public right-of-way shall be painted to match the paint on the front porch of the same address.
2. The deck must be constructed using plans as submitted at the time of this application.

/par
hisrevbo

**CLACKAMAS COUNTY
HISTORIC REVIEW
BOARD DECISION**

FILE NO. DR-89-37

The Clackamas County Historic Review Board is considering the request of Jim Hanes, 1919 SW 4th Avenue, to construct a sun deck at the rear of his house in the Willamette Historic District.

All relevant materials and information pertaining to these requests may be obtained and reviewed at the City Hall Annex, 2042 8th Avenue, West Linn, OR 97068 (Telephone 656-4211).

You have been notified of this proposal because records indicate that you own property within 300 feet of the proposed site.

The final decision on this request is scheduled to be made on December 1, 1989. There will be no public hearing on this matter.

Any appeals to this decision must be filed within fourteen (14) days of the Final Decision date with the Department of Development Services together with a \$150.00 fee.

/par
notice1/2

CLATSOP COUNTY
HISTORIC REVIEW BOARD

~~CITY OF WEST LINN~~
~~PLANNING DIRECTOR~~
DECISION

FILE NO. ~~DR-89-37~~
DR-89-37

Clatsop Co. Historic Review Board

The ~~West Linn Planning Director~~ is considering the request of Jim ~~Hanes~~ Hanes, 1819 SW 4th Ave., to construct a sundeck at the rear of his house in the Willamette Historic District.

All relevant materials and information~~s~~ pertaining to these requests may be obtained and reviewed at the City Hall Annex, 2042 8th Avenue, West Linn, OR 97068 (Telephone 656-4211).

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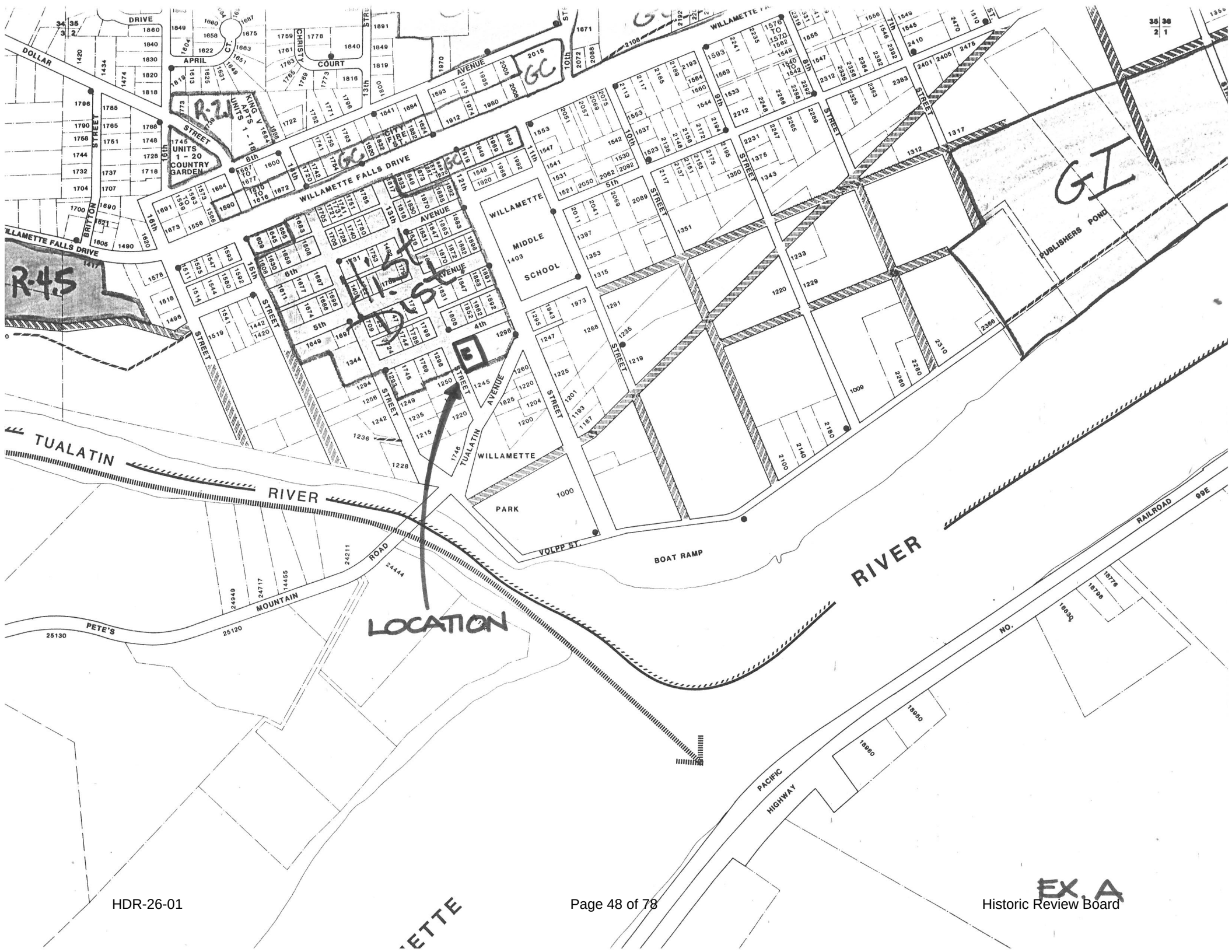
/par
notice1/2

*Sent
to
Attached
People
9/5/89*

31 E 2 BD

24

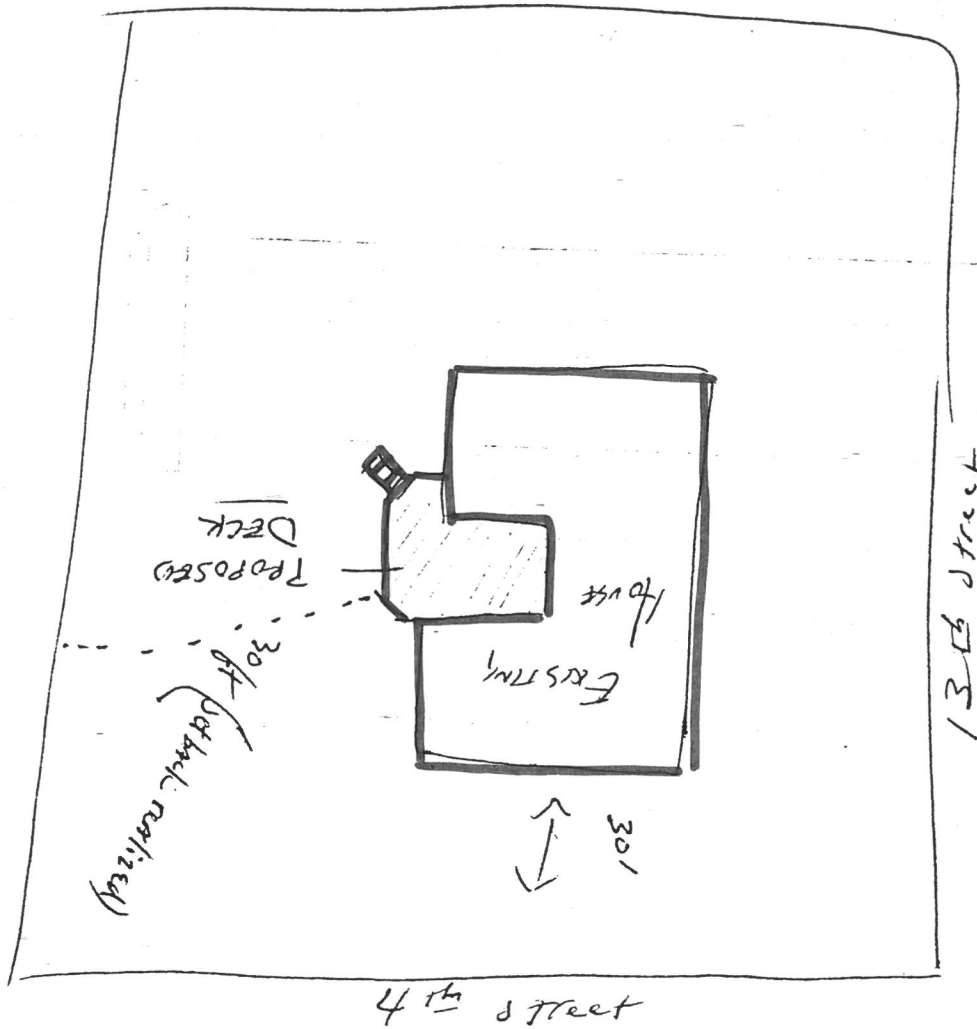
- 2700 James & Judith James
1819 SW 4th Ave WL
- 2900 Viola May Bennett
1296 SE 12th - WL
- 2800 Crites & Bessie Durward
21890 SW Johnson Rd. WL
- 2200 Howard & Urdane Shipley
1220 SE 13th St WL
- 2300 Victor & Arliss Dungey
1242 13th St.
- 2400 Donald & Jeanette Harris
1250 SE 13th WL
- 2600 Lawrence & Mary Wirt
1296 SE 13th St WL
- 2500 Chris & Virginia Brown
1775 SE 4th Ave WL
- 1700 Marvin & Laura Umbras
1745 4th Ave
- 400 Michael & Mary Briney
1808 SE 4th St.
- 500 Richard & Cydlean Ellery
1852 4th Ave
- 600 Mary Ventura
1862 SE 4th Ave WL
- 700 Jerry & Jane Calhoun
1895 SE 4th Ave WL
- 1500 Hubert & Mary Proffitt
1798 SE 4th Ave WL
- 1400 Cap Brayles
1788 4th Ave SE WL
- 1300 Milton & Marjorie White
1744 SE 4th Ave WL
- 1200 Walter & Ella Peterson
1724 SE 4th Ave
- 3000 Brian Gelgerhuis
1295 SE 12th St
- 3702 Steven & Bonnie Clement
1260 SE 12th St WL
- 3800 Donald & Helen Michael
1220 SE 12th St
- 3900 Hustane & Frances Secker
1825 Sualatin Ave
- 4000 City
- 3902 William & Zella Epler
1200 SE 12th
- 1800 Robert & Helen Morgan
1249 SE 14th St.
- 300 Verie Zaccu
90 John Purcell - 1831 SE 5th Ave WL
- 800 Diane Kay Andrikopoulos
1747 5th Ave WL
- 901 Barbara Carter
1767 SE 5th Ave WL
- 200 Charles Awalt, 1847 SE 5th - WL
- 101 David & Sandra Simmen
1883 SE 5th WL

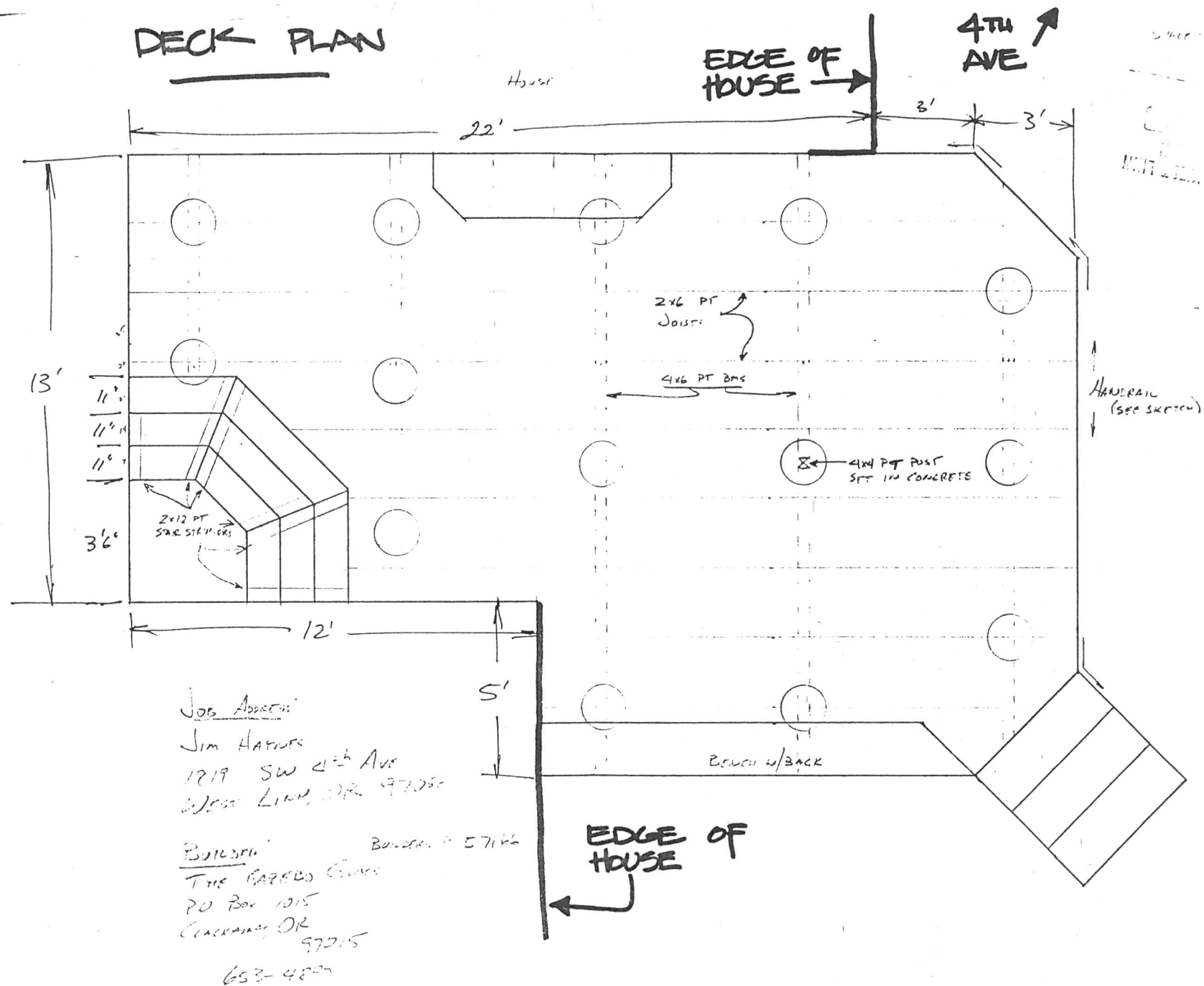


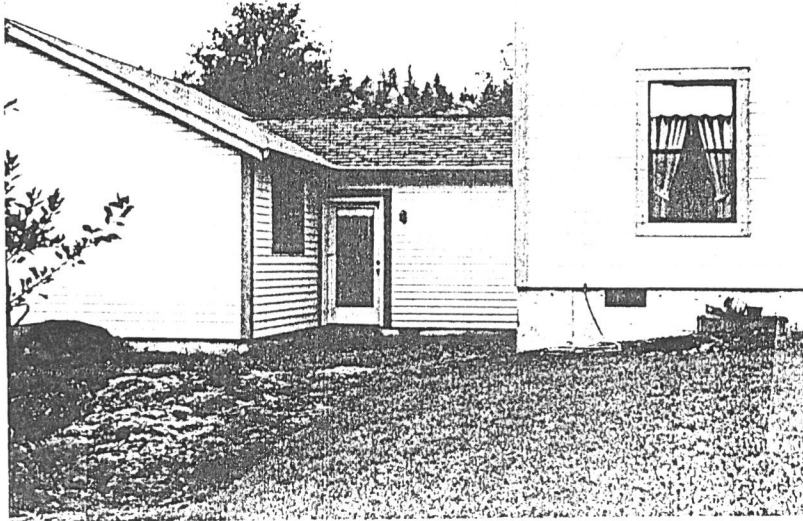
29581

SITE PLAN

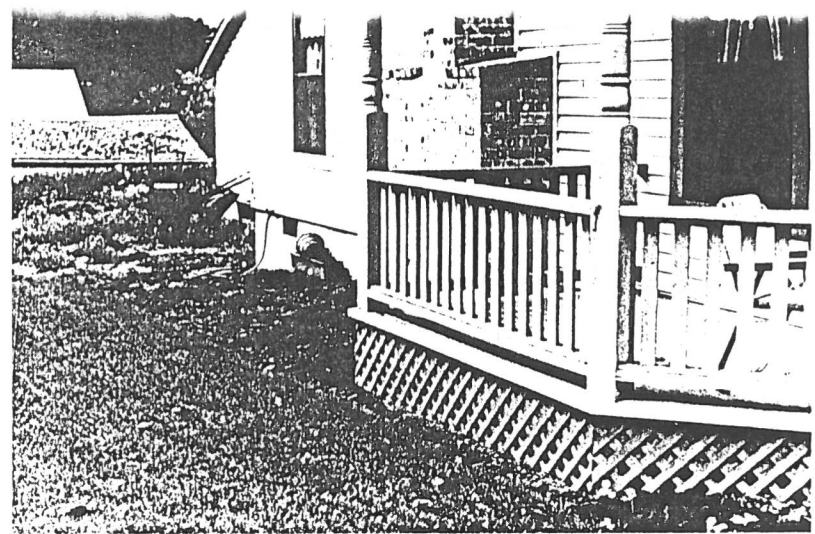
EX.
D



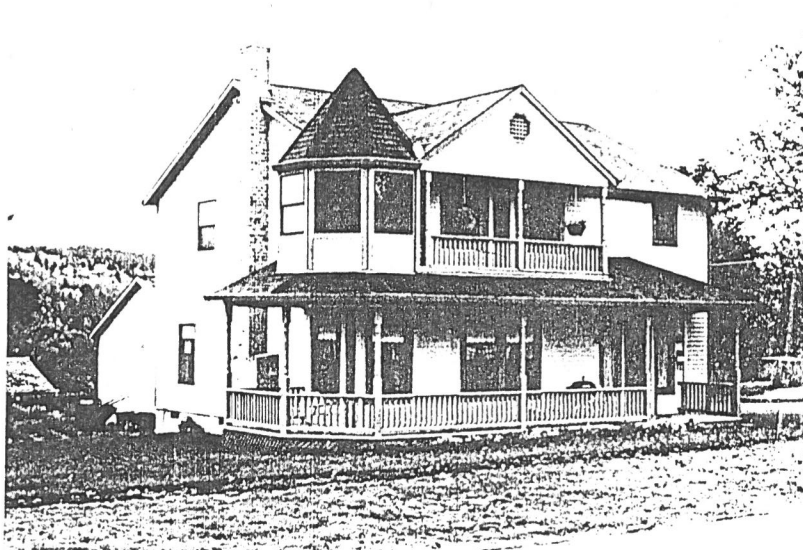




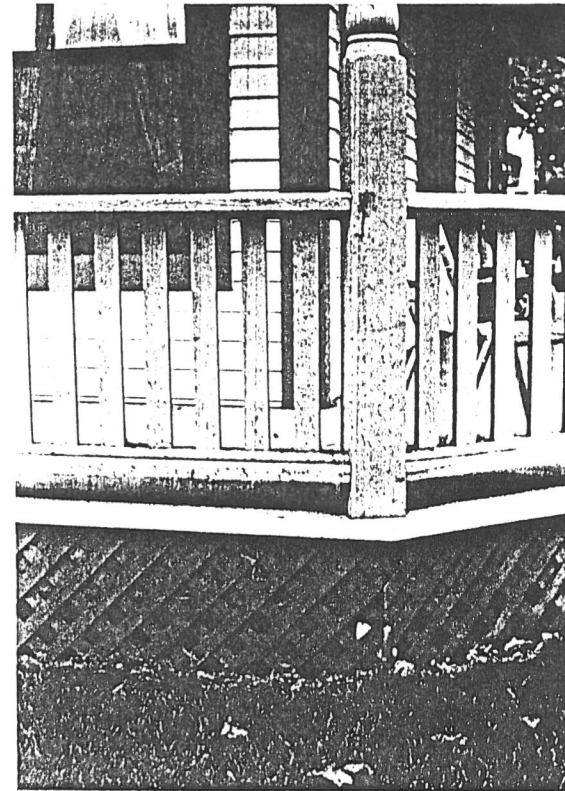
RECESSED AREA
WHERE DECK TO BE BUILT



VIEW OF EXISTING RAIL &
VIEW FROM FOURTH AVE.



VIEW FROM FOURTH AVE.
DECK LOCATION
ON SIDE



RAIL
DETAIL
TO BE
USED

SAME
PAINT
SCHEME



DEVELOPMENT REVIEW



APPLICATION

WEST LINN, OR 97068

656-4211

DEVELOPMENT
SERVICES WEST
LINN

TYPE OF REVIEW (Check the appropriate box, and refer to the respective bulletin for more information):

BULLETIN NO.		BULLETIN NO.	
☐	Annexation 21	☐	Home Occupation/App. 35
☐	Extraterritorial Ext. of Utilities 22	☐	Sidewalk Use App. 36
☐	Legislative Plan or Change 23	☐	Temporary Uses 37
☐	Quasi-Judicial Plan or Zone Change 24	☐	Design Review 38
☐	Planned Unit Development 25	☐	Sign Review 39
☐	Subdivision 26	☐	Tree Cutting 40
☐	Partition and Flag Lot Requirement 27	☒	Historic District Rev. 41
☐	Lot Line Adjustment 28	☐	Flood Plain Constr. 42
☐	Final Plat or Plan 29	☐	Willamette River Greenway 43
☐	Easement Vacation 30	☐	Tualatin River Bank Control 44
☐	Street Vacation 31	☐	Natural Drainage Way Protection 45
☐	Conditional Use 32	☐	Hillside Protection and Erosion Control 46
☐	Non-Conforming Lots, Uses and Structures 33	☐	Appeal and Review 47
☐	Variance 34		

TOTAL FEES/DEPOSIT _____

OWNERS NAME	ADDRESS	CITY	ZIP	PHONE
Jim Haynes	1819 SW 4th Ave	West Linn	97068	657-5438
GENE COURATO				
THE GAZERBO GUYS	PO. BOX 1015 CLACKAMAS		97015	653-4897
APPLICANTS NAME	ADDRESS	CITY	ZIP	PHONE
	1819 SW 4th Ave	WEST LINN		

SITE LOCATION

31 E 2BD

LEGAL DESCRIPTION: _____ Township _____ Range _____ Section _____

2700

Tax Lot(s) TOTAL LAND AREA

- NOTES:
1. All application fees are nonrefundable (excluding dep).
 2. The owner/applicant or their representative should be present at all public hearings.
 3. A denial or grant may be reversed on appeal. No permit will be in effect until the appeal period has expired.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application.

SIGNATURE OF PROPERTY OWNER(S)

X James E Haynes Date Nov 8 1989

SIGNATURE OF APPLICANT(S)

X Gene Courato Date 11/8/89

APPLICATION FOR BUILDING PERMIT

☐ NEW CONSTRUCTION☐ ALTERATION☒ ADDITION☐ REMODELING☐ REPAIR

BUILDING PERMIT

NO.

295-89

Development Fee \$

Building Fee \$

Plans Check Fee \$

State Surcharge %

Water User's Fee \$

Other \$

TOTAL \$

50.50
 32.83 - 28.93 = 3.90
 2.53
 56.93

Zoning

Occupancy

Date Received

By

R-3
 11/3/89 \$2893
 dk# 731 - Cindy

VALUATION

\$ 4,480.00

APPLICANT MUST COMPLETE FORM IN INK DOWN TO THE HEAVY LINE. TWO SETS OF PLANS MUST BE FURNISHED WITH APPLICATION.

SPECIAL INFORMATION

Lot No. _____ Block No. _____ Plat _____

Architect or Engineer _____

Architect's Address _____

Owner Jim Haynes Phone No. 657-5438Owner's Address 1819 SW 4th Ave West Linn OR 97068Builder THE GAZEBO GUTS - GENE CORAN Phone No. 653-4897Builder's Address PO BOX 1015 CLACKAMAS, OR 97015Building Use: ☐ Single Residence ☐ Multiple Residence ☐ Commercial ☐ Industrial

Type of Construction

DECK

Estimated Value \$

\$ 3700.-

No. Stories N/A Total Height 4' Area of Lot _____

Set Backs: Front _____ Back _____ Sides _____

Water Meter Size _____ Water Service Pipe Size _____

Building Main Sewer Outlet Pipe Size _____ Sewage Disposal: ☐ City Sewer ☐ Septic TankDriveway Width _____ Ft. Existing Road: ☐ Curb & Gutter ☐ Drainage Ditch

I agree to build according to above description, plans, and specifications, and that all work is to conform with all applicable codes and ordinances of the State of Oregon and the City of West Linn, Oregon. I further agree that the building will not be occupied until a Certificate of Occupancy has been issued by the City. I hereby certify that my registration with the Builder's Board is in full force and effect as required by ORS 701.055; that if exempt, the basis for exemption is noted hereon; and that only subcontractors and employees who are in compliance with ORS 701.055 will be used on this project.

Owner/Applicant _____ Registration No. _____

THIS SPACE TO BE FILLED IN BY THE BUILDING DEPARTMENT.

Type of Construction: ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5Address Assigned 1819 4th Avenue

Field Check By _____ Date _____ Receipt No. _____

Occupancy Group _____ Total Floor Area _____

Change of Occupancy From _____ To _____

Plot Plans Attached: ☐ Yes ☐ No

Off-Street Parking

HDR-26-01

11/3/89 Cindy

PAGE # 731-1268

THIS SPACE TO BE FILLED IN BY THE DEPARTMENT OF PUBLIC WORKS

Water Service Requirements _____

Sewer Service Requirements (Separate Side Sewer Permit Required From Department of Public Works) _____

Street and Driveway Requirements (Separate Driveway Permit Required From Department of Public Works) _____

Other Requirements _____

Checked By _____ Date _____

Approved	By	Date
Fire Department		
Department of Public Works		
Building Department		
Finance Department		
U.B.C. Plans Check		
State Fire Marshal		
Engineering		
<i>No inspections done on this permit.</i>		

If any of the following installations or operations are contemplated, it is mandatory that the following permits and/or specifications be obtained at the City Hall by the Applicant.			
	Permit and/or Specifications	Received	Date
	Rain Drains		
	Road Open		
	Sewer		
	Sidewalk		
	Street		
	Water		
	Plumbing		
	Driveway		

CITY OF WEST LINN Inspection line 722-5509
MECHANICAL PERMIT

PERMIT # :98-217

Date :05/15/1998

Project location :1819 4TH

Type :MECH

Owner :JAMES HANES

By :JN

Installer :TRI-COUNTY

Phone # :654-3115

A.				
Permit Fee	For the issuance of each permit	#	1 x \$ 10.00 =	10.00
	For each supplement	#	x \$ 3.00 =	0.00
B.				
Furnaces	Furnaces up to 100,000 BTU	#	1 x \$ 6.00 =	6.00
	Furnaces over 100,000 BTU	#	x \$ 7.50 =	0.00
C.				
Wall Heaters	Wall Heaters/Furnaces			
	Unit Heaters/etc.	#	x \$ 6.00 =	0.00
D.				
Appliance	Vents not included in an			
Vents	appliance permit	#	x \$ 3.00 =	0.00
E.				
Heat Pumps	Installation/Alteration/Repair			
	of any cooling unit	#	x \$ 6.00 =	0.00
F.				
Coolers	Evaporative coolers other than			
	portable types	#	x \$ 4.50 =	0.00
G.				
Ventilation &	Ventilation Fans w/single duct	#	x \$ 3.00 =	0.00
Exhaust Systems	Range Hoods including ducts	#	x \$ 4.50 =	0.00
H.				
Water Heaters	Gas fired water heaters	#	1 x \$ 4.50 =	4.50
I.				
Gas Piping	1 to 4 outlets	#	0 Minimum =	2.00
	each additional outlet	#	1 x \$ 0.50 =	0.00
J.				
Wood stoves	Includes chimney	#	x \$ 7.50 =	0.00
Man. Fireplace				
K.				
Misc.	Any equipment/appliance			
	not listed	#	x \$ 4.50 =	0.00
L.				
Comm. Mech.	Calc. on separate sheet			

Subtotal.....	\$	22.50
State Surcharge 5%.....	\$	1.13
Plan Review 25%.....	\$	5.63

Total Permit Fees.....\$ 29.26

I certify that all mechanical work will be done in accordance with the provisions, of the Oregon Mechanical Specialty Code and Mechanical Fire Safety Regulations, ORS 456,915-950 and ORS 476,030: and that no help will be employed unless licensed under Oregon State Builders Board, ORS 701,-701.440.

Signature Tenna Bristow Date 5/15/98

City/Metro License # 1126

Contractors License # 72623

2
CITY OF WEST LINN Inspection line 722-5509
PLUMBING PERMIT

PERMIT # :98-217

Date :05/15/1998

Project location :1819 4TH

Type :RMIS

Owner :JAMES HANES

By :JN

Installer :TRI-COUNTY

Phone # :654-3115

A. One & two family Plumbing fee schedule:(includes water,sanitary,& storm)

1 Bath Residence.....	\$ 164.00.....	0.00
2 Bath Residence.....	\$ 217.00.....	0.00
3 Bath Residence.....	\$ 265.00.....	0.00
1 Repair/Remodel (number of fixtures) x \$	9.50.....	9.50
Manufactured Home Connection.....	\$ 50.00.....	0.00

B. Commercial & Industrial Fee Schedule

Number of plumbing fixtures	x \$ 9.50.....	0.00
Water Service per 100' or fraction	x \$ 32.00.....	0.00
Bldg. Sewer per 100' or fraction	x \$ 32.00.....	0.00
Storm Sewer per 100' or fraction	x \$ 32.00.....	0.00

C. Minimum Fee..... 40.00

D. Irrigation System/
Backflow Preventer..... 0.00

E. Minor Label..... 0.00

F. Fees

Subtotal of all fees.....	\$ 40.00
State Surcharge 5%.....	\$ 2.00
Plan Review 25%.....	\$ 10.00

Total fees.....\$ 52.00

Applicants must hold an Oregon Registration to conduct a plumbing business or must be the homeowner/operator not hiring outside help.PLEASE INDICATE BELOW.

I certify that all work will be done in accordance with the State of Oregon Plumbing Specialty Code and related Statutes. HOMEOWNERS: I certify that I am the owner of the property described, where I plan to install the plumbing.

Plumbing Contractor License #:

State Construction Contractors License #:

City/Metro Business License #:

Authorized Signature: Kenner Bristol Date: 5/15/98

Contractor:

3 Plumbing Permit

City of West Linn
2042 8th Avenue
West Linn, Oregon 97068

Project Location 1819 SW 4th Permit # _____
Owner JAMES HANES Phone _____
Address SANU Zoning _____

<u>Residential</u>	<u>Comm/Industrial</u>
A. One & two family Plumbing fee schedule: (Includes water\sanitary\ & storm)	
1 & 2 Family 1 Bath	\$164.00 \$
1 & 2 Family 2 Bath	\$217.00 \$
1 & 2 Family 3 Bath	\$265.00 \$
Water Repair/Remodel (# of Fix. <u>1</u>) X	\$ 9.50 \$ <u>950</u>
Manuf/Home Conn. Per Space	\$ 50.00 \$

SECTION A SUBTOTAL\MIN FEE \$ 40.00 \$ 40

B. Commercial & Industrial Fee Schedule

Number of plumbing fixtures X	\$ 9.50	\$
Water Service per 100' or fraction	\$ 32.00	\$
Bldg. Sewer per 100' or fraction	\$ 32.00	\$
Storm Sewer per 100' or fraction	\$ 32.00	\$

SECTION B SUBTOTAL\MIN FEE \$ 40.00 \$

C. Backflow Preventer/Irrigation System \$ 15.00 \$

D. Computation of fees (Sections A/B/C) Fee Subtotal \$ 40
5% Surcharge \$ 2.00
25% Plan Review Fee \$ 10

Total Fee Due ***** \$ 52.00

Applicants must hold an Oregon Registration to conduct a plumbing business or must be homeowner/operator not hiring outside help. PLEASE INDICATE BELOW. I certify that all work will be done in accordance with the State of Oregon Plumbing Specialty Code and related Statutes. HOMEOWNERS: I certify that I am the owner of the property described, where I plan to install the plumbing.

Plumbing Contractor license Number	<u>26-428 PB</u>
State Construction Contractors license Number	<u>72623</u>
City of West Linn Business License Number	<u>1126</u>
Authorized Signature <u>[Signature]</u>	Date <u>5-14-98</u>
Contractor <u>121 County Trng Center 1</u>	Phone <u>654-3115</u>
Address <u>13651 SE Amber Rd</u>	

*****This space filled in by Building Department*****

10:30 AM

CITY OF WEST LINN**INSPECTION REQUEST LINE 656-4211**

Permit No. 98-217 Inspection Request Date 5/21/98
 Address 1819 4th Ave
 Builder or Owner TRI
 Date Request Received 5/20/98 Received By [Signature] Recorder A/B _____

TYPE OF INSPECTION

Erosion Control / Excavation / Footings / Foundation

Flatwork / Garage Slab / Driveway / Approach / Walks / Meter, Box, Valve

Plumbing Topout / Groundwork / Post & Beam / Shower Pan

Cross Connection / (Res.) / (Comm.)

FINALS:Build. / Plg. / Engin. / Plan. / Fire / Cross Conn. Test / Elec.

Fireplace / Masonry

Shear Wall / Ext. Sheeting

Framing / Insul. / Wallboard

Mechanical Gas / Woodstove

Side Sewer / Rain Drains

Sewer Tap / Water Service

Other: _____

APPROVED**APPROVED
WITH CORRECTIONS****NOT
APPROVED****COMMENTS**

[Signature] 5/21/98
10:30

REPORT OF BUILDING INSPECTION

Lot 2700 Block in Assessor's Map #31-E-2BD
Owner M&M James Hanes Address 1819 4th Avenue
Builder F & F Structures Address 415 17th St Suite #6
Phone 657-7010 City St. Oregon City Zip 97045

DATE	HOUR	REMARKS
		FOUNDATION
		PLUMBING
		FRAME
		LATH
<u>12/11/86</u>		<u>Approved w/ corrections.</u> FINAL



West Linn
22500 Salamo Rd
West Linn, OR 97068
503-656-4211

Building Permit

Residential Plumbing

Permit Number: 935-17-001194-PLM

IVR Number: 935010724081

Web Address: <http://westlinnoregon.gov/building>

Email Address: building@westlinnoregon.gov

Permit Issued: December 01, 2017

Project: Harvick/121945

Category of Construction: Single Family Dwelling

Type of Work: Alteration

Submitted Job Value: \$0.00

Description of Work: Installing a tankless water heater

Worksite Address

1819 4TH AVE
WEST LINN, OR 97068

Parcel

31E02BD02700

Owner:

HARVICK NICHOLAS T &
WHITNEY H TALBOTT

Address:

1819 4TH AVE
WEST LINN, 97068

Business Name

ROTH ZACHRY HEATING INC
ROTH ZACHRY HEATING INC
ROTH ZACHRY HEATING INC

License

CCB
(C) Electrical Contractor
(PB) Plumbing Contractor

License Number

14008
C535
3-450PB

Phone

503-266-1249
503-266-1249
503-266-1249

Inspection

3999 Final Plumbing

Inspection Group

Plumb Res

Inspection Status

Pending

Various inspections are minimally required on each project and often dependent on the scope of work. Contact the issuing jurisdiction indicated on the permit to determine required inspections for this project.

Schedule or track inspections at www.buildingpermits.oregon.gov

Schedule by phone call 1-888-299-2821 use IVR number: 935010724081

Schedule using the Oregon ePermitting Inspection App, search "epermitting" in the app store

Fee Description

Balance of minimum permit fees - plumbing

Water heater

State of Oregon Surcharge -Plumb (12% of applicable fees)

Quantity

1

Total Fees:

Fee Amount

\$82.00

\$18.00

\$12.00

\$112.00

Permits expire if work is not started within 180 Days of issuance or if work is suspended for 180 Days or longer depending on the issuing agency's policy.

All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the Center at (503) 232-1987.

All persons or entities performing work under this permit are required to be licensed unless exempted by ORS 701.010 (Structural/Mechanical), ORS 479.540 (Electrical), and ORS 693.010-020 (Plumbing).



<http://westlinnoregon.gov/building>

Applicant: Lisa Palma
 Owner: HARVICK NICHOLAS T & WHITNEY H TALBOTT, 1819 4TH AVE, WEST LINN, 97068
 Address: 1819 4TH AVE
 WEST LINN OR 97068
 Parcel: 31E02BD02700

Contractor(s)

ROTH ZACHRY HEATING INC
 PO BOX 1265
 CANBY, OR. 97013-1265

ROTH ZACHRY HEATING INC
 PO BOX 1265
 CANBY, OR. 97013

ROTH ZACHRY HEATING INC
 PO BOX 1265
 CANBY, OR. 97013

Primary: No
 Phone: (503) 266-1249
 Fax: (503) 266-3478
 Email: aliceg@roth-heat.com
 Primary: No
 Phone: (503) 266-1249
 Fax: (503) 266-3478
 Email: korym@roth-heat.com
 Primary: No
 Phone: (503) 266-1249
 Fax: (503) 266-3478
 Email: korym@roth-heat.com

WEST LINN
 22500 Salamo Rd
 West Linn, OR 97068
 Phone: 503-656-4211

building@westlinnoregon.gov

IVR Number: 935010724081

3999 Final Plumbing

Approved

Inspection Date: 12/11/2017
 Inspector: Jim Clark
 Phone: 503-742-6052
 Email: jclark@westlinnoregon.gov

**Schedule Inspections online at: www.buildingpermits.oregon.gov
 or by calling: 1-888-299-2821
 Use IVR Number: 935010724081**



0.00

West Linn
22500 Salamo Rd
West Linn, OR 97068
503-742-6055

Building Final Inspections

Residential Mechanical

Permit Number: 935-17-001191-MECH

Web Address: <http://westlinnoregon.gov/building>

Email Address: cwlqp@westlinnoregon.gov

Issue Date: 11/30/2017

Address

1819 4TH AVE
WEST LINN, OR. 97068

Primary

Y

Parcel

31E02BD02700

Owner: HARVICK NICHOLAS T & WHITNEY H TALBOTT

Work Desc: Installing a new gas furnace, a new gas pipe to the furnace, gas pipe to a tankless water heater, and a vent for a tankless water heater

Contractor

ROTH ZACHRY HEATING INC
ROTH ZACHRY HEATING INC

N

N

Final Inspections

Inspection Type

2999 Final Mechanical

Inspection Status

Approved

Inspection Date

12/11/2017

Inspector

Jared Bradbury

Result Comment:



West Linn
22500 Salamo Rd
West Linn, OR 97068
503-656-4211

Building Permit

Residential Mechanical

Permit Number: 935-17-001191-MECH

IVR Number: 935071152527

Web Address: <http://westlinnoregon.gov/building>

Email Address: building@westlinnoregon.gov

Permit Issued: November 30, 2017

Project: Harvick/121915

TYPE OF WORK

Category of Construction: Single Family Dwelling

Type of Work: Alteration

Submitted Job Value: \$0.00

Description of Work: Installing a new gas furnace, a new gas pipe to the furnace, gas pipe to a tankless water heater, and a vent for a tankless water heater

JOB SITE INFORMATION

Worksite Address

1819 4TH AVE
WEST LINN, OR 97068

Parcel

31E02BD02700

Owner:

HARVICK NICHOLAS T &
WHITNEY H TALBOTT

Address:

1819 4TH AVE
WEST LINN, 97068

LICENSED PROFESSIONAL INFORMATION

Business Name

ROTH ZACHRY HEATING INC
ROTH ZACHRY HEATING INC

License

(C) Electrical Contractor
CCB

License Number

C535
14008

Phone

503-266-1249
503-266-1249

PENDING INSPECTIONS

Inspection

2999 Final Mechanical

Inspection Group

Mech Res

Inspection Status

Pending

SCHEDULING INSPECTIONS

Various inspections are minimally required on each project and often dependent on the scope of work. Contact the issuing jurisdiction indicated on the permit to determine required inspections for this project.

Schedule or track inspections at www.buildingpermits.oregon.gov

Schedule by phone call 1-888-299-2821 use IVR number: 935071152527

Schedule using the Oregon ePermitting Inspection App, search "epermitting" in the app store

Permits expire if work is not started within 180 Days of issuance or if work is suspended for 180 Days or longer depending on the issuing agency's policy.

All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the Center at (503) 232-1987.

All persons or entities performing work under this permit are required to be licensed unless exempted by ORS 701.010 (Structural/Mechanical), ORS 479.540 (Electrical), and ORS 693.010-020 (Plumbing).

HDR-26-01

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Printed on: 11/30/17

Historic Review Board
C:\myReports\reports\production\01 STANDARD

PERMIT FEES		
Fee Description	Quantity	Fee Amount
Balance of minimum permit fees - mechanical		\$41.00
Flue vent for water heater or gas fireplace	1	\$19.00
Furnace/burner including duct work/vent/liner	1	\$31.00
Gas fuel piping outlets	2	\$9.00
State of Oregon Surcharge - Mech (12% of applicable fees)		\$12.00
	Total Fees:	\$112.00

PD-4 PRE-APPLICATION CONFERENCE SUMMARY NOTES

**PRE-APPLICATION CONFERENCE
SUMMARY NOTES
May 7, 2026**

FILE: PA-26-06

PROJECT PROPOSAL: Proposed 984 square foot addition to an existing Not-In-Period single-family residence within the Willamette Historic District at 1819 4th Avenue.

APPLICANTS PRESENT: Whitney and Nick Harvick

STAFF PRESENT: Aaron Gudelj, Associate Planner

PUBLIC PRESENT: **Kathie Halicki, Willamette Neighborhood Association**

These pre-application summary notes are provided to help the applicant identify relevant code sections, key issues, and to summarize the application process and associated fees. They are based on preliminary information and may not reflect all considerations. For additional guidance on the process, approval criteria, submittal requirements, or any questions or clarifications, please contact the assigned planner. Summary notes are valid for 18 months from the date of the meeting.

SITE INFORMATION:

Site Address: 1819 4th Avenue
Tax Lot No.: 31E02BD02700
Site Area: 20,400 square feet / 0.47 acres
Neighborhood: Willamette Neighborhood
Comp. Plan: Medium Density
Zoning: R-10, Residential
Zoning Overlays: Willamette Historic District

PROJECT DESCRIPTION:

The applicant proposes a 984 square foot two-story addition and 224 square foot covered deck to an existing 'Not-In-Period' single-family residence within the Willamette Historic District.

APPLICABLE COMMUNITY DEVELOPMENT CODE SECTIONS:

Approval standards and criteria in effect when an application is *received* will be applied to the proposed development. The following Community Development Code (CDC) Chapters apply to this proposal:

- [Chapter 11 RESIDENTIAL, R-10](#)
- [Chapter 25 OVERLAY ZONES – HISTORIC DISTRICT](#)
 - 25.040
 - 25.050
 - 25.060
 - 25.070
- [Chapter 99: Procedures for Decision Making: Quasi-Judicial](#)

KEY ISSUES & CONSIDERATIONS

Staff has identified the following development issues, design considerations, or procedural issues that you should be aware of as you prepare your formal application for submittal. The identification of these issues or considerations here does not preclude the future identification of additional issues or considerations:

1. The proposed two-story addition 984 square foot addition will be required to receive approval of a Class II Historic Design Review per West Linn Community Development Code Chapter 25.040.

RESPONSE TO APPLICANT QUESTIONS:

No specific questions were requested.

ENGINEERING:

The Engineering department comments are attached. For further details, contact Clark Ide at 503-722-3437 or CIde@westlinnoregon.gov.

BUILDING:

For building code and ADA questions, contact Adam Bernert at abernert@westlinnoregon.gov or 503-742-6054 or Alisha Bloomfield at abloomfield@westlinnoregon.gov or 503-742-6053.

TUALATIN VALLEY FIRE & RESCUE:

A Service Provider Permit must be provided with this application - <https://www.tvfr.com/399/Service-Provider-Permit>. Contact Jason Arn at jason.arn@tvfr.com or 503-259-1510 with any questions.

TREE REMOVAL REGULATIONS:

Tree removal is regulated by [City Ordinance](#) and the [Community Development Code](#). Any proposed tree removal must be included in the development application.

PROCESS:

A Class II Design Review is a quasi-judicial decision by the Historic Review Board. A public hearing is required. The applicant must present their proposal to the Historic Review Board at the hearing. Once the application is complete, staff will review the application, schedule a public hearing date, send a 20-day public comment notice, and post a notice sign on the property. Staff will prepare a report with a recommendation available 10 days before the public hearing. A final decision can take 6-10 months.

After the Historic Review Board decides, there is a 14-day appeal period. If the decision is not appealed, the applicant may proceed with the development after the appeal period ends.

NEIGHBORHOOD MEETING:

Neighborhood Meetings are encouraged but not required for a Class II Design Review.

HOW TO SUBMIT AN APPLICATION:

Submit a complete application in a single PDF document through the [Submit a Land Use Application](#) web portal. A complete application should include:

1. A [development application](#);
2. Application materials identified in the [Development Review Checklist](#);

COMPLIANCE NARRATIVE:

Written responses supported by substantial evidence must address all applicable approval standards and criteria. Written materials must explain how and why the proposed application will meet each applicable approval criteria. "Not Applicable" is not an acceptable response to the approval criteria.

Submittal requirements may be waived, but the applicant must first identify the specific submittal requirement and request, in writing, that the Planning Director waive the requirement. The applicant must identify the specific grounds for the waiver. The Planning Director will respond with a written determination about the waiver request before applying.

APPLICATION FEES & DEPOSITS:

The Planning Division Fee Schedule can be found on our website: <https://westlinnoregon.gov/finance/current-fee-schedule>

- fee for a Class II Historic Design Review = \$100

Applications with deposits will be billed monthly for time and materials. Please provide the name and address of the party responsible for the final invoice in your application.

*****FRAUD WARNING*****

Please be advised about a scam in which actors impersonate local government planning and zoning departments to extract illegitimate payments from businesses and residents. Scammers tailor emails and associated attachments to appear as official correspondence. It is important to note:

- The City will never request wire transfers or banking information by email.
- The Planning Commission does not issue invoices.
- Any email asking you to send funds, verify banking details, or initiate a wire transfer is fraudulent.
- Always check the sender's email address carefully. Legitimate emails will come from ***@westlinnoregon.gov
- Do not click links, open attachments, or respond to suspicious emails.
- If you receive a suspicious message, call the City to verify it. Your security is important to us.

Timelines:

Once the application and payment are received, the City has 30 days to determine if the application is complete. If the application is incomplete, the applicant has 180 days to complete it or provide written notice to staff that no other information will be provided. Once complete, the City has 120 days from the completeness determination to make a final decision on the application. Typical land use applications can take 6-10 months from beginning to end.

Previous Historic Review Board Class II Design Review Application Pages

- 1852 4th Ave – Rooftop Solar Panels <https://westlinnoregon.gov/planning/1852-4th-ave-class-2-historic-design-review>
- 4865 Willamette Falls Drive – 16-Window replacement <https://westlinnoregon.gov/planning/4865-willamette-falls-drive-class-2-historic-design-review>
- 1919/1949 Willamette Falls Drive - New Commercial Building <https://westlinnoregon.gov/planning/19191949-willamette-falls-drive-class-ii-design-review-new-commercial-building>

These pre-application notes have been prepared per [CDC Section 99.030.B.7](#). The information provided is an overview of the proposal considerations and requirements. Staff responses are based on limited material presented at the pre-application conference. New issues and requirements can emerge as the application is developed. Failure to provide information does not constitute a waiver of the applicable standards or requirements. The applicant has the burden of proof to demonstrate that all approval criteria have been satisfied. These notes do not constitute an endorsement of the proposed application or assure project approval.

PD-5 AFFIDAVIT AND NOTICE PACKET

**CITY OF WEST LINN HISTORIC REVIEW BOARD
PUBLIC HEARING NOTICE
FILE NO. HDR-26-01**

The West Linn Historic Review Board will hold a hybrid public hearing on **Tuesday, August 18, 2026 at 6:00 pm** in the Council Chambers of City Hall, 22500 Salamo Road, West Linn, to consider a request for Class II Historic Design Review at 1819 4th Avenue. The applicant is requesting to add 984 square feet of habitable space and a 224 square foot covered deck to a 'Not-In-Period' single-family residence within the Willamette Historic District.

The HRB will make its decision based on applicable criteria found in Chapters 11, 25, and 99. of the Community Development Code (CDC). The CDC approval criteria are available for review on the City website <http://www.westlinnoregon.gov/cdc> or at City Hall and the City Library.

The application is posted on the City's website <https://westlinnoregon.gov/projects>. The application, all documents or evidence relied upon by the applicant, and applicable criteria are available for inspection at City Hall at no cost. Copies may be obtained at a reasonable cost. The staff report will be posted on the website and available for inspection at no cost, or copies may be obtained at a reasonable cost, at least ten days before the hearing.

The hearing will be conducted according to CDC Section 99.170 in a hybrid format with some members, staff, presenters, and public attending remotely via Webex and others attending in-person at City Hall. The public can watch the meeting online on YouTube: https://youtube.com/live/FYn_dj4vQ8A?feature=share

Anyone wishing to present written testimony for consideration should submit all materials before 12:00 pm on the meeting day to agudelj@westlinnoregon.gov or mail them to City Hall.

Those who wish to participate remotely should complete the speaker form at <https://westlinnoregon.gov/citycouncil/meeting-request-speak-signup> **before 4:00 pm on the meeting day** to receive an invitation to join the meeting. Virtual participants can join online or dial in by phone.

It is important to submit all testimony in response to this notice. All comments submitted for consideration of this application should relate specifically to the applicable criteria. Failure to raise an issue in a hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes appeal to the Oregon Land Use Board of Appeals based on that issue (CDC Section 99.090).

The final decision will be posted on the website and available at City Hall. Persons with party status may appeal the decision by submitting an appeal application to the Planning Department within 14 days of mailing the final decision notice pursuant to CDC [99.240](#).

For additional information, please contact Aaron Gudelj, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, 503-742-6057.

Scan this QR Code to go to Project Web Page:





**AFFIDAVIT OF NOTICE
HISTORIC REVIEW BOARD DECISION**

We, the undersigned, certify that, in the interest of the party (parties) initiating proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **HDR-26-01**
Applicant's Name: **Whitney and Nick Harvick**
Development Address: **1819 4th Ave**
Hearing Date: **08/18/26**

APPLICATION AVAILABILITY

The application was posted on the website at least 20 days before the hearing.

07/29/26	<i>Lynn Schroder</i>
-----------------	----------------------

MAILED NOTICE

Notice of upcoming Historic Review Board hearing was mailed at least 20 days before the hearing date, per Section 99.080 of the Community Development Code to:

Whitney and Nick Harvick, applicant	07/29/26	<i>Lynn Schroder</i>
Oregon State Historic Preservation Office	07/29/26	<i>Lynn Schroder</i>
Property owners of record on the most recent property tax assessment roll within 300ft of the site perimeter	07/29/26	<i>Lynn Schroder</i>
Willamette Neighborhood Association	07/29/26	<i>Lynn Schroder</i>

EMAILED NOTICE

Notice of upcoming Historic Review Board hearing was emailed at least 20 days before the hearing date to:

Willamette Neighborhood Association	07/29/26	<i>Lynn Schroder</i>
Whitney and Nick Harvick, applicant	07/29/26	<i>Lynn Schroder</i>
Keith Abel, applicant representative	07/29/26	<i>Lynn Schroder</i>
Oregon State Historic Preservation Office	07/29/26	<i>Lynn Schroder</i>

WEBSITE POSTING

Notice of upcoming Historic Review Board hearing was posted on the City's website 20 days before the hearing date.

07/29/26	<i>Lynn Schroder</i>
-----------------	----------------------

SIGN POSTING

A sign for the upcoming Historic Review Board hearing was posted on the property at least 10 days before the hearing, per Section 99.080 of the CDC.

08/06/2026	<i>Aaron Gudelfj</i>
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STAFF REPORT

The staff report was posted on the website at least 10 days before the hearing, per Section 99.040 of the CDC.

08/06/2026	<i>Lynn Schroder</i>
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FINAL DECISION NOTICE

Notice of Final Decision was mailed to the applicant, all parties with standing, and posted on the City’s website, per Section 99.040 of the Community Development Code.

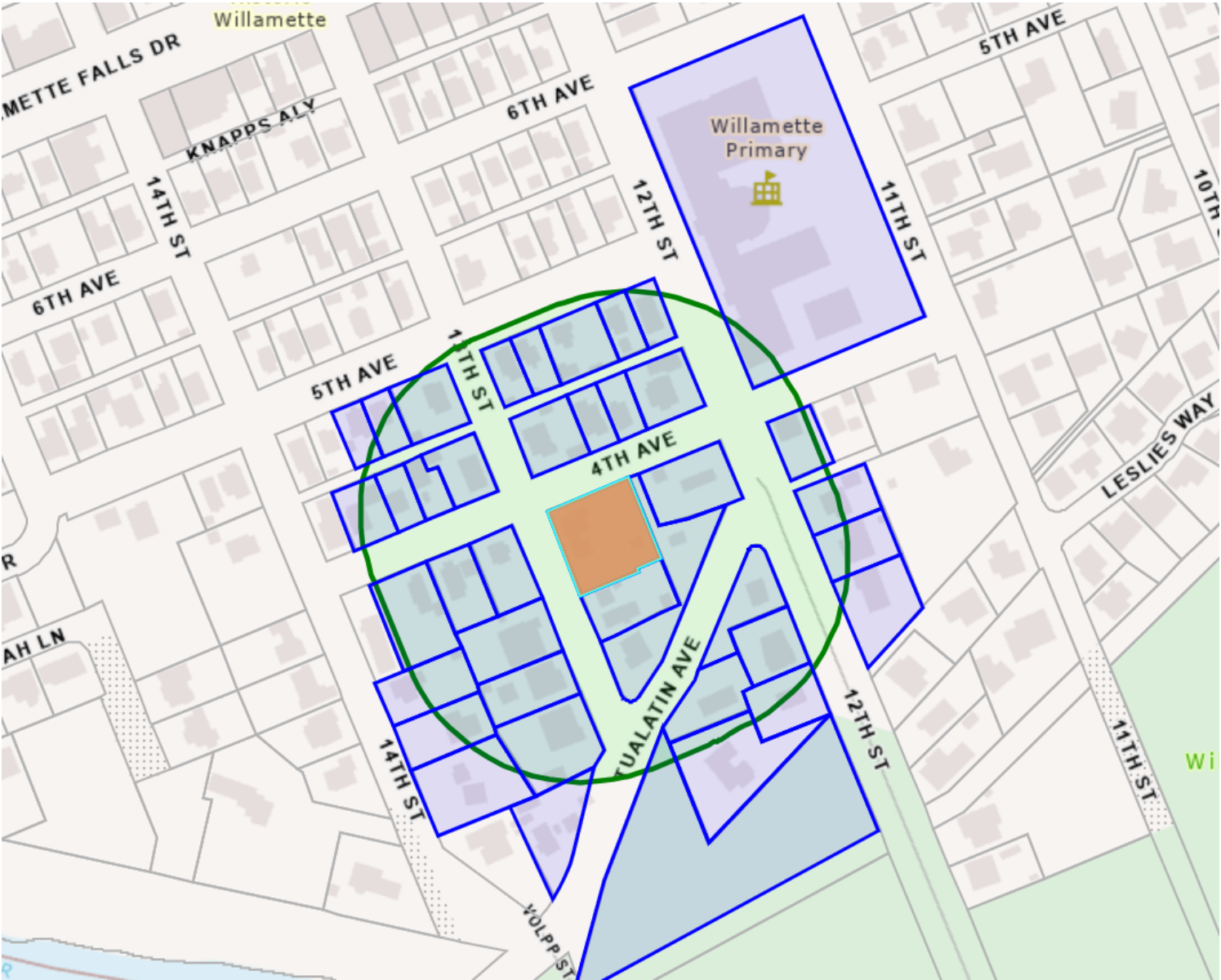
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I certify that the above statements are true to the best of my knowledge and belief and were completed in accordance with all applicable noticing requirements.

Lynn Schroder
Community Development Management Analyst
Date: 07/29/26
State of Oregon)
County of Clackamas)

Subscribed and sworn before me on this __6__ day of __JAugust_____, 2026, by *Lynn Schroder*.

This affidavit of mailing of notice and posting of notice is part of the administrative record.



PD-6 DRAFT FINAL DECISION AND ORDER

**WEST LINN HISTORIC REVIEW BOARD
FINAL DECISION AND ORDER
FILE NO. HDR-26-01**

**IN THE MATTER OF A PROPOSAL FOR A CLASS II HISTORIC DESIGN REVIEW TO
ADD 984 SQUARE FEET TO A “NOT IN PERIOD” SINGLE-FAMILY RESIDENCE
WITHIN THE WILLAMETTE HISTORIC DISTRICT AT 1819 4TH AVE.**

I. Overview

At its meeting on August 18, 2026, the West Linn Historic Review Board held a public hearing to consider a request by Whitney and Nick Harvick to approve a Class II Historic Design Review to add 984 square feet to a “Not in Period” existing single-family residence within the Willamette Historic District. The approval criteria are found in Chapters 11, 25, and 99 of the Community Development Code (CDC). The hearing was conducted pursuant to the provisions of CDC Chapter 99.

The hearing commenced with a staff report presented by Aaron Gudelj, Associate Planner. The applicant(s)/owner(s), Whitney and Nick Harvick, presented. No oral comments were provided. The Historic Review Board closed the hearing, deliberated, and Member XXX made a motion to approve the application. The motion was seconded by Member XXXX and approved XXX.

II. The Record

The record was finalized at the August 18, 2026, hearing. The record includes the entire file from HDR-26-01.

III. Findings of Fact

- 1) The Overview set forth above is true and correct.
- 2) The applicant is Whitney and Nick Harvick.
- 3) The Historic Review Board finds that it has received all information necessary to make a decision based on the Staff Report and attached findings; public comment, if any; and the evidence in the whole record, including any exhibits received at the hearing.

IV. Findings

The Historic Review Board adopts the Staff Report for August 18, 2026, with attachments, as its findings, which are incorporated by this reference.

The Historic Review Board concludes that all of the required approval criteria are met subject to the following conditions of approval:

1. Site Plan, Elevations, and Narrative. Alterations to the building shall conform to the plans, elevations, and narrative submitted in Exhibit PD-1.

V. Order

The Historic Review Board concludes that HDR-26-01 is approved based on the Record, Findings of Fact, and Findings above.

XXXXXX, CHAIR
WEST LINN HISTORIC REVIEW BOARD

DATE

This decision may be appealed to the City Council pursuant to the provisions of Chapter 99 of the Community Development Code and any other applicable rules and statutes. This decision will become effective 14 days from the date of mailing of this final decision as identified below.

Mailed this _____ day of _____, 2026.

Therefore, this decision becomes effective at 5 p.m., _____, 2026.