

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <b>Chris Myers</b>	PROJECT NO(S): <b>ELD-25-01</b>	PRE-APPLICATION NO.
NON-REFUNDABLE FEE(S) <b>\$4,900</b>	REFUNDABLE DEPOSIT(S)	TOTAL <b>\$4,900</b>

**Type of Review** (Please check all that apply):

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)<br><input type="checkbox"/> Appeal (AP)<br><input type="checkbox"/> CDC Amendment (CDC)<br><input type="checkbox"/> Code Interpretation (MISC)<br><input type="checkbox"/> Conditional Use (CUP)<br><input type="checkbox"/> Design Review (DR)<br><input type="checkbox"/> Tree Easement Vacation (MISC)<br><input type="checkbox"/> Expediated Land Division (ELD)<br><input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Final Plat (FP) <span style="color: red;">Related File#</span><br><input type="checkbox"/> Flood Management Area (FMA)<br><input type="checkbox"/> Historic Review (HDR)<br><input type="checkbox"/> Lot Line Adjustment (LLA)<br><input checked="" type="checkbox"/> Minor Partition (MIP)<br><input type="checkbox"/> Modification of Approval (MOD)<br><input type="checkbox"/> Non-Conforming Lots, Uses & Structures<br><input type="checkbox"/> Planned Unit Development (PUD)<br><input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)<br><input type="checkbox"/> Temporary Uses (MISC)<br><input type="checkbox"/> Time Extension (EXT)<br><input type="checkbox"/> Right of Way Vacation (VAC)<br><input type="checkbox"/> Variance (VAR)<br><input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)<br><input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)<br><input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)<br><input type="checkbox"/> Zone Change (ZC) |
|--|---|---|

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: <b>22995 Bland Circle, West Linn, OR 97068</b>	Assessor's Map No.: <b>21E26C</b>
	Tax Lot(s): <b>010400</b>
	Total Land Area: <b>0.470 AC (32,178 SF)</b>

**Brief Description of Proposal:** The client proposes to partition the property into three lots for middle housing, in accordance with the City of West Linn's land development requirements.

<b>Applicant Name*:</b> TPC PROPERTY LLC contact: JJ Portlock Address: PO BOX 521 City State Zip: WEST LINN, OR 97068	Phone: (425) 829-1566 Email: JPORTLOCK@THEPORTLOCKCO.COM
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<b>Owner Name</b> (required): TPC PROPERTY LLC contact: JJ Portlock Address: PO BOX 521 City State Zip: WEST LINN, OR 97068	Phone: (425) 829-1566 Email: JPORTLOCK@THEPORTLOCKCO.COM
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<b>Consultant Name:</b> FIRWOOD DESIGN GROUP LLC contact: Erik Hoovestol Address: 359 E HISTORIC COLUMBIA RIVER HWY City State Zip: TROUTDALE, OR 97060	Phone: (503) 668-3737 Email: eh@firwooddesign.com
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1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. **\*The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings related to the propose land use.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

  
 Applicant's signature

3/11/25  
 Date

  
 Owner's signature (required)

3/11/25  
 Date

# Application Narrative

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Project Name: **Ridgecrest Middle Housing**

Site Address: 22995 Bland Circle, West Linn, OR.

Applicant: TPC PROPERTY LLC  
PO BOX 521  
West Linn, OR 97068

Contact: JJ Portlock  
(425) 829-1566  
[jportlock@theportlockco.com](mailto:jportlock@theportlockco.com)

Prepared By:



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## I. General Project Description

The project site is located at 22996 Bland Circle, West Linn, OR (Tax lot # 21E26C 01400, Parcel #00391695), zoned R10. The current 0.470 acre lot is vacant. Sidewalk and curb and gutter have recently been installed along the Bland Circle frontage. The site slopes downward to the west with steep slopes up to 80% on the easterly portion of the site next to Bland Circle, with slope being more gentle on the westerly downslope portion at around 20%. The soil type is Saum silt loam. The site is bordered on the side with a public utility and access easement that include utilities and a paved pathway and stairs.

## II. Application Approval Requests

The client, TPC Property LLC, proposes to partition the parcel into three single-family parcels. Access to the proposed lots will be via Bland Circle. The property will be connected to public utilities, including water, electricity, storm sewer and sewer services available from Bland Circle and utilities located in a public access and utility easement located on the southern side of the parcel

Stormwater is planned to be connected to a stub out on the existing public storm main on the south portion of the parcel. Stormwater planters for each dwelling will be provided for stormwater management.

## III. Applicable Code Criteria

The subject property is zoned R-10, which permits triplex residential units as outright use per CDC 11.030.1.b. This proposal includes three detached single units under the provisions of Section 2 of SB 458 for a middle housing land division. **SB 458 Section 2:**

**(1) As used in this section, “middle housing land division” means a partition or subdivision of a lot or parcel on which the development of middle housing is allowed under ORS 197.758 (2) or (3).**

**(2) A city or county shall approve a tentative plan for a middle housing land division if the application includes:**

**(a) A proposal for development of middle housing in compliance with the Oregon residential specialty code and land use regulations applicable to the original lot or parcel allowed under ORS 197.758 (5);**

*Response: The property is within the R-10 zoning designation and permits a triplex as outright use. The proposal includes a middle housing land division to create three lots, each with a detached single-family unit*

**(b) Separate utilities for each dwelling unit;**

*Response: A preliminary utility plan shows individual utilities for each lot.*

**(c) Proposed easements necessary for each dwelling unit on the plan for:**

- (A) Locating, accessing, replacing and servicing all utilities;**
- (B) Pedestrian access from each dwelling unit to a private or public road;**
- (C) Any common use areas or shared building elements;**
- (D) Any dedicated driveways or parking; and**
- (E) Any dedicated common area;**

*Response: A 15-foot utility easement is proposed along the westerly side of the parcel for sanitary and storm sewer connections. Each parcel has direct access the public roadway in Bland Circle.*

**(d) Exactly one dwelling unit per resulting lot, except for common areas.**

*Response: The proposal includes one unit per lot, as shown in the submitted plans.*

**(e) Evidence demonstrating how buildings or structures on a resulting lot or parcel will comply with applicable building codes provisions relating to new property lines and, notwithstanding the creation of new lots or parcels, how structures or buildings located on the newly created lots or parcels will comply with the Oregon residential specialty code.**



*Response: Building setbacks are shown on the site plan. Building permits will ensure compliance with the Oregon Residential Specialty Code.*

(3) A city or county may add conditions to the approval of a tentative plan for a middle housing land division to:

(a) Prohibit the further division of the resulting lots or parcels.

(b) Require that a notation appear on the final plat indicating that the approval was given under this section.

*Response: The applicant understands that conditions may be applied, including noting the approval on the final plat.*

(4) In reviewing an application for a middle housing land division, a city or county:

(a) Shall apply the procedures under ORS 197.360 to 197.380.

(b) May require street frontage improvements where a resulting lot or parcel abuts the street consistent with land use regulations implementing ORS 197.758.

(c) May not subject an application to approval criteria except as provided in this section, including that a lot or parcel require driveways, vehicle access, parking or minimum or maximum street frontage.

(d) May not subject the application to procedures, ordinances or regulations adopted under ORS 92.044 or 92.046 that are inconsistent with this section or ORS 197.360 to 197.380.

(e) May allow the submission of an application for a middle housing land division at the same time as the submission of an application for building permits for the middle housing.

(f) May require the dedication of right of way if the original parcel did not previously provide a dedication.

(5) The type of middle housing developed on the original parcel is not altered by a middle housing land division.

(6) Notwithstanding ORS 197.312 (5), a city or county is not required to allow an accessory dwelling unit on a lot or parcel resulting from a middle housing land division.

(7) The tentative approval of a middle housing land division is void if and only if a final subdivision or partition plat is not approved within three years of the tentative approval. Nothing in this section or ORS 197.360 to 197.380 prohibits a city or county from requiring a final plat before issuing building permits.

*Response: The applicant acknowledges the review process, including possible conditions and requirements and is aware that the application is void if the final plat is not approved within three years.*

## IV. Conclusion

This application narrative, along with the accompanying plans and supporting materials, demonstrates compliance with all applicable provisions of SB 458. The applicant respectfully requests approval of this application by the Planning Department.

## V. Items Submitted With The Application

- Clackamas County Assessor Map
- West Linn Zoning Map
- Preliminary Plan Set



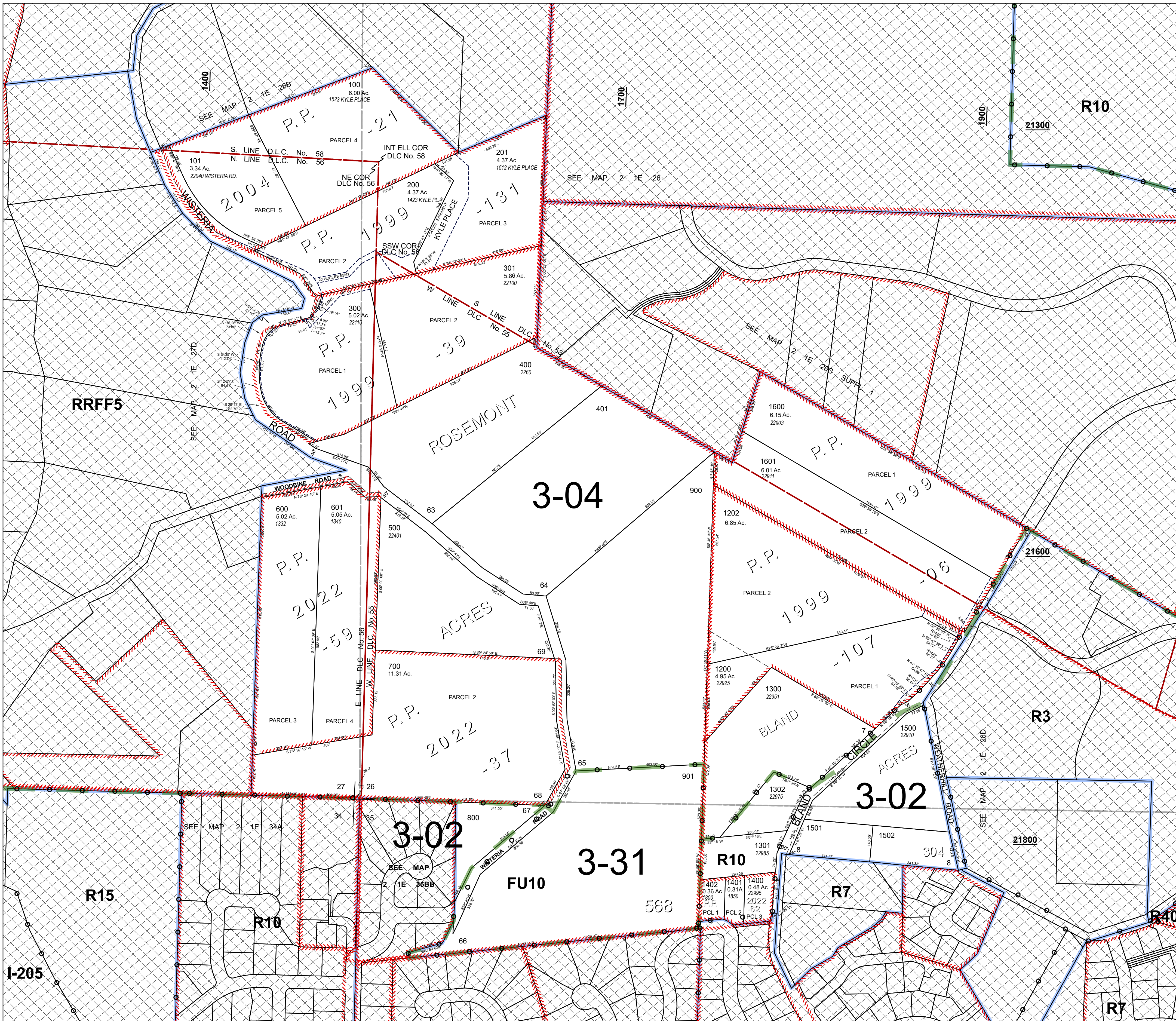
S.W.1/4 SEC.26 T.2S. R.1E. W. M.  
CLACKAMAS COUNTY

1" = 200'

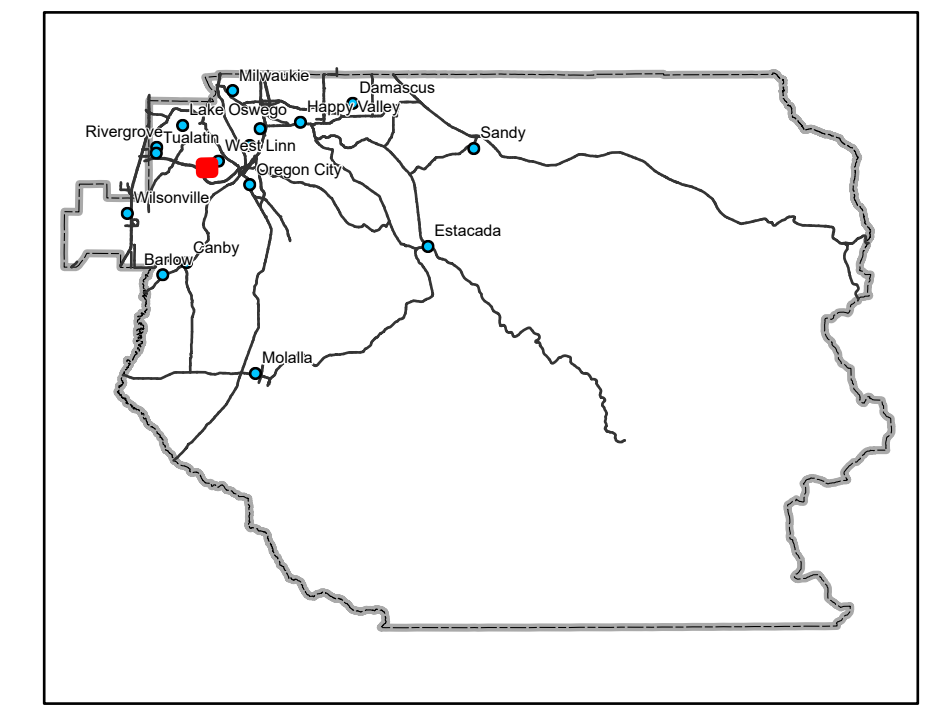
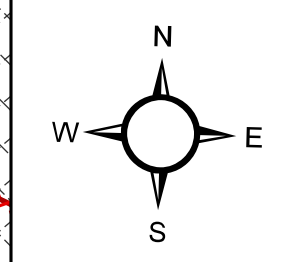
D. L. C.  
WILLIAM BLAND NO. 55  
SAMUEL MILLER NO. 58  
JAS. D. MILLER NO. 56

Cancelled

- 1501
- 1502
- 1100
- 1000
- 1503
- 1504
- 1505
- 801
- 1201

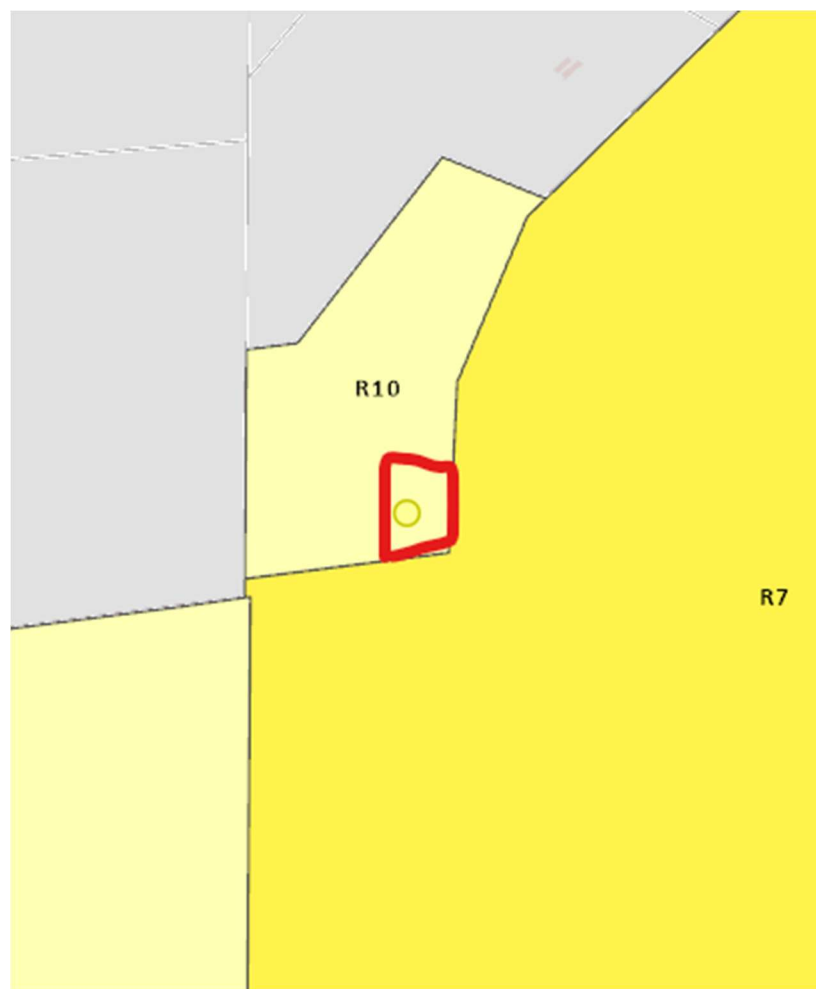


- Parcel Boundary
- Private Road ROW
- Historical Boundary
- Railroad Centerline
- Tax Code Lines
- Map Index
- Water Lines
- Land Use Zoning
- Plats
- Water
- Corner
- Section Corner
- 1/16th Line
- Govt Lot Line
- DLC Line
- Meander Line
- PLSS Section Line
- Historic Corridor 40'
- Historic Corridor 20'



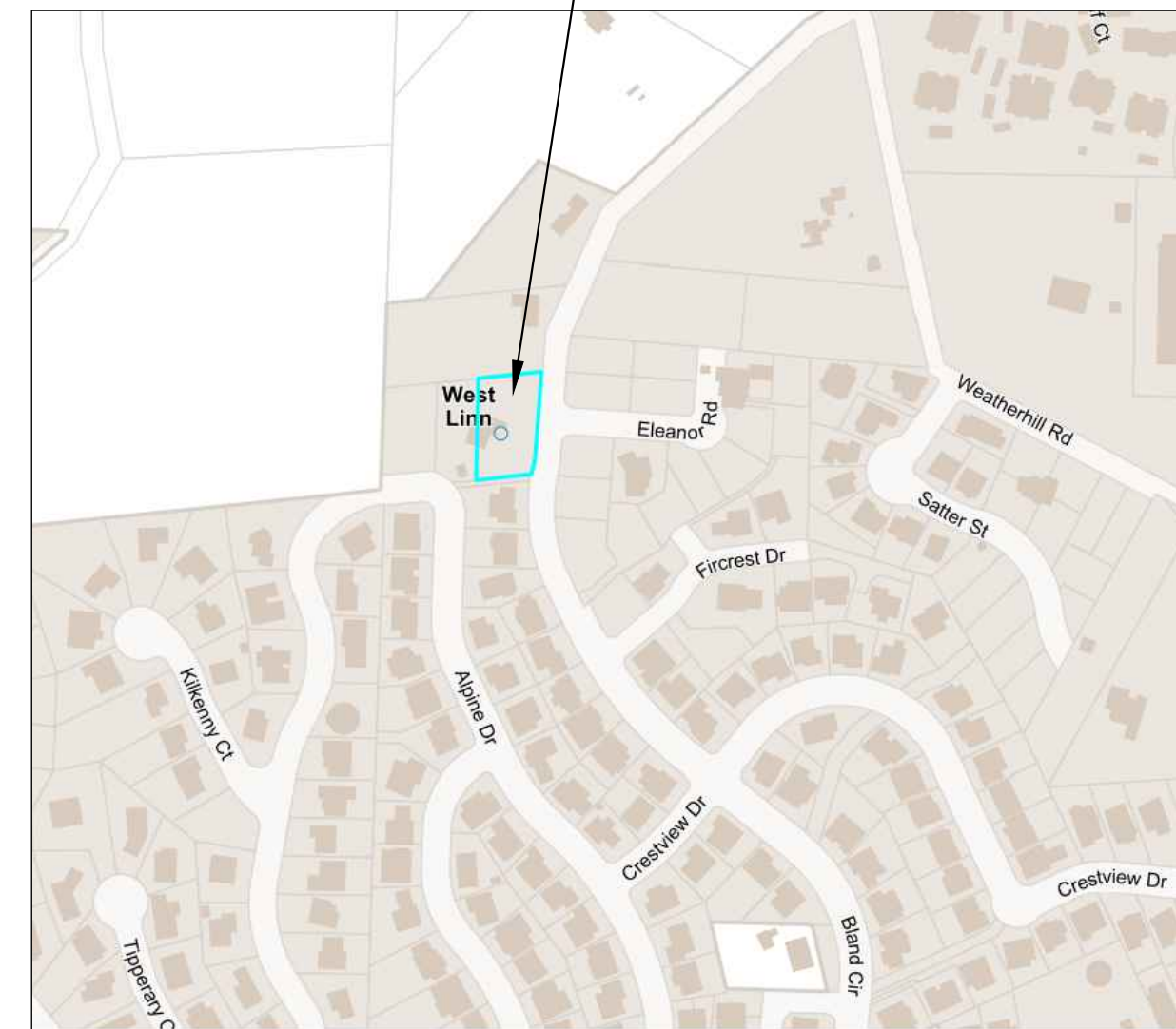
THIS MAP IS FOR ASSESSMENT PURPOSES ONLY





# RIDGECREST MIDDLE HOUSING LAND USE DEVELOPMENT PLANS LOCATED AT 22995 BLAND CIRCLE, WEST LINN, OREGON 97068

PROJECT LOCATION



**PROPOSED LEGEND**

- PROPOSED MAJOR CONTOUR \_\_\_\_\_
- PROPOSED MINOR CONTOUR \_\_\_\_\_
- PROPOSED SIGHT LINE \_\_\_\_\_
- PROPOSED ROAD CENTER LINE \_\_\_\_\_
- PROPOSED SAWCUT LINE \_\_\_\_\_
- PROPOSED GRAVEL
- PROPOSED FILTER STRIP
- PROPOSED EARTHEN SHOULDER
- PROPOSED AC
- PROPOSED CULVERT
- PROPOSED UNDERGROUND POWER \_\_\_\_\_

**PROJECT CIVIL ENGINEER**

ERIK HOOVESTOL, PE  
FIRWOOD DESIGN GROUP, LLC  
359 E. HISTORIC COLUMBIA RIVER HWY  
TROUTDALE, OR 97060  
PHONE (503) 668-3737

**PROJECT CONTRACTOR**

THE PORTLOCK COMPANY LLC  
4194 CORNWALL ST  
WEST LINN, OR  
CCB#  
PROJECT CONTACT - JJ PORTLOCK  
JPORTLOCK@THEPORTLOCKCO.COM  
PHONE (425) 829-1566

**LEGAL DESCRIPTION:**

TAX LOT 21E26C01400  
N.E. ¼ N.W. ¼ SEC. 26 T.2S. R.1E. W.M.  
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON

**SHEET INDEX**

Sheet Number	Sheet Title
1	COVER
2	EXISTING CONDITIONS & DEMO PLAN
3	SITE PLAN
4	PRELIMINARY PLAT
5	GRADING & ESC PLAN
6	UTILITY PLAN
7	DETAILS
8	DETAILS

**NOTICE TO EXCAVATORS:**

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0001 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER.  
(NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS

**Dig Safely.**

CALL THE OREGON ONE-CALL CENTER  
1-800-332-2344 OR 811

**EMERGENCY TELEPHONE NUMBERS**

PGE	503-464-7777
NW NATURAL GAS	503-220-2415
CLACKAMAS COUNTY	503-742-4400
COMCAST CABLE	503-617-1212
VERIZON	800-837-4966

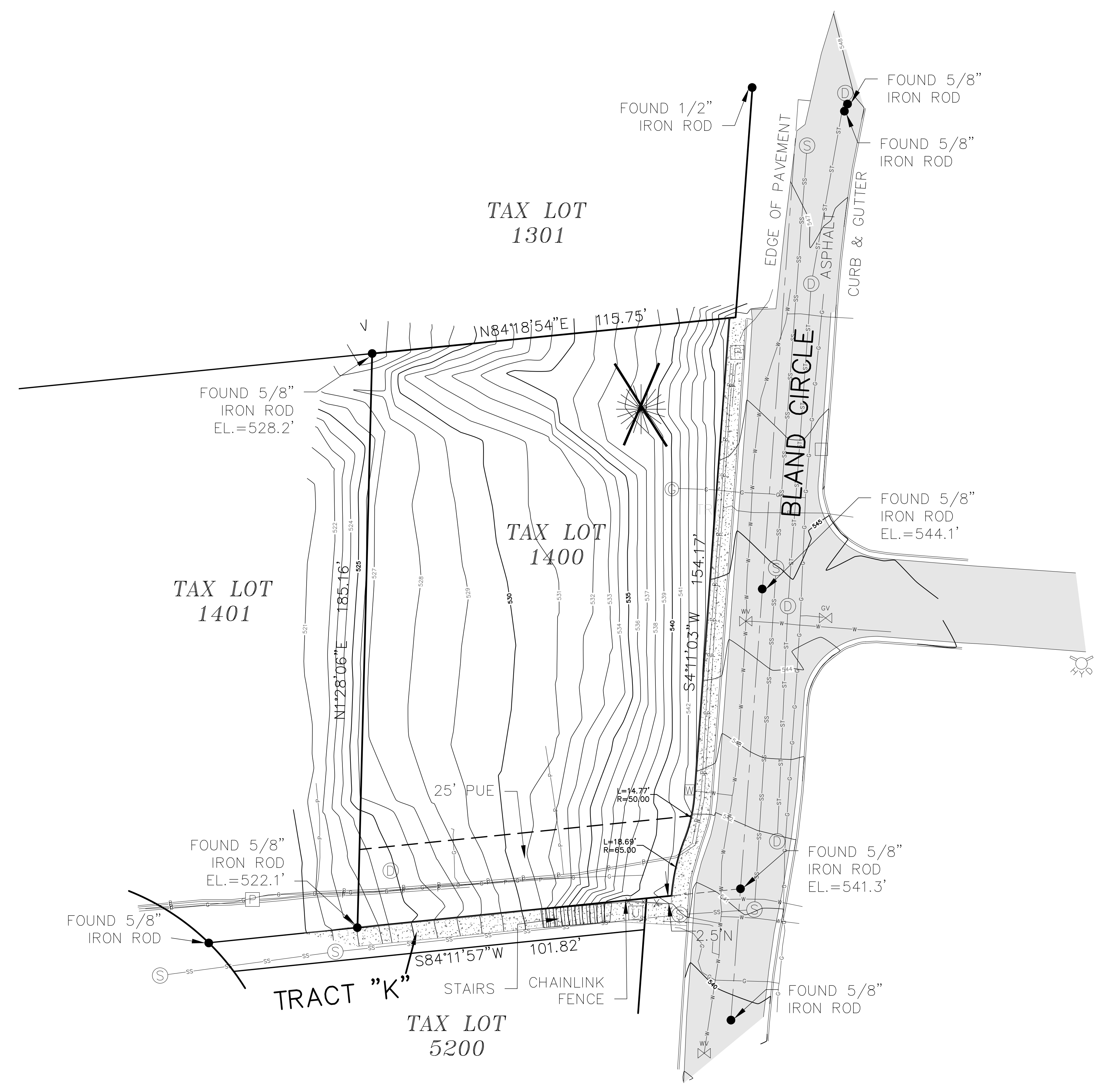
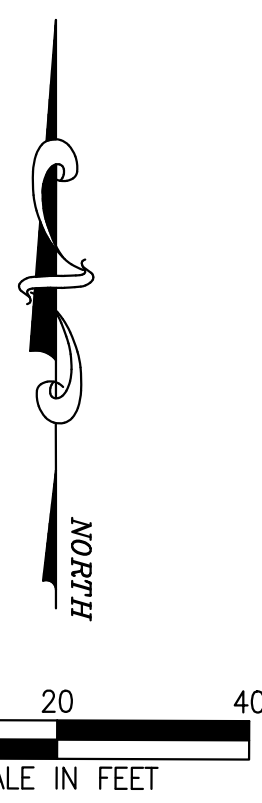


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	DRAWN: JRF	DESIGNED: JRF	CHECKED: EH		359 EAST HISTORIC COLUMBIA RIVER HIGHWAY TROUTDALE, OREGON 97060 BUS: (503) 668-3737 + FAX: (503) 668-3788	<b>RIDGECREST MIDDLE HOUSING</b> 22995 BLAND CIRCLE West Linn, OR 97068	<b>COVER</b> GRADING & STORM PLANS	<b>1</b> 8
DATE:	NO.	REVISION	PROJECT NO. E24-047					

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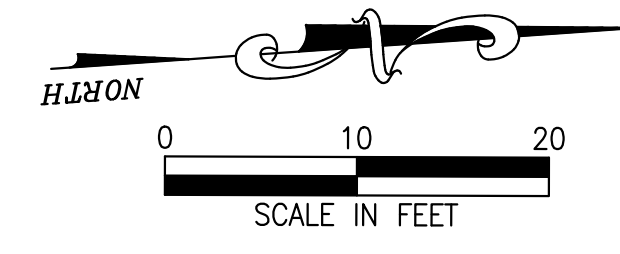
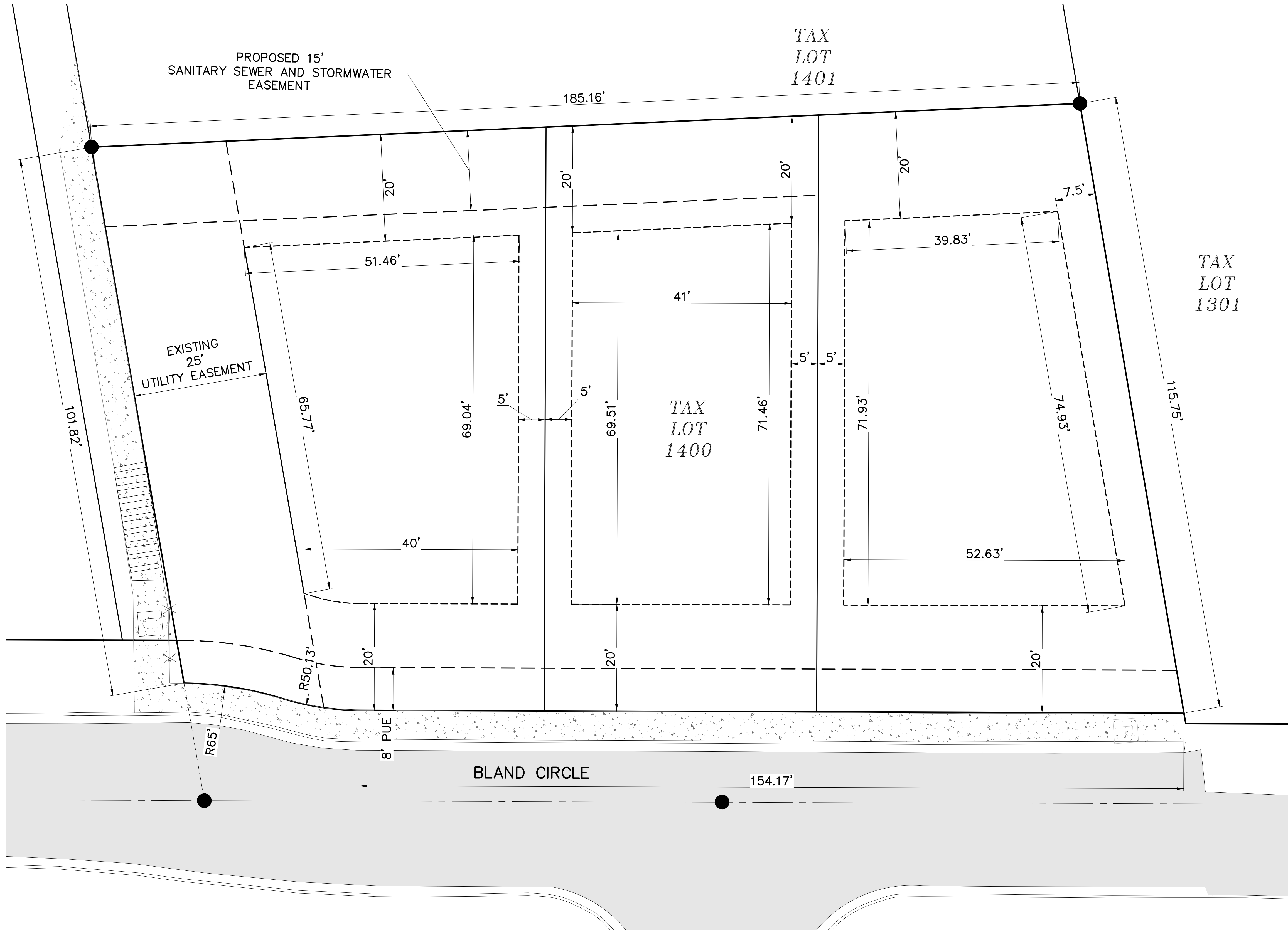


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**RIDGECREST MIDDLE HOUSING**  
22995 BLAND CIRCLE  
West Linn, OR 97068

**EXISTING CONDITIONS & DEMO PLAN**  
GRADING & STORM PLANS

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**LEGEND**  
—— 100 —— MAJOR CONTOUR (EX, 5')  
- - - 105 - - - MINOR CONTOUR (EX, 1')  
- - - - - BUILDING SETBACK

**SITE DATA**

SITE AREA : 0.47 AC  
CURRENT ZONING : R-10  
TAX LOT: 21E26C01400  
PROPOSED NO OF LOTS: 3

**SETBACKS:**

FRONT SETBACK: 20'  
STREET SETBACK: 15'  
INTERIOR SIDE SETBACK: 5'  
REAR SETBACK : 20'

**IMPERVIOUS AREA - LOT 1**

LOT AREA : 8,070 S.F.  
BUILDING AREA: 2,310 S.F.  
DRIVEWAY: 483 S.F.  
PERVIOUS AREA: 2,771 S.F.

**IMPERVIOUS AREA - LOT 2**

LOT AREA : 5,635 S.F.  
BUILDING AREA: 2,220 S.F.  
DRIVEWAY: 414 S.F.  
PERVIOUS AREA: 3,001 S.F.

**IMPERVIOUS AREA - LOT 3**

LOT AREA : 6,650 S.F.  
BUILDING AREA: 3,046 S.F.  
DRIVEWAY: 525 S.F.  
PERVIOUS AREA: 3,079 S.F.



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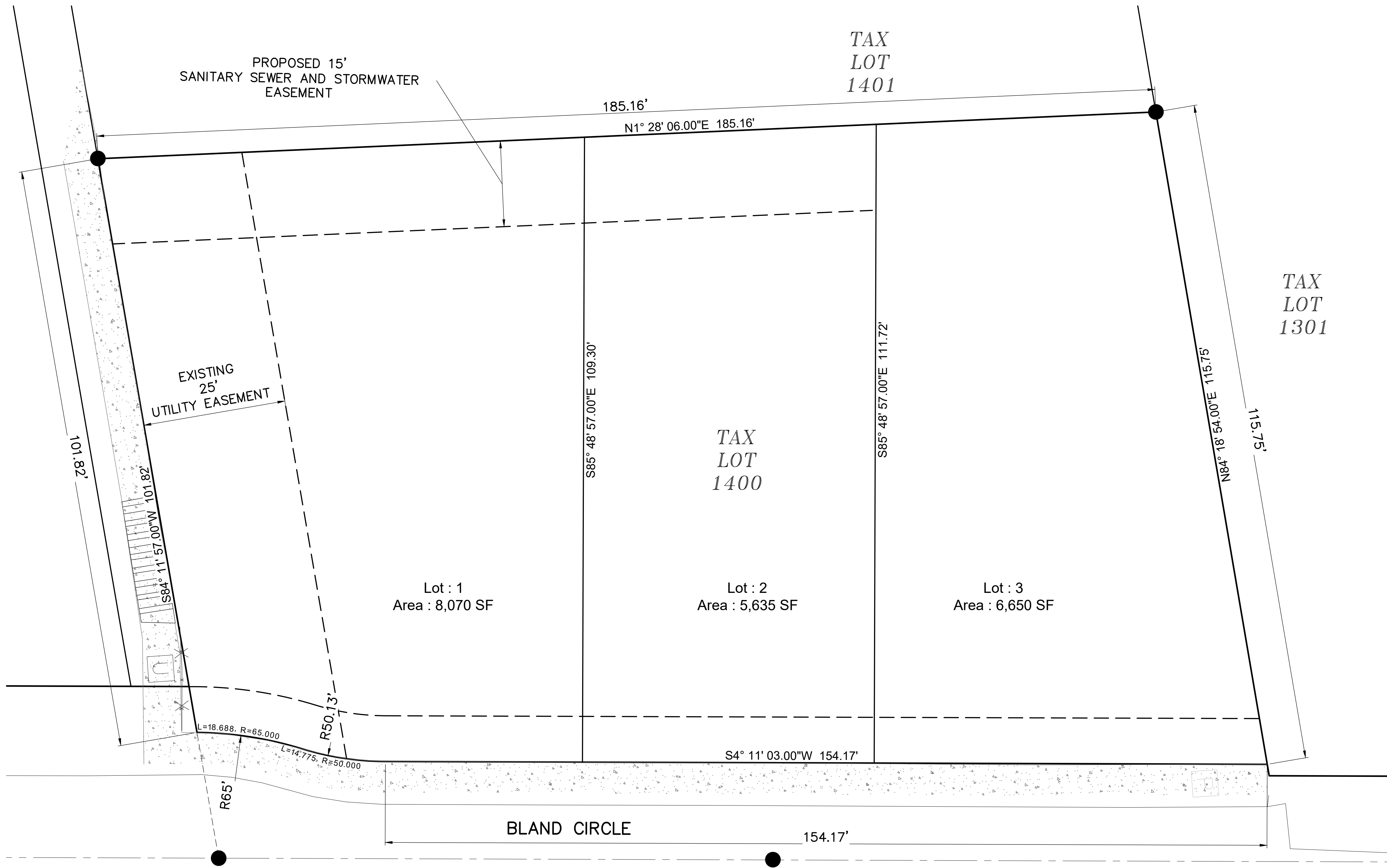
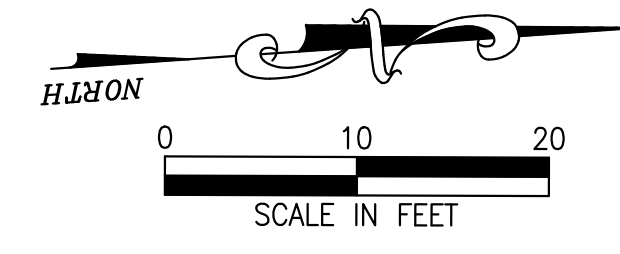


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**RIDGECREST MIDDLE HOUSING**  
22995 BLAND CIRCLE  
West Linn, OR 97068

**SITE PLAN**  
GRADING & STORM PLANS

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**FIRWOOD**  
DESIGN GROUP

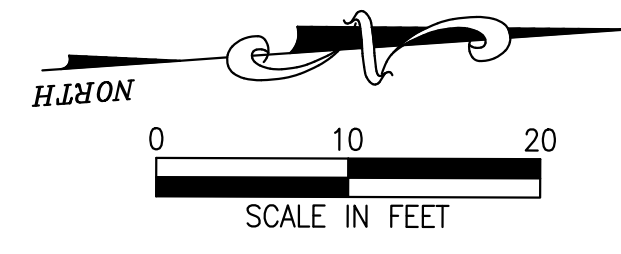
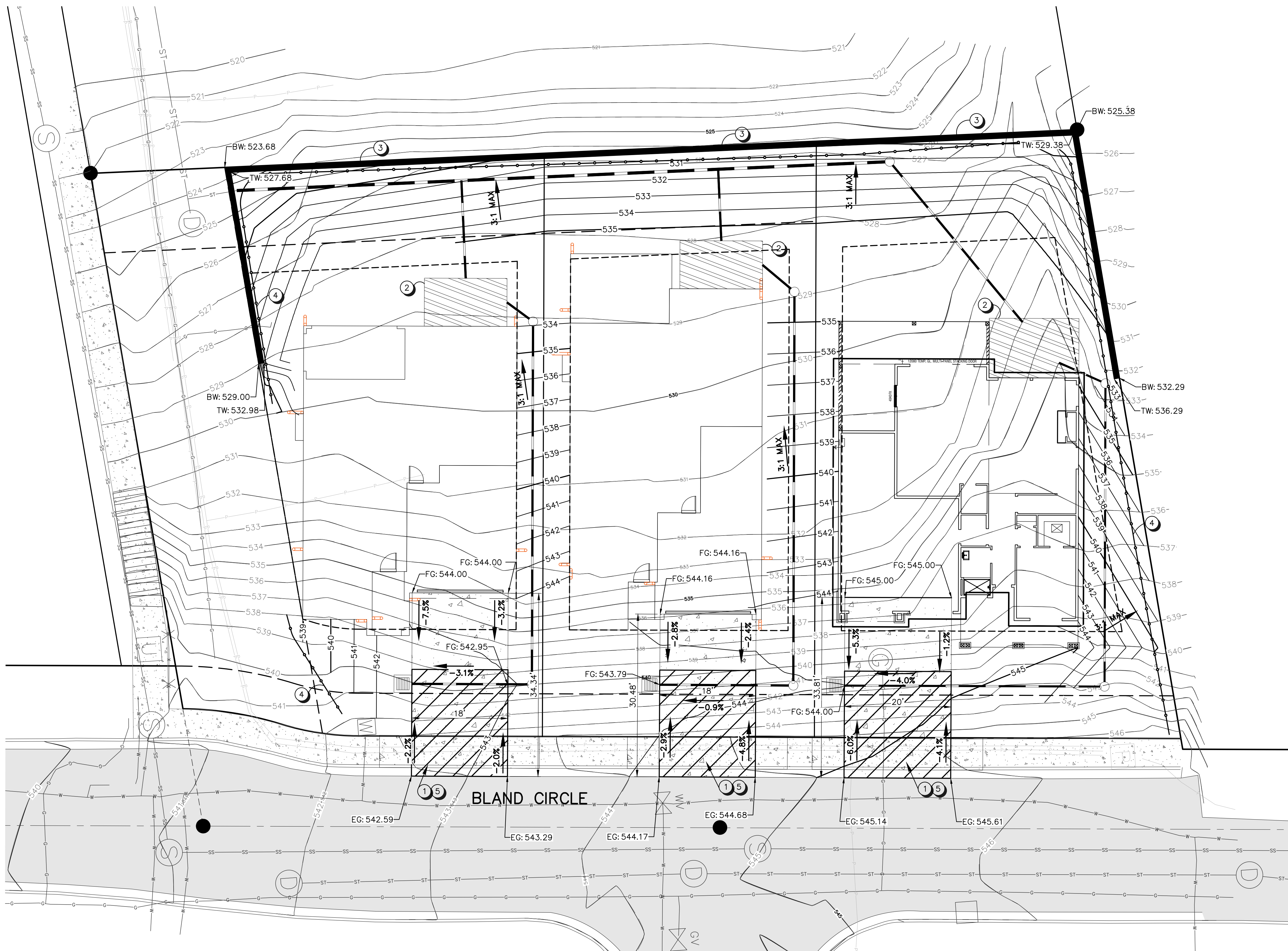
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**RIDGECREST MIDDLE HOUSING**  
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West Linn, OR 97068

**PRELIMINARY PLAT**  
GRADING & STORM PLANS



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**KEY NOTES**

- ① CONSTRUCT DRIVEWAY PER DETAIL ON SHEET 7
- ② LINED PLANTER PER DETAIL ON SHEET 7.
- ③ PROPOSED WALL.
- ④ INSTALL SEDIMENT FENCE ON THE DOWNHILL SIDE OF ALL GRADING ACTIVITIES PER DETAIL ON SHEET 7.
- ⑤ INSTALL CONSTRUCTION ENTRANCE PER DETAIL ON SHEET 7.

**GENERAL NOTES**

- 1. ENTIRE SITE SUBJECT TO CLEARING, GRADING, AND EXCAVATION DURING CONSTRUCTION.
- 2. GROUND COVER REQUIRED FOR ANY EXPOSED SOIL NOT UNDER ACTIVE CONSTRUCTION.

**ESTIMATED GRADING QUANTITIES**

NOTE: 2:1 MAX CUT SLOPE AND 3:1 MAX FILL SLOPE TO EXIST GROUND. CUT/FILL QUANTITIES REPRESENT GRADING NECESSARY FOR NEW DRIVEWAY.

CUT: 19.38 CY.  
 FILL: 826.24 CY  
 NET: 806.86 (FILL)

TOTAL AREA OF DISTURBANCE = 20,475 SF (0.47 ACRES)

**LEGEND**

- TW:100.00 TOP OF WALL
- BW:100.00 BOTTOM OF WALL
- 100 MAJOR CONTOUR
- 101 MINOR CONTOUR
- 100 MAJOR CONTOUR (EXISTING)
- 101 MINOR CONTOUR (EXISTING)



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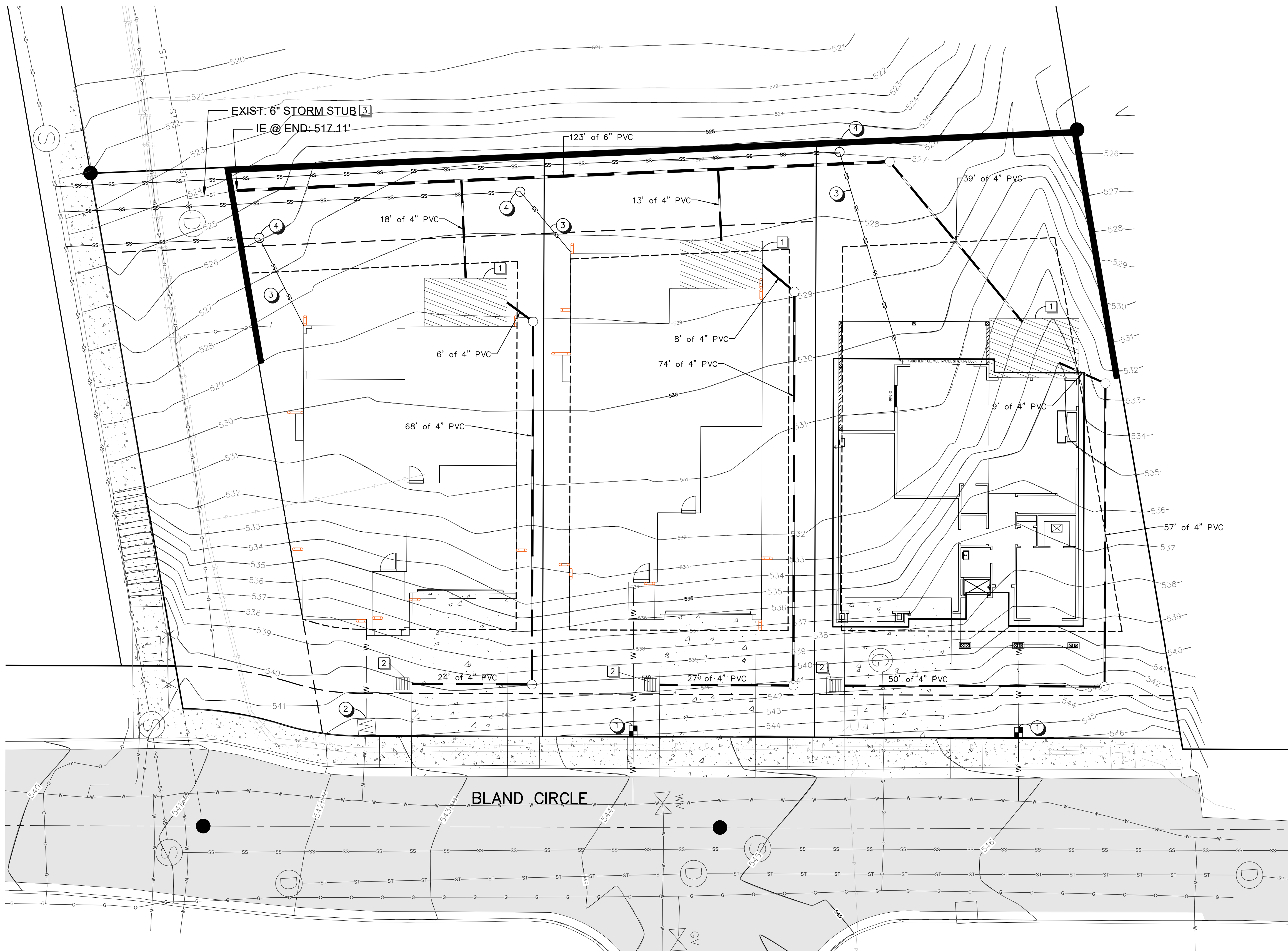
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 West Linn, OR 97068

**GRADING & ESC PLAN**  
 GRADING & STORM PLANS

**5**  
**8**



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**GENERAL NOTES**

1. SANITARY SEWER SERVICE LATERALS SHALL BE 4-INCH.
2. ONSITE STORMWATER WILL BE TREATED BY PLANTERS TO BE DESIGNED WITH BUILDING PERMIT PLANS.

**KEY NOTES**

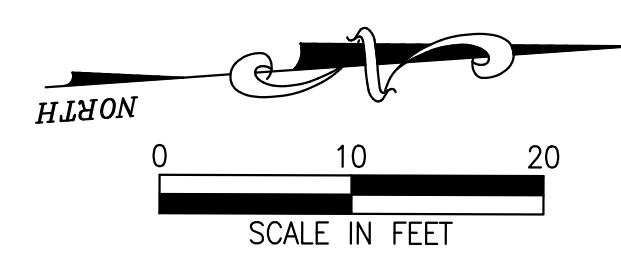
- 1 FUTURE 1-INCH WATER SERVICE PER DETAIL ON SHEET 7.
- 2 EXISTING WATER SERVICE TO SERVE LOT 1.
- 3 FUTURE 4-INCH SANITARY SEWER SERVICE LATERAL.
- 4 FUTURE SANITARY SEWER CLEANOUT PER DETAIL ON SHEET 7.

**STORMWATER NOTES**

- 1 PROPOSED LINED PLANTER TO SERVE ROOF DRAINS AND DRIVEWAYS PER DETAIL ON SHEET 6.
- 2 PROPOSED CATCH BASIN.
- 3 CONNECT TO EXISTING 6" STUB.

**LEGEND**

- WATER METER
- CLEANOUT
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER



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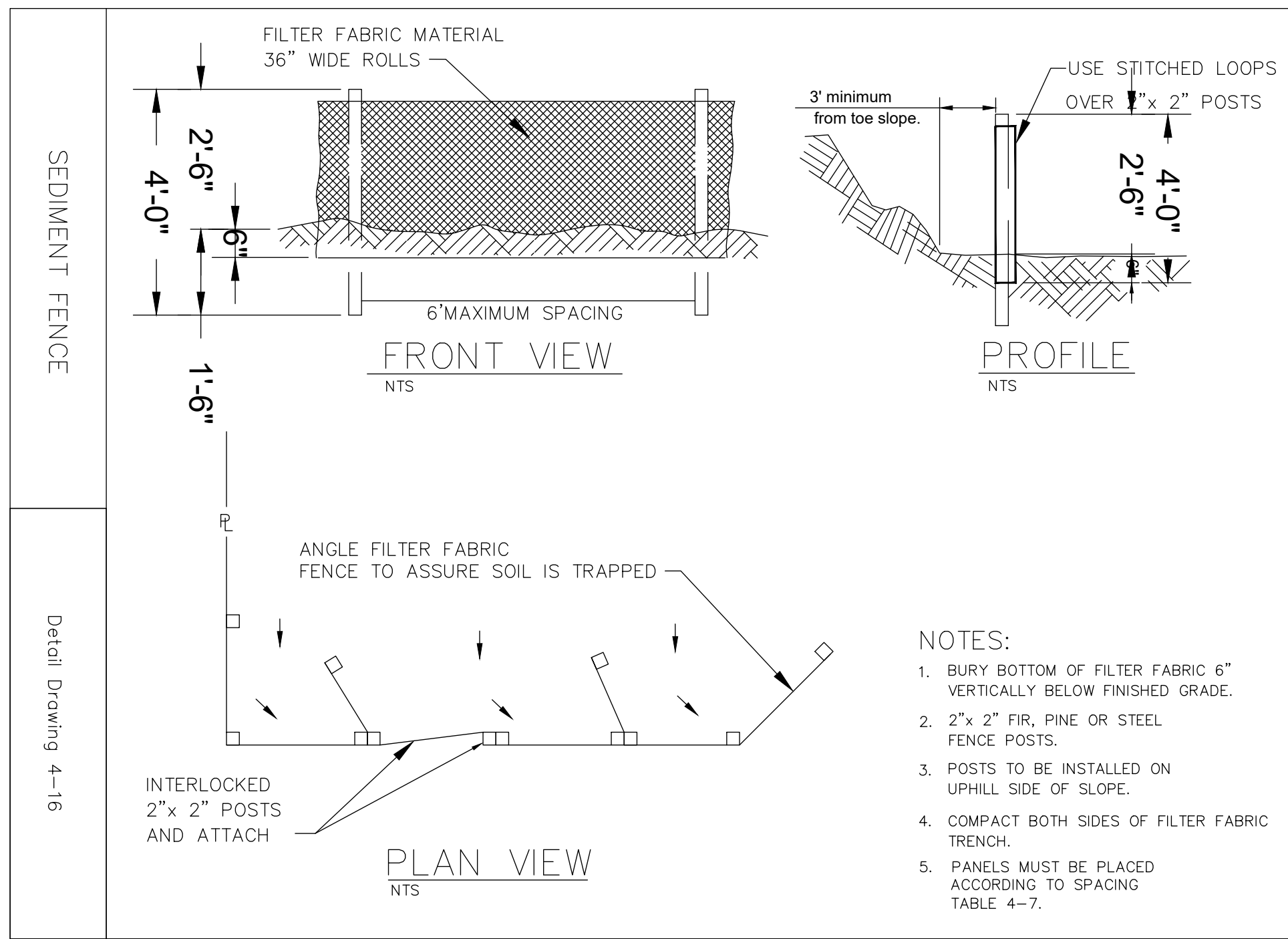
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**RIDGECREST MIDDLE HOUSING**  
22995 BLAND CIRCLE  
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**UTILITY PLAN**  
GRADING & STORM PLANS

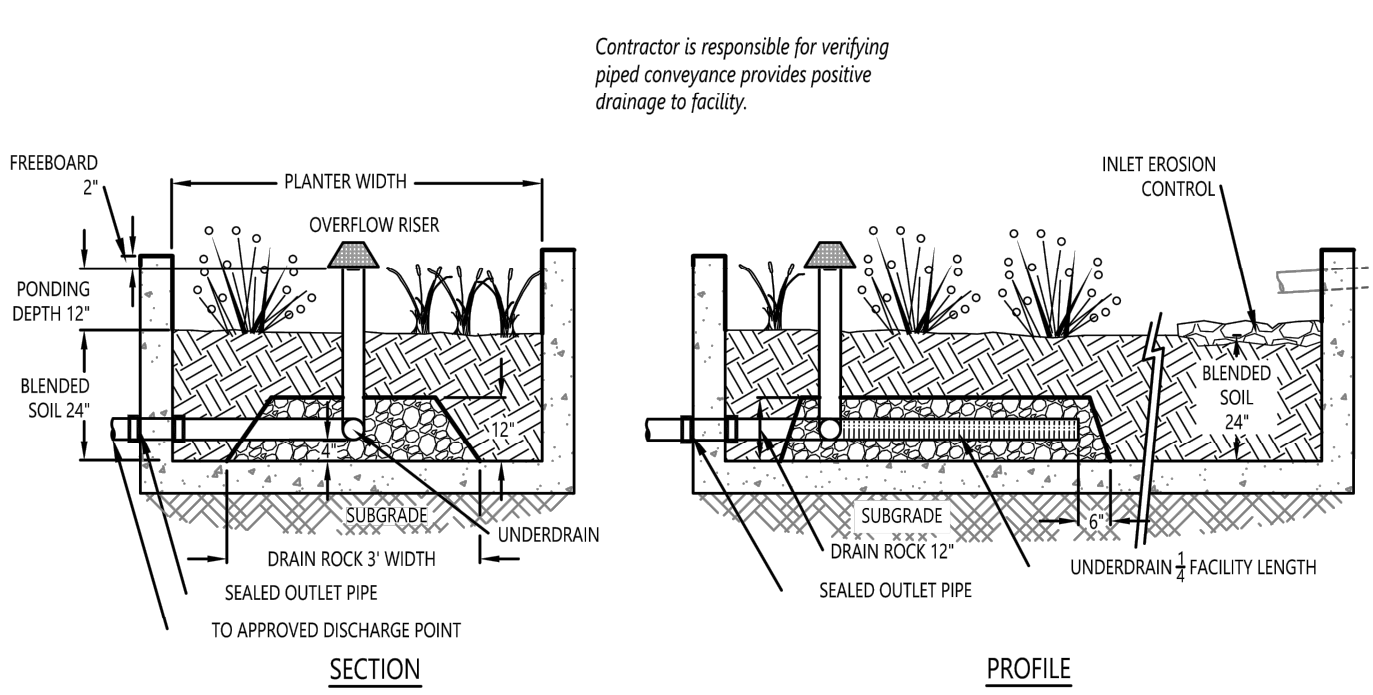
**6**  
8





**SEDIMENT FENCE**

- NOTES:**
- BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
  - 2" x 2" FIR, PINE OR STEEL FENCE POSTS.
  - POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
  - COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
  - PANELS MUST BE PLACED ACCORDING TO SPACING TABLE 4-7.

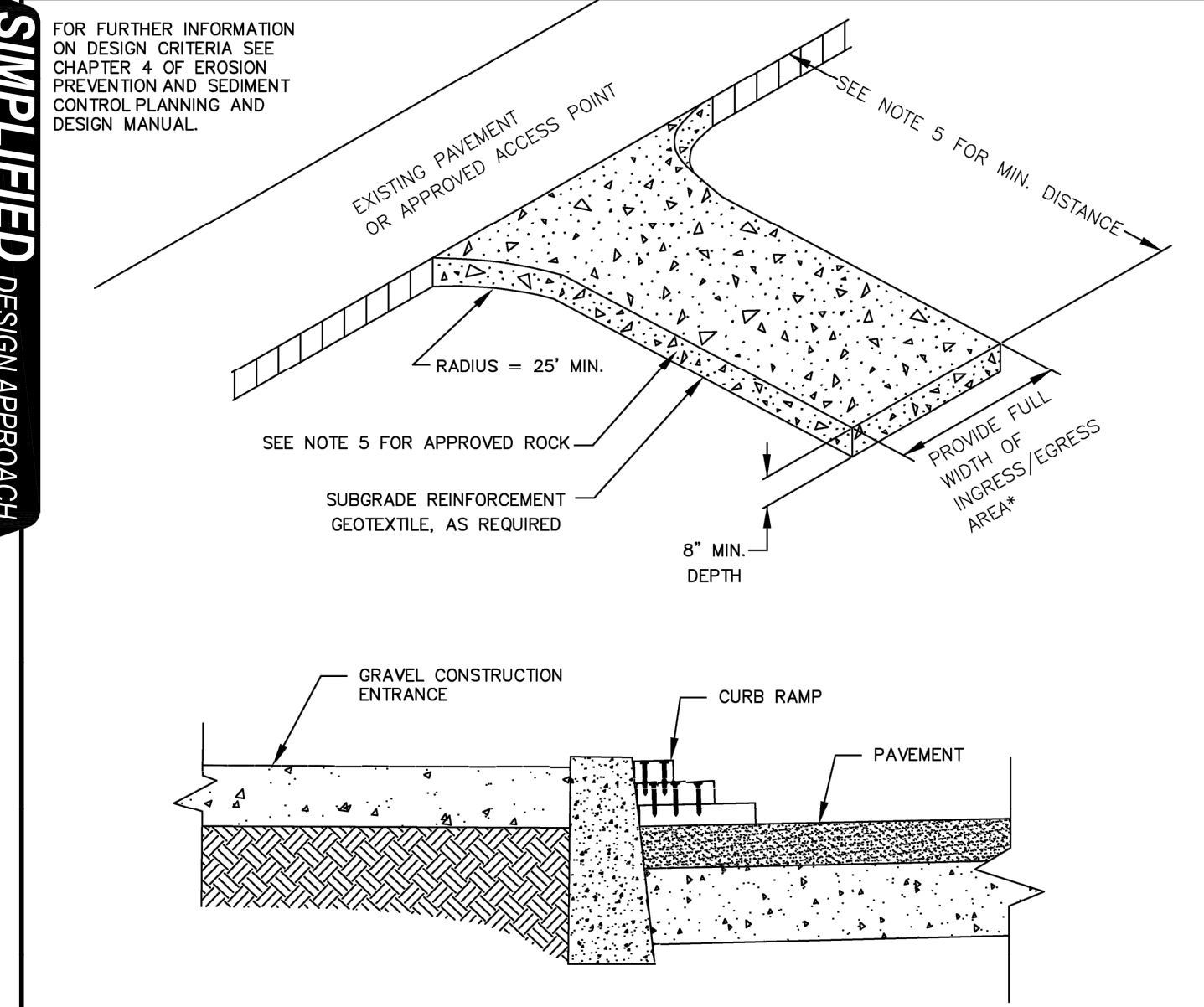


- Structure: Size, depth and dimensions per Simplified Approach requirements.
- Liner: Monolithic pour concrete shell.
- Plants: Minimum size is 1 gallon. Install 80 herbaceous plants or 72 biaceous and 4 shrubs per 100 sf. If project area is over 200 sf consider installing a tree.
- Inlet Erosion Control: Install riprap at pipe inlets.
- Overflow Riser Pipe: Non-perforated 4-inch Sch. 40 PVC pipe with strainer cap (NDS 75 or equivalent). Rim elevation must leave minimum 2 inches of freeboard.
- Underdrain Pipe: Use 4 inch single-walled, corrugated, perforated HDPE pipe meeting ASTM F667 (ADS 4040010 or equivalent). Extend 1/4 length of facility.
- Underdrain Pipe: Drain Rock 3/4 inch - No.10 washed, angular rock unless otherwise approved by BES. Max. width of rock base is 4 feet. Extend drain rock 6 inches beyond end of underdrain.
- Outlet Pipe: Non-perforated Sch. 40 PVC pipe. Grout as required at wall penetrations to create watertight seal. Pipe outside the facility must conform with Oregon Plumbing Specialty Code.
- Ponding Depth: 12 inches.
- Blended Soil: 24 inches of BES standard soil blend, unless otherwise approved.
- See SWMM Chapter 3 for guidance.

**INSPECTION INFORMATION**

SCHEDULE INSPECTION (IVR: 503-823-7000, CODE #487. 3 INSPECTIONS REQUIRED.)

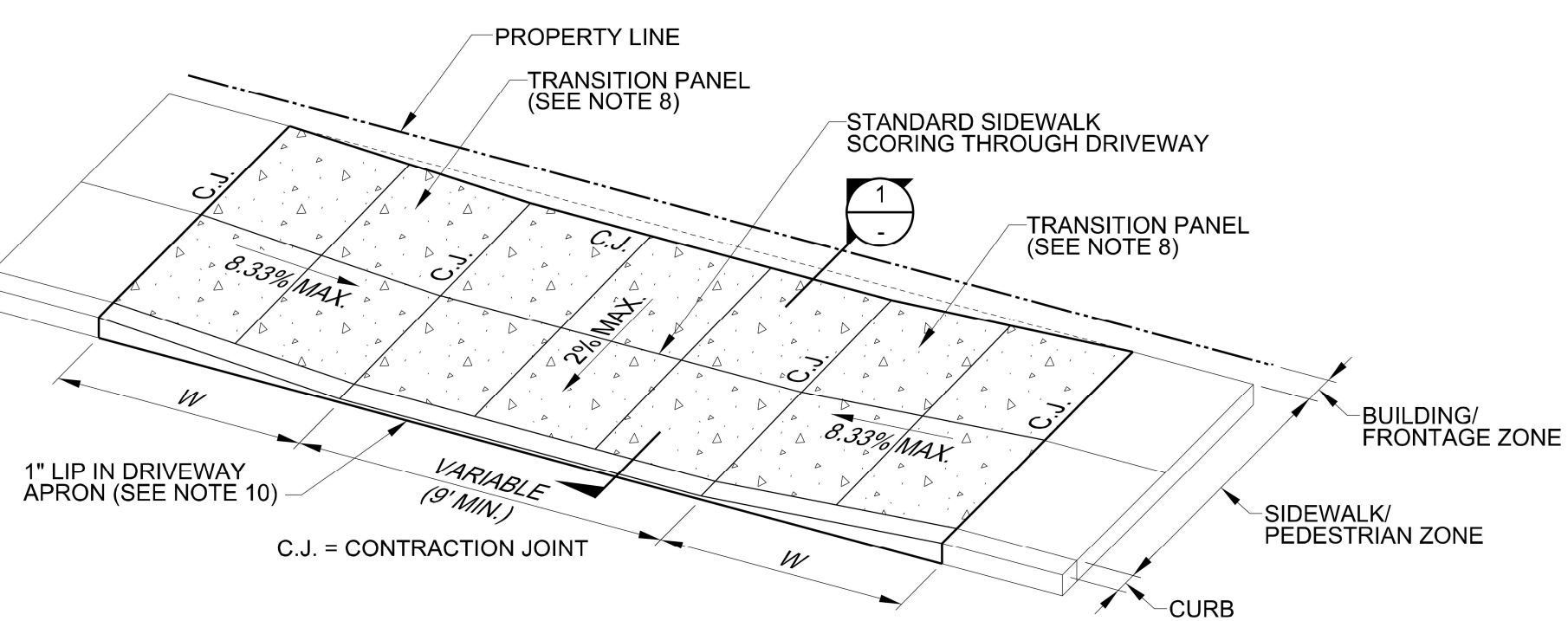
- Inspection #1. Location, size, depth, structure, penetrations and piping. (prior to installation)
- Inspection #2. Drainage materials, rock
- Inspection #3. Blended soil, plants, elevations, inlet protection, outfalls



- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  - WHERE RUNOFF CONTAINING SEDIMENT LADEN WATER IS LEAVING THE SITE VIA THE CONSTRUCTION ENTRANCE, OTHER MEASURES SHALL BE IMPLEMENTED TO DIVERST RUNOFF THROUGH AN APPROVED FILTERING SYSTEM.
  - DIMENSIONS**  
SINGLE FAMILY  
20' LONG BY 20' WIDE 8" DEEP OF 3/4" MINUS CLEAN ROCK.  
COMMERCIAL/SITE DEVELOPMENT  
50' LONG BY 20' WIDE 3-6" CLEAN ROCK, GOVERNING AUTHORITY MAY REQUIRE GEOTEXTILE FABRIC TO PREVENT SUB-SOIL PUMPING.

**CONSTRUCTION ENTRANCE**  
DRAWING NO. 4-11 REVISED 10-31-19

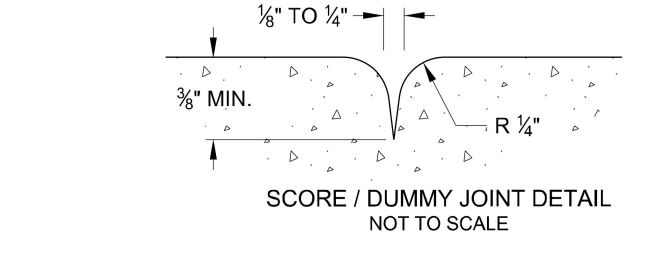
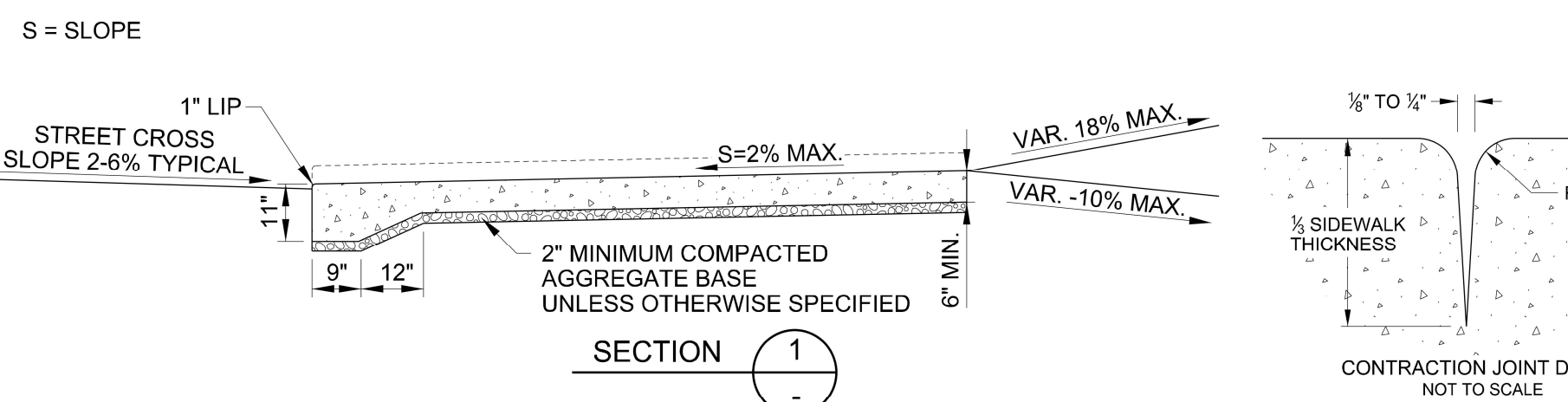
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- NOTES:**
- WHERE DRIVEWAY CONNECTION TO PROPERTY IS A NEGATIVE GRADE, THE GUTTER FLOW DEPTH MEASURED FROM GUTTER LINE TO BACK OF SIDEWALK ELEVATION SHALL HAVE A MINIMUM OF 3" VERTICAL RISE TO ASSURE THAT STORMWATER WILL NOT OVERTOP THE BACK OF SIDEWALK. IF THIS CONDITION CANNOT BE MET, PLACE AN INLET AT THE UPSTREAM SIDE OF DRIVEWAY OR OTHER APPROVED DESIGN MITIGATION.
  - STANDARD SIDEWALK SCORING SHALL CONTINUE THROUGH DRIVEWAY TO DELINEATE SIDEWALK/PEDESTRIAN ZONE PER DRG. NO. P-551.
  - A MINIMUM OF 3' DRIVEWAY CONNECTION SHALL BE PAVED BEHIND THE SIDEWALK TO PREVENT TRACKING OF GRAVEL OR DIRT ONTO THE SIDEWALK.
  - PAY LIMIT FOR DRIVEWAYS IS THE OUTER LIMIT OF THICKER STRUCTURAL SECTION THAT IS SUBJECT TO VEHICLE LOADS.
  - DRIVEWAYS SHALL BE POURED MONOLITHIC WITH CURB.
  - IF APPROVED, WHERE EXISTING DRIVEWAY IS IN GOOD CONDITION AND MEETS SLOPE REQUIREMENTS, MAY CONSTRUCT ONLY AS REQUIRED FOR SATISFACTORY CONNECTION WITH NEW WORK.
  - THE WIDTH OF THE DRIVEWAY WINGS MAY BE INCREASED INDEPENDENT OF WIDTHS SPECIFIED PER DRIVEWAY CLASSIFICATION TO MEET THE TRANSITION PANEL SLOPE REQUIREMENTS AS NECESSARY (15' MAXIMUM).
  - WHEN COMBINATION CURB AND GUTTER IS USED, THE GUTTER PAN SHALL BE INCLUDED IN THE PAY LIMITS FOR THE DRIVEWAY.
  - WHEN EXISTING CURB EXPOSURE IS 5" OR LESS, OMIT THE 1" LIP IN DRIVEWAY APRON.
  - NO VERTICAL IMPEDIMENT (POLES, SIGNS, TREES, ETC) WITHIN 3' OF THROAT.

DRIVEWAY CLASSIFICATION	WIDTH OF WINGS = W*	DRIVEWAY THICKNESS
RESIDENTIAL	6' MIN.	6"
COMMERCIAL	10'	6"
INDUSTRIAL	12'	8"

\*WIDTH OF WINGS MAY BE MODIFIED SLIGHTLY TO MATCH ADJACENT SIDEWALK SCORING; COORDINATE W/ ENGINEER AND/OR INSPECTOR



**PORTLAND BUREAU OF TRANSPORTATION**

DocuSigned by: *Steve Tammen*  
City Engineer 690548F

Standard Drawing Title: **CURB TIGHT SIDEWALK FULLY LOWERED DRIVEWAY**

Note: All material and workmanship shall be in accordance with the City of Portland Standard Construction Specifications.

Effective Date: 02/08/2017  
Calc. Book No.:  
Baseline Report Date:

Standard Drawing No.: **P-531**

DRAWN: JRF	DESIGNED: JRF	CHECKED: EH
SCALE: AS SHOWN	DATE: MARCH, 2025	
PROJECT NO. E24-047		

**FIRWOOD DESIGN GROUP**

359 EAST HISTORIC COLUMBIA RIVER HIGHWAY  
TROUTDALE, OREGON 97060  
BUS: (503) 668-3737 + FAX: (503) 668-3788

**RIDGECREST MIDDLE HOUSING**  
22995 BLAND CIRCLE  
West Linn, OR 97068

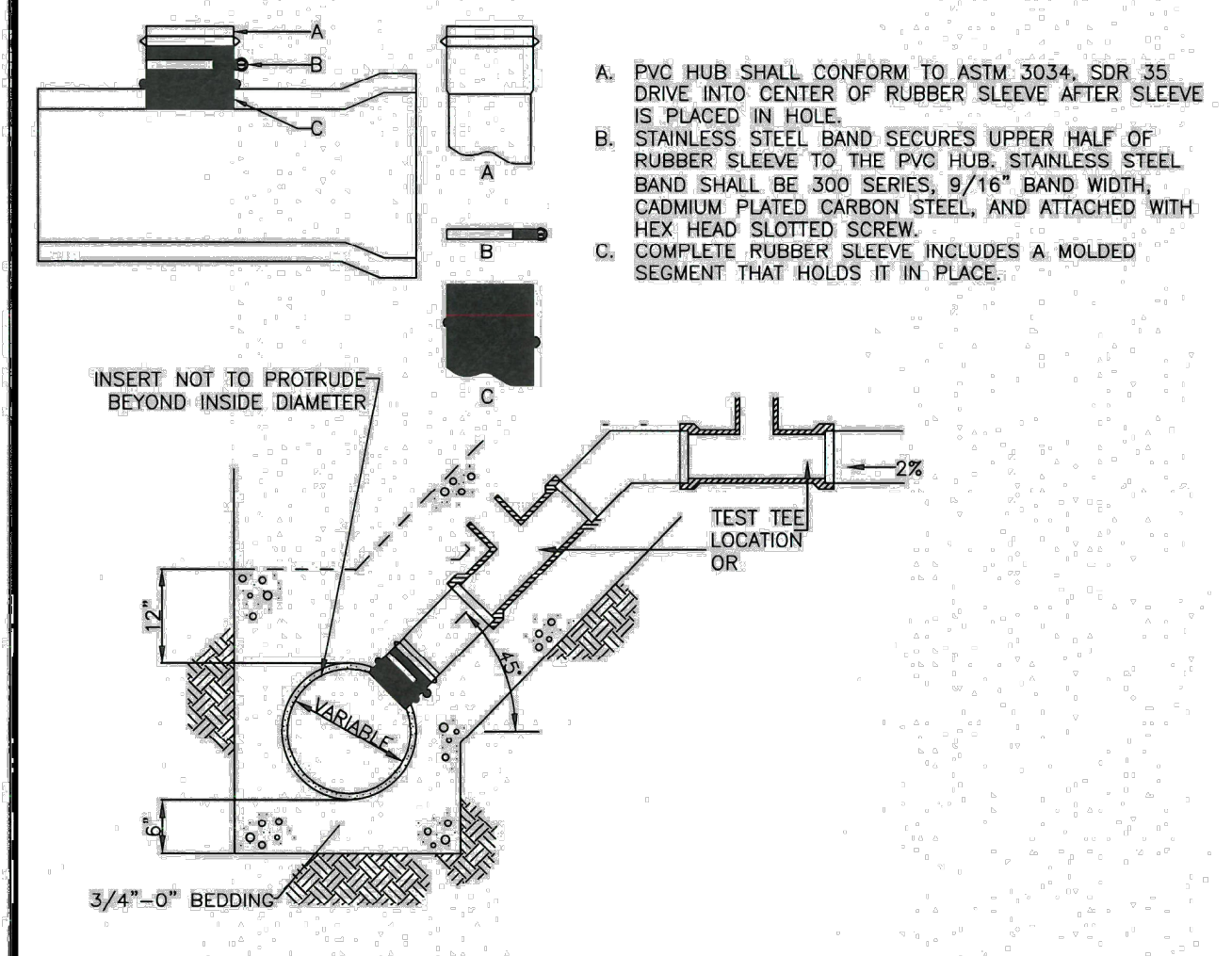
**DETAILS**  
GRADING & STORM PLANS



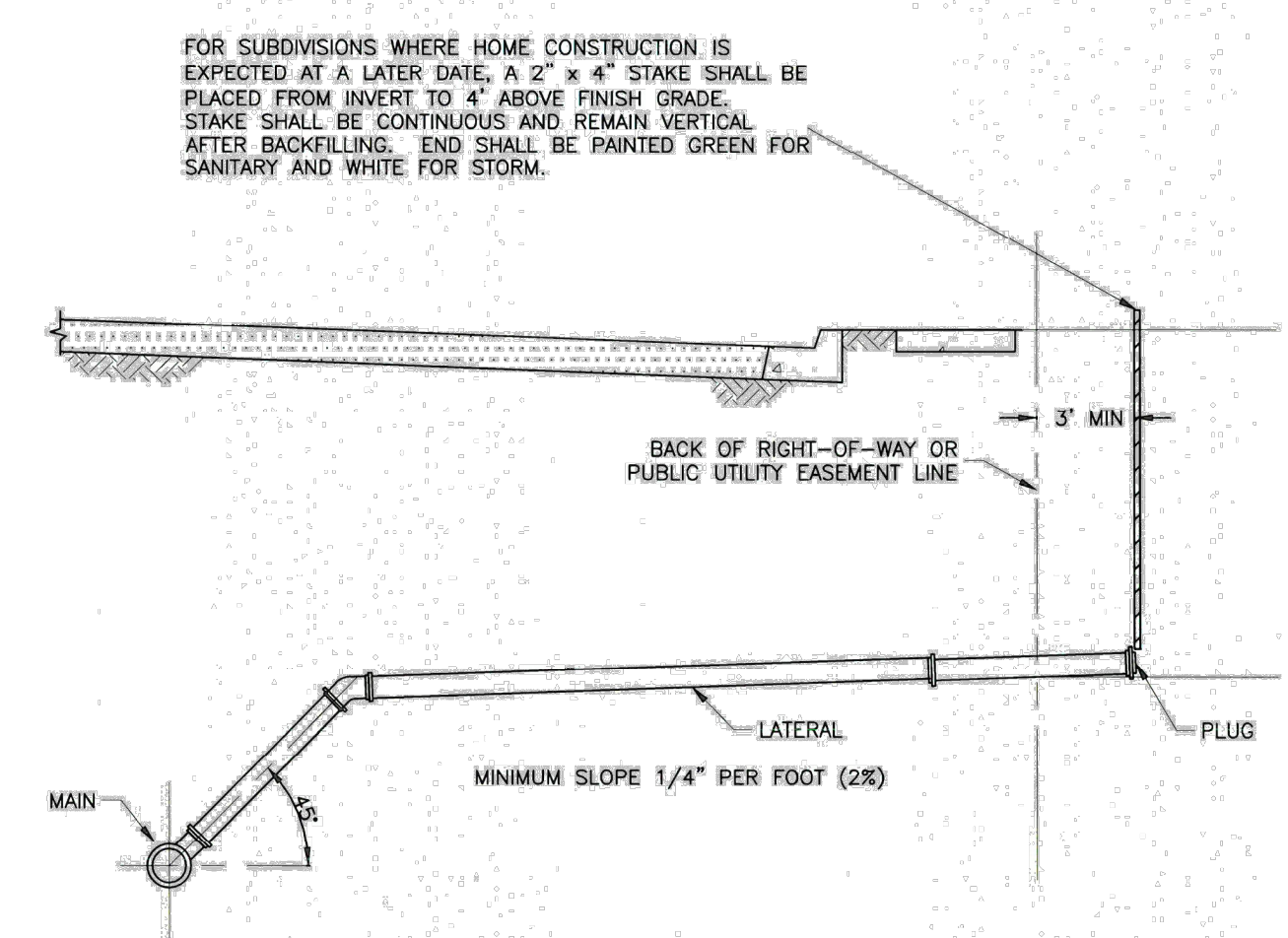
EXPIRES: 06/30/23  
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- A. PVC HUB SHALL CONFORM TO ASTM 3034, SDR 35 DRIVE INTO CENTER OF RUBBER SLEEVE AFTER SLEEVE IS PLACED IN HOLE.
- B. STAINLESS STEEL BAND SECURES UPPER HALF OF RUBBER SLEEVE TO THE PVC HUB. STAINLESS STEEL BAND SHALL BE 300 SERIES, 8/16" BAND WIDTH, CADMIUM PLATED CARBON STEEL, AND ATTACHED WITH HEX HEAD SLOTTED SCREW.
- C. COMPLETE RUBBER SLEEVE INCLUDES A MOLDED SEGMENT THAT HOLDS IT IN PLACE.



FOR SUBDIVISIONS WHERE HOME CONSTRUCTION IS EXPECTED AT A LATER DATE, A 2" x 4" STAKE SHALL BE PLACED FROM INVERT TO 4" ABOVE FINISH GRADE. STAKE SHALL BE CONTINUOUS AND REMAIN VERTICAL AFTER BACKFILLING. END SHALL BE PAINTED GREEN FOR SANITARY AND WHITE FOR STORM.

- NOTE:**
- TAP SHALL BE LOCATED A MINIMUM OF 12" FROM EXISTING PIPE JOINTS AND FROM OTHER TAPS.
  - CORE DRILL THE SEWER MAIN IN THE UPPER QUADRANT OF THE PIPE SO THE LATERAL CAN BE PLACED AT A 45° ANGLE AND PRESENT THE CORE-DRILLED "COUPON" TO THE CITY INSPECTOR AT TIME OF THE INSERT-A-TEE INSPECTION. THE TAP SHALL BE INSPECTED BEFORE THE SIDE SEWER CONNECTION IS MADE.
  - INSERT-A-TEE SHALL BE USED TO CONNECT LATERAL TO MAIN. TAP SHALL BE INSTALLED WATER TIGHT, WITHOUT PROTRUSION INTO OR DAMAGE TO EXISTING SEWER. PROVIDE INSERT-A-TEE PACKAGING TO INSPECTOR SHOWING TYPE OF INSERT-A-TEE INSTALLED.
  - LATERAL SHALL BE 4" (FOR STANDARD SINGLE FAMILY HOMES) GREEN ASTM3034 AND PLACED AT 2% SLOPE TO THE PROPERTY LINE. PLACE A TEST TEE WITHIN 3 FEET OF THE TAP.
  - PLACE INSULATED, 12-GAUGE, GREEN TRACER WIRE OVER CENTERLINE OF SERVICE LATERAL.
  - COMPACT 6" OF 3/4"-0" ROCK UNDER THE PIPE. HAUNCH WELL UNDER LATERAL.
  - ONCE APPROVED BY CITY INSPECTOR, PLACE 12" OF 3/4"-0" ROCK ABOVE THE TOP OF THE PIPE IN THE PIPE ZONE.
  - BACKFILL ABOVE THE PIPE ZONE WITH CDF (DELIVER CDF RECEIPT TO THE ENGINEERING DIVISION). ALTERNATELY, 3/4"-0" GRAVEL BACKFILL MAY BE USED. COMPACTION TESTING BY A CERTIFIED TESTING AGENCY MUST OCCUR IN LIFTS AS SPECIFIED BY THE CITY INSPECTOR (DELIVER TEST RESULTS TO THE ENGINEERING DIVISION). CITY RESERVES THE RIGHT TO FURTHER SPECIFY BACKFILL BASED ON SITE CONDITIONS.
  - T.V. INSPECTION OF THE LATERAL AND/OR MAIN MAY BE REQUIRED FOLLOWING BACKFILL, PRIOR TO FINAL APPROVAL.
  - THE MAXIMUM SIZE TAP FOR AN 8" MAIN IS 4". CUT IN A TEE FOR 6" LATERAL ON A 8" MAIN.
  - ALL CONNECTIONS SHALL BE MADE WITH HARD FITTINGS, INCLUDING TRANSITIONS BETWEEN DISSIMILAR MATERIALS.
  - DEPTH OF LATERAL TO BE DETERMINED BY DESIGN ENGINEER.

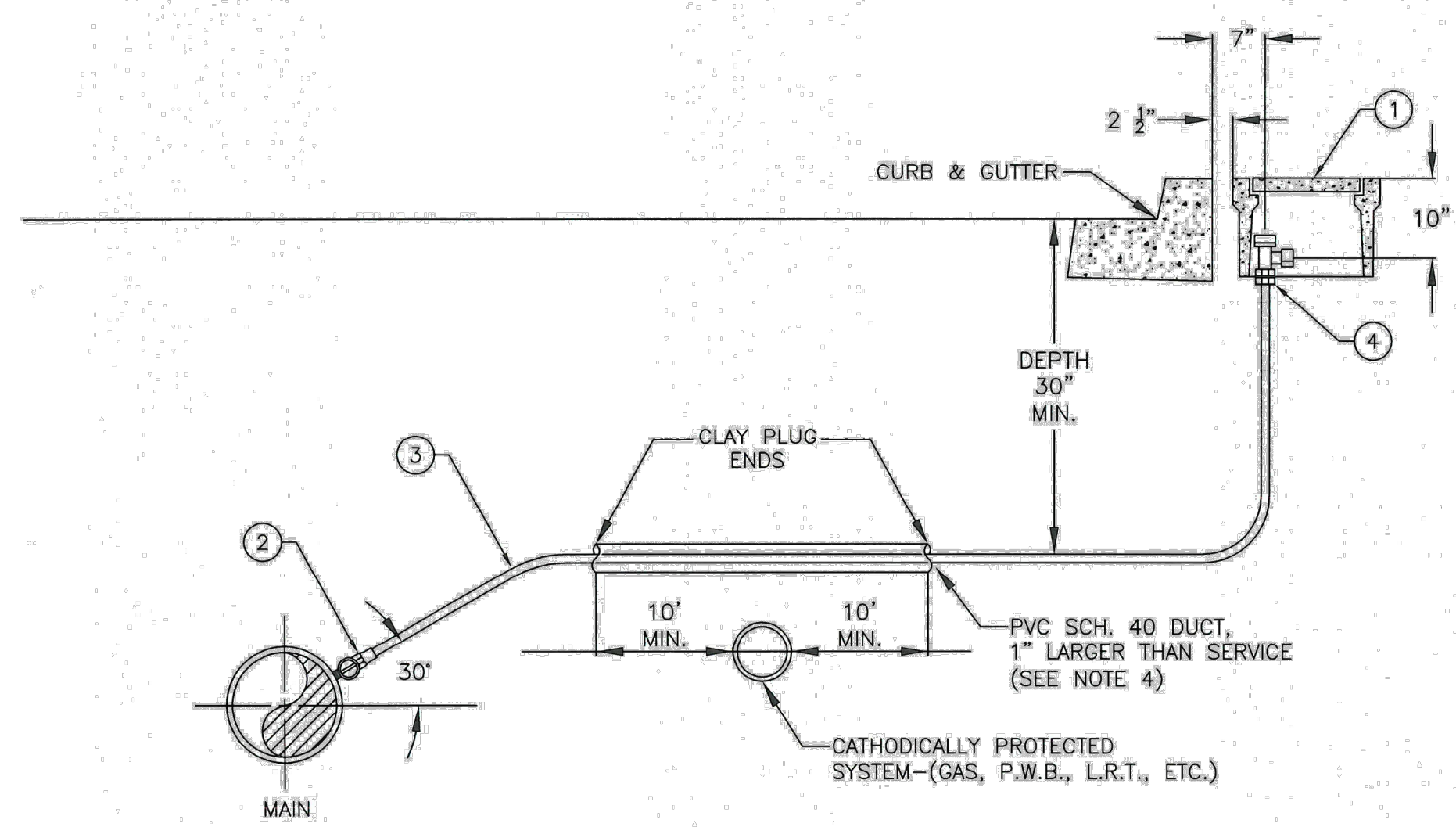
Standard Drawing No. WL-RD341  
Effective Date: 07/07/08

THESE SANITARY SEWER LATERALS

**West Linn**  
CITY OF  
PUBLIC WORKS DEPARTMENT - STANDARD DRAWINGS  
22900 Solano Road, West Linn, OR 97088  
Phone: 503-722-5500  
www.westlinn.gov

NOTE: The selection and use of this workmanship shall be in accordance with the principles and practices of the profession of Professional Engineers without consulting a Registered Professional Engineer.

File: WL-RD341.dwg



- MATERIALS:**
- METER BOX: DFW PLASTICS MODEL DFW486WBC4, OR APPROVED EQUAL
  - CORPORATION STOP: MUELLER 1" B-25008 300 PSI BALL TYPE CORP, OR APPROVED EQUAL
  - COPPER TUBING: 1" SEAMLESS SOFT TEMPER, TYPE "K", COMPLYING WITH ASTM B-88
  - ANGLE STOP: MUELLER 1" B-24258 FULL PORT 300 PSI BALL VALVE NO LEAD ANGLE STOP, OR APPROVED EQUAL

- NOTE:**
- MACHINE DRILL OR TAP, HAND DRILLING IS NOT ALLOWED.
  - BACKFILL WITHIN PIPE AND STRUCTURE ZONE WITH 3/4" - 0" AGGREGATE BASE. COMPACT TO 95% MAX DENSITY AS DETERMINED BY AASHTO T-180.
  - WHEN AN ACTIVE CATHODIC PROTECTED SYSTEM IS ENCOUNTERED, SCH. 40 PVC SHALL BE INSTALLED AS SHOWN WITH CLAY PLUG.
  - METER BOX SHALL BE CENTERED OVER THE COMPLETED METER ASSEMBLY.
  - SERVICE TAPS INTO MAIN SHOULD HAVE 18" MIN. SEPARATION ON CENTER.
  - ANGLE METER STOPS SHALL BE 18" FROM ALL PROPERTY LINES AND NOT WITHIN A DRIVEWAY APPROACH.
  - METERS SHALL BE LOCATED BEHIND SIDEWALKS OR PLACED IN PLANTER STRIPS. BOXES THAT HAVE TO BE PLACED IN SIDEWALKS NEED TO BE APPROVED BY THE CITY ENGINEER.

Standard Drawing No. WL-RD274  
Effective Date: 08/01/19

THESE 1-INCH WATER SERVICE

**West Linn**  
CITY OF  
PUBLIC WORKS DEPARTMENT - STANDARD DRAWINGS  
22900 Solano Road, West Linn, OR 97088  
Phone: 503-722-5500  
www.westlinn.gov

NOTE: The selection and use of this workmanship shall be in accordance with the principles and practices of the profession of Professional Engineers without consulting a Registered Professional Engineer.

File: WL-RD274.dwg



EXPIRES: 06/30/23  
SIGNATURE DATE:

DATE:	NO.	REVISION

DRAWN: JRF	DESIGNED: JRF	CHECKED: EH
SCALE: AS SHOWN	DATE: MARCH, 2025	
PROJECT NO. E24-047		

**FIRWOOD**  
DESIGN GROUP

359 EAST HISTORIC COLUMBIA RIVER HIGHWAY  
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BUS: (503) 668-3737 + FAX: (503) 668-3788

**RIDGECREST MIDDLE HOUSING**  
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West Linn, OR 97068

**DETAILS**  
GRADING & STORM PLANS

**8**  
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