

**EXHIBIT PC-1: APPLICANT NARRATIVE AND SITE PLANS**

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only			
STAFF CONTACT <b>Wyss</b>	PROJECT NO(S) <b>CUP-25-03/DR-25-03/VAR-25-02</b>	PRE-APPLICATION NO. <b>PA-25-06</b>	
NON-REFUNDABLE FEE(S) <b>\$4,450</b>	REFUNDABLE DEPOSIT(S) <b>\$9,000</b>	TOTAL	<b>\$13,450</b>

**Type of Review** (Please check all that apply):

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)<br><input type="checkbox"/> Appeal (AP)<br><input type="checkbox"/> CDC Amendment (CDC)<br><input type="checkbox"/> Code Interpretation (MISC)<br><input checked="" type="checkbox"/> Conditional Use (CUP)<br><input checked="" type="checkbox"/> Design Review (DR)<br><input type="checkbox"/> Tree Easement Vacation (MISC)<br><input type="checkbox"/> Expediated Land Division (ELD)<br><input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Final Plat (FP) <u>Related File # _____</u><br><input type="checkbox"/> Flood Management Area (FMA)<br><input type="checkbox"/> Historic Review (HDR)<br><input type="checkbox"/> Lot Line Adjustment (LLA)<br><input type="checkbox"/> Minor Partition (MIP)<br><input type="checkbox"/> Modification of Approval (MOD)<br><input type="checkbox"/> Non-Conforming Lots, Uses & Structures<br><input type="checkbox"/> Planned Unit Development (PUD)<br><input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)<br><input type="checkbox"/> Temporary Uses (MISC)<br><input type="checkbox"/> Time Extension (EXT)<br><input type="checkbox"/> Right of Way Vacation (VAC)<br><input type="checkbox"/> Variance (VAR)<br><input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)<br><input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)<br><input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)<br><input type="checkbox"/> Zone Change (ZC) |
|--|---|---|

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: <b>18850 Willamette Drive West Linn, OR</b>	Assessor's Map No.: <b>21E14DD</b>
	Tax Lot(s): <b>21E14DD06900</b>
	Total Land Area: <b>1.294 Acres, 56,378 sf</b>

**Brief Description of Proposal:**

A 3,190 sf, One Story, 17'-8" high new automated car wash, with vacuum stations with associated parking stalls. This building is replacing an existing McDonald's restaurant. The hours of operation are from 8:00 AM to 8:00 PM. The building is Type VB Construction, and Occupancy Group B. Car maintenance facilities are allowed under a Conditional Use Permit from the City of West Linn.

<b>Applicant Name*:</b> <b>Eric Li, TVA Architects</b> Address: <b>1750 SW Yamhill, Suite 150</b> City State Zip: <b>Portland, OR 97205</b>	Phone: _____ Email: <b>503.924.6321</b> <b>eeykelbosch@froelich-engineers.com</b>
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<b>Owner Name (required):</b> <b>Chuck Kaady</b> Address: <b>2545 SW Spring Garden Street, Suite 200</b> City State Zip: <b>Portland, OR, 97219</b>	Phone: _____ Email: <b>503.924.6321</b> <b>eeykelbosch@froelich-engineers.com</b>
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<b>Consultant Name:</b> <b>Evan Eykelbosch, Froelich Engineers</b> Address: <b>17700 SW Upper Boones Ferry Road, suite 115</b> City State Zip: <b>Portland, OR 97224</b>	Phone: _____ Email: <b>503.924.6321</b> <b>eeykelbosch@froelich-engineers.com</b>
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1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. **\*The applicant is financially responsible for all application costs.**
2. All information provided with the application is considered a public record and subject to disclosure.
3. The owner/applicant or their representative should attend all public hearings related to the application.
4. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
5. Submit this form, application narrative, and all supporting documents as a single PDF through the web page: <https://westlinnoregon.gov/planning/submit-land-use-application>.

The undersigned property owner authorizes the application and grants city staff the right of entry onto the property to review the application. The applicant and owner affirm that the information provided in this application is true and correct. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

 07/23/2025  
 Applicant's signature Date

 8-1-2025  
 Owner's signature (required) Date

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT	PROJECT NO(S).	PRE-APPLICATION NO.
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S)	TOTAL

**Type of Review** (Please check all that apply):

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX)               | <input type="checkbox"/> Final Plat (FP) <u>Related File#</u>   | <input type="checkbox"/> Subdivision (SUB)                               |
| <input type="checkbox"/> Appeal (AP)                    | <input type="checkbox"/> Flood Management Area (FMA)            | <input type="checkbox"/> Temporary Uses (MISC)                           |
| <input type="checkbox"/> CDC Amendment (CDC)            | <input type="checkbox"/> Historic Review (HDR)                  | <input type="checkbox"/> Time Extension (EXT)                            |
| <input type="checkbox"/> Code Interpretation (MISC)     | <input type="checkbox"/> Lot Line Adjustment (LLA)              | <input type="checkbox"/> Right of Way Vacation (VAC)                     |
| <input type="checkbox"/> Conditional Use (CUP)          | <input type="checkbox"/> Minor Partition (MIP)                  | <input checked="" type="checkbox"/> Variance (VAR)                       |
| <input type="checkbox"/> Design Review (DR)             | <input type="checkbox"/> Modification of Approval (MOD)         | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC)  | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)    |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD)         | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)      |
| <input type="checkbox"/> Extension of Approval (EXT)    | <input type="checkbox"/> Street Vacation                        | <input type="checkbox"/> Zone Change (ZC)                                |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

<b>Site Location/Address:</b> 18850 Willamette Drive, West Linn, OR, 97068	Assessor's Map No.: <b>21E14DD</b>
	Tax Lot(s): <b>21E14DD06900 Lots 40 &amp; 41</b>
	Total Land Area: <b>1.294 Acres</b>

**Brief Description of Proposal:**

This is an application for a Class II Variance, resulting from the findings of incompleteness in the Type II Land Use Review (PA-25-06) currently in for review with the City of West Linn. The applicant is requesting a Variance for section 55.100 6 e which stipulates 60% glazing on the primary street face and 30% glazing on secondary street facing.

<b>Applicant Name*:</b>	Eric Li, Senior Associate	Phone: 971.678.7578
Address:	TVA Architects	Email: ericl@tvaarchitects.com
City State Zip:	1750 SW Yamhill Street, Suite 150 Portland, OR 97205	

<b>Owner Name (required):</b>	Chuck Kaady	Phone: 503.246.7735
Address:	Kaady Car Washes	Email: CKaady@Kaady.com
City State Zip:	2545 SW Spring Garden Street, Suite 200 Portland, OR 97219	

<b>Consultant Name:</b>	Evan Eykelbosch	Phone: 503.924.6321
Address:	Froelich Engineering	Email: eeykelbosch@froelich-engineers.com
City State Zip:	17700 SW Upper Boones Ferry Rd. Suite 115 Portland, OR 97224	

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5. Submit this form, application narrative, and all supporting documents as a single PDF through the web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. The applicant and owner affirm that the information provided in this application is true and correct. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

 09/12/2025  
 Applicant's signature Date

 9.13.2025  
 Owner's signature (required) Date

# DEVELOPMENT REVIEW CHECKLIST

The application form and supporting materials should be submitted electronically through <https://westlinnoregon.gov/planning/submit-land-use-application> as one (1) .pdf file. To create a single PDF file, go to [Adobe Acrobat Free Merge PDF](#) online tool. [Other free Acrobat PDF tools](#) like converting a file to PDF or reducing the file size are available on the Adobe website.

Supporting reports may be uploaded separately through this web form *if* the file size is too large. The separate submissions should be numbered (i.e., Submittal 1 of 2) and noted under transmittal contents. All plan set files MUST be flattened and reduced.

Submission requirement to upload through the web form:

- .pdf format.
- Individual file size no larger than 128 MB.
- Do not attach 'zip' files. Our server will reject all 'zip' files.
- Reduce and flatten all plan sets BEFORE uploading plan sets. The raster/vector settings should be optimized for printing.

A complete application must include the following:

- Development Review Application. Original signatures from all owners must be on the application form. **Do NOT use DocuSign.**
- A **project narrative** outlining the project's scope in detail, including the changes to the site, structure, landscaping, parking, land use, and lot consolidations.
- Complete written responses to identified approval criteria in the [Community Development Code \(CDC\)](#).
- A Service Provider Letter from Tualatin Valley Fire and Rescue - <https://www.tvfr.com/399/Service-Provider-Permit> Please contact Jason Arn at [jason.arn@tvfr.com](mailto:jason.arn@tvfr.com) with any questions about TVF&R requirements.
- Vicinity Map showing the site within the City.
- Site Plan drawn to scale showing the:
  - Taxlot and address of the project,
  - Area of the site (acres or square feet),
  - Zoning and Neighborhood Association,
  - Location and dimensions of existing and proposed buildings, structures,
  - Location of existing and proposed on-site driveways and off-street parking,
  - Configuration and dimensions of all existing and proposed lots and tracts, including a proposed park, open space, and or drainage tracts or easements,
  - Location and width of existing and proposed easement for access, drainage, etc., and
  - Location of existing and proposed trees and other proposed landscaping.
  - Location of existing public and private utilities, easements, and 100-year floodplain,
  - Sensitive areas, including the location of on-site wetlands and riparian areas,
  - Location of existing off-site driveways across the street,
  - If applicable, internal circulation system, name, and location of existing and proposed roadways and roadway easements (private and public), and
  - Location and width of existing and proposed on-site pedestrian and bicycle facilities on-site.
- If applicable, a Utility Plan and Landscape plan, drawn to scale.
- If applicable, Building elevation drawings with exterior elevations for every side of each structure, height including building materials and floor levels, drawn to scale.
- If required, documentation of any required meeting with the respective City-recognized neighborhood association per CDC [99.038](#).
- Any other materials identified by city staff at the pre-application meeting.

For applications that the Planning Commission decides, the applicant or applicant's representative should present their proposal to the PC at the public hearing.



# CITY OF West Linn

September 3, 2025

Chuck Kaady  
2545 SW Spring Garden Street, Suite 200  
Portland, OR 97205

**SUBJECT:** Conditional Use Permit and Class II Design Review Application for 18850 Willamette Drive (CUP-25-03/DR-25-03)

Chuck Kaady,

Your application submitted on August 4, 2025 has been deemed **incomplete**. The following items must be addressed:

- 1) CDC Chapter 55 Design Review (55.100(6)(E) – Commercial buildings must provide 60% windows or transparency at the pedestrian level. If 60% cannot be met a Class II Variance will be required.
- 2) CDC Chapter 75 Variances and Special Waivers - Address all applicable code sections in Chapter 75 regarding a request to reduce the required windows and transparency on commercial buildings. The fee for a Class II Variance is \$3450 and must be paid at time of resubmittal.
- 3) CDC Chapter 99 Procedures for Decision Making: Quasi-Judicial (99.038)(A-E) – Address all applicable code criteria for 99.038(A-E).

Pursuant to CDC 99.035, the Planning Director may require information in addition to that required by a specific chapter in the Community Development Code or may waive a specific requirement for information or a requirement to address certain approval standards.

Pursuant to ORS 227.178: If an application for a permit, limited land use decision or zone change is incomplete, the governing body or its designee shall notify the applicant in writing of exactly what information is missing within 30 days of receipt of the application and allow the applicant to submit the missing information. The application shall be deemed complete for the purpose of subsection (1) of this section upon receipt by the governing body or its designee of:

- (a) All of the missing information;
- (b) Some of the missing information and written notice from the applicant that no other information will be provided; or
- (c) Written notice from the applicant that none of the missing information will be provided.

You have through February 24, 2026, to make the application complete by providing the information outlined above. On the 181<sup>st</sup> day after first being submitted, the application will be considered void if

the applicant has been notified of the missing information and has not submitted the information as requested above or a written notice responding to the above options.

Please contact me at 503-742-6062, or by email at [cmyers@westlinnoregon.gov](mailto:cmyers@westlinnoregon.gov) if you have any questions or comments.

Respectfully,

*Chris Myers*

Chris Myers  
Associate Planner



- The use of a masonry wall performs better as an acoustic buffer than a glazed opening, and acoustics was a primary concern of the Neighborhood Association. Windows adjacent to areas near fan dryers would increase the sound vibration from air blowers rather than dampen the noise, as the masonry walls will.
- Glazing into the wash bay on the passenger side is possible, but it does not achieve the required amount of glazing facing the public. Adding additional glazing would not enhance or provide any visual enhancement relative to the functions inside of the building. There are no people working inside the wash bay during operational hours, nobody needs to see out of the wash bay as the space is unoccupied.
- Glazing into the storage room on the South (Walling Way) side would interfere with the mounting of the filtration treatment equipment in the storage room, which requires and would not provide a notable benefit to be publicly seen.
- The requested variance does not affect the size, location, or topography of the building on the site. The code provision in 55.100 6 e is an aesthetic provision.
- The request for this variance does not create any conflicts with any other Community Development code standards.
- Nearby Precedents for non-compliance with this Code section (Whether or not they applied for a variance) include:
  - United Car Wash on 19303 Willamette Drive (Very Similar)
  - Walmart on 19133 Willamette Drive
  - Wells Fargo Bank on 19181 Willamette Drive
  - Soku Sushi and Noodle on 19171 Willamette Drive
  - Monte Gozales Family Dentistry on 18612 Willamette Drive
  - Burgerville on 18530 Willamette Drive

**3. Included in this Application, per the Procedures for Decision Making: Quasi-Jurisdictional of 99.038, Neighborhood Contact Required for Certain Applications:**

- A. Purpose: The purpose of the neighborhood contact is to identify potential issues or conflicts regarding a proposed application so that they may be addressed before filing.
  - a. Acknowledged. **This meeting was scheduled, held, and recorded in accordance with the requirements of 99.038.**
- B. The applicant shall contact by letter all recognized neighborhood associations whose boundaries contain all or part of the site of the proposed development and all property owners within 500 feet of the site.
  - a. A letter of notification was drafted to inform these neighbors of the scheduled meeting. These letters were mailed more than 20 days before the June 8 meeting. **This letter has been included as part of this Conditional Use application, see attached.**
  - b. See the attached mailing list of neighbors, as determined by Chicago Title.
- C. The letter shall be sent to the president of the neighborhood association and to one designee as submitted to the City by the Neighborhood Association. It shall be sent by regular mail to the other officers of the association and the property owners within 500 feet of the project.

- a. The letter was sent by certified mail to NA President Michelle Goldberg, NA Vice President Tony Bracco, and to the Robinwood Station courtesy of Michelle Goldberg. **See the attached receipts for the certified mail.**
  - b. Please note that the email addresses listed for the Robinwood Neighborhood Association on the City of West Linn Website are not viable website addresses, which made contacting the officials very difficult. TVA had to attend the May Robinwood Neighborhood Association meeting to get on the next month's schedule, as repeated email requests to the City's identified email addresses were not returned, creating delays in the design team's ability to get on the Neighborhood Association meeting schedule. The NA Treasurer, Kevin Bryck, confirmed this issue. This information should be corrected for future applicants.
- D. Two signs were posted on the building site, announcing the time, date, and location of the Neighborhood Association Meeting. One sign was placed along Willamette Drive, and one sign was placed next to the driveway entry on Walling Way. The signs were 30" x 42" and mounted on polycarbonate boards and were staked in place.
- a. **A .pdf of the sign has been provided as part of this CUP permit application.** Contact information for Chuck Kaady and Eric Li is included on both the sign and the notification letter.
  - b. Photographs of the signage in place have been provided as part of this CUP application. **See sheets G1 and G1.1.**
- E. The following documents have been attached to this application.
- a. **A copy of the certified letter with receipts from the USPS, dated 5/9/2025.**
  - b. **An affidavit of the mailing for the letters of notification, dated 5/9/2025, which a notary public has stamped.**
  - c. **A .pdf copy of the notification signage, announcing the date, time, and location of the Neighborhood Association Meeting.**
  - d. **A copy of the meeting agenda and the meeting minutes provided by the Robinwood Neighborhood Association.**
  - e. **As of 9/5/25, the Design Team has received (1) written comment in opposition to the proposed use, from Morgan McCarley, dated 5/20/2025. The email has been included in the application.**
  - f. **An MP3 audio recording of the Neighborhood Association was provided to Chris Myers in the original application.**

**The major points of concern from the audience were traffic, noise, and wetland issues.**

The Applicant acknowledges the concerns of the neighborhood community and addresses these elements in this application narrative:

- Water Resource Area Protection Chapter 32
- Privacy and Noise 55.100D,
- Traffic 55.125

**END COMPLETENESS RESPONSE**



# CITY OF West Linn

October 24, 2025

Chuck Kaady  
2545 SW Spring Garden Street, Suite 200  
Portland, OR 97205

**SUBJECT:** Conditional Use Permit and Class II Design Review Application for 18850 Willamette Drive (CUP-25-03/DR-25-03)

Chuck Kaady,

Your application resubmitted on September 19, 2025, has been deemed **incomplete**. The following items must be addressed:

- 1) The Engineering and Public Works Department has determined that a Traffic Impact Analysis (TIA) is warranted for the proposed project. Ensure the proposal is from a certified engineering firm.
- 2) The Planning Department requests a noise study from a licensed professional Acoustic Engineer to determine the level of noise produced by the proposed facility.

Pursuant to CDC 99.035, the Planning Director may require information in addition to that required by a specific chapter in the Community Development Code or may waive a specific requirement for information or a requirement to address certain approval standards.

Pursuant to ORS 227.178: If an application for a permit, limited land use decision or zone change is incomplete, the governing body or its designee shall notify the applicant in writing of exactly what information is missing within 30 days of receipt of the application and allow the applicant to submit the missing information. The application shall be deemed complete for the purpose of subsection (1) of this section upon receipt by the governing body or its designee of:

- (a) All of the missing information;
- (b) Some of the missing information and written notice from the applicant that no other information will be provided; or
- (c) Written notice from the applicant that none of the missing information will be provided.

You have through April 22, 2026, to make the application complete by providing the information outlined above. On the 181<sup>st</sup> day after first being submitted, the application will be considered void if the applicant has been notified of the missing information and has not submitted the information as requested above or a written notice responding to the above options.

Please contact me at 503-742-6062, or by email at [cmyers@westlinnoregon.gov](mailto:cmyers@westlinnoregon.gov) if you have any questions or comments.

Respectfully,

*Chris Myers*

Chris Myers  
Associate Planner



2. The City of West Linn requested a noise study from a licensed professional Acoustic Engineer to determine the level of noise produced by the proposed facility.

Tenor Acoustics was hired to provide an acoustic report. Tenor provided an assessment evaluating potential acoustical impacts by comparing predicted noise emissions from the proposed equipment against pertinent regulations established by the City of West Linn, Clackamas County, and the State of Oregon Department of Environmental Quality. The evaluation utilizes ambient sound level data obtained from the existing site as well as acoustic testing performed at three other Kaady Car Washes in the Portland area. The data was then used to create a software model that predicts noise from the proposed car wash to adjacent areas and properties. This report has been included in the Conditional Use/Design Review Application.

Summarizing the findings, it was predicted that the initial proposal was compliant with codes and ordinances on the East, North, and South faces. These conditions indicated less than 55 dBA in noise-sensitive areas. The west-facing elevation, however, predicted non-compliant noise levels due to the mechanical blowers facing the residences on the west-facing slope, resulting in levels over 60 dBA at the residences on the west-facing slope to the west of the car wash.

To mitigate this condition, TVA redesigned the car wash entry to provide an acoustic enclosure outside the west-facing exit, turning the exit to the north. (See Report Section 5.1) This eliminates the predicted noise impact on the sensitive residential areas to the west. This satisfies the Clackamas County Code and the Oregon Administrative Rules statistical noise levels for new commercial noise sources. The Modifications to the exit are shown on Site Plan A0.01 and Elevations A4.01, attached.

Studies of the vacuum stations at the Tualatin/Sherwood Kaady Car Wash site predict that the blower sheds and vacuums do not cause any acoustic issues to any sensitive areas when applied to this project site.

**END COMPLETENESS RESPONSE**



Date: Revised on January 8, 2025  
Project Name: Kaady Car Wash West Linn  
Project No: 24041  
Re: Type II Design Review Application

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**CONDITIONAL USE AND TYPE II DESIGN REVIEW  
APPLICATION AND WRITTEN RESPONSES  
FOR 18550 Willamette Drive, Tax Lot 21E14DD06900  
Per Chapters 55 and 60 of the City of West Linn Community Development Code**

**APPLICATION NARRATIVE**

The Kaady Car Wash is a one-story, 3,190-sf building that is 17'-8" high and has 280 sf of auxiliary buildings (Ticket Booth and Vacuum Shed), for a total of 3,470 sf of leasable space. It is replacing a 3,948-sf McDonald's restaurant with drive-through service. The building type is considered an automobile cleansing facility per 2.a. in 19.060 Conditional Uses, which allows the use in this zone subject to the provisions of Chapter 60 of the CDC, Conditional Uses.

Kaady Car Wash is a locally owned franchise of automotive cleaning facilities that have used state-of-the-art car wash technology for the residents of the Portland Metropolitan area since 1977. Kaady Car Washes are better for the cars, the environment, and for all that cars go through. Business operations run daily from 8 AM to 8 PM. Similar facilities have recently been developed on West Burnside in Portland and along TV Highway in Hillsboro.

There are no public restroom facilities within the scope of this work. An accessible staff restroom is available for the use of car wash employees.

**Building Construction Type and Occupancy:**

The construction type is VB, and the occupancy group is B. The building is non-separated. The Car Wash has an occupancy of 12, and each of the two ticket stations has an occupancy of 1. The allowable area is 9,000 sf without sprinklers, per Table 504.3. **COMPLIANT**  
The allowable building height is 40'-0" without sprinklers per Table 504.3. **COMPLIANT**

**For Type VB Construction, Class B Occupancy, No Sprinklers:**

OSSC Table 504.3 allowable building height is 40'-0" **COMPLIANT**  
OSSC Table 504.4 allows for two allowable stories. **COMPLIANT**  
OSSC Table 506.2 allowable area is 9,000 s.f. **COMPLIANT**

**tva architects, inc.**

1750 sw yamhill street | suite 150 | portland, oregon 97205  
phone: 503 220 0668 | [www.tvaarchitects.com](http://www.tvaarchitects.com)

Robert Thompson, FAIA | Tim Wybenga, LEED AP | Pamela Saftler, AIA, IIDA | Mandy Butler, AIA, LEED AP, CSI CDT

A precedent for a car wash conditional use exists with the operation of United Car Wash, located at 19303 Willamette Drive, West Linn.

**Existing Easement:**

There is an existing Reciprocal Ingress and Egress Easement on the site, Document No 96-058137 amended by Document 98-051836, that provides access to the shopping mall on the lot adjacent to the north. This easement remains. The existing lot entries remain unchanged.

**Existing landscaping and Planting:**

None of the street trees on the site are documented or included in the City of West Linn Street Tree Inventory Map. One street tree located off Walling Way may need to be modified to accommodate the upgrade of the water service line, but the rest of the street trees are to remain. There is a masonry existing site retaining wall that is approximately 8'-0" on the east side of the lot that provides a visual and acoustic buffer to the adjacent residential zone. On the east side of the wall is a vegetated water treatment swale that we will keep, upgrade, and maintain. Interior lot landscaping will be demolished and replaced as shown on the site plan with City-compliant small trees.

**Pre-Application Conference**

TVA and Chuck Kaady met with Chris Myers with the City of West Linn Planning Department for a Pre-Application conference on March 8, 2025. See attached Summary Notes.

The key issues from the meeting were that:

1. The design team needed to meet with the Robinwood Neighborhood Association and to provide an audio recording of the meeting.
2. The applicant must have a TVF&R Provider Permit as part of the application
3. There is an existing ingress/egress easement on the property, which must be maintained unless legally changed with all property owners agreeing.

**TVFR Provider Permit**

A Tualatin Valley Fire and Rescue Provider Permit has been submitted and approved by TVFR, and is included as part of this application.

**Historical Preservation:**

This is not a historical condition subject to review from the Historic Review Board.

**99.038 Neighborhood Contact Required for Certain Applications**

TVA and Kaady Car Wash hosted a Robinwood Neighborhood Association meeting at the Robinwood Station Community Center on June 8, 2025, at 7:00 PM. Also in attendance were the Vice President, Tony Bracco, and the Secretary/Treasurer, Kevin Bryck. The Association President, Michelle Greenberg, was invited, but did not attend. Our presentation lasted about an hour, where we fielded questions and concerns from the community. A complete audio documentation of the event was taken and is submitted with this application.

Questions and concerns from this meeting included:

- Noise and acoustic performance of the building.
- The effects of on-site water drainage on the local water system.
- Traffic along Willamette Drive.
- Whether the addition of another car wash in the neighborhood is warranted.

The Design Team will address each of these items in this application.

Included in this Application, per the requirements of 99.038, Neighborhood Contact Required for Certain Applications:

- A. Purpose: The purpose of the neighborhood contact is to identify potential issues or conflicts regarding a proposed application so that they may be addressed before filing.
  - a. Acknowledged. This meeting was scheduled, held, and recorded in accordance with the requirements of 99.038.
- B. The applicant shall contact by letter all recognized neighborhood associations whose boundaries contain all or part of the site of the proposed development and all property owners within 500 feet of the site.
  - a. A letter of notification was drafted to inform these neighbors of the scheduled meeting. These letters were mailed more than 20 days before the June 8 meeting. This letter has been included as part of this Conditional Use application, see attached.
  - b. See the attached mailing list of neighbors, as determined by Chicago Title.
- C. The letter shall be sent to the president of the neighborhood association and to one designee as submitted to the City by the Neighborhood Association. It shall be sent by regular mail to the other officers of the association and the property owners within 500 feet.
  - a. The letter was sent by certified mail to NA President Michelle Goldberg, NA Vice President Tony Bracco, and to the Robinwood Station courtesy of Michelle Goldberg. See the attached receipts for the certified mail.
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- D. Two signs were posted on the building site, announcing the time, date, and location of the Neighborhood Association Meeting. One sign was placed along Willamette Drive,

and one sign was placed next to the driveway entry on Walling Way. The signs were 30” x 42” and mounted on polycarbonate boards and were staked in place.

- a. A .pdf of the sign has been provided as part of this CUP permit application. Contact information for Chuck Kaady and Eric Li is included on both the sign and the notification letter.
  - b. Photographs of the signage in place have been provided as part of this CUP application. See sheets G1 and G1.1.
- E. The following documents have been attached to this application.
- a. A copy of the certified letter with receipts from the USPS, dated 5/9/2025.
  - b. An affidavit of the mailing for the letters of notification, dated 5/9/2025, which has been stamped by a notary public.
  - c. A .pdf copy of the notification signage, announcing the date, time, and location of the Neighborhood Association Meeting.
  - d. A copy of the meeting agenda and the meeting minutes provided by the Robinwood Neighborhood Association.
  - e. As of 9/5/25, the Design Team has received (1) written comment in opposition to the proposed use, from Morgan McCarley, dated 5/20/2025. The email has been included in the application.
  - f. An mp3 audio recording of the Neighborhood Association was provided to Chris Myers.

**The major points of concern from the audience were traffic, noise, and wetland issues.**

The Applicant acknowledges the concerns of the neighborhood community and addresses these elements in this application narrative:

- Water Resource Area Protection Chapter 32,
- Privacy and Noise 55.100D,
- Traffic 55.125

**Design Documents:**

The attached documents have been provided as part of this Conditional Use Application: The required drawings have been provided in PDF format, in both full-size (30x42) and 11x17 formats. 55.070 Submittal Requirements require these Documents

- A site plan A0.01
- Building Elevations A4.01 and A4.02
- Grading Plan
- Site Utility Plan
- Photographs of the Existing McDonald’s Site (with Neighborhood Notification Sign)
- Photographs of the Portland, West Burnside Kaady Car Wash, completed in 2024, which is the basis of the design for this project.
- Photographic proof of the acoustic testing of the Burnside Site.
- A Light Coverage Plan

## CHAPTER 19 GENERAL COMMERCIAL (GC) ZONE REQUIREMENTS

### 19.020 PROCEDURES AND APPROVAL PROCESSES

- The approval of a conditional use is discretionary with the Planning Commission, the process and criteria for approval set forth in Chapter 60 of the City of West Linn Community Development Code.

### 19.060 CONDITIONAL USES

- Automotive and equipment cleaning uses are allowed as a conditional use. A Conditional Use Permit will be applied for under the requirements listed in Chapter 60 of the West Linn Community Development Plan. (See below for more information.)

### 19.070 DIMENSIONAL REQUIREMENTS

- Minimum front lot line length shall be 35 feet. **COMPLIANT**
- Minimum lot width shall be 50 feet. **COMPLIANT**
- Minimum lot depth shall not be less than 90 feet. **COMPLIANT**
- The maximum lot coverage shall be 50 percent. **COMPLIANT**
- Maximum building height shall be two and one-half stories or 35 feet for any structure located 50 feet or more from a low or medium-density residential zone. **COMPLIANT**
- For lot lines that abut an arterial, there shall be no minimum yard dimensions or minimum building setback area, and the maximum building line shall consist of landscaping or a combination of non-vehicular hardscape areas and landscaped areas. **COMPLIANT**

## CHAPTER 32 WATER RESOURCE AREA PROTECTION

- Per the West Linn Water Resource Area Map, Fern Creek runs as an underground pipe segment below the property and is piped out at the west property line. Fern Creek, upon emerging on the other side of the property line becomes a significant riparian corridor.
- The projected water resource area of the riparian corridor on this property is where the stormwater treatment pond is. The water resource itself (Fern Creek) is outside of the property lines of this project.
- There is no construction in this area of the site. Per Table 32-1, stormwater treatment facilities are allowed in a Water Resource Area.
- There are no wetland conditions on this property identified in the Water Resource Inventory.

## CHAPTER 42 CLEAR VISION AREA

- The Owner will trim and maintain the street tree canopy 8'-0" and below at the corner of Willamette Drive and Walling Way to provide the clear vision area 30'-0" from the

intersection as required per 42.020. There are to be no visual obstructions (walls, fences, or planting) provided at this intersection as part of this scope of work.

#### CHAPTER 44 FENCES

- No new fences are being provided in this cope of work.
- There is an existing CMU retaining wall on the east side of the east drive exit that will remain. This retaining wall is 6'-8" max. and does not abut a street. Most of this wall is 40" max above grade. This wall is not within a front yard setback area.

#### CHAPTER 46 OFF-STREET PARKING, LOADING, AND RESERVOIR AREAS

- The traffic flow reverses through the car wash, and vehicles can either exit back onto Willamette Drive or use the self-servicing vacuum spaces in a lot to the north of the car wash. The vacuum stalls are generously sized at 10'-0" wide x 18'-0" deep, and the total number of parking spaces is 17.
- Note that the vacuum stations are for active cleaning use and are not intended as medium or long-term parking spaces.
- Per the Off-Street Parking Requirements table 46.090, the maximum number of parking spaces is 5 per 1000 sf of leasable building, using "other commercial uses" as the Land Use criteria.
- $3.47 \times 5 = 17.35$  parking spaces maximum allowed. COMPLIANT
- The Reservoir Requirement for drive-in uses for mechanical car washes requires 3 spaces/washing unit, and 5 spaces for attendant ticket dispensing. This facility has a reservoir area of 6 cars from the car wash to the ticket station and 18 cars from the ticket station to the driveway entrance. ODOT has reviewed the site plan submitted for the Pre-Application Conference.
- The building does not exceed the threshold for Commercial Buildings at which a loading space berth is required. (10,000 sf). Per 46.130.
- All exterior lighting for this facility will be concealed or shielded for compliance with 46.150 Design Standard 13.
- This facility is compliant with the maximum allowable 12 parking spaces in a row as required by 46.150 Standard 19.
- One accessible parking space is required. One is provided.
- This facility is compliant with all of the conditions listed in 46.150 Design and Improvement Standards for non-residential parking.
- Two bicycle spaces are required or .33 spaces per 1000 gross sf (.33 x 4=1.32), whichever is greater, for auto-oriented services. Two are provided.
- This facility provides less than one-half acre of parking (7,548 sq. ft.), so it is not required to provide shade trees at the parking area.

#### CHAPTER 48 ACCESS, EGRESS, AND CIRCULATION

- This project is compliant with the conditions required in Chapter 48.

- A traffic impact analysis has not been requested by the City as a condition of the Pre-Application meeting. The State Department of Transportation is reviewing the Pre-Application documents.
- The two existing site access driveways remain, and no new driveways are being added. The driveway off of Willamette Drive (40'-0" wide) is both ingress and egress. The Owner is considering whether the driveway on Walling Way (37'-0" wide) will be used for Egress only or both ingress and egress. It was explained to the design team that it could be either condition.
- There is an existing reciprocal ingress and egress easement that is to remain along the west boundary of the site. See the Site Plan for additional easement information. Documents 96-058137 and 98-051836 are on record with the City of West Linn.
- A portion of the site utilizes one-way traffic to direct customers through the drive-through mechanical car wash. The vacuum station stalls are served by a two-way drive aisle. The Owner is considering utilizing the SW exit off of Walling way as an exit only driveway to control the traffic queue for the car wash.

#### **CHAPTER 52 SIGNS**

- Permanent monument signs and building-mounted signage are permitted on this property and will be submitted under a separate permit, conforming to 52.101 Signage Procedures and Approval Process to ensure compliance with Chapter 52 in full.
- Anticipated signage includes a building mounted sign and a pole mounted sign.

#### **CHAPTER 54 LANDSCAPING**

- All existing street trees along Willamette Drive and Walling Way are to be retained. The new drive access aisle follows the same profile as the existing curb line of the McDonald's site, protecting the existing root systems. The existing cedar trees along the east property line behind the masonry retaining wall remain. There are small existing deciduous trees (with a diameter of less than 12 inches at chest height) within parking islands and peninsulas that are being removed as part of this scope.
- One exception: There may be a need to remove or provide protection for a tree that has grown its root system around the existing water meter, which is being upsized for the car wash use.
- The existing street trees will be trimmed to conform to the Clear Vision Area requirements stated in Chapter 42.
- Per chapter 54.020, Parking lots with 10 to 20 parking spaces shall have a minimum of five percent of the interior devoted to landscaping. The perimeter landscaping is not to be included in this five percent. There shall be one shade tree planted for every eight parking spaces. For seventeen parking spaces, three trees are required, and four are proposed in this scope of work.
- Per the Pre-Application meeting review from the City of West Linn, the quantity of landscaping provided by the street trees as proposed in this site plan satisfies the criteria of Chapter 54

- The existing stormwater treatment containment pool and surrounding landscaping will be maintained, cleared of blackberries, and improved as necessary for water treatment and retention.

## CHAPTER 55 DESIGN REVIEW

This project does not fall under any of the project types listed for CLASS I Design Review. Therefore, a new major commercial construction project is subject to a Class II Design Review. The project has executed the Pre-Application conference required by 55.030.

### 55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW GENERAL/DISCRETIONARY

#### RELATIONSHIP TO THE NATURAL ENVIRONMENT

- No heritage trees are dedicated in the City of West Linn Street Tree Inventory Map on this site.
- The topography and natural drainage shall be preserved to the greatest degree possible. This project will utilize the existing stormwater treatment facility in the SW corner of the site, where the natural drainage of the site currently flows.
- There are no steep slopes on this site that are subject to slumping and sliding.

#### ARCHITECTURE

- The architectural character of this building is in character and scale with the other buildings in this neighborhood. A precedent for car washes exists nearby, with United Car Wash located at 19303 Willamette Dr. (approximately five blocks away). Drive-through businesses are common along Willamette Drive. Chevron, Starbucks, Burgerville, Castrol, and Wells Fargo all have drive-through operations along Willamette Dr. within five blocks of this site.
- The building that Kaady Car Wash will be replacing is a McDonald's drive-through restaurant, so the vehicular-oriented character has a precedent for this site.
- The size and shape of this building is consistent with the commercial buildings along Willamette Drive.
- Willamette Drive is an arterial highway (HWY 43) and does not support a pedestrian commercial environment. Walling Way is a local roadway that, due to previous right-of-way improvements, does not require additional frontage Improvements at the property location, according to the West Linn Department of Transportation.
- There are no public entrances to this facility. The public does not enter the building, except to run their cars through the wash. The main street and transit entrance proximity requirements do not apply.
- The car wash has been set back from the property lines, with the existing street trees and site retaining wall acting as an acoustic buffer to neighboring properties. These dimensions are to the property lines. Existing neighboring buildings are located at a minimum of 100 feet away.
  - South Buffer 71'-1"
  - West Buffer 54'-5"
  - North Buffer 53'-3"

- East Buffer 113'-8"
- The mechanical equipment on top of the car wash has a 3'-8" high ribbed metal panel roof screen, masking HVAC equipment from view. See attached exterior elevations A4.01 and A4.02. We will be seeking an exception for the 60 percent glazing of the building due to its use as a car wash. There are windows provided for the Car Wash staff, but most of the building enclosure is for the car wash, for which windows are not needed.

### **Class II VARIANCE 75.020**

The proposed Car Wash does not comply with the window glazing requirements stipulated in 55.100 6 e, which requires 60 % transparency along the main elevation facing Willamette Drive, or the 30% transparency required along the secondary elevation facing Walling Way. The Applicant is submitting for a Class II Variance for the requirements of the glazing percentage required by 55.100 6 4.

During business hours, the exit elevation facing Willamette Drive will be open, providing a 12'-0" x 12'-0" opening that is fully "transparent". Along the Walling Way Driver's Side, there is 12% glazing provided to the employee workspaces (19'-8" glazing over 115'-0"). The Ticket Stations, which interact with the public, are 75% glazed (3 sides of each booth).

- The lack of the requisite glazing does not provide a life-safety or accessibility concern. The percentage of glazing is not a condition that conflicts with any requirements in the OSSC Code.
- The use of a masonry wall performs better as an acoustic buffer than a glazed opening, and acoustics was a primary concern of the Neighborhood Association. Windows adjacent to areas near fan dryers would increase the sound vibration from air blowers rather than dampen the noise, as the masonry walls will.
- Glazing into the wash bay on the passenger side is possible, but it does not achieve the required amount of glazing facing the public. Adding additional glazing would not enhance or provide any visual enhancement relative to the functions inside of the building. There are no people working inside the wash bay during operational hours, nobody needs to see out of the wash bay as the space is unoccupied.
- Glazing into the storage room on the South (Walling Way) side would interfere with the mounting of the filtration treatment equipment in the storage room, which requires and would not provide a notable benefit to be publicly seen.
- The requested variance does not affect the size, location, or topography of the building on the site. The code provision in 55.100 6 e is an aesthetic provision.
- The request for this variance does not create any conflicts with any other Community Development code standards.
- Nearby Precedents for non-compliance with this Code section (Whether or not they applied for a variance) include:
  - United Car Wash on 19303 Willamette Drive (Very Similar)
  - Walmart on 19133 Willamette Drive
  - Wells Fargo Bank on 19181 Willamette Drive

- Soku Sushi and Noodle on 19171 Willamette Drive
- Monte Gozales Family Dentistry on 18612 Willamette Drive
- Burgerville on 18530 Willamette Drive

**PRIVACY AND NOISE (55.100.D)**

Applicable Sections:

3. Structures or on-site activity areas that generate noise, lights, or glare shall be buffered from adjoining residential uses in accordance with the standards in subsection C of this section, where applicable.

4. Businesses or activities that can reasonably be expected to generate noise in excess of the noise standards contained in West Linn Municipal Code Section [5.487](#) shall undertake and submit appropriate noise studies and mitigate as necessary to comply with the code. (See CDC [55.110\(B\)\(11\)](#) and [55.120\(M\)](#).) If the decision-making authority reasonably believes a proposed use may generate noise exceeding the standards specified in the municipal code, then the authority may require the applicant to supply professional noise studies from time to time during the user’s first year of operation to monitor compliance with City standards and permit requirements.”

Design response:

- West Linn Municipal Code 5.487 Sound Levels and Noise prohibits noise between 9:00 PM and 7:00 AM. Kaady Car Wash’s daily operations begin at 8:00 AM and end at 8:00 PM, making the facility compliant.
- Chuck Kaady took decibel readings from the Burnside site, with cars going through the wash. These readings were taken at 8:00 AM on June 16.
  - 42 feet from car wash entry: 72 dB.
  - 50 feet from exit on the sidewalk on Burnside Street: 70db – 80 db
- This noise level is considered moderate, below the threshold for causing hearing damage. This noise is also intermittent and is a “whooshing” noise rather than a banging noise.
- The Willamette Drive site is 123 feet from the east property line (opposite the wash entry), and 67’-0” from the entry is an 8’-0” high CMU retaining wall buffer. The slope drops away from the site, and on the other side of the retaining wall is a thicket of mixed blackberry and wetland plantings.
- From the exit to the sidewalk along Willamette Drive, the exit is 61’-8” minimum. The sidewalk is 8’-4” wide, and Willamette Drive is 80’-0” before you hit the opposite sidewalk. The property on the opposite side of Willamette Drive is a commercial property. The nearest residential property to the west is at least 350’ away from the exit of the car wash, and the commercial buildings in Lot 18825 provide an acoustic buffer. Moreover, Willamette Drive will provide a more constant and equivalent noise source (Louder for big trucks and motorcycles) than the car wash to the neighbors to the west.

- The distance offset from the car wash is considerably more than the acoustic readings that were taken from the new Burndside Kaady Car Wash, which is a new development, and is also using patented state-of-the-art equipment that has been designed to be quieter.

*Per the Incompleteness letter received from the City of West Linn received on October 24, 2025, the Planning Department requested a noise study from a licensed professional Acoustic Engineer to determine the level of noise produced by the proposed facility.*

*Tenor Acoustics was hired to provide an acoustic report. Tenor provided an assessment evaluating potential acoustical impacts by comparing predicted noise emissions from the proposed equipment against pertinent regulations established by the City of West Linn, Clackamas County, and the State of Oregon Department of Environmental Quality. The evaluation utilizes ambient sound level data obtained from the existing site as well as acoustic testing performed at three other Kaady Car Washes in the Portland area. The data was then used to create a software model that predicts noise from the proposed car wash to adjacent areas and properties. This report has been included in the Conditional Use/Design Review Application.*

*To summarize the findings, it was predicted that the initial proposal was compliant with codes and ordinances on the East, North, and South faces. These conditions indicated less than 55 dBA in noise-sensitive areas. The west-facing elevation, however, predicted non-compliant levels of noise due to the facing of the mechanical blowers and the lack of intervening acoustical screens, and resulted in levels over 60 dBA at the residences on the uphill slope to the west of the car wash.*

*In order to mitigate this condition, TVA redesigned the entry of the car was to provide an acoustic enclosure outside the west facing exit of the car wash, turning the exit to the north. (See Report Section 5.1) This eliminates the predicted noise impact to the sensitive residential areas to the west. This satisfies the Clackamas County Code and the Oregon Administrative Rules statistical noise levels for new commercial noise sources. The Modifications to the exit are shown on Site Plan A0.01 and Elevations A4.01, attached.*

*Studies of the vacuum stations at the Tualatin/Sherwood Kaady Car Wash site predict that the blower sheds and vacuums do not cause any acoustic issues to any sensitive areas when applied to this project site.*

#### TRAFFIC (55.125)

- Willamette Drive is classified as a major arterial.
  - ODOT controls this right-of-way.
  - Neighborhood Association members expressed concerns about the volume and speed of traffic along Willamette Drive. This project will not impact or modify the existing speed or volume of traffic along this major arterial.

- Walling Way is classified as a local roadway, with 50 feet of right-of-way along the frontage of our proposed development lot.
  - The City is not requesting any additional ROW to be dedicated across the property frontage.
  - Due to previous ROW improvements along Walling Way, the City will not require any additional frontage improvements at this location.

Section 55.125 states “Certain development proposals required that a **traffic impact analysis** (TIA) be provided which may result in modifications to the site plan or conditions of approval to address or minimize any adverse **impacts** created by the proposal. The purpose, applicability, and standards of this **analysis** are found in CDC [85.170\(B\)\(2\)](#). (Ord. [1584](#), 2008; Ord. [1745](#) § 1 (Exh. A), 2023)”

CDC 85.170 (B)(2) requires a TIA (no dwellings) under the following considerations:

The development application involves one or more of the following actions:

- (A) A change in zoning or a plan amendment designation; or (NO)
- (B) Any proposed development or land use action that ODOT states may have operational or safety concerns along a State highway; and (NO)
- (C) The development shall cause one or more of the following effects, which can be determined by field counts, site observation, traffic impact analysis or study, field measurements, crash history, Institute of Transportation Engineers Trip Generation manual, and information and studies provided by the local reviewing jurisdiction and/or ODOT: (NO)
  - (1) An increase in site traffic volume generation by 250 average daily trips (ADT) or more (or as required by the City Engineer); or (Not requested by the city)
  - (2) An increase in use of adjacent streets by vehicles exceeding the 20,000 pound gross vehicle weights by 10 vehicles or more per day; or (NO)
  - (3) The location of the access driveway does not meet minimum intersection sight distance requirements, or is located where vehicles entering or leaving the property are restricted, or such vehicles queue or hesitate on the State highway, creating a safety hazard; or (NO)
  - (4) The location of the access driveway does not meet the access spacing standard of the roadway on which the driveway is located; or (NO)
  - (5) A change in internal traffic patterns that may cause safety problems, such as backup onto the highway or traffic crashes in the approach area. (Not with the modified queue reservoir configuration... ODOT)

*Per the Incompleteness Letter on October 24, 2025, a Traffic Impact Analysis was requested by the City of West Linn Engineering and Public Works Department.*

*Ard Engineering was hired to provide an analysis of the site, and the full stamped and signed report has been added to this application. The engineer analyzed comparable facilities using a 2012 study of drive-through commercial facilities, including fast food restaurants, banks, coffee shops, pharmacies, and other car washes, including two Kaady Car Washes in the Portland*

*Metro area. These two facilities are located on 1909 W Burnside St. in Portland, and 9614 SW Tualatin Sherwood Road in Tualatin, OR, where Ard Engineering set up a camera documentation of the traffic flow of those two sites.*

*To summarize the report, this project is expected to generate 78 weekday evening peak-hour trips and 96 Saturday peak-hour trips. The calculated queue length is 7.4 vehicles, and the maximum length observed at any car wash was 10 vehicles. Our site has a capacity of 19 cars in the queue, which indicates that the facility will not provide any backup traffic onto Willamette Drive. This project has been determined not to result in increases in traffic or degradation of area roadways and intersections, as compared to either the prior use of the site or other uses permitted outright in the General Commercial Zone.*

#### **CHAPTER 60: CONDITIONAL USE**

Per Section 19.060, Automotive and Equipment Cleaning facilities are considered a conditional use. A Conditional Use Permit application has been submitted, and the associated Neighborhood Association Meeting was held on Tuesday, June 10, at the Robinwood Neighborhood Association Community Center. A recording of this meeting has been provided for the Conditional Use requirements.

The conditional use application includes a written narrative and a site plan describing the conditions stipulated in 60.070 Approval Standards and Conditions. This submittal includes information described in this application pursuant to Chapters 52 through 55 and section 92.010 of the Community Development Code.

The site is nominally level and mostly flat, with sufficient area and dimensions adequate to the proposed use. This is a commercial property within a General Commercial zone. (GC)  
This site does not involve the removal or alteration of a historic resource.

#### **SUITABILITY OF PUBLIC FACILITIES PER 60.070 APPROVAL STANDARDS**

This proposed project meets the requirements of the Public Facilities standards, per review with the City Engineers through the Pre-Application conference from March 6, 2025.

#### **SANITARY SEWER**

- The Existing 8” sanitary main currently running along the partial frontages of the property of Walling Way, and the 8” main in the vicinity are large enough to handle the capacity from our development.
- As-built data shows that the McDonald's property utilizes a 4” sanitary lateral on Walling Way.
- A new 6” sanitary lateral is shown and will be provided if warranted

#### **DOMESTIC WATER**

- The existing 6” domestic water main that runs across the frontages of the property on Walling Way currently serves a 1.5” meter.

- Our project proposes an upgrade to a 2” water meter for Car Wash needs. The city's water main can serve this new meter. This will require Systems Development Charges, which will be paid prior to the issuance of a Site Development Permit.
- A 2” RPBA will be provided to protect the water system.

#### STORMWATER

- An existing water quality vault and retention pond currently serve this site and the adjacent strip mall. Due to the age of this system, it is likely does not meet current stormwater management requirements. Therefore, the project will be providing a new water quality treatment manhole and a below-grade detention system. Discharge from the flow control structure will tie into the exiting site stormwater system, including the stormwater retention pond.
  - The design team acknowledges that the City of West Linn is currently in the process of adopting a new stormwater management manual.

END OF LAND USE / CONDITIONAL USE NARRATIVE



Eric Li, Senior Associate, TVA Architects

**CITY OF WEST LINN**  
**PRE-APPLICATION CONFERENCE MEETING**  
**SUMMARY NOTES**  
**March 6, 2025**

**SUBJECT:** Proposed Car Wash.  
**FILE:** PA-25-06  
**APPLICANTS PRESENT:** Chuck Kaady, Eric Li  
**STAFF PRESENT:** Chris Myers, Associate Planner  
**PUBLIC PRESENT:**

*These pre-application summary notes have been prepared for the applicant to identify applicable code sections and critical issues for the proposed application and summarize the application process and fees\*. Pre-Application summary notes are based on preliminary information and may not include all considerations. Contact the assigned planner for additional information regarding the process, approval criteria, submittal requirements, questions, and clarifications. Pre-Application Conference summary notes are valid for eighteen months from the meeting date. Once a complete application is submitted, the final decision can take 6-10 months.*

**SITE INFORMATION:**

Site Address: 18850 Willamette Drive  
Tax Lot No.: 21E14DD06900  
Site Area: 1.294 Acres  
Neighborhood: Robinwood NA  
Comp. Plan: Commercial  
Zoning: General Commercial  
Zoning Overlays: Riparian Corridor, Habitat Conservation Area

**PROJECT DESCRIPTION:**

The applicant proposes a Conditional Use Permit and a Class II Design Review for the construction of a car wash.

**APPLICABLE COMMUNITY DEVELOPMENT CODE SECTIONS:**

Approval standards and criteria in effect when an application is *received* will be applied to the proposed development. The following Community Development Code (CDC) Chapters apply to this proposal:

- [Chapter 2: Definitions](#)
- [Chapter 19: General Commercial](#)
  - 19.020 Procedures and Approval Process
  - 19.030 Permitted Uses
  - 19.060 Conditional Uses
  - 19.080 Dimensional Requirements, Conditional U
- [Chapter 32: Water Resource Area Protection](#)
  - 32.010 Purpose
  - 32.020 Applicability
- [Chapter 42: Clear Vision Areas](#)
  - 42.020 Clear Vision Areas Required
  - 42.040 Computation; Street and Accessway 24 Feet or More in Width
- [Chapter 46: Off-Street Parking, Loading, and Reservoir Areas](#)
  - 46.020 Applicability and General Provisions
  - 46.030 Submittal Requirements
  - 46.070 Maximum Distance Allowed Between Parking Area and Use

- 46.090 Computation of Required Parking Spaces (Maximum)
- 46.110 Reservoir Areas Required for Drive-in Uses (car wash is listed)
- 46.150 Design and Improvement Standards
- [Chapter 48: Access, Egress, and Circulation](#)
  - 48.020 Applicability and General Provisions
  - 48.025 Access Control
  - 48.040 Minimum Vehicle Requirements for Non-Residential Uses
  - 48.050 One-Way Vehicular Access Points
  - 48.080 Bicycle and Pedestrian Circulation
- [Chapter 52: Signs](#)
  - 52.300 Permanent Sign Design Standards
- [Chapter 54 Landscaping](#)
  - 54.050 Protection of Street Trees
- [Chapter 55: Design Review](#)
  - 55.020 Classes of Design Review (Class II)
  - 55.070 Submittal Requirements
  - 55.100 Approval Standards – Class II Design Review – General Discretionary
  - 55.110 Site Analysis
  - 55.120 Site Plan
  - 55.125 Transportation Analysis
  - 55.140 Architectural Drawings
  - 55.150 Landscape Plan
- [Chapter 60: Conditional Uses](#)
  - 60.030 Administration and Approval Process
  - 60.070 Approval Standards and Conditions
  - 60.080 Site Plan and Map
- [Chapter 99: Procedures for Decision Making: Quasi-Judicial](#)
  - 99.030 Application Process
  - 99.038 Neighborhood Contact Required (Yes, CUP requires NA meeting)
  - 99.060 Approval Authority (Planning Commission)

### **KEY ISSUES & CONSIDERATIONS**

Staff has identified the following development issues, design considerations, or procedural issues that you should be aware of as you prepare your formal application for submittal. The identification of these issues or considerations here does not preclude the future identification of additional issues or considerations:

1. Applicant must attend NA meeting AND provide an audio recording as part of the application.
2. Applicant must have a TVF&R Provider Permit as part of the application.
3. There is an existing ingress/egress easement on the property which must be maintained unless legally changed with all property owners agreeing (1998).

### **RESPONSE TO APPLICANT QUESTIONS:**

Links to previous Design Review projects:

[https://westlinnoregon.gov/projects/completed?term\\_node\\_tid\\_depth=All&field\\_project\\_type\\_tid=40&keys=](https://westlinnoregon.gov/projects/completed?term_node_tid_depth=All&field_project_type_tid=40&keys=)

Master Fee Schedule:

[https://westlinnoregon.gov/sites/default/files/fileattachments/finance/page/7989/mfc\\_-\\_fy\\_2025\\_effective\\_july\\_1\\_2024\\_clean\\_adopted\\_08.08.24\\_-\\_minor\\_wlrr\\_updates.pdf](https://westlinnoregon.gov/sites/default/files/fileattachments/finance/page/7989/mfc_-_fy_2025_effective_july_1_2024_clean_adopted_08.08.24_-_minor_wlrr_updates.pdf)

A storm water report will be needed at the time of Development Review.

**ENGINEERING:**

The Engineering department comments are attached. For further details, contact Clark Ide at 503-722-3437 or [Cide@westlinnoregon.gov](mailto:Cide@westlinnoregon.gov).

**BUILDING:**

For building code and ADA questions, contact Adam Bernert at [abernert@westlinnoregon.gov](mailto:abernert@westlinnoregon.gov) or 503-742-6054 or Alisha Bloomfield at [abloomfield@westlinnoregon.gov](mailto:abloomfield@westlinnoregon.gov) or 503-742-6053.

**TUALATIN VALLEY FIRE & RESCUE:**

A Service Provider Permit must be provided with this application - <https://www.tvfr.com/399/Service-Provider-Permit>. Contact Jason Arn at [jason.arn@tvfr.com](mailto:jason.arn@tvfr.com) or 503-259-1510 with any questions.

**TREES:**

For information on the tree requirements for this proposal, contact the Mike Perkins, City Arborist at [mperkins@westlinnoregon.gov](mailto:mperkins@westlinnoregon.gov) or 503-722-4728.

**PROCESS:**

A Conditional Use Permit and a Class II Design Review are a Planning Commission Decision. A public hearing is required. Once the application is declared complete, staff will review the application, send a 20-day public comment notice, and post a notice sign on the property. When the public comment period closes. A final decision can take 6-10 months.

There is a 14-day appeal period after the decision. If the decision is not appealed, the applicant may proceed with the development.

**NEIGHBORHOOD MEETING:**

A neighborhood meeting is required for a Conditional Use Permit and a Class II Design Review

**HOW TO SUBMIT AN APPLICATION:**

Submit a complete application in a single PDF document through the [Submit a Land Use Application](#) web portal. A complete application should include:

1. A [development application](#);
2. Application materials identified in the [Development Review Checklist](#).

**COMPLIANCE NARRATIVE:**

Written responses supported by substantial evidence must address all applicable approval standards and criteria. Written materials must explain how and why the proposed application will meet each applicable approval criteria. "Not Applicable" is not an acceptable response to the approval criteria.

Submittal requirements may be waived, but the applicant must first identify the specific submittal requirement and request, in writing, that the Planning Manager waive the requirement. The applicant must identify the specific grounds for the waiver. The Planning Manager will respond with a written determination about the waiver request before applying.

**APPLICATION FEES & DEPOSITS:**

The Planning Division Fee Schedule can be found on our website: <https://westlinnoregon.gov/finance/current-fee-schedule>

- Deposit for a CUP = \$4500  
= \$500 Inspection fee
- Deposit Class II Design Review = \$4500

= \$500

Applications with deposits will be billed monthly for time and materials. Please provide the name and address of the party responsible for the final invoice in your application.

**Timelines:**

Once the application and payment are received, the City has 30 days to determine if the application is complete. If the application is incomplete, the applicant has 180 days to complete it or provide written notice to staff that no other information will be provided. Once complete, the City has 120 days from the completeness determination to make a final decision on the application. Typical land use applications can take 6 months from beginning to end.

*\* **DISCLAIMER:** These pre-application notes have been prepared per [CDC Section 99.030.B.7](#). The information provided is an overview of the proposal considerations and requirements. Staff responses are based on limited material presented at the pre-application conference. New issues and requirements can emerge as the application is developed. Failure to provide information does not constitute a waiver of the applicable standards or requirements. The applicant has the burden of proof to demonstrate that all approval criteria have been satisfied. These notes do not constitute an endorsement of the proposed application or assure project approval.*



## Pre-app Comments

**Project Number: PA-25-06**  
**Class 2 Commercial Design**  
**Review: 18850 Willamette Drive**

### Engineering Contact:

Jameson Lumpkin  
jlumpkin@westlinnoregon.gov  
Telephone: (503) 722-4739

**Project Description:** Proposed Car Wash

**Pre-application meeting date:** March 6, 2025

The comments provided below are based upon material provided as part of the pre-application packet and are intended to identify potential design challenges associated with the development. Comments are not intended to be exhaustive and do not preclude the engineering department from making additional comments as part of the formal land use application process.

### TRANSPORTATION

#### Minimum Requirements:

- Willamette Drive
  - Willamette Drive is classified as a major arterial.
  - Oregon Department of Transportation (ODOT) controls this Right of Way.
- Walling Way
  - Walling Way is classified as a local roadway.
  - Walling Way has approx. 50 feet of ROW along the frontage of the proposed development lot. The City would not request any additional ROW be dedicated across the property frontage.
  - Due to previous ROW improvements to Walling Way, the City will require no additional frontage Improvements at the property location.

### SANITARY SEWER

#### Minimum Required Improvement:

- Existing 8" mains currently run along the patrial frontages of the property on Walling Way. The 8" mains in the vicinity are large enough to handle the capacity from the proposed development.
- As-built data shows current commercial property utilizes 4" sanitary lateral on Walling Way.

### DOMESTIC WATER

#### Minimum Required Improvement:

- Existing 6" DI water mains currently run along the frontages of the property on Walling Way
  - Existing property utilizes meter from this main.
- Building code will dictate the required meter size for this proposed development. Current meter size is 1.5"
- Developer inquired about upgrade to a 2" meter. City main has the capacity to serve this 2" meter upgrade.



## Pre-app Comments

**Project Number: PA-25-06**  
**Class 2 Commercial Design**  
**Review: 18850 Willamette Drive**

### Engineering Contact:

Jameson Lumpkin  
jlumpkin@westlinnoregon.gov  
Telephone: (503) 722-4739

### **SURFACE WATER (STORM SEWER)**

#### **Minimum Required Improvement:**

- Onsite run-off generated from new impervious areas of greater than 1000 square feet must be captured, treated, detained and conveyed to the nearest public stormwater system in accordance with the *Portland Stormwater Management Manual*, the Uniform Plumbing Code, and *City of West Linn Public Works Standards*.
- Preferred stormwater management would be to capture, treat, and infiltrate on site. If infiltration is not feasible, conveyance to the City system would be required.
- All Stormwater facilities must be designed and accepted by a licensed engineer.
- Current property shows a stormwater facility on site. This facility may be used for this proposed development but a licensed engineer must prove the facility meets current stormwater requirements.

#### **OTHER**

- City is currently in the process of adopting a new stormwater management manual. If site development plans are submitted after this adoption, the new requirements will be enforced.
- Any required improvements shall be constructed to meet current City of West Linn Design Standards.
- Any required work in the ROW shall be constructed, inspected and accepted by the City.
- Development shall pay all applicable System Development Charges (SDC) fees prior to issuance of Site Development permit.
- The proposed development will disturb less than 5 acre, therefore a West Linn Erosion Control Permit Application, as outlined in Section 2.0065 of the *City of West Linn Public Works Standards*, will be required prior to the commencement of construction.

# ROBINWOOD NEIGHBORHOOD ASSOCIATION

## June Meeting Agenda

7:00 pm, June 8th, 2025. Robinwood Station

*Zoom meeting:*

[https://us05web.zoom.us/j/83286322408?  
pwd=GCoY3SrlCqejtO8FUXBO5810tzMYk1.1](https://us05web.zoom.us/j/83286322408?pwd=GCoY3SrlCqejtO8FUXBO5810tzMYk1.1)

Meeting ID: 832 8632 2408

Passcode: jb4ywY

1. Call to Order. Introduction of new attendees.
2. Agenda Approval. May Minutes Approval
3. Treasurer's Report
4. Presentation from Eric Li from TVA Architects: New Kaady carwash to be constructed at former McDonalds location on Walling and 43 requires a zoning variance.
6. Presentation about Restoration Project at 3955 Cedaroak Dr.
7. Announcements, City and Community Events
8. Old Business
  - Budget Committee update.
  - Ole Olsen regarding Kenthorpe infill project.
  - Formation of the "Robinwood Good Neighbor Committee"
9. New Business
  - Picnic Committee volunteers sought for planning August 23rd event.
  - Replacement of RNA President pending
10. Adjournment

Robinwood Neighborhood Association Board Members  
Michelle Goldberg, President      Tony Bracco, Vice-president  
Kevin Bryck, Secretary /Treasurer      Dawn Meaney, Ambassador  
Joe Fustolo, Member at Large

# ROBINWOOD NEIGHBORHOOD ASSOCIATION MINUTES

## June 10th 2025 Meeting

**Meeting Called to Order** by Tony Bracco at 7:07 pm.

**Guests and new attendees:** Eric Li with TVA Architects

**Agenda Review:** Agenda approved.

**May Minutes Approval:** Approved by acclamation.

**Treasurer's Report:** No expenditures, current balance is \$3594.80

**TVA Architects, Eric Li:** Working on the new carwash at former McDonalds location on Walling and 43. Landscaping remain same except one tree removal. Building lower than existing play area. 17 foot building height plus 4 feet of mechanical on top. Conditional use permit and design review required due to automotive related business not allowed in General Comm; zone. Conditional uses are discretionary based upon conditions required by Planning Staff.

Questions regarding creeks and sensitive riparian areas. Creek runs in pipe under site. Not changing hardscape so no increased surface water runoff created. 2 to 3 minutes cycle with no public use inside, only at vac stations outside. Water is 41 and there is a catchment from McD on the southwest corner which is over grown with berries. Water reused and recycled and settled in containment tanks. 30 gallons used per car. Effluent collected in tanks in the building and periodically disposed.

Attendants on site. Two vacuum pumps enclosed inside building masonry walls central system. Operating hours 8am to 8pm 7 days. Cars enter from east with dryer blowers facing OR43. New blowers are much quieter. Blowers 70dB at 50 feet so less than traffic noise. Check 19th & Burnside location for same installation. Currently in phase 2 of 5 step permitting process.

Questions about traffic counts and potential for sound baffling structures.  
18 total back in parking spaces, 15 for vacuums with 3 for employees.

Motion for Ad Hoc committee to bring forth a motion for the July meeting.

**Update on Trillium Restoration by Dillon Wells:** Ongoing, no new info.

### **Announcements, City & Community Events:**

Community Garden Plant Sale - Free tomatoes still available in the Garden.  
Blood Drive at Station, Saturday July 8th. No Open Mic Night in June.  
Family Fun Day this Saturday with Bounce House, Crafts, Movies, Pizza, Slushies.

### **Old Business:**

No Budget Committee update.  
Good Neighbor Code Enforcement Committee needs more volunteers and a plan.  
Ole Olsen on Kenthorpe infill project. 4399 Kenthorpe Way 4-lot expedited land division.  
Since original 1936 survey was not recorded, property cannot be legally re-platted.  
Trillium Creek property naming? Proposed names include 'Trillium Crossing' and 'Trillium Preserve.'

**New Business:** Yard /Garage Sale Weekend second Saturday in August.

**Adjourn** 8:42

**Attendance:** 45 with 0 virtual

Michelle Goldberg, President  
Tony Bracco, Vice President  
Kevin Bryck, Secretary/Treasurer  
Dawn Meaney, Ambassador  
Joe Fustolo, Member at Large



AFFIDAVIT OF MAILING

STATE OF OREGON  
COUNTY OF MULTNOMAH

I, Eric Li, being duty sworn, depose and say that on 05/09/ 2025, I caused to have mailed to Michelle Goldberg, the President of the Robinwood Neighborhood Association, and to a designated recipient of the Neighborhood Associations' request, a notice of a mailing to discuss a proposed development at 18850 Willamette Drive, West Linn, Oregon, 97068. A copy of which has been attached hereto and made a part hereof.

Chicago Title has provided a list of all neighbors within 500 feet of the proposed work, and each of these property owners is receiving a notification of a pending meeting by United States Post. See attached list of neighborhood recipients.

I further state that said notices were enclosed in envelopes plainly addressed to said persons and were deposited on the date indicated above in the United States Post Office with postage prepaid, therein.

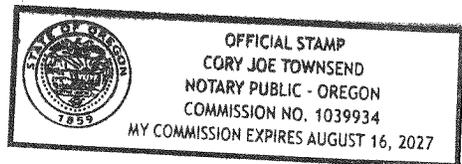
This MAY 9, 2025

Signed

  
Eric Li, Senior Associate  
TVA Architects

Subscribed and sworn in, or affirmed before me this 9 day of May 2025

  
\_\_\_\_\_  
Notary Public for the State of Oregon  
My Commission Expires Aug 16 2027



tva architects, inc.  
1750 sw yamhill street | suite 150 | portland, oregon 97205  
phone: 503 220 0668 | www.tvaarchitects.com

Robert Thompson, FAIA | Tim Wybenga, LEED AP | Pamela Soltter, AIA, IIDA | Mandy Butler, AIA, LEED AP, CSI, CDT

**Eric Li**

---

**From:** Morgan McCarley <morgan\_mccarley@yahoo.com>  
**Sent:** Tuesday, May 20, 2025 2:23 PM  
**To:** ckaady@kaady.com; Eric Li  
**Subject:** Proposed Kaady Carwash in West Linn

Chuck,

I'm a West linn resident concerned with a proposed plan to build a carwash within a 3 mile radius of 2 existing carwashes. I currently use the Kaady carwash in Lake Oswego, because I don't like the carwash across Hidden Springs from Walmart (leaves a film on my cars). I intend on continuing to use the Lake O Kaady car wash even if one is built closer to my home in West Linn. Frankly, I don't want it there, so I will not support the new location, if built and I will encourage others to do the same. Are there any alternatives to this plan or is this, for sure, happening?

Thanks,

Morgan McCarley  
916-715-1369

# NOTIFICATION OF PROPOSED DEVELOPMENT FOR CONDITIONAL USE PERMIT

18850 WILLAMETTE DRIVE  
WEST LINN, OREGON 97068

The proposal is for the removal of the existing McDonald's drive-through restaurant, to be replaced with a new Kaady Car Wash. A neighborhood meeting has been scheduled to take place at the Robinwood Station Community Center, 37068 Cedar Oak Drive, at 7:00 PM on Tuesday, June 10. The public is invited to attend to discuss the proposal with the Applicant and Designer of the proposed project.

For additional information about this development you may contact:

Chuck Kaady, Developer: 503.793.1100, [ckaady@kaady.com](mailto:ckaady@kaady.com)

Eric Li, Project Architect, TVA Architects: 971.678.7578, [ericl@tvaarchitects.com](mailto:ericl@tvaarchitects.com)

9589 0710 5270 1129 8894 98

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Sent To  
**MICHELLE GOLDBERG**  
 Street and Apt. No., or PO Box No.  
**3706 CEDAR OAK DR**  
 City, State, ZIP+4®  
**WEST LINN, OR 97068**

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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$7.04  
 \$  
 Total Postage and Fees \$11.89

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Sent To  
**TONY BRACCO**  
 Street and Apt. No., or PO Box No.  
**2716 ROBINWOOD WAY**  
 City, State, ZIP+4®  
**WEST LINN, OR 97068-1365**

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 Account #: XXXXXXXXXXXX9072  
 Approval #: 013517  
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21E13CC05300  
David Sims  
3499 Walling Way  
West Linn, OR 97068-1544

21E13CC05700  
Roxanna Khosravi  
19625 Old River Dr  
West Linn, OR 97068-1639

21E14DC07601  
Eleanor Jones  
19477 View Dr  
West Linn, OR 97068-1339

21E14DC08100  
Overlook Dc LLC  
18676 Willamette Dr  
West Linn, OR 97068-1718

21E14DD01909  
Andrew Chitty & Aniko Becsei  
3275 Fairview Way  
West Linn, OR 97068-1549

21E14DD02300  
Alice Seeger  
18530 Vista Ct  
West Linn, OR 97068-1130

21E14DD02600  
Barbara Weber  
18525 Vista Ct  
West Linn, OR 97068-1132

21E14DD03300  
Chung Park  
6457 McDuff Ct  
Lake Oswego, OR 97035-8048

21E14DD05100  
Mirko Munetic  
2128 Club House Dr  
West Linn, OR 97068

21E14DD05300 & 06300  
Will Earhart II  
18745 Willamette Dr  
West Linn, OR 97068-1701

21E13CC05500  
Brent & Sarah Hunsberger  
3536 Walling Way  
West Linn, OR 97068-1546

21E14DC07501  
Scott Hillson  
19461 View Dr  
West Linn, OR 97068-1339

21E14DC07700  
Rickey Hug & Billie Janette  
1152 Troon Rd  
Lake Oswego, OR 97034

21E14DD01500  
Zack & Monica Lorts  
2245 Snead Dr  
Lake Havasu City, AZ 86406-7667

21E14DD01912  
Robert Nevarez  
18534 Rose Ct  
West Linn, OR 97068-1129

21E14DD02400  
Brian Kavanagh  
5360 S Boston St  
Greenwood Village, CO 80111-3409

21E14DD03000  
Morgan McCarley  
18485 Vista Ct  
West Linn, OR 97068-1143

21E14DD03600  
Liu Gong LLC  
9520 SW Beaverton Hillsdale Hwy  
Beaverton, OR 97005-3309

21E14DD05200  
Raymond & Rufina Louthan  
412 N Division St  
Pinehurst, ID 83850-8726

21E14DD05400  
Judith Espino & Manuel Ortiz  
19586 View Dr  
West Linn, OR 97068-1338

21E13CC05600  
Nancy Rowinski  
3424 Walling Way  
West Linn, OR 97068-1535

21E14DC07600  
Edward & Janet Gerbasi  
19489 View Dr  
West Linn, OR 97068-1339

21E14DC08000 & 08001  
David & Karen Clary  
19535 View Dr  
West Linn, OR 97068-1341

21E14DD01908  
Forrest Faubion  
18527 Rose Ct  
West Linn, OR 97068-1131

21E14DD02200  
David & Judy Robison  
18490 Vista Ct  
West Linn, OR 97068-1141

21E14DD02500  
Nicholas Sumerfelt  
3171 Fairview Way  
West Linn, OR 97068-1517

21E14DD03100  
Dc Willamette Drive LLC  
2327 Stickney Point Rd  
Sarasota, FL 34231-4016

21E14DD05000  
18675 Willamette Drive LLC  
Pmb 305 2050 Beaver Creek Rd Ste 101  
Oregon City, OR 97045

21E14DD05201  
Angelica Villarreal  
19590 View Dr  
West Linn, OR 97068-1338

21E14DD05500  
Brian & Stephanie Schutzler  
21640 S Sweetbriar Cir  
West Linn, OR 97068-9228

21E14DD05600  
Ann Bias  
19512 View Dr  
West Linn, OR 97068-1338

21E14DD05800  
Elizabeth Zlatnick  
19464 View Dr  
West Linn, OR 97068-1336

21E14DD06100 & 06200  
M5 Willamette LLC  
5441 S MacAdam Ave Ste 208  
Portland, OR 97239-3822

21E14DD06600-06700  
Berrey Investment LLC  
25999 SW Canyon Creek Rd Ste E  
Wilsonville, OR 97070

21E14DD07100  
Joseph Sewell  
18747 Rose Way  
West Linn, OR 97068-1532

21E14DD07400  
Terry & Sandra Bottemiller  
3204 Fairview Way  
West Linn, OR 97068-1519

21E14DD07601  
Diane Finnigan  
18625 Rose Way  
West Linn, OR 97068-1545

21E14DD08000  
Randy Karnes  
18652 Rose Way  
West Linn, OR 97068-1543

21E14DD08401  
Wade & C Gefre  
PO Box 243  
West Linn, OR 97068

21E23AA00601  
Cedar Linn LLC  
1539 NW 19th Ave  
Portland, OR 97209-1702

21E14DD05601  
John & Mary Bartlett  
19482 View Dr  
West Linn, OR 97068-1336

21E14DD05900  
William Adams  
19426 View Dr  
West Linn, OR 97068-1336

21E14DD06400  
Thomas Irey  
2151 Marylhurst Dr  
West Linn, OR 97068-1417

21E14DD06800  
Berrey Investment LLC  
110 N Carpenter St Dept 027  
Chicago, IL 60607

21E14DD07200  
Carolyn & Larry Ullman  
18705 Rose Way  
West Linn, OR 97068-1532

21E14DD07500  
Dennis & Jeanne Eisele  
3220 Fairview Way  
West Linn, OR 97068-1519

21E14DD07700  
Jason Johnsen & Kari Dee  
3477 Walling Way  
West Linn, OR 97068-1544

21E14DD08300  
R & Cs LLC  
4283 Terra Vista Ct  
West Linn, OR 97068-1655

21E23AA00100  
Noel Lee  
19679 Old River Rd  
West Linn, OR 97068-1639

21E23AA00700 & 01700  
Douglas Seely  
1780 SW Advance  
West Linn, OR 97068-9677

21E14DD05602  
Kathy Fisher  
19500 View Dr  
West Linn, OR 97068-1338

21E14DD06000  
Daniel Mercer  
19422 View Dr  
West Linn, OR 97068-1336

21E14DD06500  
Donald Bailey  
6330 Haverhill Ct  
West Linn, OR 97068-4900

21E14DD07000  
Jody & Chrstina Forlenza  
3315 Walling Way  
West Linn, OR 97068-1539

21E14DD07300  
Richard & Victoria Hunt  
18655 Rose Way  
West Linn, OR 97068-1545

21E14DD07600  
Melissa Dugan  
3262 Fairview Way  
West Linn, OR 97068-1519

21E14DD07800  
Shane & Michelle Winder  
18718 Rose Way  
West Linn, OR 97068-1534

21E14DD08400  
Holly Shannon  
3344 Fairview Way  
West Linn, OR 97068-1551

21E23AA00200  
Lisa Stanton  
39710 Wendling Rd  
Marcola, OR 97454-9105

21E23AA01100  
Marilyn Frankel & Carol Pulvermacher  
3364 Walling Way  
West Linn, OR 97068-1555

21E23AA01200  
Durward & Yvonne Bennett  
3320 Walling Way  
West Linn, OR 97068-1555

21E23AA01700  
Douglas Seely  
1780 SW Advance  
West Linn, OR 97068-9677

21E23AA02000  
Yandy Roman  
18976 Walling Cir  
West Linn, OR 97068-1714

21E23AA02300  
Jason & Hannah Harper  
1309 N Maple St  
Canby, OR 97013-2324

21E23AB00100  
Wei An  
19412 View Dr  
West Linn, OR 97068-1336

21E23AA01300  
William Schroeter  
PO Box 256  
Marylhurst, OR 97036

21E23AA01800  
Gerardo & Gail Bezmertney  
19042 Walling Cir  
West Linn, OR 97068-1716

21E23AA02100  
Daniela Lucescu & Ryan Pacurar  
18950 Walling Cir  
West Linn, OR 97068-1714

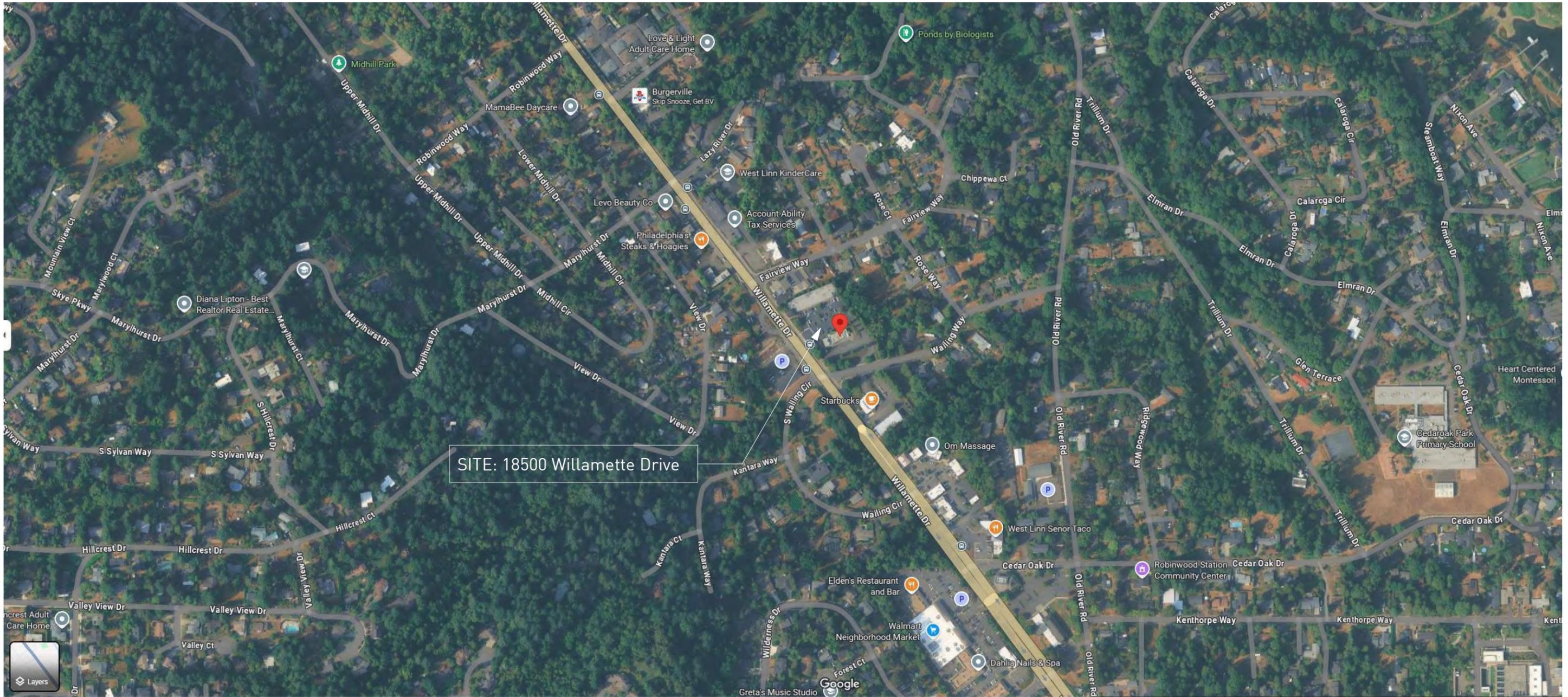
21E23AA02400  
Douglas Pullin  
18891 Walling Cir  
West Linn, OR 97068-1717

21E23AA01400  
West Linn Investors LLC  
6830 SW Windemere Loop  
Portland, OR 97225-6161

21E23AA01801  
Wen Zhao & Sui Yin  
85 Laurel St  
Lake Oswego, OR 97034-4938

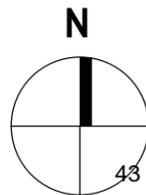
21E23AA02200  
Tzer Cheng & Chien Ju  
18902 Walling Cir  
West Linn, OR 97068-1714

21E23AA02500  
Mark & Tracie Krellwitz  
18909 Walling Cir  
West Linn, OR 97068-1706



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Exhibit PC-1



**GO**  
 VICINITY MAP

07/22/25

18850 WILLAMETTE DRIVE, WEST LINN, OREGON

**KAADY CAR WASH**

CUP-25-03/DR-25-03/VAR-25-02 97068



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Exhibit PC-1

EXISTING McDONALD'S SITE PHOTO - WILLAMETTE DRIVE

44

G1

07/23/25

18850 WILLAMETTE DRIVE, WEST LINN, OREGON

KAADY CAR WASH

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Exhibit PC-1

## G1.1

EXISTING McDONALD'S SITE PHOTO - WALLING WAY

45

07/23/25

18850 WILLAMETTE DRIVE, WEST LINN, OREGON

## KAADY CAR WASH

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Exhibit PC-1

G2

EXISTING McDONALD'S SITE PHOTO

46

07/23/25

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KAADY CAR WASH



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Exhibit PC-1

G3

BURNSIDE KAADY PRECEDENT PHOTO

47

07/23/25

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KAADY CAR WASH



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Exhibit PC-1

**G4**  
EXISTING BURNSIDE KAADY PRECEDENT

48

07/23/25

18850 WILLAMETTE DRIVE, WEST LINN, OREGON

**KAADY CAR WASH**

CUP-25-03/DR-25-03/VAR-25-02 97068



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Exhibit PC-1

**G5**  
 EXISTING BURNSIDE KAADY PRECEDENT PHOTOS

07/23/25

18850 WILLAMETTE DRIVE, WEST LINN, OREGON

**KAADY CAR WASH**

CUP-25-03/DR-25-03/VAR-25-02 97068



Decibel readings taken at 50'-0" from the car wash exit: 72 db to 80 db (Including background noise from Burnside) SHOWN  
 Decibel readings taken at 42 feet from the car wash entry on the north side: 72 db

These readings put the noise levels within the "medium" noise range, the equivalent of busy street traffic, which is a background noise source in both the Burnside location and the Willamette Drive location. Note that the distance from the entrance at the Willamette Drive conditions is an additional 50'-0" minimally, with an 8'-0" min. high CMU buffering wall on the east side, and Willamette Drive, and a commercial property on the west side.

The business operations fall between 8:00 AM and 8:00 PM, which is within noise tolerance levels of the West Linn Noise Code.



- 18850 Willamette Drive**
- Property ID: 21E14DD-6900
  - City: West Linn
  - County: Clackamas
  - Neighborhood: Robinwood
- Area of the site 1.29 Acres (56,378 sf)
  - Area of proposed building: 3,190 sf
  - Area of accessory buildings: 280 sf
  - Total leased area = 3470 sf
  - Maximum Allowable Parking Spaces = 17
  - Proposed Parking Spaces = 17
  - Proposed Use: A drive-through car wash with supplemental vacuum cleaning stations. Auxiliary ticket booth and pumphouse enclosures provided.
  - Occupancy Group B
  - Construction Type VB
  - Building Height: 17'-8"
  - No sprinklers
- There are no wetlands, riparian, or environmentally sensitive areas on site.
  - There are no steep slopes on site.
  - Street Trees are shown but not identified on the City of West Linn Tree Inventory Map. Species not indicated.
  - Water supply, storm drain, and sanitary sewer information is per the West Linn City Maps site, exact locations to be provided by survey.
  - Overhead Power is on the other side of Willamette Drive

- EXISTING BUILDING**
- McDonald's : Archland Property LLC c/o McDonald's Corp.
  - 3948 sf
  - 14.12' height
  - Surface Elevation 180.3637'
  - Roof Elevation 194.4824'
  - Maximum parking per 1000 sf for Other Commercial Uses: 5
  - 3470 sf/5 sf per stall = 17.35 spaces, 17 provided





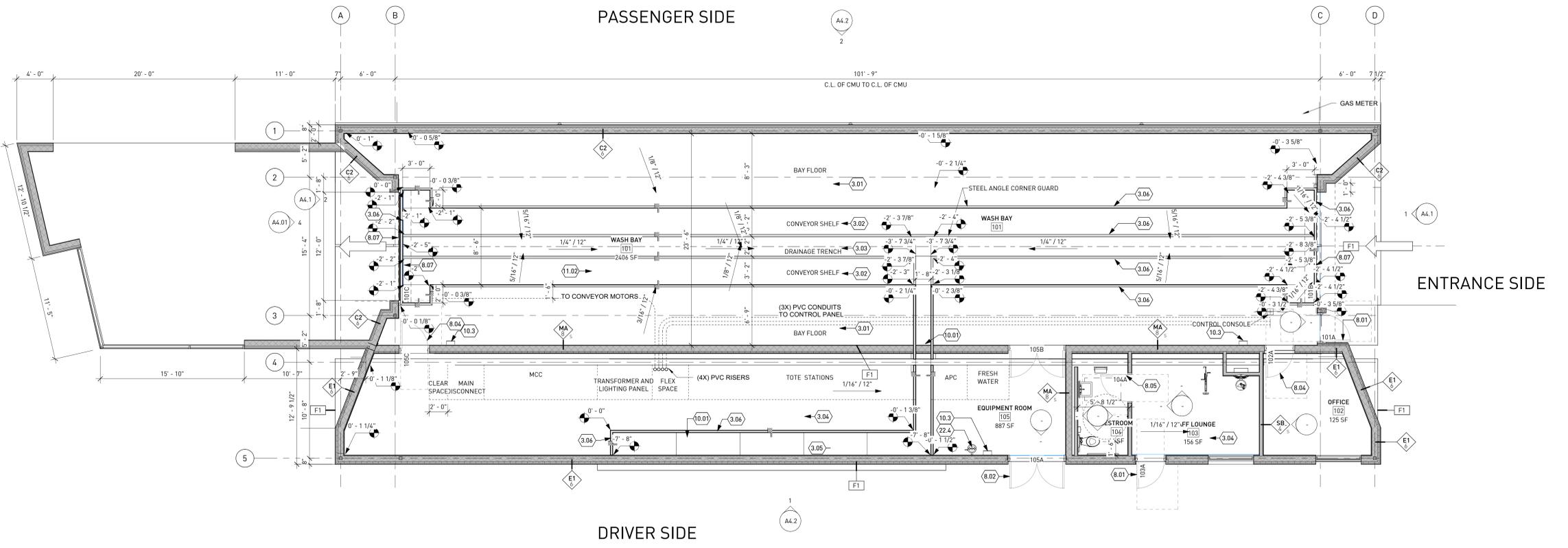
**GENERAL NOTES**

- SITE INFORMATION SHOWN FOR REFERENCE ONLY. SEE SITE PLANS.
- SEE O SERIES SHEETS FOR CODE COMPLIANCE INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH. CENTERLINE OF COLUMN, OR GRID LINE, UNO, EXTERIOR DIMENSIONS ARE TO FACE OF FINISH. DIMENSIONS INDICATED AS "CLR MIN" ARE TO FACE OF FINISH.
- ALL DOOR OPENINGS PERPENDICULAR TO A WALL ARE 5" TO THE WALL UNO.
- SEE 61 XX FOR TYPICAL WALL TYPES, OTHER ASSEMBLY TYPES, STEEL COLUMN FIRE PROTECTION, UNO.
- SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES NOT SHOWN HERE.
- DOOR CLEARANCES ARE SHOWN DASHED AND ARE FOR REFERENCE ONLY.
- PROVIDE SOLID FRT BLOCKING AT ALL GRAB BARS AND WHERE INDICATED ON INTERIOR ELEVATIONS.
- THE WASH BAY SLAB AND CONVEYOR SHELF SLAB RUN PARALLEL TO EACH OTHER. 25" APART VERTICALLY. SEE STRUCTURAL FOR FOUR SEQUENCING.
- THE WASH BAY SLAB AND OFFICE SLAB RUN PARALLEL TO AND FLUSH WITH EACH OTHER. THE WASH BAY SLAB IS 8" THICK, AND THE OFFICE BAY SLAB IS 4" THICK. SEE STRUCTURAL. THE WASH BAY SLAB ALSO HAS A CROSS SLOPE THAT DRAINS TO THE CONVEYOR/DRAINAGE TRENCH, WHILE THE OFFICE SLAB DOES NOT HAVE A CROSS SLOPE.
- ELECTRICAL AND PLUMBING CONDITES ARE SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS AND ADDITIONAL INFORMATION.
- SINCE SITE CONDITIONS WILL VARY, THE DIRECTIONAL INFORMATION IS DESCRIBED BY FUNCTION. ENTRANCE, EXIT, DRIVER'S SIDE, AND PASSENGER'S SIDE. CARDINAL DIRECTIONS WILL BE REFERENCED ON SITE PLANS AND CWD DOCUMENTS.
- CAR WASH EQUIPMENT IS SHOWN FOR REFERENCE ONLY. EXACT COMPONENTS TO BE OWNER FURNISHED AND LOCATED.

**KEYNOTES**

NOTE: ONLY KEYNOTES APPROPRIATE TO THIS SHEET ARE SHOWN IN THIS KEYNOTE LEGEND. GC TO VERIFY ANY DISCREPANCY IN KEYNOTING.

KEYNOTE	DESCRIPTION
3.01	8" POURED-IN-PLACE CONCRETE WASH BAY SLAB. SEE STRUCTURAL FOR REINFORCING. HARD TROWEL FINISH. SLOPE 1" OVER 30'-0" FROM ENTRANCE TO EXIT. 100#-5/16 COUNTER-SLOPE TO DRAIN TO CONVEYOR SHELF. PROVIDE MASTERPOLYHEED 980 MID-RANGE WATER-REDUCING CONCRETE ADMIXTURE AND FINISH WITH W.R. MEADOWS SEAL. CURE-25 CONCRETE CURING AND SEALING COMPOUND.
3.02	8" POURED-IN-PLACE CONCRETE CONVEYOR SHELF SLAB. SEE STRUCTURAL FOR REINFORCING. HARD TROWEL FINISH. SLOPE IS PARALLEL TO WASH BAY SLAB. COUNTER SLOPE TO DRAINAGE TRENCH. PROVIDE MASTERPOLYHEED 980 MID-RANGE WATER-REDUCING CONCRETE ADMIXTURE. FINISH WITH W.R. MEADOWS SEAL. CURE-25 CONCRETE CURING AND SEALING COMPOUND. COORDINATE INSTALLATION OF CONVEYOR SYSTEM WITH OWNER. PROVIDE STEEL ANGLES FOR OWNER PROVIDED FIBERGLASS TRENCH GRATING.
3.03	6" POURED-IN-PLACE CONCRETE DRAINAGE TRENCH SLAB. SEE STRUCTURAL FOR REINFORCING. HARD TROWEL FINISH. SMOOTH FINISH. PROVIDE MASTERPOLYHEED 980 WATER-REDUCING CONCRETE ADMIXTURE. FINISH WITH W.R. MEADOWS SEAL. CURE-25 CONCRETE CURING AND SEALING COMPOUND. SLOPE TOWARDS CROSS-TRENCH. SEE PLAN FOR SLOPE. COORDINATE APPLICATION OF OWNER PROVIDED TRENCH COVER PLATING.
3.04	4" POURED-IN-PLACE CONCRETE OFFICE SLAB. SEE STRUCTURAL FOR REINFORCING. SLOPE PARALLEL TO MATCH BAY FLOOR SLAB. NO CROSS SLOPE. HARD TROWEL SMOOTH FINISH. PROVIDE MASTERPOLYHEED 980 MID-RANGE WATER-REDUCING CONCRETE ADMIXTURE. FINISH WITH W.R. MEADOWS SEAL. CURE-25 CONCRETE CURING AND SEALING COMPOUND.
3.05	FILTRATION PIT: 6" POURED-IN-PLACE CONCRETE SLAB ON GRADE. WITH 6" THICK CONCRETE Baffle PARTITIONS STAGGERED AS INDICATED ON DRAWINGS. HARD TROWEL FINISH. PROVIDE MASTERPOLYHEED 980 MID-RANGE WATER-REDUCING CONCRETE ADMIXTURE. FINISH WITH W.R. MEADOWS SEAL. CURE-25 CONCRETE CURING AND SEALING COMPOUND.
3.06	L3X3X1/4" EMBEDDED ANGLE WITH 3/8" DIA. X 3" SHEAR ANCHORS @ 16" O.C.
8.01	GLAZED ALUMINUM STOREFRONT ENTRY 3'-0" X 8'-0": KAWNEER 350T STANDARD MEDIUM THERMAL SWING DOOR ENTRANCE. 3 1/2" ALUMINUM STILES AND TOP RAIL. 6 1/2" BOTTOM RAIL. GUARDIAN SNX 62/27 LOW-E TEMPERED GLASS LITES. U 28 MAX, SHGC 26 MAX. DOOR HARDWARE: BUTT HINGES (IEA): IVES 58B1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, EXIT DEVICE: FALCON F-25-R-L-NL-LAT RIM DEVICE, CLOSER: LCN 4020 CUSH SURFACE MOUNTED CLOSER. THRESHOLD: PENKO 171 SERIES COMMERCIAL FLAT THRESHOLD 3" WIDE. GASKET: ZERO 4885BK PSA. DOOR SWEEP ZERO 8198AA RAIN DRIP WITH NYLON BRUSH.
8.02	GLAZED ALUMINUM PAIRED STOREFRONT ENTRY 6'-0" X 8'-0": KAWNEER 350T STANDARD MEDIUM THERMAL SWING DOOR ENTRANCE. 3 1/2" ALUMINUM STILES AND TOP RAIL. 6 1/2" BOTTOM RAIL. GUARDIAN SNX 62/27 LOW-E TEMPERED GLASS LITES. U 28 MAX, SHGC 26 MAX. DOOR HARDWARE: BUTT HINGES (IEA): IVES 58B1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, EXIT DEVICE (IEA): FALCON F-25-C-L-NL-LAT CONCEALED VERTICAL ROD DEVICE, CLOSER (IEA): LCN 4020 CUSH SURFACE MOUNTED CLOSER. THRESHOLD: PENKO 171 SERIES COMMERCIAL FLAT THRESHOLD 3" WIDE. GASKET: ZERO 4885BK PSA. DOOR SWEEP ZERO 8198AA RAIN DRIP WITH NYLON BRUSH.
8.04	HOLLOW METAL OFFICE DOOR WITH HOLLOW METAL FRAME 3'-0" X 8'-0". PAINT WHITE. HARDWARE: BUTT HINGES (IEA): IVES 58B1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH. OFFICE LOCKSET: FALCON F-521-CP6-LAT. CLOSER: LCN 4110 SURFACE MOUNT. GASKET: ZERO 4885BK PSA.
8.05	HOLLOW METAL RESTROOM DOOR IN HOLLOW METAL FRAME 3'-0" X 8'-0". PAINT WHITE. HARDWARE: BUTT HINGES (IEA): IVES 58B1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH. BATHROOM PRIVACY LOCKSET WITH OCCUPANCY INDICATOR: FALCON H2171-610-LAT. CLOSER: LCN 4020 SURFACE MOUNT (PUSH SIDE)
8.07	OVERHEAD COLLING DOOR: COOKSON MODEL ES210 MOTORIZED ROLLING SERVICE DOOR. 20 GAUGE PAINTED GALVANIZED STEEL, PAINT WHITE. 12'-0" WIDE X 9'-0" HIGH.
10.01	OWNER FURNISHED 1 1/2" THICK FIBERGLASS TRENCH GRATE. SET ON L2X2X1/8" CONTINUOUS STEEL ANGLES.
10.3	FIRE EXTINGUISHER AND FEC: FIRE EXTINGUISHER: POTTER ROEMER 3010 (OR FIRE MARSHAL APPROVED ALTERNATE) MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER: UL RATED 4A-ABBC, 10 LB NOMINAL CAPACITY WITH MONAMMONIUM PHOSPHATE BASED DRY CHEMICAL IN ENAMELED STEEL CONTAINER. CABINET: POTTER ROEMER MODEL 7024 SURFACE MOUNTED GALVANNEALED STEEL WITH RECOATABLE WHITE POLYESTER FINISH. ROLLED RADIUS WITH GLASS PANEL DOOR.
11.02	CAR WASH EQUIPMENT PROVIDED BY OWNER. SHOWN FOR REFERENCE ONLY. FINAL LOCATION OF EQUIPMENT TO BE DETERMINED BY OWNER.
22.4	EYE WASH STATION: BRADLEY MODEL S192248PT HALO EYE WASH WITH STAINLESS STEEL BOWL, TAIL PIPES & P-TRAP. COMPLIES WITH ANSI/ISEA STANDARD Z358.1. BARRIER FREE DESIGN. MINIMUM FLOW 4 GPM AT 30 PSI.



**1 FLOOR PLAN**  
3/16" = 1'-0"

Δ Revisions

**CONDITIONAL USE PERMIT**

FLOOR PLAN LEVEL 01

Project # 22005

**A1.00**

Date: 7.23.25

**GENERAL NOTES**

1. PAINT ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT REFERENCE FINISH COLOR UNO.
2. LOWER COLOR TO BE COORDINATED / SELECTED WITH SUBMITTALS.
3. SEE FLOOR PLAN FOR DOOR AND WINDOW TAGS, TYP.
4. WINDOW TYPES NOT SHOWN ON FLOOR PLANS ARE SHOWN ON THESE ELEVATIONS.
5. SEE EXTERIOR COMPOSITE SHEETS FOR EXTERIOR FINISHES AND GLAZING.
6. SEE WALL SECTIONS FOR ADDITIONAL ELEVATED AREAS.
7. ALIGN CENTERLINE OF PANEL JOINTS ON SOFFITS AND PROJECTING FRAME ELEMENTS WITH CENTERLINE OF PANEL JOINTS ON WALLS, TYP.

**KEYNOTES**

NOTE: ONLY KEYNOTES APPROPRIATE TO THIS SHEET ARE SHOWN IN THIS KEYNOTE LEGEND. GC TO VERIFY ANY DISCREPANCY IN KEYNOTING.

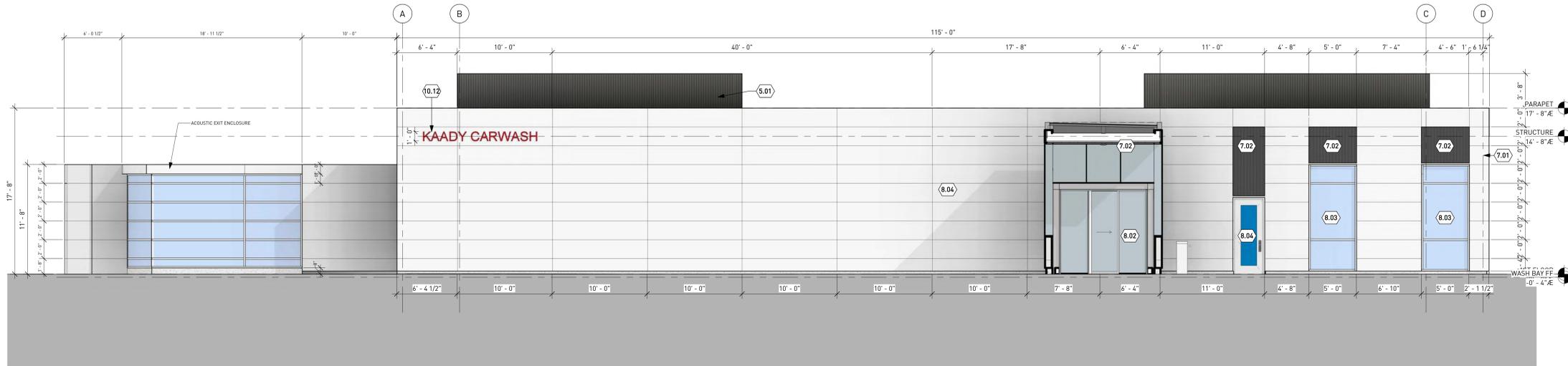
KEYNOTE	DESCRIPTION
5.01	HSS 4x4 ROOF SCREEN FRAME, SEE STRUCTURAL. RIBBED METAL PANEL CLADDING, METAL SALES T10-A.
7.01	SMOOTH METAL PANEL SMP-1, COMPOSITE METAL PANEL, ALPOLIC, ALUCOBOND, REYNOLBOND OR APPROVED. .020 INCH THICK ALUMINUM SHEET WITH ORGANIC COATING FINISH WITH A LOW DENSITY POLYETHYLENE CORE. COLOR: WHITE. ROUT AND RETURN FABRICATION FOR 1" NOMINAL PANEL DEPTH. PROVIDE BAKER ROD AND SILICONE SEALANT FOR 1/2" VERTICAL AND HORIZONTAL JOINTS.
7.02	RIBBED METAL PANEL RMP-1, METAL SALES T10-A. 22 GAUGE BOXED RIB METAL PANEL. MOUNT TO FURRING CHANNEL AND FLUSH OUT WITH ADJACENT SMOOTH METAL PANEL SMP-1. COLOR: GREY.
8.01	GLAZED ALUMINUM STOREFRONT ENTRY 3'-0" X 8'-0". KAWNEER 350T STANDARD MEDIUM THERMAL SWING DOOR ENTRANCE. 3 1/2" ALUMINUM STILES AND TOP RAIL, 6 1/2" BOTTOM RAIL, GUARDIAN SNX 62/27 LOW-E TEMPERED GLASS LITES, U 28 MAX, SHGC .26 MAX. DOOR HARDWARE: BUTT HINGES (2EA), IVES SBB1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, EXIT DEVICE: FALCON F-25-R-L-NL-LAT RIM DEVICE, CLOSER: LCN 4020 CUSH SURFACE MOUNTED CLOSER, THRESHOLD: PEMKO 171 SERIES COMMERCIAL FLAT THRESHOLD 5" WIDE. GASKET: ZERO 4885BK PSA. DOOR SWEEP ZERO 8198AA RAIN DRIP WITH NYLON BRUSH.
8.02	GLAZED ALUMINUM STOREFRONT ENTRY 6'-0" X 8'-0". KAWNEER 350T STANDARD MEDIUM THERMAL SWING DOOR ENTRANCE. 3 1/2" ALUMINUM STILES AND TOP RAIL, 6 1/2" BOTTOM RAIL, GUARDIAN SNX 62/27 LOW-E TEMPERED GLASS LITES, U 28 MAX, SHGC .26 MAX. DOOR HARDWARE: BUTT HINGES (2EA), IVES SBB1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, EXIT DEVICE (2EA): FALCON F-25-C-L-NL-LAT CONCEALED VERTICAL ROD DEVICE, CLOSER (2EA): LCN 4020 CUSH SURFACE MOUNTED CLOSER, THRESHOLD: PEMKO 171 SERIES COMMERCIAL FLAT THRESHOLD 5" WIDE. GASKET: ZERO 4885BK PSA. DOOR SWEEP ZERO 8198AA RAIN DRIP WITH NYLON BRUSH.
8.03	GLAZED ALUMINUM STOREFRONT ENTRY 3'-0" X 8'-0". KAWNEER 451T THERMALLY BROKEN 4 1/2" ALUMINUM STOREFRONT. 1" INSULATED GLAZING UNITS, GUARDIAN SNX 62/27 U=28, SHGC=.26. COLOR: WHITE.
8.04	HOLLOW METAL OFFICE DOOR WITH HOLLOW METAL FRAME 3'-0" X 8'-0", PAINT WHITE. HARDWARE: BUTT HINGES (2EA), IVES SBB1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, OFFICE LOCKSET: FALCON T-521-CP6-LAT. CLOSER: LCN 4110 SURFACE MOUNT. GASKET: ZERO 4885BK PSA.
8.07	OVERHEAD COILING DOOR: COOKSON MODEL ESD10 MOTORIZED ROLLING SERVICE DOOR. 20 GAUGE PAINTED GALVANIZED STEEL, PAINT WHITE. 12'-0" WIDE X 9'-0" HIGH.
10.12	OWNER FURNISHED, OWNER INSTALLED BUILDING SIGNAGE
22.7	3" OVERFLOW NOZZLE WITH FLAPPER. ZURN ZF 199 OR APPROVED



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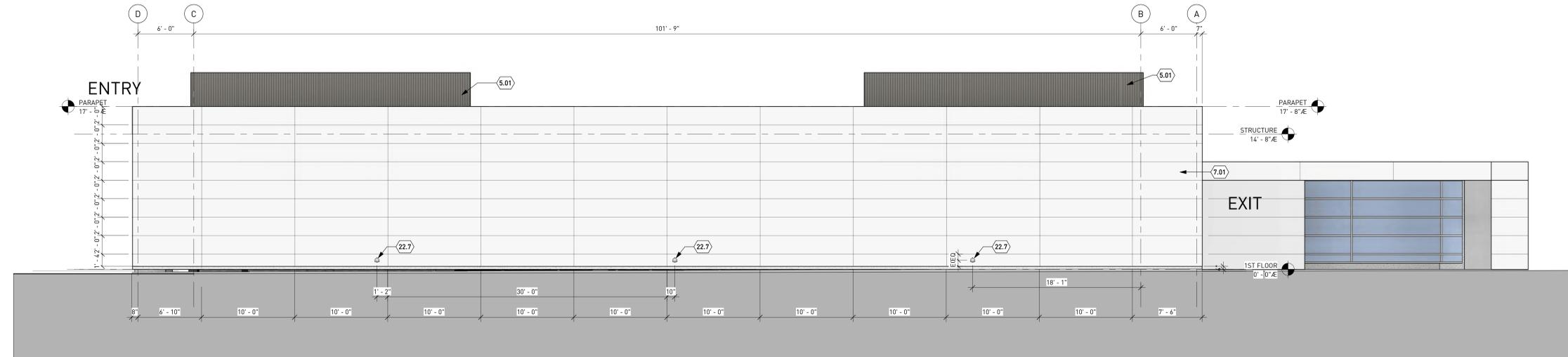
NOT FOR CONSTRUCTION

**KAADY CAR WASH**  
18850 WILLAMETTE DRIVE, WEST LINN, OREGON 97068



**1 DRIVER'S SIDE ELEVATION (SOUTH)**

3/16" = 1'-0"



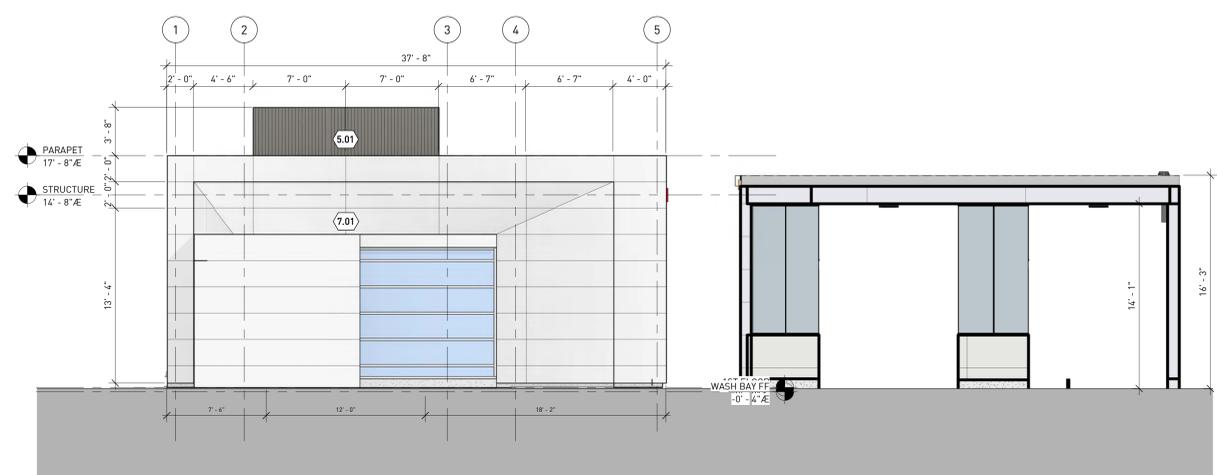
**2 PASSENGER'S SIDE ELEVATION (NORTH)**

3/16" = 1'-0"



**3 ENTRANCE ELEVATION**

3/16" = 1'-0"



**4 EXIT ELEVATION**

3/16" = 1'-0"

Δ Revisions

CONDITIONAL  
USE PERMIT

EXTERIOR  
ELEVATIONS

Project # 22005

**A4.01**

Date: 7.23.25

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www.tvaarchitects.com

NOT FOR CONSTRUCTION

**KAADY CAR WASH**  
18850 WILLAMETTE DRIVE, WEST LINN, OREGON 97068

- 18850 Willamette Drive**
- Property ID: 21E14DD-6900
  - City: West Linn
  - County: Clackamas
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  - Construction Type VB
  - Building Height: 17'-8"
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- Water supply, storm drain, and sanitary sewer information is per the West Linn City Maps site, exact locations to be provided by survey.
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- EXISTING BUILDING**
- McDonald's : Archland Property LLC c/o McDonald's Corp.
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  - 14.12' height
  - Surface Elevation 180.3637'
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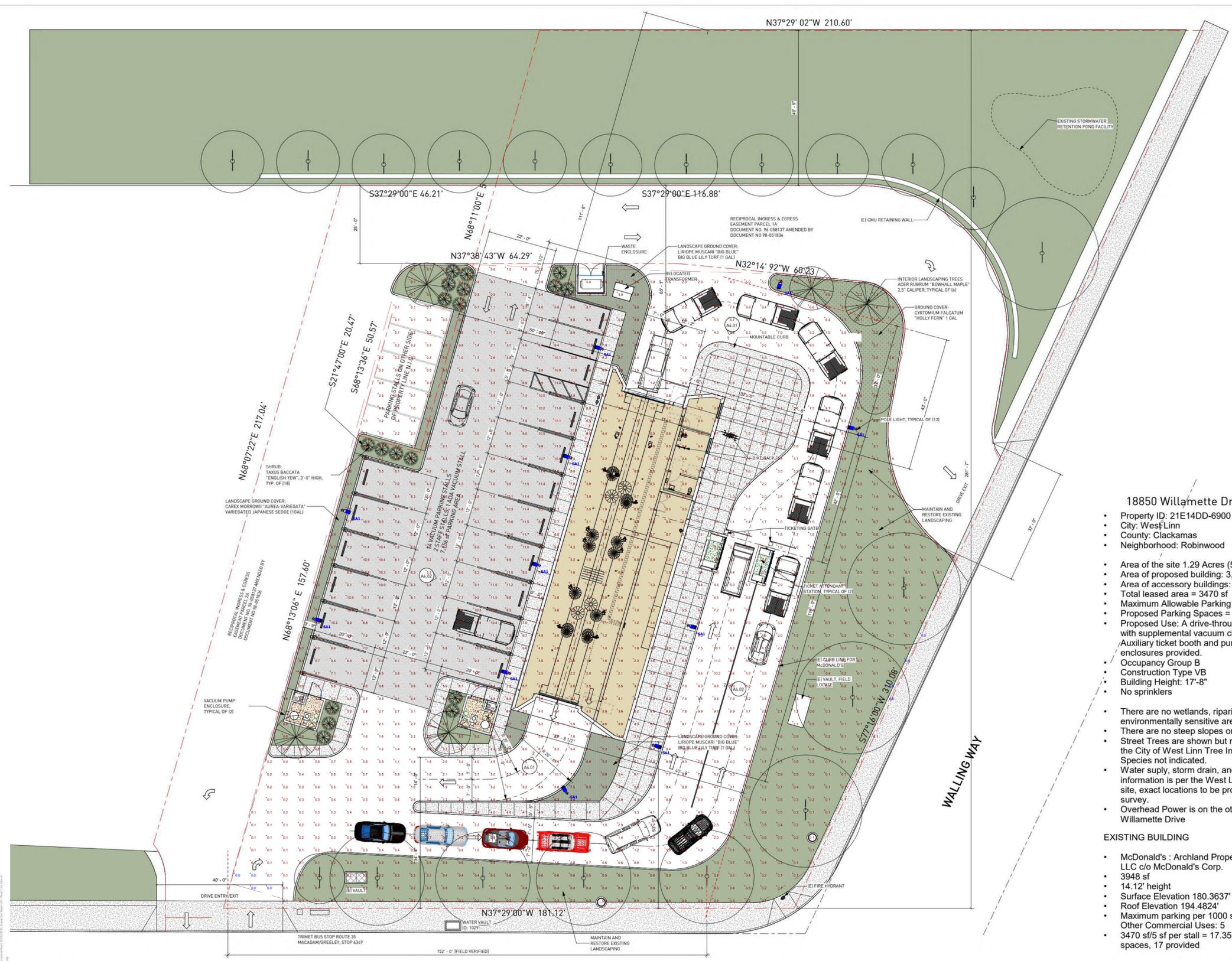
CONDITIONAL USE PERMIT

OVERALL SITE PLAN

Project # 22005

**A0.01**

Date: 7.23.2025



**1 SITE PLAN**  
3/32" = 1'-0"

**WILLAMETTE DRIVE (STATE HWY 43)**

**Plan View**  
Scale - 1" = 12ft

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
SA1			11	ESX1 LED P2 40K R3	ESX LED Area Luminaire Size: 1.72 Lumens Package 4000K CCT Type R3 Distribution		1	13917	0.9	97.59	

Designer  
Date 07/25/2025  
Scale Not to Scale  
Drawing No.  
Summary



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### SHEET NOTES

- SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- TOP OF CONCRETE OUTSIDE DOOR = FF ELEV. MINUS 0.02' SLOPE LANDING 1.5% AWAY FROM BLDG.

### KEY NOTES

- XXXXXXXXXX

### GRADING LABEL LEGEND

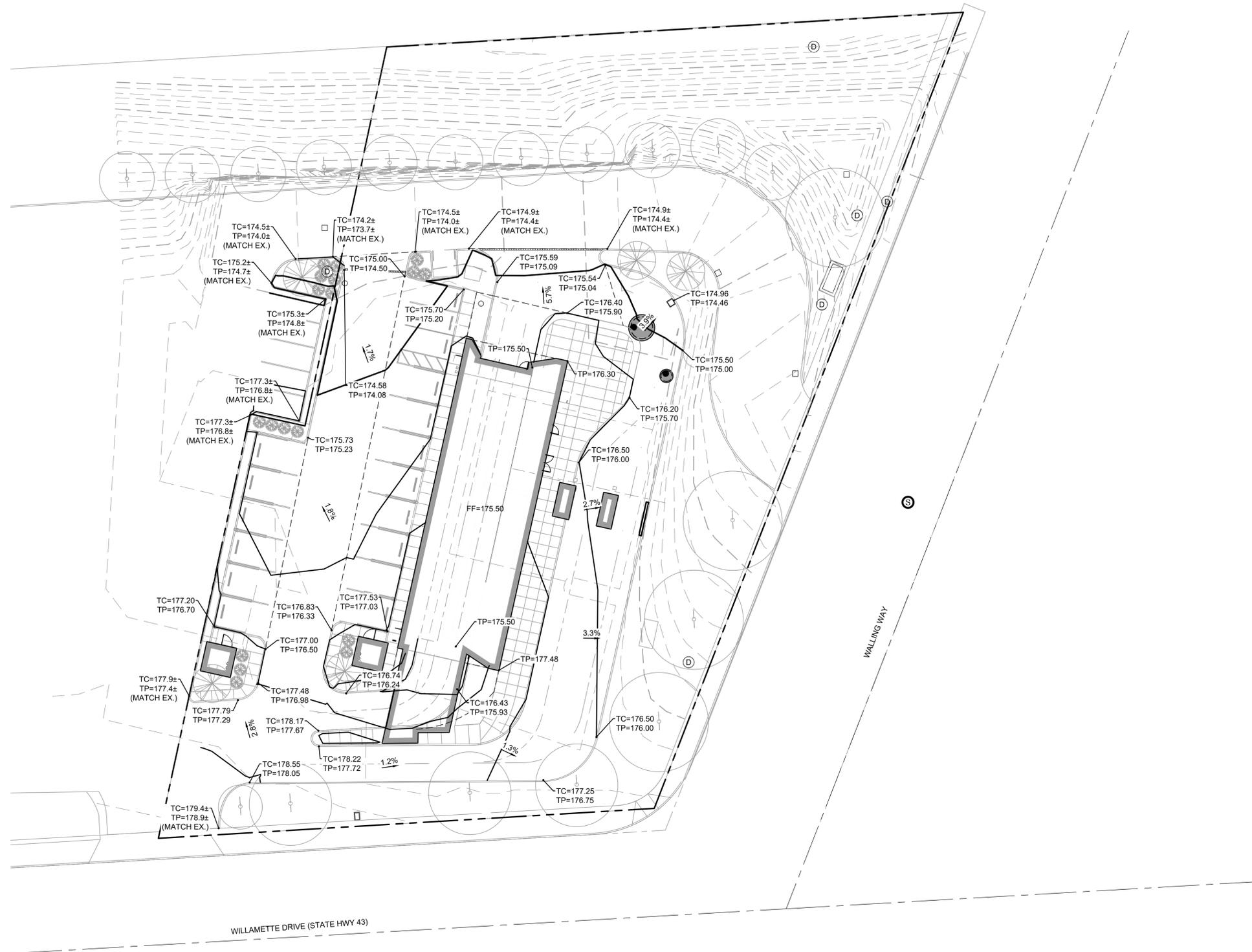
CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
BOS	BOTTOM OF SWALE
BOW	BACK OF WALK
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP WALL

### SHEET LEGEND

	DRAINAGE FLOW DIRECTION
	GRADE BREAK
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	CONTOUR MINOR (FG)
	CONTOUR MAJOR (FG)
	CONVEYANCE SWALE



SCALE  
1 INCH = 20 FEET  
20 0 20 40



KAADY CAR WASH  
WEST LINN, OREGON

Revisions

LAND-USE SET  
**GRADING PLAN**

Project # 22005

**C3.0**

Date: 7.9.2025



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FROELICH  
ENGINEERS  
CIVIL STRUCTURAL  
Portland, OR | Bend, OR | Denver, CO  
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KAADY CAR WASH  
WEST LINN, OREGON

Revisions

### SHEET NOTES

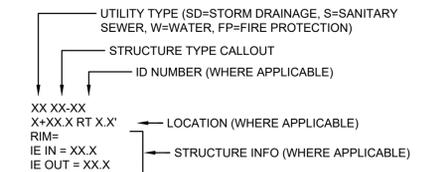
- PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL X/C5.X.
- STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
- INSTALL TRUST BLOCK ON FIRE AND WATER LINES PER DETAIL X & X/CX.X.

### KEY NOTES

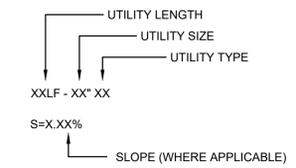
- COORDINATE WATER SERVICE POINT OF CONNECTION TO EXISTING "X" LATERAL WITH CITY OF WEST LINN.
- FIELD VERIFY LOCATION AND IE OF EXISTING "X" LATERAL PRIOR TO CONSTRUCTION.
- IRRIGATION BACKFLOW ASSEMBLY VAULT, SEE LANDSCAPE PLANS.

### UTILITY LABEL LEGEND

#### STRUCTURE LABEL



#### PIPE LABEL



#### STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
BEND	BEND, USE FITTING IF APPLICABLE	(X)
BWV	BACKWATER VALVE	(XX)
CB	TRAPPED CATCH BASIN	(XX)
CO	CLEANOUT TO GRADE	(XX)
CONN	CONNECTION	
DW	DRYWELL	
FCMH	FLOW CONTROL MANHOLE	
FD	FOUNDATION DRAINAGE POINT OF CONN.	
FH	FIRE HYDRANT	
GV	GATE VALVE	
OF	OUTFALL	
OV	OVERFLOW INLET	
SDMH	48" DIA. STORM DRAIN MH	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
WYE	WYE CONNECTION	
WQMH	WATER QUALITY MANHOLE	

### SHEET LEGEND

- SS CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- RD CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- W CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- II UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.



LAND-USE  
SET

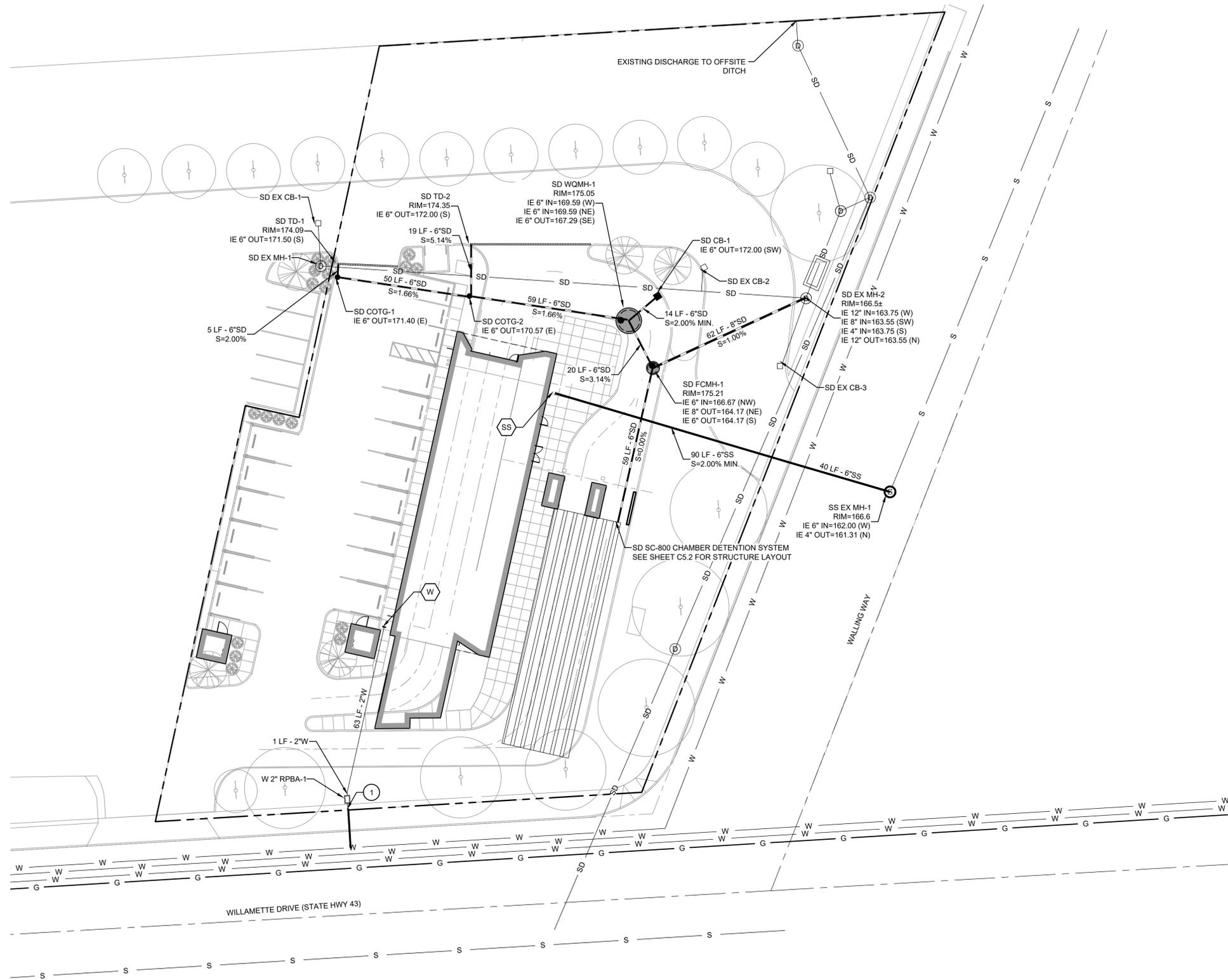
UTILITY  
PLAN

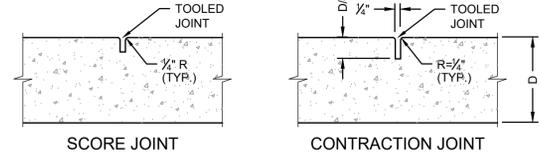
Project # 22005

C4.0

Date: 7.9.2025

CUP-25-03/DR-25-03/VAR-25-02





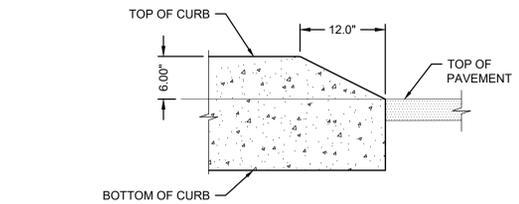
**JOINT INTERVALS TABLE**

TYPE	SPACING	OR AT ...
SCORE	5' TYP	LOCATIONS SHOWN ON PLANS
CONTRACTION	15' MAX	END OF RAMPS AND DRIVEWAYS
EXPANSION/ISOLATION	200' *	POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY OR OTHER FIXED OBJECTS

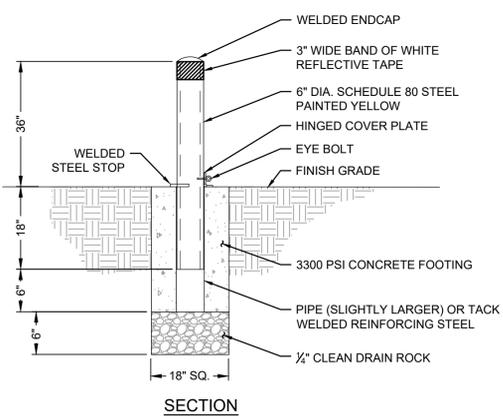
\* MONOLITHIC CURB AND SIDEWALK SHALL BE 45' MAX

- NOTES:**
- CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.
  - CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
  - PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

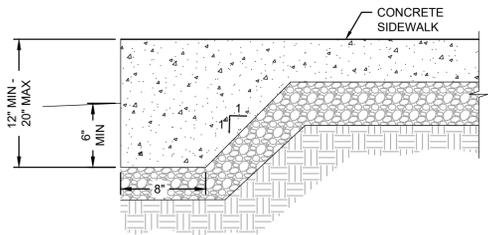
**X SIDEWALK JOINTS**  
SCALE: NTS



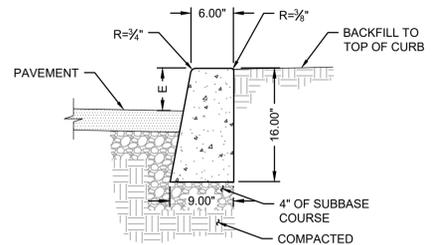
**X CONCRETE CURB ENDING**  
SCALE: NTS



**X REMOVABLE PIPE BOLLARD**  
SCALE: NTS

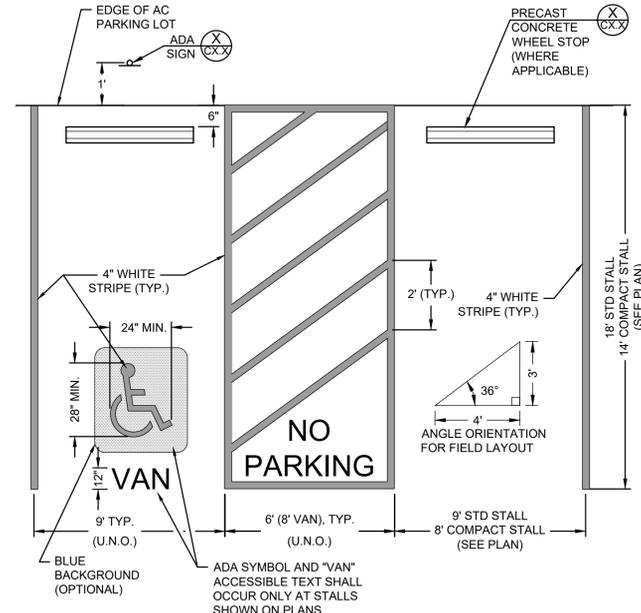


**X THICKENED CONCRETE EDGE**  
SCALE: NTS

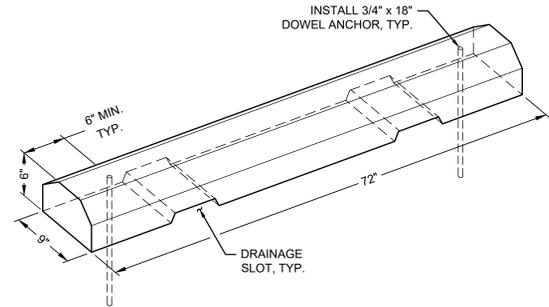


- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

**X STANDARD CONCRETE CURB**  
SCALE: NTS

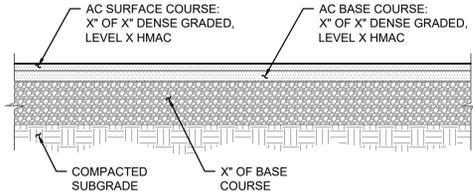


**X TYPICAL PARKING LAYOUT**  
SCALE: NTS

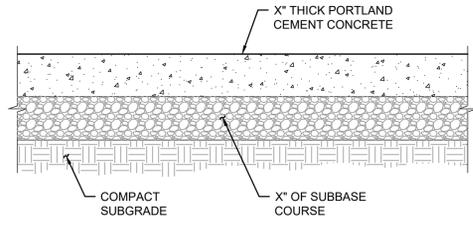


- NOTES:**
- DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

**X PRECAST CONCRETE WHEEL STOP**  
SCALE: NTS

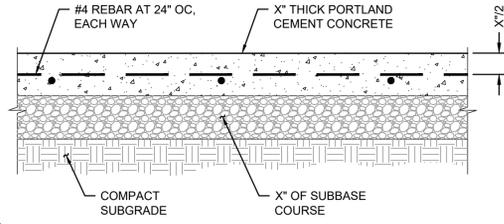


**X ASPHALT PAVEMENT SECTION**  
SCALE: NTS



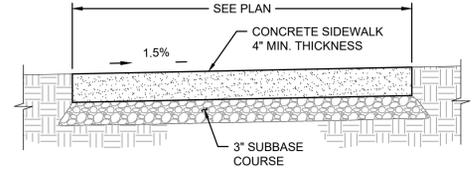
- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

**X CONCRETE PAVEMENT SECTION**  
SCALE: NTS



- NOTES:**
- JOINTS:
    - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS.
    - CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

**X REINFORCED CONCRETE PAVEMENT SECTION**  
SCALE: NTS



- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

**X CONCRETE SIDEWALK**  
SCALE: NTS



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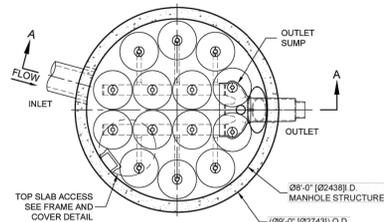
**KAADY CAR WASH**  
WEST LINN, OREGON

Revisions

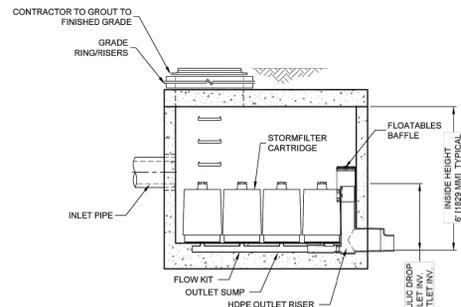
LAND-USE SET  
**DETAILS**

Project # 22005

**C5.0**  
Date: 7.9.2025



**PLAN VIEW**  
STANDARD OUTLET RISER  
FLOWKIT-43A



**SECTION A-A**

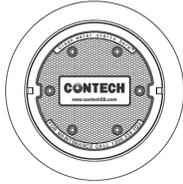


**STORMFILTER DESIGN NOTES**

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 14 CARTRIDGES. Ø6'-0" (Ø2438 mm) MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.8 CFS (Ø1 L/s). IF THE SITE CONDITIONS EXCEED 1.8 CFS (Ø1 L/s) AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27" (Ø686 mm)	18" (Ø458 mm)	LOW DROP
CARTRIDGE HEIGHT	3.05" (Ø76 mm)	2.3" (Ø58 mm)	1.8" (Ø46 mm)
RECOMMENDED HYDRAULIC DROP (H)	2 (1.30)	1.67" (1.08)	2 (1.30)
SPECIFIC FLOW RATE (gpm/ft²) [L/s/m²]	22.5 (1.42)	18.79 (1.19)	15 (0.95)
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 (1.42)	18.79 (1.19)	15 (0.95)

\* 1.67 gpm/ft² (1.08 L/s/m²) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WATER QUALITY FLOW RATE (cfs) [L/s]	PEAK FLOW RATE (cfs) [L/s]	RETURN PERIOD OF PEAK FLOW (yrs)	CARTRIDGE HEIGHT (SEE TABLE ABOVE)	NUMBER OF CARTRIDGES REQUIRED	CARTRIDGE FLOW RATE	MEDIA TYPE (PERLITE, ZPG, PSORB)

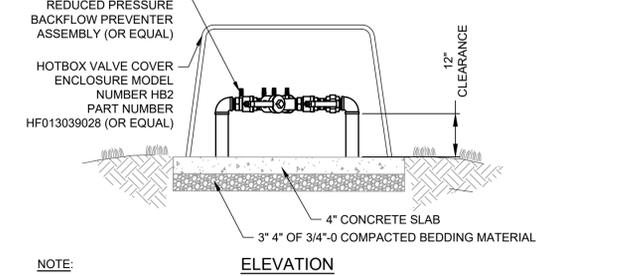
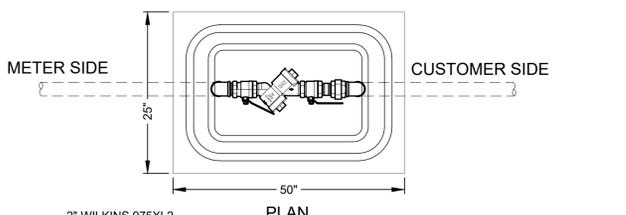
PIPE DATA: I.E. MATERIAL DIAMETER  
INLET PIPE #1 \* \* \* \*  
INLET PIPE #2 \* \* \* \*  
OUTLET PIPE \* \* \* \*

ANTI-FLOTATION BALLAST WIDTH HEIGHT  
NOTES/SPECIAL REQUIREMENTS:  
\* PER ENGINEER OF RECORD

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
  - STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' (1524 mm) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M250 AND BE CAST WITH THE CONTECH LOGO.
  - FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES (178 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
  - SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) [m²].
  - STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
  - CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HDPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES (200 mm), CONTRACTOR TO REMOVE THE 8 INCH (200 mm) OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERRO OR EQUAL AND PROVIDED BY CONTRACTOR.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

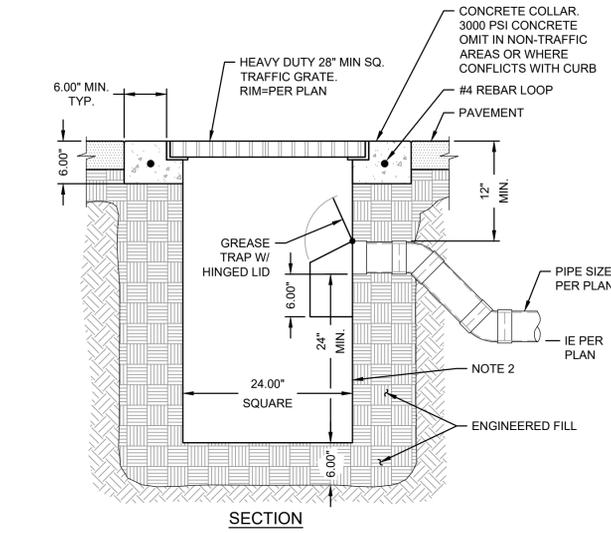
**CONTECH ENGINEERED SOLUTIONS LLC**  
www.contechES.com  
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
800-338-1122 513-645-7000 513-645-7993 FAX

**SFMH96 STORMFILTER STANDARD DETAIL**



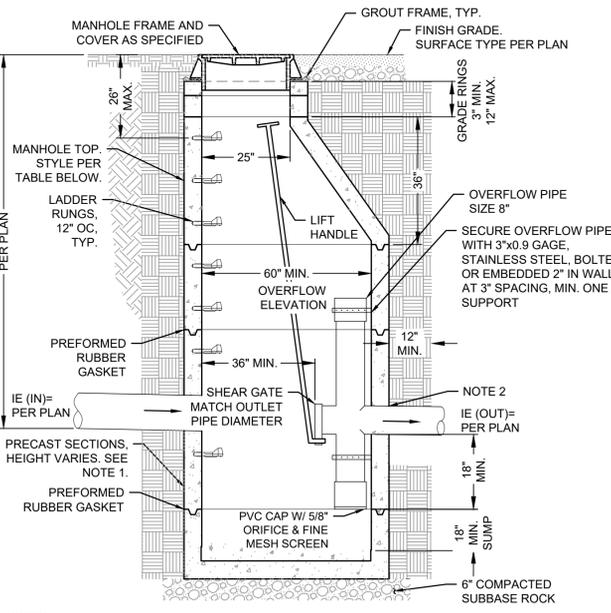
- NOTE:**
- HOTBOX ENCLOSURE SHALL BE INSULATED AND HEATED. COORDINATE WITH ELECTRICAL PLANS FOR CONNECTION.
  - RPBA SHALL BE ACCESSIBLE BY VERTICALLY LIFTING OFF ENCLOSURE. CONTRACTOR TO VERIFY ACCESSIBILITY PRIOR TO CONSTRUCTION.

**10 REDUCED PRESSURE BACKFLOW ASSEMBLY**  
SCALE: NTS



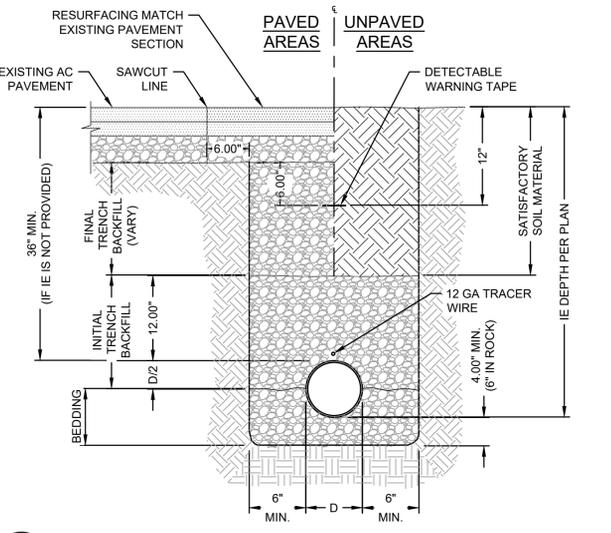
- NOTES:**
- CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTORS COMPACTION EQUIPMENT.
  - 1/4" STEEL PLATE, BITUMINOUS COATED. AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

**X TRAPPED CATCH BASIN**  
SCALE: NTS

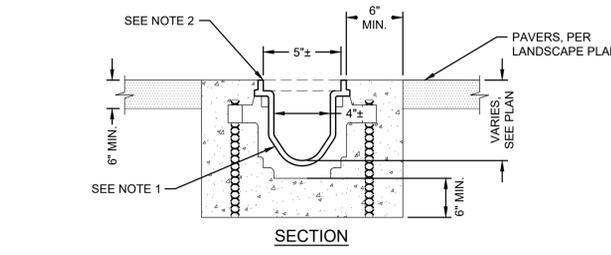


- NOTES:**
- ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478.
  - ALL CONNECTING PIPES SHALL HAVE FLEXIBLE, GASKETED AND UNRESTRAINED JOINT WITHIN 18" OF MANHOLE VAULT. PIPE SIZES NOTED ON PLANS. PIPE CONNECTION TO MANHOLES SHALL HAVE KOR-N-SEAL BOOT OR APPROVED EQUAL.
  - ORIFICE AND OVERFLOW ELEVATIONS ARE RELATIVE TO IE (OUT)

**6 FLOW CONTROL MANHOLE**  
SCALE: NTS

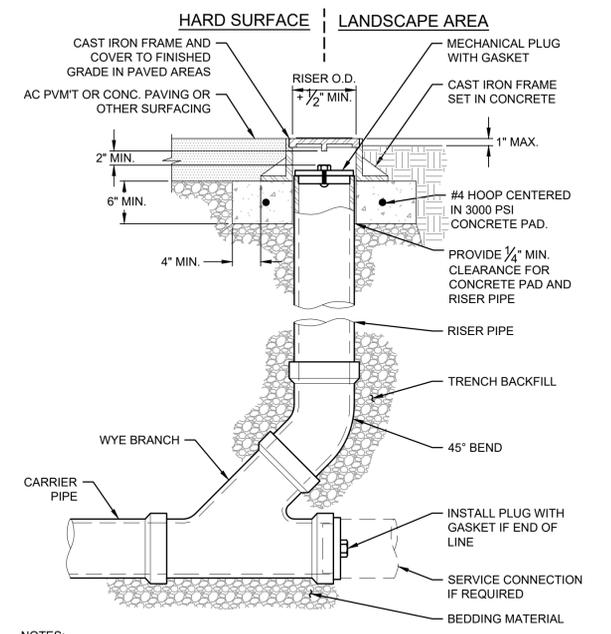


**X TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



- NOTES:**
- TRENCH DRAIN SHALL BE PRE-SLOPED 4" WIDE ZURN OR ACO TRENCH DRAIN OR APPROVED EQUAL.
  - TRENCH DRAINS GRATE SHALL BE LOCKABLE HEAVY DUTY TRENCH GRATE - CLASS C.
  - TRENCH SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

**X TRENCH DRAIN - 4 INCH WIDE**  
SCALE: NTS



- NOTES:**
- CAST IRON FRAME AND COVER SHALL MEET H-20 LOAD REQUIREMENT.
  - FOR CARRIER PIPE SIZE 6"Ø AND LESS, PROVIDE RISER PIPE SIZE TO MATCH CARRIER PIPE.
  - FOR CARRIER PIPE SIZE 8"Ø AND LARGER, RISER PIPE SHALL BE 6"Ø.
  - RISER PIPE MATERIAL TO MATCH CARRIER PIPE MATERIAL.

**X STANDARD CLEANOUT (COTG)**  
SCALE: NTS



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**KAADY CAR WASH**  
WEST LINN, OREGON

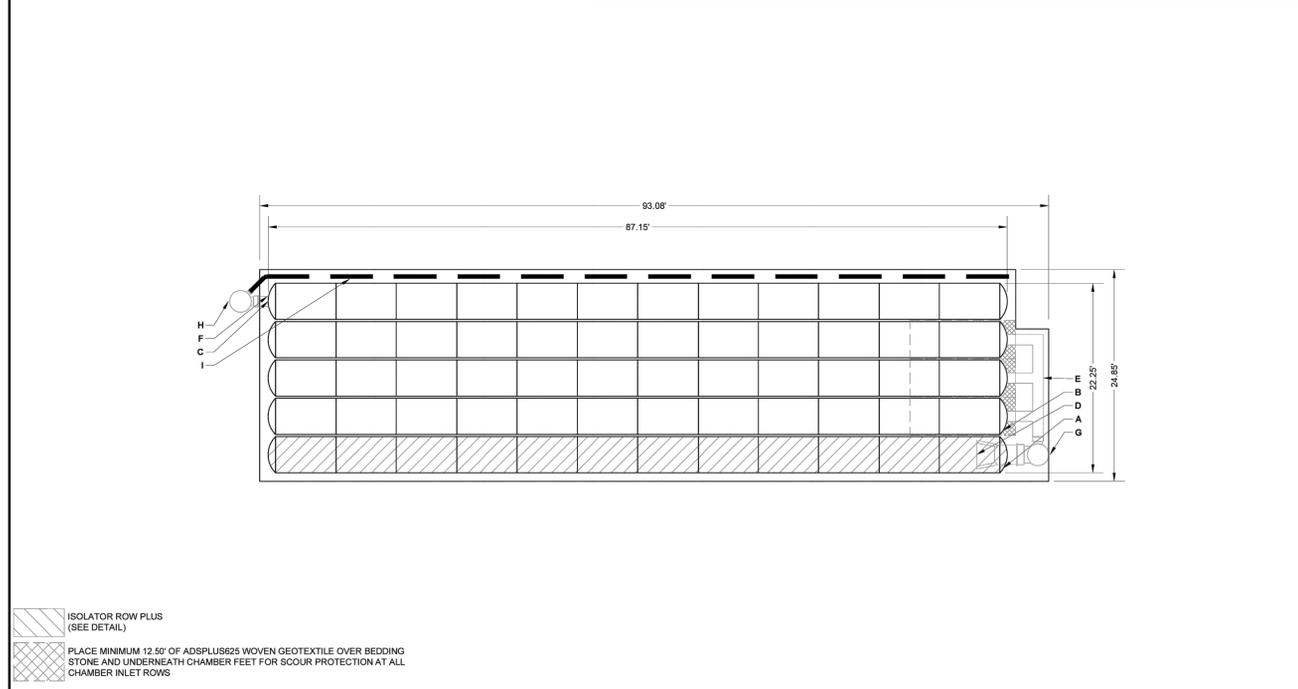
Revisions

LAND-USE SET  
**DETAILS**

Project # 22005

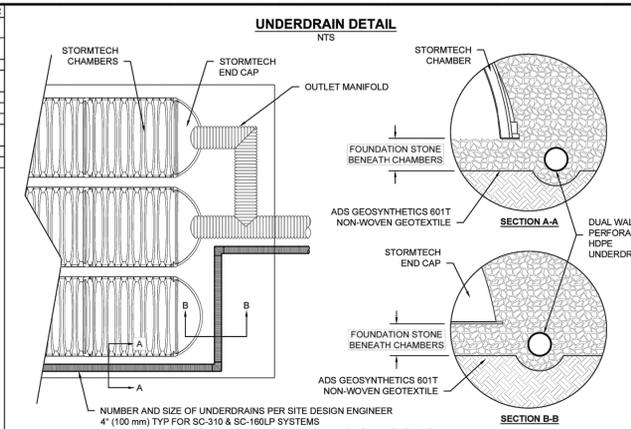
**C5.1**  
Date: 7.9.2025

PROPOSED LAYOUT		PROPOSED ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		*INVERT ABOVE BASE OF CHAMBER	
NO.	DESCRIPTION	MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	ITEM NO.	ITEM DESCRIPTION	INVERT	MAX FLOW	
60	STORMTECH SC-800 CHAMBERS	111.25'	105.00'	105.00'	105.00'	105.00'	111.25'	24" BOTTOM PREFABRICATED EZ END CAP, PART# SC800ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	2.30'		
10	STORMTECH SC-800 END CAPS	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'	12" TOP PRE-CORED END CAP, PART# SC800EPT2TPC / TYP OF ALL 12" TOP CONNECTIONS	14.40'		
8	STONE ABOVE (IN)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'	12" BOTTOM PRE-CORED END CAP, PART# SC800EPT2BPC / TYP OF ALL 12" BOTTOM CONNECTIONS	14.40'		
8	STONE BELOW (IN)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'	12" BOTTOM CONNECTION	1.60'		
40	STONE VOID	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'	30" DIAMETER (24.00" SLUMP MIN)		5.9 CFS IN	
5272	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED) (COVER STONE INCLUDED) (BASE STONE INCLUDED)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'	6" ADS N-12 DUAL WALL PERFORATED HDPE UNDERDRAIN		2.0 CFS OUT	
2286	SYSTEM AREA (SF)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'				
235.9	SYSTEM PERIMETER (ft)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'				
423	THERMOPLASTIC LINER (SY) (20% OVERAGE)	104.00'	104.00'	104.00'	104.00'	104.00'	104.00'				



**NOTES**

- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



**4 UNDERDRAIN DETAIL**

NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER  
 4" (100 mm) TYP FOR SC-310 & SC-160LP SYSTEMS  
 6" (150 mm) TYP FOR SC-800, DC-780, MC-3500, MC-4500 & MC-7200 SYSTEMS

**2 SC-800 TECHNICAL SPECIFICATION**

PART #	STUB	B	C
SC800EPE01TPC	6" (150 mm)	21.4" (544 mm)	0.9" (23 mm)
SC800EPE06BPC	---	---	---
SC800EPE08TPC	8" (200 mm)	19.2" (488 mm)	1.0" (25 mm)
SC800EPE08BPC	---	---	---
SC800EPE10TPC	10" (250 mm)	17.0" (432 mm)	1.2" (30 mm)
SC800EPE10BPC	---	---	---
SC800EPE12TPC	12" (300 mm)	14.4" (366 mm)	1.2" (30 mm)
SC800EPE12BPC	---	---	---
SC800EPE15TPC	15" (375 mm)	11.3" (287 mm)	1.7" (43 mm)
SC800EPE15BPC	---	---	---
SC800EPE18TPC	18" (450 mm)	8.0" (203 mm)	2.0" (51 mm)
SC800EPE18BPC	---	---	---
SC800EPE24BPC	24" (600 mm)	---	2.3" (58 mm)
SC800EPE	NONE	---	SOLID END CAP

**NOMINAL CHAMBER SPECIFICATIONS**

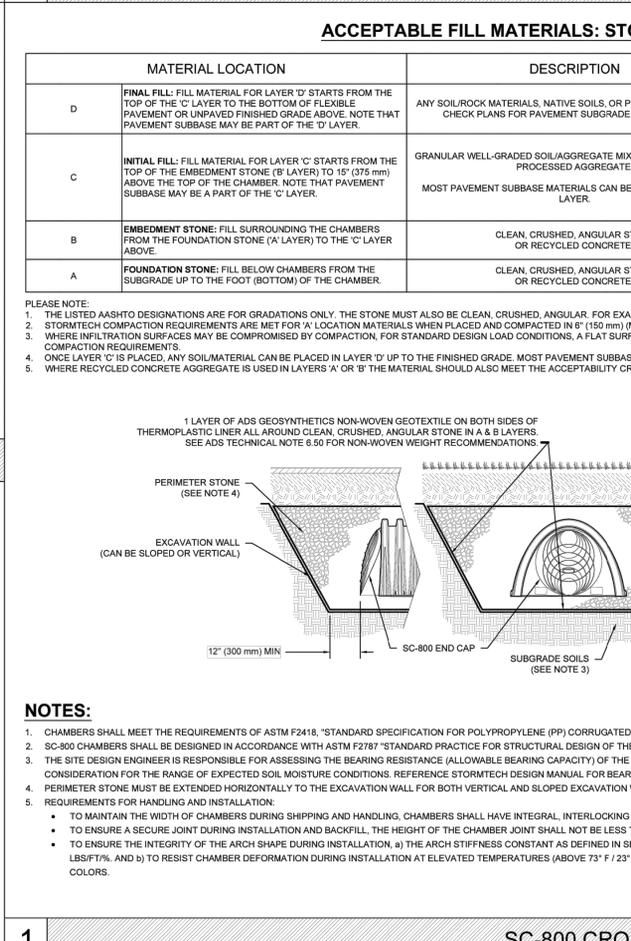
SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
51.0" X 33.0" X 85.4" (1295 mm X 838 mm X 2169 mm)	50.6 CUBIC FEET (1.43 m <sup>3</sup> )	78.4 CUBIC FEET (2.22 m <sup>3</sup> )	15.7 lbs (7.1 kg)

**NOMINAL END CAP SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE**	WEIGHT
46.5" X 32.6" X 10.5" (1181 mm X 828 mm X 267 mm)	3.4 CUBIC FEET (0.09 m <sup>3</sup> )	14.7 CUBIC FEET (0.42 m <sup>3</sup> )	1.7 lbs (0.7 kg)

\* ASSUMES 6" (150 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS, 3" (75 mm) BETWEEN CHAMBERS  
 \*\* ASSUMES 6" (150 mm) STONE ABOVE AND BELOW END CAPS, 3" (75 mm) BETWEEN ROWS, 12" (300 mm) BEYOND END CAPS

PRE-CORED HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "BPC"  
 PRE-CORED HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "TPC"



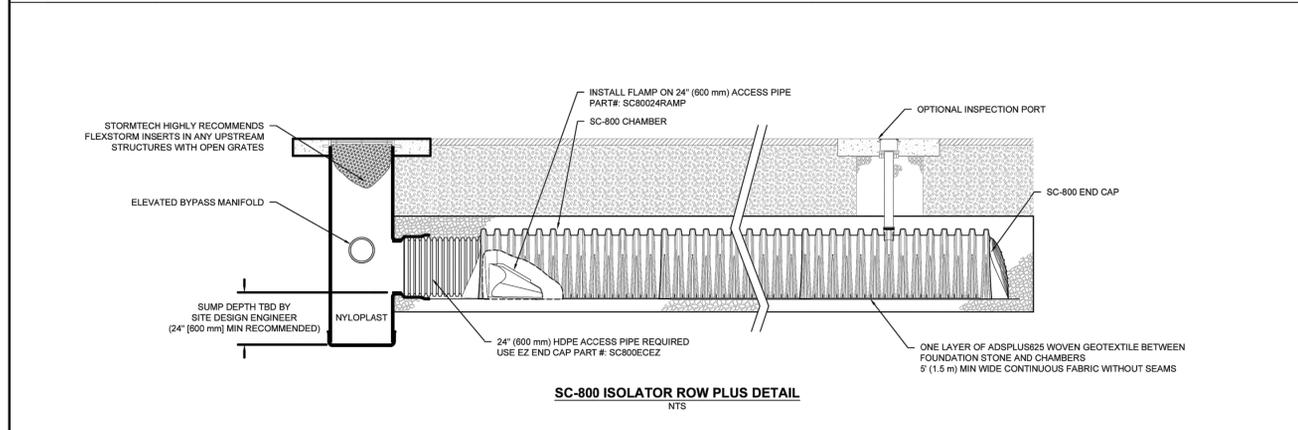
**1 SC-800 CROSS SECTION DETAIL**

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-800 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE 'B' LAYER TO THE TOP OF THE 'C' LAYER TO THE TOP OF THE 'C' LAYER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2, A-3 OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

**PLEASE NOTE:**

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



**3 SC-800 ISOLATOR ROW PLUS DETAIL**

**INSPECTION & MAINTENANCE**

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

- REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR PLUS ROWS

- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
  - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
  - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- VACUUM STRUCTURE SLUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

**1**

DATE: 07/25/2025  
 PROJECT #: NOT TO SCALE  
 DRAWN: CC  
 CHECKED: N/A  
 REV: 1

25-C007 KAADY  
 WEST LINN, OR, USA

StormTech Chamber System  
 4640 TRUEEMAN BLVD  
 HILLIARD, OH 43026  
 1-800-733-7473

ADS  
 4640 TRUEEMAN BLVD  
 HILLIARD, OH 43026  
 1-800-733-7473

LAND-USE SET  
 DETAILS  
 Project # 22005  
 Date: 7.9.2025

1 OF 1

tva architects inc.  
 1750 sw yamhill st | suite 150  
 portland, oregon 97205  
 phone: 503 220 0668  
 www.tvaarchitects.com

FROELICH ENGINEERS CIVIL STRUCTURAL  
 Portland, OR | Bend, OR | Denver, CO  
 (503) 624-7005

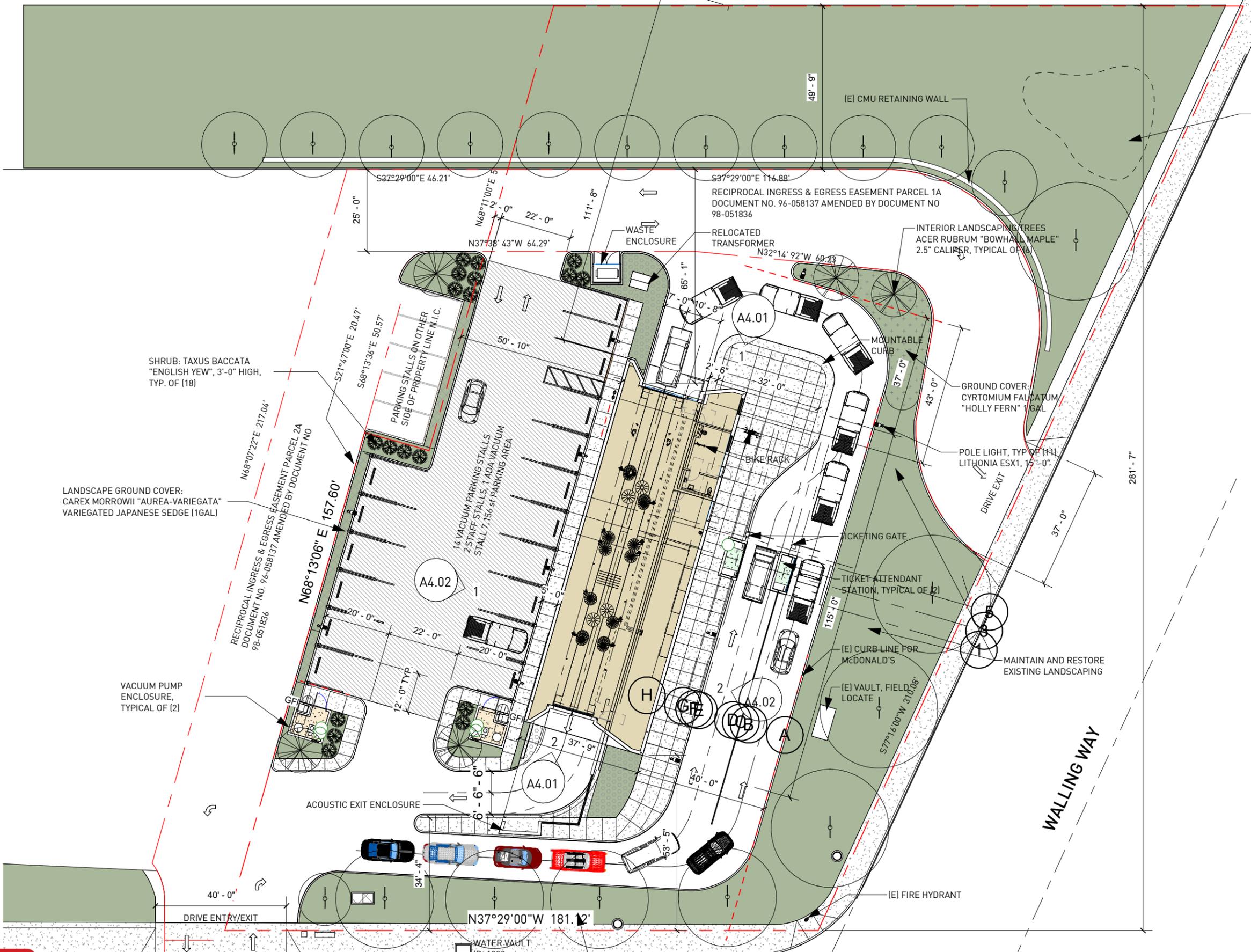
REGISTERED PROFESSIONAL ENGINEER  
 WEST LINN, OREGON  
 REISSUE 12/31/

KAADY CAR WASH  
 WEST LINN, OREGON

Revisions

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SPACE INTENTIONALLY LEFT BLANK



18850 Willamette Drive

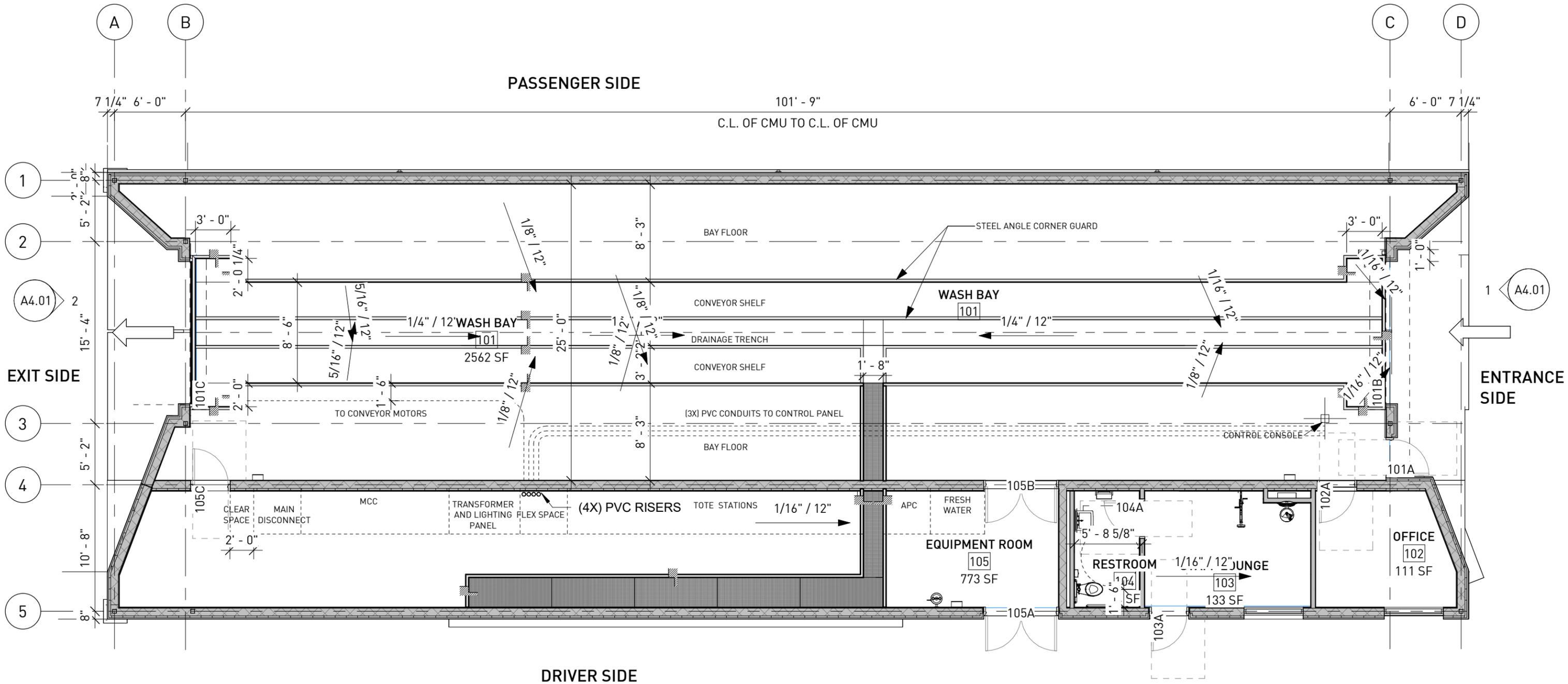
- Property ID: 21E14DD-6900
- City: West Linn
- County: Clackamas
- Neighborhood: Robinwood

- Area of the site 1.29 Acres (56,378 sf)
- Area of proposed building: 3,190 sf
- Area of accessory buildings: 280 sf
- Total leased area = 3470 sf
- Maximum Allowable Parking Spaces = 17
- Proposed Parking Spaces = 17
- Proposed Use: A drive-through car wash with supplemental vacuum cleaning stations. Auxiliary ticket booth and pumphouse enclosures provided.
- Occupancy Group B
- Construction Type VB
- Building Height: 17'-8"
- No sprinklers

- There are no wetlands, riparian, or environmentally sensitive areas on site.
- There are no steep slopes on site.
- Street Trees are shown but not identified on the City of West Linn Tree Inventory Map. Species not indicated.
- Water supply, storm drain, and sanitary sewer information is per the West Linn City Maps site, exact locations to be provided by survey.
- Overhead Power is on the other side of Willamette Drive

EXISTING BUILDING

- McDonald's : Archland Property LLC 3948 sf
- 14.12' height
- Surface Elevation 180.3637'
- Roof Elevation 194.4824'
- Maximum parking per 1000 sf for Other Commercial Uses: 5
- 3470 sf/5 sf per stall = 17.35 spaces, 17 provided



tva architects inc.  
 920 sw sixth avenue | suite 1500 | portland, oregon 97204  
 phone: 503 220 0668 | www.tvaarchitects.com  
 Exhibit PC-1

**A1**  
 FLOOR PLAN

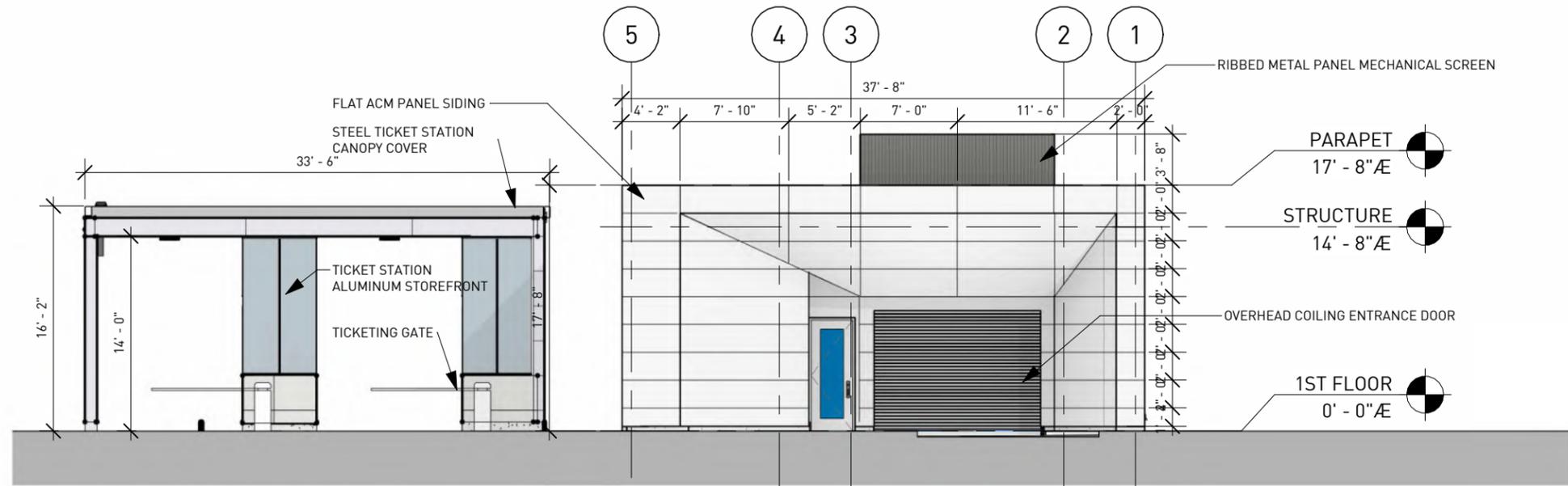
1/8" = 1'-0"

07/23/25

**KAADY CAR WASH**

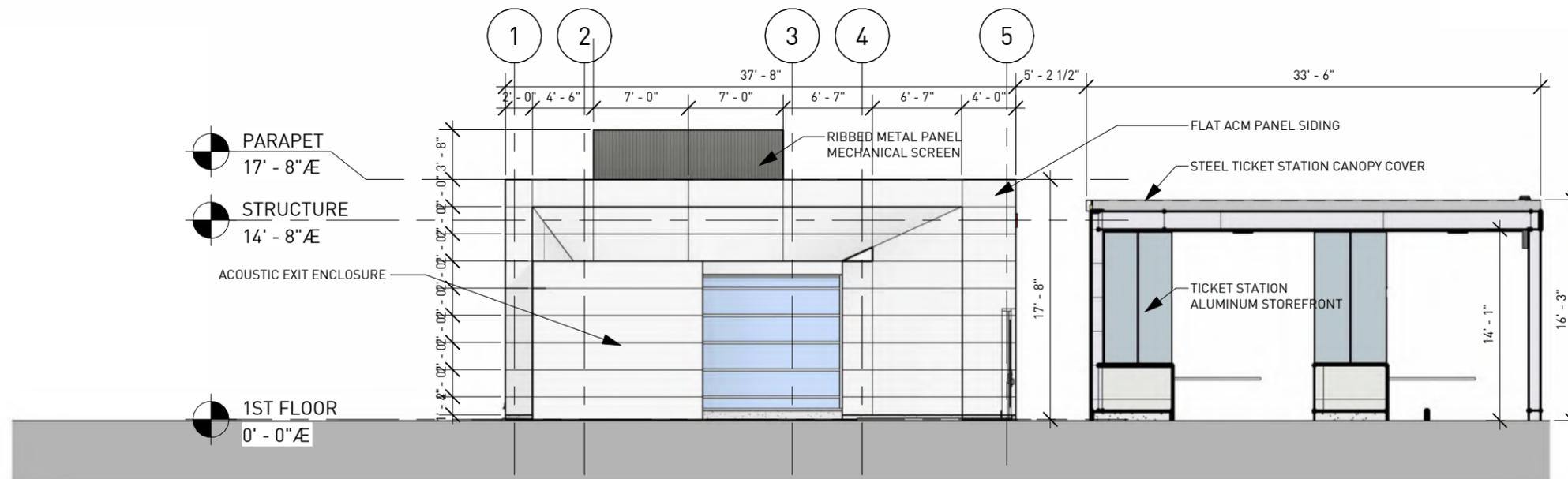
18850 WILLAMETTE DRIVE, WEST LINN, OREGON

CUP-25-03/DR-25-03/VAR-25-02 97068



# 1 ENTRANCE ELEVATION 1/8"

3/32" = 1'-0"



# 2 EXIT ELEVATION 1/8"

3/32" = 1'-0"



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 920 sw sixth avenue | suite 1500 | portland, oregon 97204  
 phone: 503 220 0668 | www.tvaarchitects.com  
 Exhibit PC-1

A4.1

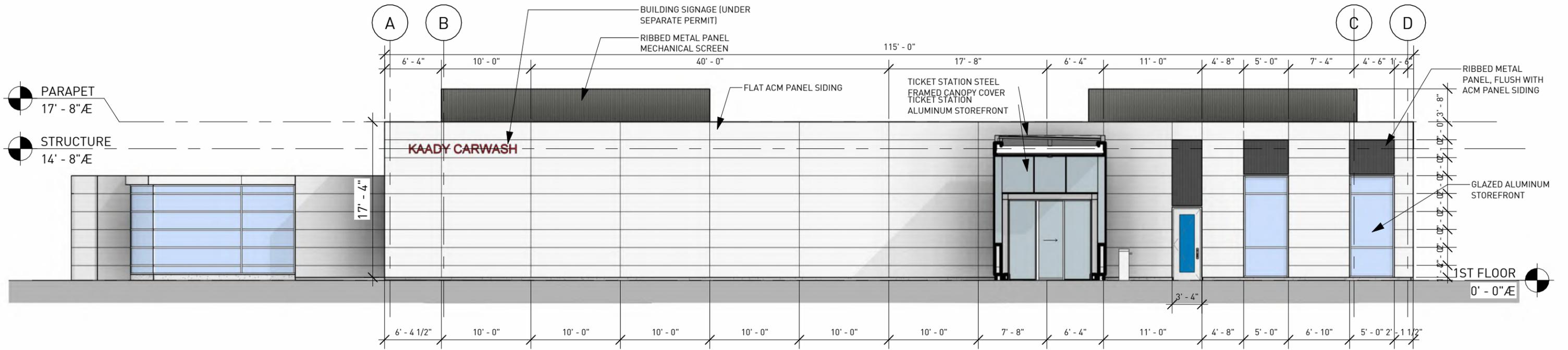
EXTERIOR ELEVATIONS  
 62

3/32" = 1'-0"

1/08/2026

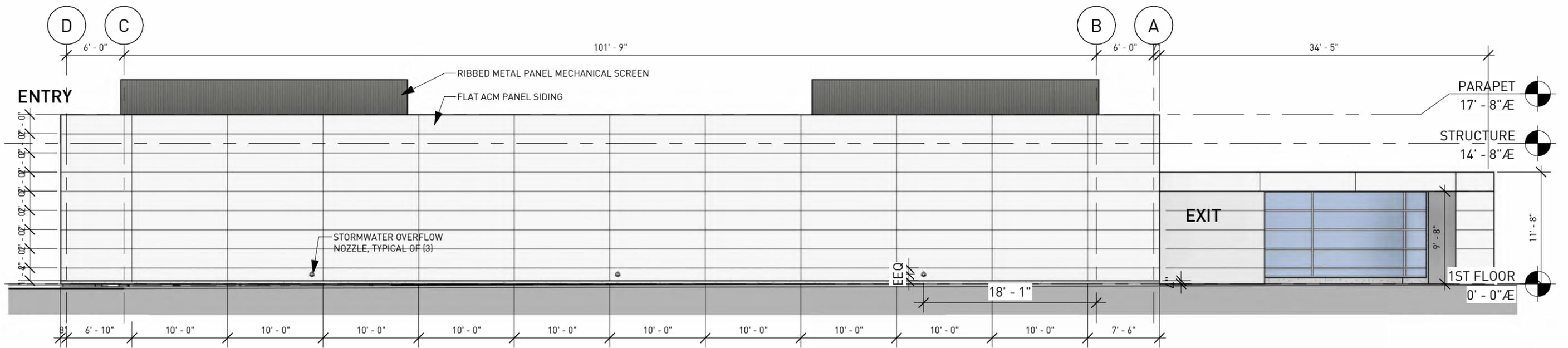
KAADY CAR WASH

18850 WILLAMETTE DRIVE, WEST LINN, OREGON  
 CUP-25-03/DR-25-03/VAR-25-02 97068



# 1 DRIVER'S SIDE ELEVATION

3/32" = 1'-0"



# 2 PASSENGER'S SIDE ELEVATION

3/32" = 1'-0"



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 phone: 503 220 0668 | www.tvaarchitects.com  
 Exhibit PC-1

A4.2

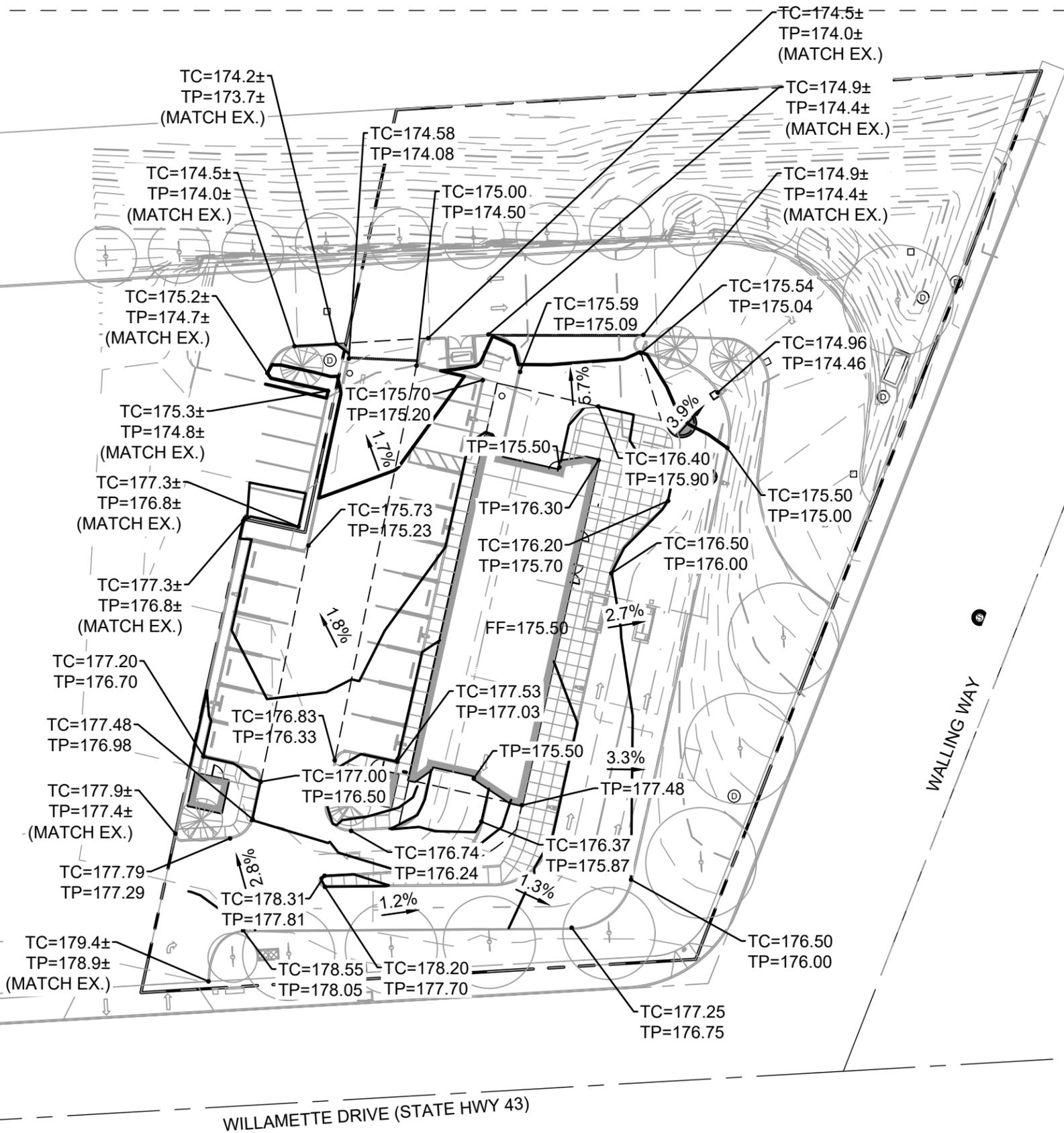
EXTERIOR ELEVATIONS  
 63

3/32" = 1'-0"  
 01/08/2026

KAADY CAR WASH

18850 WILLAMETTE DRIVE, WEST LINN, OREGON  
 CUP-25-03/DR-25-03/VAR-25-02 97068

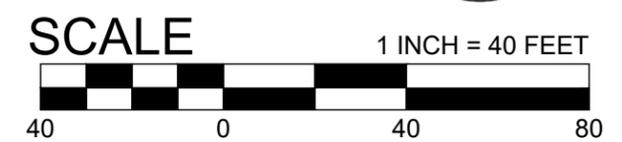
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1. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 1.5% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
4. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
5. TOP OF CONCRETE OUTSIDE DOOR = FF ELEV. MINUS 0.02' SLOPE LANDING 1.5% AWAY FROM BLDG.

### LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
BOS	BOTTOM OF SWALE
BOW	BACK OF WALK
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP WALL
---	GRADE BREAK
49	EX. CONTOUR MINOR
50	EX. CONTOUR MAJOR
49	CONTOUR MINOR (FG)
50	CONTOUR MAJOR (FG)



# SHEET LEGEND

- CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.

# SHEET NOTES

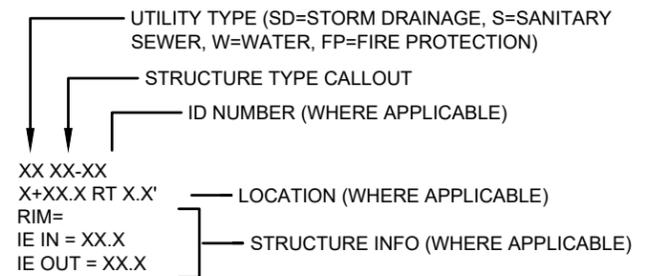
1. PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL X/C5.X.
2. STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
3. INSTALL TRUST BLOCK ON FIRE AND WATER LINES PER DETAIL X & X/CX.X.

# KEY NOTES

1. COORDINATE WATER SERVICE POINT OF CONNECTION TO EXISTING X" LATERAL WITH CITY OF WEST LINN.
2. FIELD VERIFY LOCATION AND IE OF EXISTING XX" XXXXX LATERAL PRIOR TO CONSTRUCTION.
3. IRRIGATION BACKFLOW ASSEMBLY VAULT, SEE LANDSCAPE PLANS.

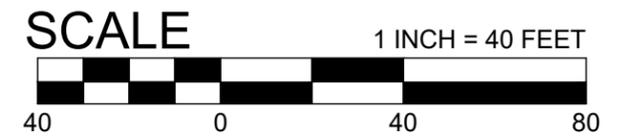
# UTILITY LABEL LEGEND

## STRUCTURE LABEL

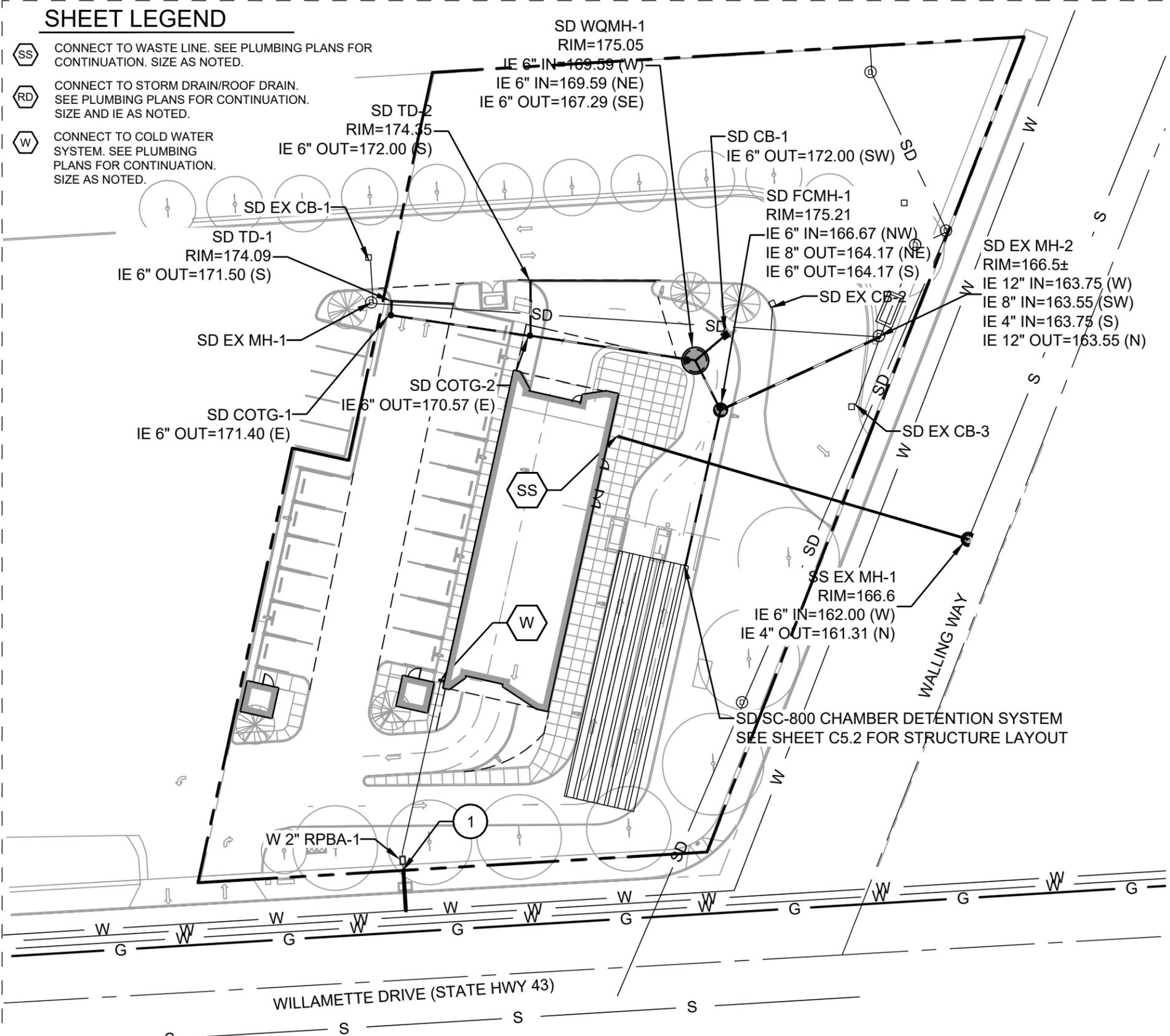


## STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
BEND	BEND, USE FITTING IF APPLICABLE	
BWV	BACKWATER VALVE	
CB	TRAPPED CATCH BASIN	
CO	CLEANOUT TO GRADE	
CONN	CONNECTION	
DW	DRYWELL	
FCMH	FLOW CONTROL MANHOLE	
FD	FOUNDATION DRAINAGE POINT OF CONN.	
FH	FIRE HYDRANT	
GV	GATE VALVE	
OF	OUTFALL	
OV	OVERFLOW INLET	
SDMH	48" DIA. STORM DRAIN MH	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
WYE	WYE CONNECTION	
WQMH	WATER QUALITY MANHOLE	



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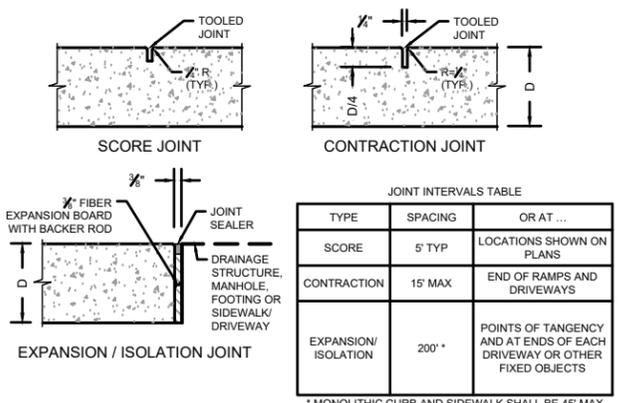
**tva** architects inc.  
 920 sw sixth avenue | suite 1500 | portland, oregon 97204  
 phone: 503 220 0668 | www.tvaarchitects.com  
 Exhibit PC-1  
 Plotted: 7/31/25 at 4:15pm By: atomlinson

**FROELICH**  
 ENGINEERS  
 CIVIL • STRUCTURAL  
 Portland, OR | Bend, OR | Denver, CO  
 froelich-engineers.com | FE# 00000000

# C4.0 UTILITY PLAN

**KAADY CAR WASH - WEST LINN**  
 18850 WILLAMETTE DRIVE WEST LINN, OR  
 CUP-25-03/DR-25-03/VAR-25-02

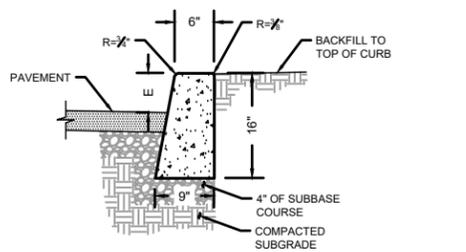
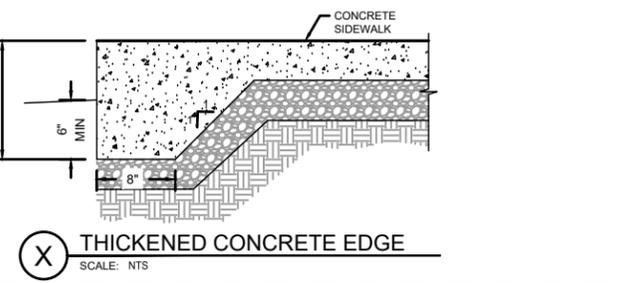
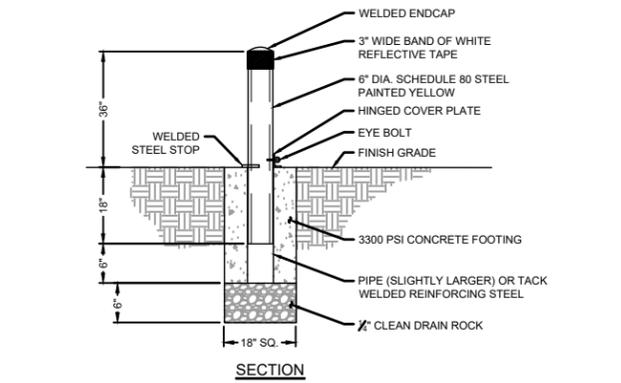
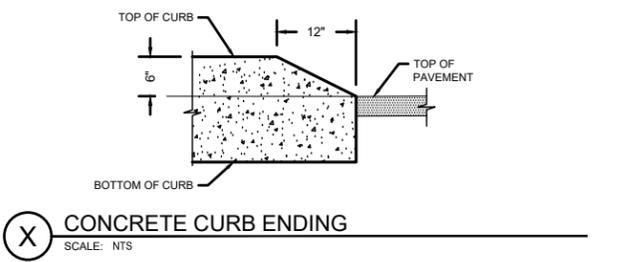
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**NOTES:**

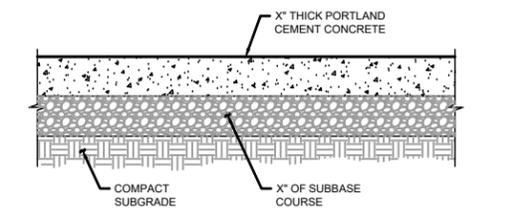
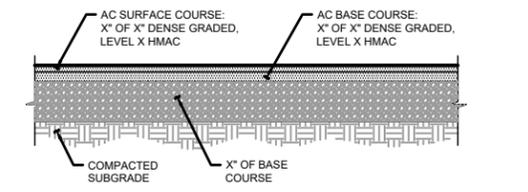
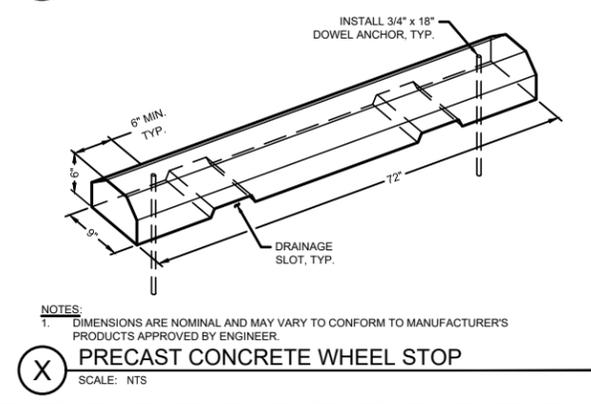
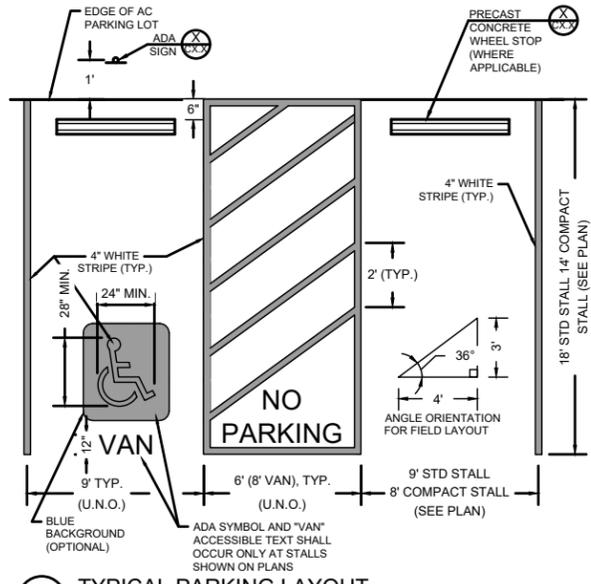
- CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.
- CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
- PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

**X** **SIDEWALK JOINTS**  
SCALE: NTS



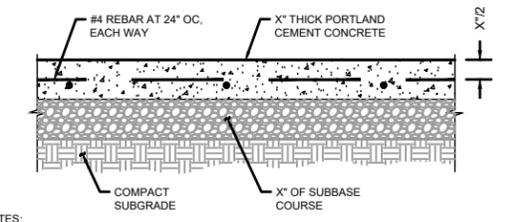
**NOTES:**

- CURB EXPOSURE 'E' = 6". VARY AS SHOWN ON PLANS OR AS DIRECTED.
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
- TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
- DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.



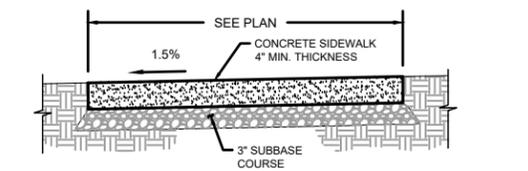
**NOTES:**

- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
- PROVIDE MEDIUM TO COARSE BROOM FINISH.



**NOTES:**

- JOINTS:
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS.
  - CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
- PROVIDE MEDIUM TO COARSE BROOM FINISH.



**NOTES:**

- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

### STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 14 CARTRIDGES. 8" IF (848 mm) MANHOLE TOP TO PEAK HYDRAULIC CAPACITY IS 1.8 CFS (51 L/s). IF THE SITE CONDITIONS EXCEED 1.8 CFS (51 L/s) AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	27" (686 mm)	18" (458 mm)	LOW DROP
CARTRIDGE HEIGHT	3.12" (79 mm)	2.1" (53 mm)	1.1" (28 mm)
RECOMMENDED HYDRAULIC DROP (ft)	2.1(30)	1.67(1.08)	1(0.65)
SPECIFIC FLOW RATE (gpm/ft <sup>2</sup> ) [L/s/m <sup>2</sup> ]	22.2(1.42)	12.5(0.79)	7.5(0.44)
CARTRIDGE FLOW RATE (gpm) [L/s]	10(0.63)	6.3(0.34)	6(0.38)

\*1.87 gpm/ft<sup>2</sup> (1.08 L/s/m<sup>2</sup>) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS (PCRB) MEDIA ONLY

**PLAN VIEW**  
STANDARD OUTLET RISER  
FLOW: 45A

**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

**SECTION A-A**

**StormFilter**  
The Stormwater Management Solution

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com  
803 Centre Pointe Dr., Suite 400, West Chester, OH 45390  
800-238-1122 513-548-7990 513-548-7993 FAX

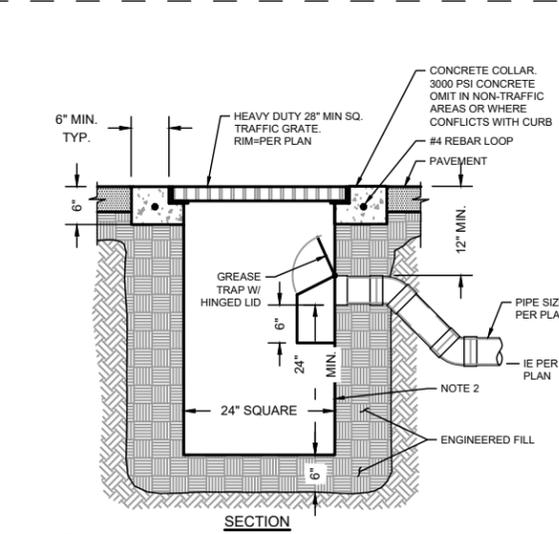
**SFMH96**  
STORMFILTER  
STANDARD DETAIL

**GENERAL NOTES**

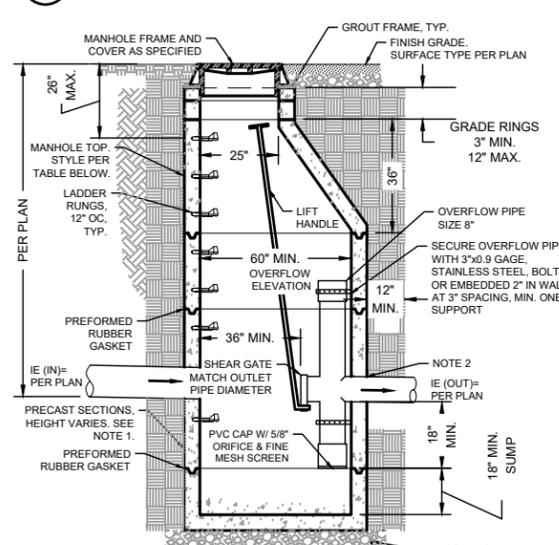
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0'-9" (264 mm) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CARTRIDGES SHALL MEET AASHTO M266 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDICAL-LEVEL PASSIVE, SPINON-ACTIVATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES (178 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) [m<sup>2</sup>].
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

**INSTALLATION NOTES**

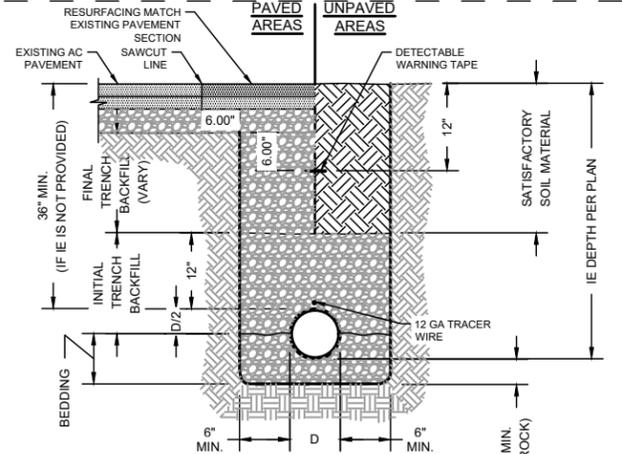
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 6 INCHES (200 mm), CONTRACTOR TO REMOVE THE 8 INCH (200 mm) OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERRODO OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



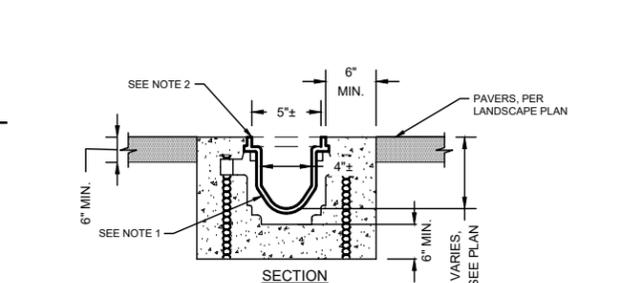
**TRAPPED CATCH BASIN**  
SCALE: NTS



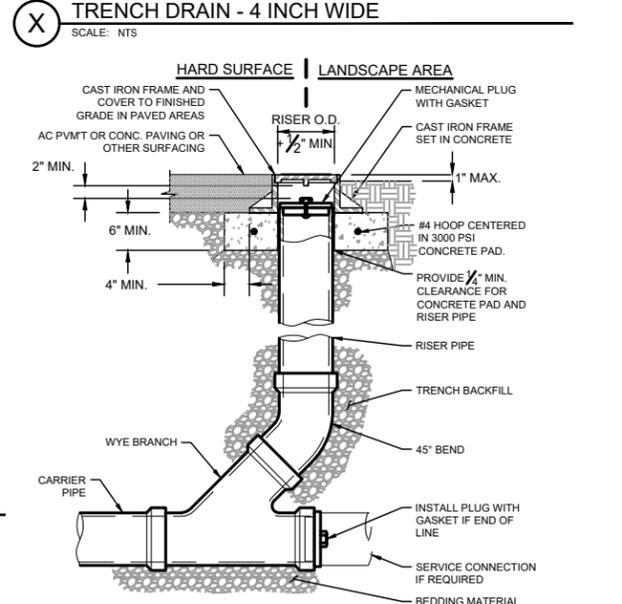
**FLOW CONTROL MANHOLE**  
SCALE: NTS



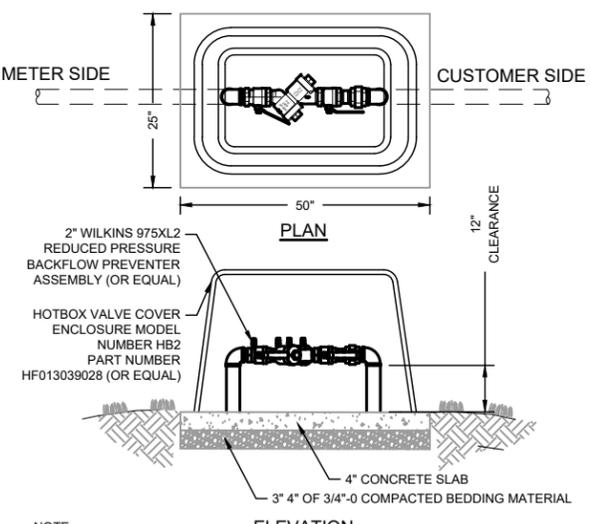
**TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



**TRENCH DRAIN - 4 INCH WIDE**  
SCALE: NTS



**STANDARD CLEANOUT (COTG)**  
SCALE: NTS



**REDUCED PRESSURE BACKFLOW ASSEMBLY**  
SCALE: NTS

**10**



**FIRE CODE / LAND USE / BUILDING REVIEW  
APPLICATION**



**North Operating Center**  
11945 SW 70<sup>th</sup> Avenue  
Tigard, OR 97223  
Phone: 503-649-8577

**South Operating Center**  
8445 SW Elligsen Rd  
Wilsonville, OR 97070  
Phone: 503-649-8577

REV 6-30-20

**Project Information**

Applicant Name: Eric Li, TVA Architects  
Address: 1750 SW Yamhill Street, Suite 150, Portland, Oregon 97205  
Phone: 971-678-7578  
Email: ericl@tvaarchitects.com  
Site Address: 18850 Willamette Drive  
City: West Linn  
Map & Tax Lot #: 21E14DD-6900  
Business Name: Kaady Car Wash  
Land Use/Building Jurisdiction: General Commercial  
Land Use/ Building Permit #PA-25-06 (This is a Pre-App#.  
Pending CU Submission for permit number.)

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

**Project Description**

Demolition of an existing McDonald's restaurant. Providing a new drive-through mechanized car wash and associated vacuum parking stalls.

The building is Type VB construction, one story, 3,1900 sf, 17'-8" high. Drive access is available on all four sides of the building. The building is not sprinklered, but its interior is constantly wet due to the nature of the building.

**Permit/Review Type (check one):**

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
  - \* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

**For Fire Marshal's Office Use Only**

TVFR Permit # 2025-0113  
Permit Type: SPP - West Linn  
Submittal Date: 7-5-25  
Assigned To: DFM Arn  
Due Date: NA  
Fees Due: 0  
Fees Paid: 0

**Approval/Inspection Conditions**  
(For Fire Marshal's Office Use Only)

**This section is for application approval only**

0430 7-8-25  
Fire Marshal or Designee Date

Conditions: See approved fire service plans.

See Attached Conditions:  Yes  No

Site Inspection Required:  Yes  No

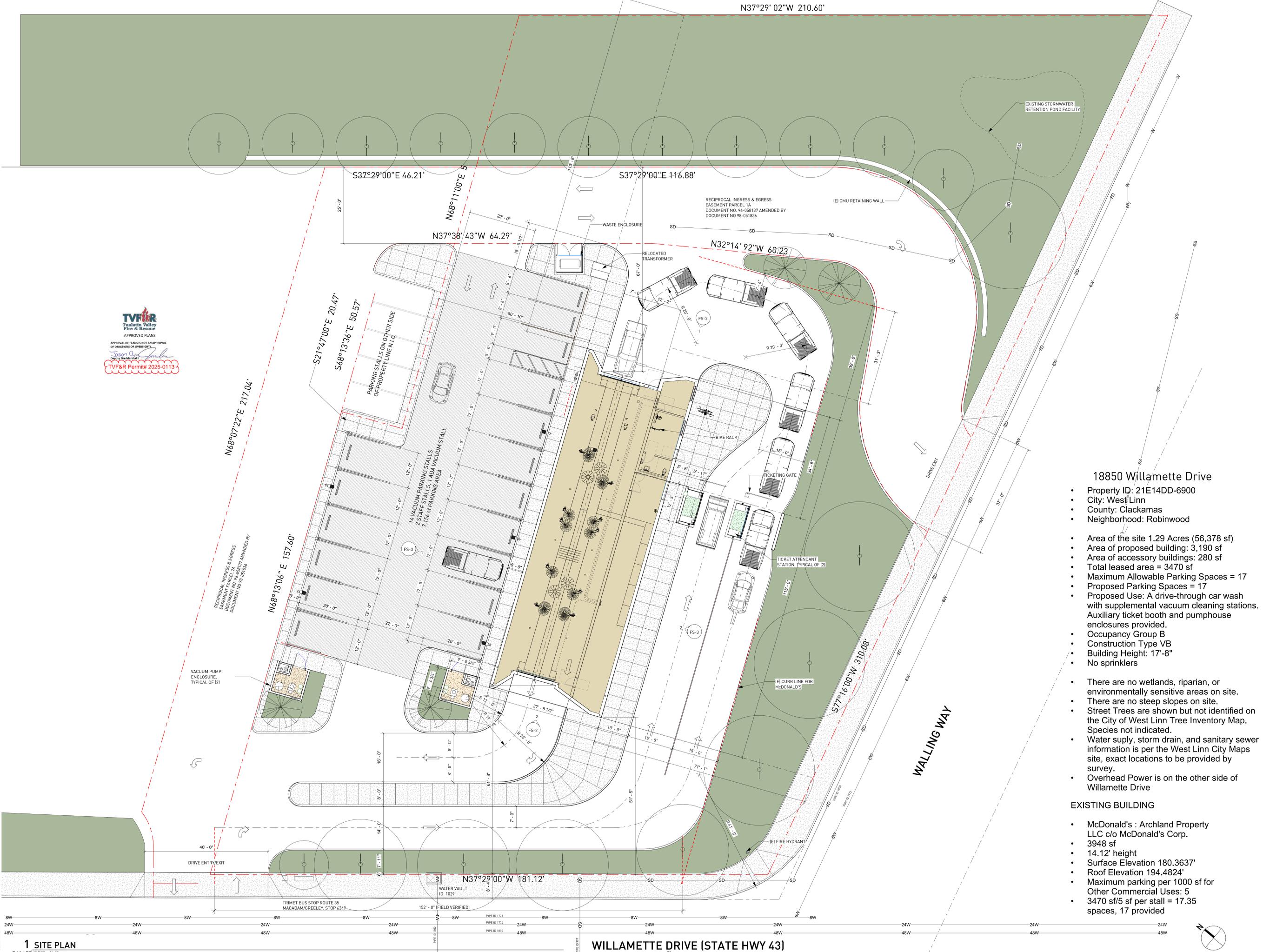
**This section used when site inspection is required**

Inspection Comments:

Final TVFR Approval Signature & Emp ID \_\_\_\_\_ Date \_\_\_\_\_

NOT FOR CONSTRUCTION

**KAADY CAR WASH**  
18850 WILLAMETTE DRIVE, WEST LINN, OREGON 97068



- 18850 Willamette Drive**
- Property ID: 21E14DD-6900
  - City: West Linn
  - County: Clackamas
  - Neighborhood: Robinwood
- Area of the site 1.29 Acres (56,378 sf)
  - Area of proposed building: 3,190 sf
  - Area of accessory buildings: 280 sf
  - Total leased area = 3470 sf
  - Maximum Allowable Parking Spaces = 17
  - Proposed Parking Spaces = 17
  - Proposed Use: A drive-through car wash with supplemental vacuum cleaning stations. Auxiliary ticket booth and pumphouse enclosures provided.
  - Occupancy Group B
  - Construction Type VB
  - Building Height: 17'-8"
  - No sprinklers
- There are no wetlands, riparian, or environmentally sensitive areas on site.
  - There are no steep slopes on site.
  - Street Trees are shown but not identified on the City of West Linn Tree Inventory Map. Species not indicated.
  - Water supply, storm drain, and sanitary sewer information is per the West Linn City Maps site, exact locations to be provided by survey.
  - Overhead Power is on the other side of Willamette Drive

- EXISTING BUILDING**
- McDonald's : Archland Property LLC c/o McDonald's Corp.
  - 3948 sf
  - 14.12' height
  - Surface Elevation 180.3637'
  - Roof Elevation 194.4824'
  - Maximum parking per 1000 sf for Other Commercial Uses: 5
  - 3470 sf/5 sf per stall = 17.35 spaces, 17 provided

Δ Revisions

**FIRE SERVICE PERMIT**

**OVERALL SITE PLAN**

Project # 22005

**FS-1**

Date: 2.7.2024



**GENERAL NOTES**

1. PAINT ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT REFERENCE FINISH COLOR UNO.
2. LOUVER COLOR TO BE COORDINATED / SELECTED WITH SUBMITTALS.
3. SEE FLOOR PLAN FOR DOOR AND WINDOW TAGS, TYP.
4. WINDOW TYPES NOT SHOWN ON FLOOR PLANS ARE SHOWN ON THESE ELEVATIONS.
5. SEE WALL SECTIONS FOR ADDITIONAL ELEVATED AREAS.



tva architects inc.  
1750 sw yamhill st. suite 150  
portland, oregon 97205  
phone: 503 220 0668  
www.tvaarchitects.com

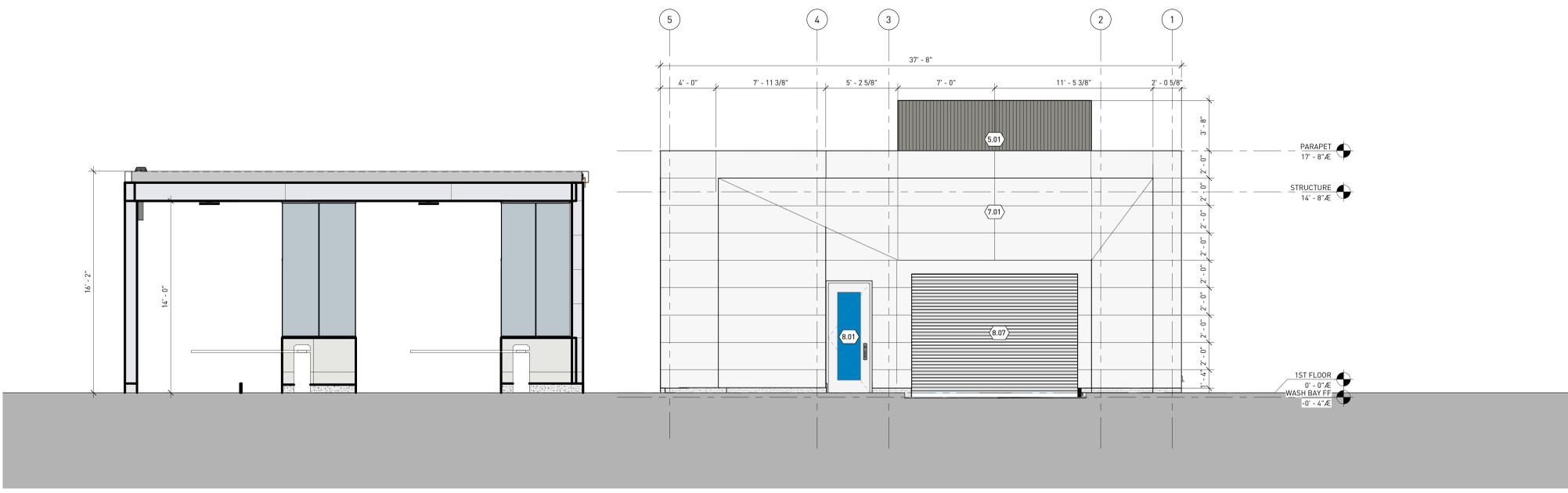
**KEYNOTES**

NOTE: ONLY KEYNOTES APPROPRIATE TO THIS SHEET ARE SHOWN IN THIS KEYNOTE LEGEND. GC TO VERIFY ANY DISCREPANCY IN KEYNOTING.

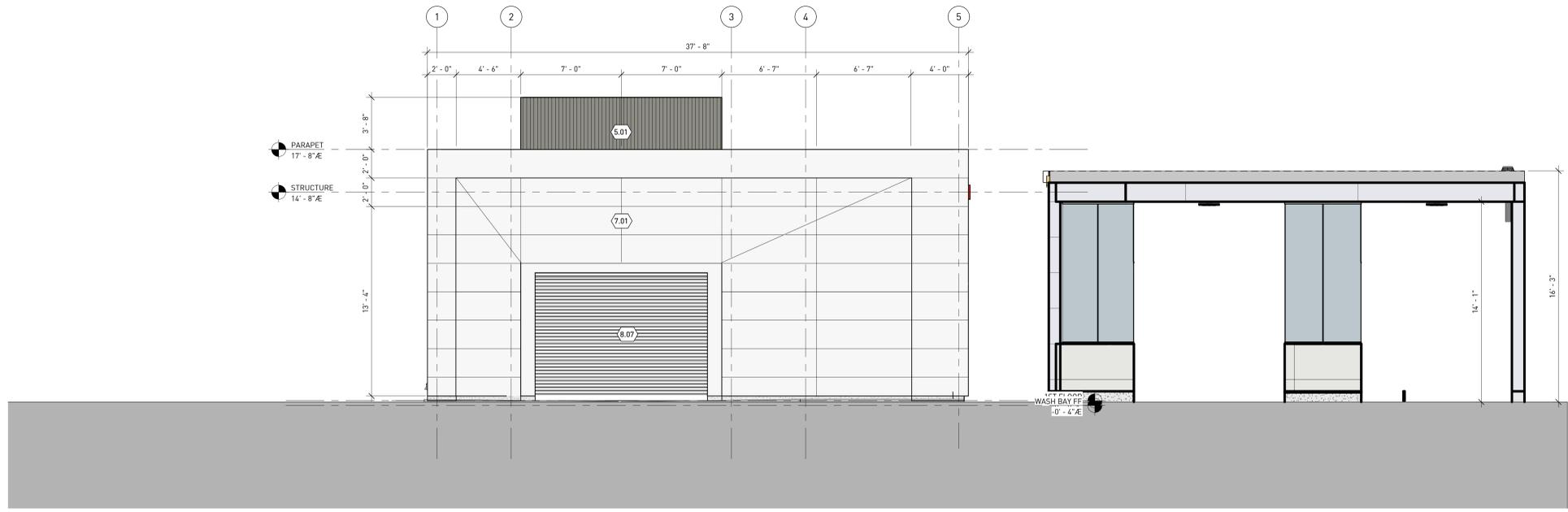
KEYNOTE	SHOWN THUS	DESCRIPTION
5.01		HSS 4x4 ROOF SCREEN FRAME, SEE STRUCTURAL. RIBBED METAL PANEL CLADDING, METAL SALES T10-A.
7.01		SMOOTH METAL PANEL SMP-1, COMPOSITE METAL PANEL, ALPOLIC, ALUCOBOND, REYNOBOND OR APPROVED. .020 INCH THICK ALUMINUM SHEET WITH ORGANIC COATING FINISH WITH A LOW-DENSITY POLYETHYLENE CORE. COLOR: WHITE. ROUT AND RETURN FABRICATION FOR 1" NOMINAL PANEL DEPTH. PROVIDE BACKER ROD AND SILICONE SEALANT FOR 1/2" VERTICAL AND HORIZONTAL JOINTS.
8.01		GLAZED ALUMINUM STOREFRONT ENTRY 3'-0" X 8'-0". KAWNEER 330T STANDARD MEDIUM THERMAL SWING DOOR ENTRANCE, 3 1/2" ALUMINUM STILES AND TOP RAIL, 6 1/2" BOTTOM RAIL, GUARDIAN SNX 62/27 LOW-E TEMPERED GLASS LITES, U 28 MAX, SHGC: 26 MAX. DOOR HARDWARE: BLITT HINGES (REAL: IVE5 58B1HW 4.5 X 4.5 NRP 630 BRUSHED STAINLESS FINISH, EXIT DEVICE: FALCON F-25-R-L-NL-LAT RIM DEVICE, CLOSER: LCN 4020 CUSH SURFACE MOUNTED CLOSER, THRESHOLD: PEMKO 171 SERIES COMMERCIAL FLAT THRESHOLD 5" WIDE, GASKET: ZERO 4885BK PSA. DOOR SWEEP ZERO 8198AA RAIN DRIP WITH NYLON BRUSH.
8.07		OVERHEAD COILING DOOR: COOKSON MODEL ESD10 MOTORIZED ROLLING SERVICE DOOR, 20 GAUGE PAINTED GALVANIZED STEEL, PAINT WHITE, 12'-0" WIDE X 9'-0" HIGH.

NOT FOR CONSTRUCTION

**KAADY CAR WASH**  
18850 WILLAMETTE DRIVE, WEST LINN, OREGON 97068



**1 ENTRANCE ELEVATION**  
1/4" = 1'-0"



**2 EXIT ELEVATION**  
1/4" = 1'-0"

Δ Revisions

**FIRE SERVICE PERMIT**

**EXTERIOR ELEVATIONS**

Project # 22005

**FS-2**

Date: 2.7.2024

