

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT Aaron Gudelj	PROJECT NO(S). DR-24-04	PRE-APPLICATION NO. PA-24-16
NON-REFUNDABLE FEE(S) \$2,800	REFUNDABLE DEPOSIT(S)	TOTAL \$2,800

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Final Plat (FP) <u>Related File #</u> | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal (AP) | <input type="checkbox"/> Flood Management Area (FMA) | <input type="checkbox"/> Temporary Uses (MISC) |
| <input type="checkbox"/> CDC Amendment (CDC) | <input type="checkbox"/> Historic Review (HDR) | <input type="checkbox"/> Time Extension (EXT) |
| <input type="checkbox"/> Code Interpretation (MISC) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Right of Way Vacation (VAC) |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Minor Partition (MIP) | <input type="checkbox"/> Variance (VAR) |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Modification of Approval (MOD) | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC) | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change (ZC) |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: 2500 Willamette Falls Drive West Linn, OR 97068	Assessor's Map No.: 21E35DD
	Tax Lot(s): 03600
	Total Land Area: 23,346 sf

Brief Description of Proposal:

Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. Improve existing toilets for accessibility. Existing rotting entry bridge is removed.

Applicant Name*: Adam Christie, Christie Architecture Address: 9532 SW 18th Place City State Zip: Portland, OR 97219	Phone: 503.756.6677 Email: adam@christiearchitecture.
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Owner Name (required): Twenty Five Hundred LLC Address: 2500 Willamette Falls Drive City State Zip: West Linn, OR 97068	Phone: 503-750-0370 Email: colinb@bray-cpa.com
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Consultant Name: Address: City State Zip:	Phone: Email:
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1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

 Applicant's signature	9/12/2024 Date	 Owner's signature (required)	9-12-24 Date
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DEVELOPMENT REVIEW CHECKLIST

The application form and supporting materials should be submitted electronically through <https://westlinnoregon.gov/planning/submit-land-use-application> as one (1) .pdf file. To create a single PDF file, go to [Adobe Acrobat Free Merge PDF](#) online tool. [Other free Acrobat PDF tools](#) like converting a file to PDF or reducing the file size are available on the Adobe website.

Supporting reports may be uploaded separately through this web form *if* the file size is too large. The separate submissions should be numbered (i.e., Submittal 1 of 2) and noted under transmittal contents. All plan set files **MUST** be flattened and reduced.

Submission requirement to upload through the web form:

- .pdf format.
- Individual file size no larger than 128 MB.
- Do not attach 'zip' files. Our server will reject all 'zip' files.
- Reduce and flatten all plan sets BEFORE uploading plan sets. The raster/vector settings should be optimized for printing.

A complete application must include the following:

- Development Review Application. Original signatures from all owners must be on the application form. **Do NOT use DocuSign.**
- A **project narrative** outlining the project's scope in detail, including the changes to the site, structure, landscaping, parking, land use, and lot consolidations.
- Complete written responses to identified approval criteria in the [Community Development Code \(CDC\)](#).
- A Service Provider Letter from Tualatin Valley Fire and Rescue - <https://www.tvfr.com/399/Service-Provider-Permit> Please contact Jason Arn at jason.arn@tvfr.com with any questions about TVF&R requirements.
- Vicinity Map showing the site within the City.
- Site Plan drawn to scale showing the:
 - Taxlot and address of the project,
 - Area of the site (acres or square feet),
 - Zoning and Neighborhood Association,
 - Location and dimensions of existing and proposed buildings, structures,
 - Location of existing and proposed on-site driveways and off-street parking,
 - Configuration and dimensions of all existing and proposed lots and tracts, including a proposed park, open space, and or drainage tracts or easements,
 - Location and width of existing and proposed easement for access, drainage, etc., and
 - Location of existing and proposed trees and other proposed landscaping.
 - Location of existing public and private utilities, easements, and 100-year floodplain,
 - Sensitive areas, including the location of on-site wetlands and riparian areas,
 - Location of existing off-site driveways across the street,
 - If applicable, internal circulation system, name, and location of existing and proposed roadways and roadway easements (private and public), and
 - Location and width of existing and proposed on-site pedestrian and bicycle facilities on-site.
- If applicable, a Utility Plan and Landscape plan, drawn to scale.
- If applicable, Building elevation drawings with exterior elevations for every side of each structure, height including building materials and floor levels, drawn to scale.
- If required, documentation of any required meeting with the respective City-recognized neighborhood association per CDC [99.038](#).
- Any other materials identified by city staff at the pre-application meeting.

For applications that the Planning Commission decides, the applicant or applicant's representative should present their proposal to the PC at the public hearing.

Type I Design Review - Project Narrative

Date: September 23, 2024
Property: 2500 Willamette Falls Drive
Tax lot #: 21E35DD03600
OR Permit application #: 935-24-000824-STR (submitted for review)

Project scope:

Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. New entry sidewalk & planters removes two parking spaces. Improve existing toilets for accessibility. Existing rotting entry bridge is removed. Proposed addition footprint is 8'x12' and falls entirely under existing roofline, replacing former entry alcove & bridge. Of note to the water-related zoning overlays affecting this site, the proposed project results in a reduction in the impervious area on this existing site. New planting areas will be planted with native plants found on the City of Portland Approved Native Plants List.

Community Development Code Chapters that affect this design proposal:

- Chapter 19: General Commercial
- Chapter 28: Willamette & Tualatin River Protection
- Chapter 32: Water Resource Protection
- Chapter 46: Off-Street Parking, Loading, and Reservoir Areas
- Chapter 48: Access, Egress, & Circulation
- Chapter 54: Landscaping
- Chapter 55: Design Review

Chapter 19: General Commercial

An alteration and addition to an existing allowed use is proposed. The existing structure conforms to the standards. The proposed addition has a small footprint that stays underneath the existing roof to remain. The proposed addition does not challenge the development standards (yard setbacks, max height, lot coverage).

Chap 28 Willamette & Tualatin River Protection

CDC 28.040 Exemptions

The proposed project is exempt from a permit under the provisions of this chapter per CDC28.040(M).

CDC 32.040(M) The proposed addition meets the minor modification definition of this section. The proposed addition does not increase the length, width, or height of the facility by more than or equal to 10%. As proposed, it doesn't increase the length, width or height at all.

Chapter 32 Water Resource Protection

CDC 32.040 Exemptions

The proposed project is exempt from a WRA permit per CDC32.040(C)(1).

CDC 32.040(C)(1) CDC 32.040(C)(1)(a) through (g) apply to proposed additions of a principal non-conforming structure within or partially within the WRA.

CDC 32.040(C)(1)(a) - No disturbed areas are previously vegetated prior to the proposed work.

CDC 32.040(C)(1)(b) - No net storm runoff. Proposed addition is under existing roof. Proposed entry flatwork occurs at former parking paving area.

CDC 32.040(C)(1)(c) - Addition is no closer to water resource than principal structure.

CDC 32.040(C)(1)(d) - Addition does not extend more than 25 feet laterally from the side of the existing principal structure.

CDC 32.040(C)(1)(e) - The addition does not increase the footprint of the existing principal structure by more than 500sf.

CDC 32.040(C)(1)(f) - No deck addition is proposed.

CDC 32.040(C)(1)(g) - The proposed addition is not on top of existing footprint. Nor does it exceed the maximum height requirement of the underlying zone.

Chapter 46: Off-Street Parking, Loading, and Reservoir Areas

The majority of the existing parking area is existing to remain. Two parking spaces are removed to create new entry sidewalk, new accessible ramp and new landscape planters. This design resolves an existing condition that has parking surface extending directly to the building face creating an awkward and unsafe entry/exit from the building.

CDC 46.090(C)(5) Professional offices: 1 parking space / 370sf —> 17reqd; 23 provided. Two are removed from existing with the proposed design.

CDC 46.150(D)(3) Professional offices: 0.5 bike space / 1,000sf —> 3 reqd; 4 provided. None are covered, but all are existing. We don't believe the size of proposed design merits requiring the covering of one of the four.

Chapter 48: Access, Egress, & Circulation

The primary vehicular, bicycle and pedestrian access elements are not altered in the proposed design.

Chapter 54: Landscaping

New landscaping is shown as planters converted from former parking area on this existing site. New landscape plantings will be native species selected from the City of Portland Approved Native Plants List. No large trees are in the boundary of proposed alterations. No significant or heritage trees exist on this site.

Chapter 55: Design Review

CDC 55.090 Approval Standards - Class 1 Design Review - General / Discretionary

CDC 55.090(A)(1) — The provisions of CDC 55.100(B)(1) through (4) shall be met.

CDC 55.090(A)(2) — The provisions of CDC 55.100(B)(5) and (6) shall be met.

CDC 55.090(A)(4) — The development standards of the base zone are met by this proposed design alteration.

CDC 55.100 Approval Standards - Class II Design Review - General / Discretionary

CDC 55.100(B)(1) - There are no heritage trees on this site. The proposed building addition is small and remains under the existing roofline.

CDC 55.100(B)(2) - This site contains no heritage, no significant trees, nor any significant tree clusters.

CDC 55.100(B)(3) - The topography and natural drainage are preserved. No modifications to existing catch basins nor new ones proposed. Existing roof downspouts will remain connected to storm below grade.

CDC 55.100(B)(4) - The proposed building addition is small and remains under the existing roofline of the building. Both proposed site hardscaping and landscaping occur on low slope areas already developed by the existing property development.

CDC 55.100(B)(5) - No substantial additions are proposed that might change the separation distances to off-site buildings. There are no other on-site buildings.

CDC 55.100(B)(6)(a) - The proposed addition is to match the existing materials, scale, building lines, rhythm of windows, scale and massing of surrounding buildings. Painted lap siding with mitered corners (not corner boards) is proposed with painted dimensional wood trim at the windows and doors.

CDC 55.100(B)(6)(b) - No disparate scales of massing are provoked by the proposed addition.

CDC 55.100(B)(6)(c) - No contrasting architecture is proposed.

CDC 55.100(B)(6)(d) - This design proposal eliminates a condition where the parking lot abutted the exterior wall of the existing structure and provides a protected transition sidewalk that keeps vehicles back from the building face. The existing commercial structure is modest in scale & does not provoke non-human scale effects. The addition continues the existing architecture in modest human scale.

CDC 55.100(B)(6)(e) - The existing building and lot does not address the sidewalk at all in the spirit of this approval criteria, which is suited to a more dense urban condition than exists

here. The existing sidewalk ends at this location in the City and does not promote much pedestrian density given its width (5'), continuity and adjacent road speed (45mph). The existing building is set 20' back from the property line with a storm swale in-between it and the sidewalk. The nearest edge of sidewalk is positioned a further 22' from the front lot line.

The street-facing south elevation of the building does have a 45.8% glazing linear ratio to wall at grade. Its full street facing wall provides an open expression to the street for its distance from the ROW with a 28% glazing to wall area ratio.

The parking/arrival elevation of the building (facing west) also provides a friendly quantity of windows at the ground levels. The proposed design provides 52.7% of linear glazing. But this elevation is exclusive to people arriving to this specific building with no adjacent walkable window shopping opportunities.

CDC 55.100(B)(6)(f) - The face of the existing building is L-shaped in plan with the longest elevation facing away from public view. The roof eave projects 30" offering a shadow line at the top of the building wall face. The sloped roofs mimic residential scale and materials.

CDC 55.100(B)(6)(g) - The intent of this alteration is to provide an improved entry for visitors and employees arriving to the building. It provides a covered alcove for protection from the weather prior to entering the building, as well as a human-scaled sidewalk entry plaza between the parking and the building. The existing eave projects 30" from the exterior wall.

CDC 55.100(B)(6)(h) - This site is not a part of the downtown urban fabric, but this design proposal nevertheless is providing an improved arrival plaza balanced between landscape plantings and hardscape surfaces that are in scale with both the parking and building entry.

CDC 55.100(B)(6)(i) - No public sidewalk is available at the entry of this existing building. Arrival is predetermined at the upper parking area. This design proposal does not radically alter the building to re-address the street sidewalk. No retail or commercial uses are proposed at the public sidewalk.

End of Narrative

ABBREVIATIONS

AB	anchor bolt	MAS	masonry
AC	air conditioning	MATL	material
ACOU	acoustical	MAX	maximum
ADJ	adjacent	MDF	medium density fiberboard
AFF	above finish floor	MECH	mechanical
AGG	aggregate	MEMB	membrane
AL	aluminum	MED	medium
ALT	alternative	MEZZ	mezzanine
ANOD	anodized	MFR	manufacturer
APPROX	approximate (ly)	MFG	manufacturing
ARCH	architect (ural)	MH	manhole
AUTO	automatic	MIL	1/1000 inch
AVE	avenue	MM	millimeter
		MIN	minimum
BD	board	MIR	mirror
BLDG	building	MISC	miscellaneous
BLKG	blocking	MTL	metal
BO	bottom of	MW	microwave
BOT	bottom		
BR	bedroom	(N)	new
		N	north
		N/A	not applicable
CB	catch basin	NIC	not in contract
CEM	cement	NO	number
CFCI	contractor furnished contractor installed	NOM	nominal
CG	clear glass	NTS	not to scale
CH	ceiling height		
CHNL	channel	OC	on center
CJ	cast iron	OH	overhang
CJ	control joint	OR	oregon
CL	close	OSB	oriented strand board
CLG	ceiling	OPP	opposite
CLR	clear	OPG	opening
CMU	concrete masonry unit	OHD	overhead door
CO	clean out	OFCl	owner furnished contractor installed
COL	column	OFOW	owner furnished owner installed
CONC	concrete		
CONST	construction	PTD	painted
CONT	continue / continuous	PERF	perforated
CORR	corridor	PL	property line, plate
CPT	carpet	PLAM	plastic laminate
CSMT	casement	PLAS	plaster
CT	ceramic tile	PLYWD	plywood
CTR	center	PNL	panel
		PR	pair
DBL	double	PSF	pounds per square foot
DEMO	demolish	PSI	pounds per square inch
DET	detail	PT	pressure treated
DIA	diameter	PVC	polyvinyl chloride
DIAG	diagonal	PVMT	pavement
DIM	dimension		
DN	down	QTY	quantity
DR	door, drive		
DS	downspout	R	riser, radius
DTL	detail	RA	return air
DW	dishwasher	RB	rubber base
DWG	drawing	RD	roof drain
		REF	refrigerator
(E)	existing	REINF	reinforced
E	east	REQD	required
EA	each	RESIL	resilient
EL	elevation	REV	revision, revised
ELEV	elevation, elevator	RM	room
ELEC	electric	RND	round
EMER	emergency	RO	rough opening
EQ	equal		
EQUIP	equipment	S	south
ETR	existing to remain	SECT	section
EZH	exhaust	SF	square feet
EXIST	existing	SFTY	safety glazing
EXP	expansion	SGL	single
EXT	exterior	SHR	shower
		SHT	sheet
FA	fire alarm	SIM	similar
FD	floor drain	SPECS	specifications
FDC	fire department connect	SPRKLR	sprinkler
FE	fire extinguisher	SQ	square
FF	finish floor	SS	stainless steel
FH	fire hydrant	ST	street, stair
FIN	finish (ed)	STD	standard
FLR	floor	STL	steel
FND	foundation	STOR	storage
FO	face of	STRUC	structural
FP	fireproof		
FRP	fiber reinforced panel	T	tread
FT	foot, feet	TBR	to be removed
FTG	footing	TPL	top of plate
FURR	furred, furring	TC	top of curb
		TEL	telephone
GA	gauge, gage	TEMP	temporary, tempered
GAR	garage	T&G	tongue and groove
GC	general contractor	THK	thick, thickness
GL	glass, glazing	TOC	top of concrete
GALV	galvanized	TP	toilet paper dispenser
GND	ground	TS	tube steel
GR	grade	TV	television
GYP	gypsum	TOW	top of wall
		TYP	typical
HB	hose bib		
HD	heavy duty	UNO	unless noted otherwise
HDCP	handicap (ped)	UL	underwriter's laboratory
HDR	header		
HDWR	hardware	VCT	vinyl composition tile
HP	horsepower	VERT	vertical
HM	hollow metal	VEST	vestibule
HORIZ	horizontal	VFY	verify
HR	hour	VT	vinyl tile
HT	height		
HTG	heating	W	west, width
HW	hot water	WI	with
HDWD	hardwood	WO	wood
HVAC	heating, ventilation & air conditioning	WD	washer & dryer
		WF	wide flange
IN	inch	WH	water heater
INCL	include(d)	WO	without
INSUL	insulate, insulated, insulation	WP	waterproof
INT	interior		
		&	and
JST	joist	@	at
JC	janitor's closet	#	point, number
KIT	kitchen		
KW	kilowatt		
L	long, length		
LAM	laminated (d)		
LAV	lavatory		
LN	lane		
LT	light		

GENERAL NOTES

- All clear dimensions are to be exactly within 1/8" of full height and width of walls. Contractor shall not adjust any dimension marked "Clear" or "CLR" without written instruction from the architect.
- All dimensions shown are to face of the finish walls, UNO.
- The contractor shall field verify all existing conditions, dimensions, and elevations. The contractor shall notify the architect of any discrepancies from conditions shown on the drawings prior to starting work.
- Existing concealed conditions and connections are based upon information taken from limited field investigations. The contractor shall make required adjustments to system components as necessitated by actual field conditions and notify owner of any change to cost prior to performing the work.
- These drawings are not to be scaled for any reason.
- Where one detail is shown for one condition, it shall apply for all like or similar conditions, even though not specifically marked on the drawings or referred to in the specifications, unless noted otherwise.
- All work shall comply with all applicable codes, ordinances, and regulations.
- The contractor shall verify that no conflicts exist between the locations of any and all mechanical, electrical, plumbing, or structural elements and that all required clearances for installation and maintenance are met. Notify the architect of any conflicts prior to proceeding with the work.
- If the contractor or sub-contractors find it necessary to deviate from original approved plans, then it is the contractor's responsibility to provide the architect with a written notification of the proposed changes for the architect's approval prior to proceeding with the work.
- Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. The contractor shall be responsible for removal of all construction debris from project site on a daily basis.
- All manufacturer's specifications shall be complied with. If a conflict between the drawings and a manufacturer's specification is discovered, the contractor shall notify the architect in writing prior to proceeding with the work.
- The contractor shall be responsible for cutting, fitting, or patching required to complete the work or to make its parts fit together properly.
- The contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work.
- The contractor is responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, etc. according to applicable codes, standards, and good construction practices.
- The contractor and sub-contractors shall be responsible for procuring all necessary inspections and approvals from building authorities during the execution of the work.
- Exterior walls open during work shall be insulated to current code requirements. If wall depth is greater than minimum code insulation thickness, fill framing cavities.

DEMOLITION NOTES

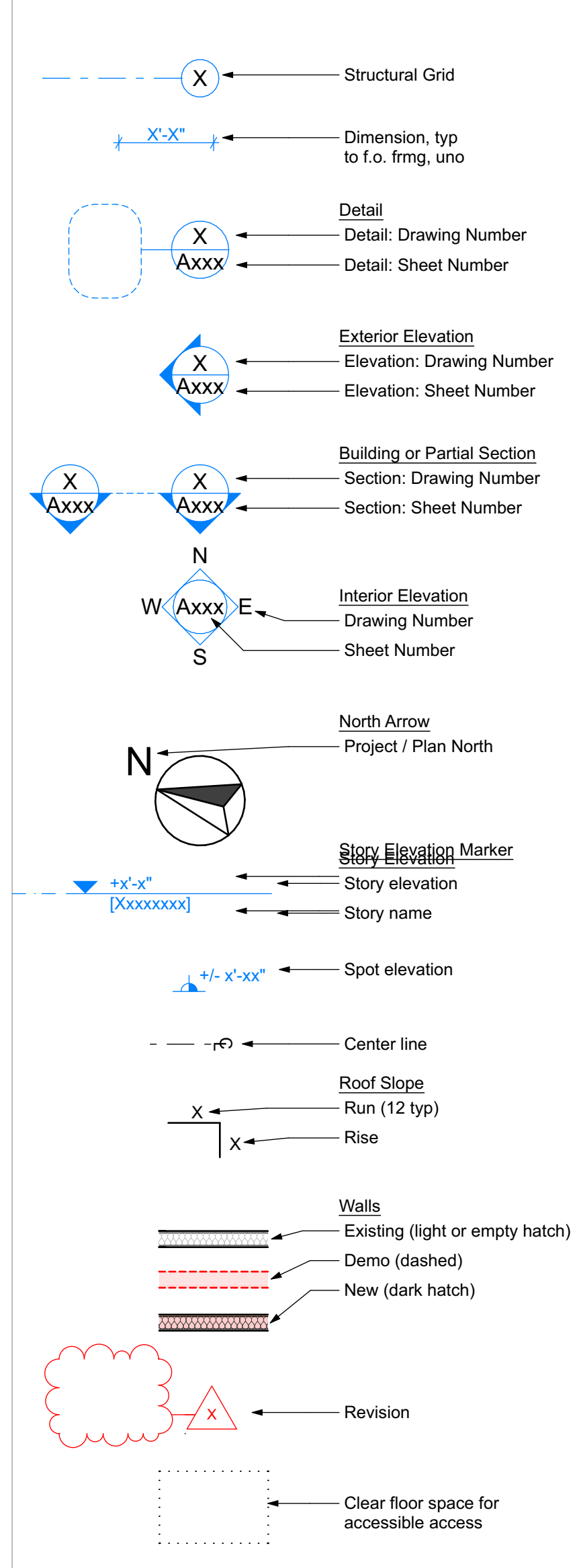
- Remove all existing constructions & finishes necessary for the completion of the work as depicted on the drawings, including but not limited to, items shown on the plans with dashed lines. Necessary disconnects & alterations to existing mechanical and electrical systems shall be included. Where contractor is designated to make removals, disposal of materials is the responsibility of the contractor. Verify with owner, the disposal and removal of any components of salvageable value.
- Where applicable, level all existing floors as required to receive new floor finishes. Install required transition pieces between various floor finishes suitable for conditions & acceptable to the owner. Match existing wherever possible.
- Patch existing walls to remain (gypsum drywall or plaster) to match existing of sufficient thickness to maintain uniform wall thickness.
- Patch all finishes to match existing. Verify match of new finish materials to existing in color, texture, thickness, cut, etc... to satisfaction of owner prior to installations.
- Temporary shoring of structural elements is the responsibility of the contractor.

Prescriptive Envelope Requirements

Partial summary per Table 5.5-4 from ASHRAE 90.1-2019 -- Climate Zone 4C

Opaque assemblies	Max U	Min R-value
Roofs		
Attic & other	0.021	R-49
Walls, abv grade		
Steel frmd	0.064	R-13 + R-7.5ci
Wood frmd & other	0.064	R-13 + R3.8ci or R-20
Walls, below grade		
Below grade wall	C-0.119	R-7.5ci
Floors		
Steel frmd	0.038	R-30
Wood-frmd & other	0.033	R-30
Slab-on-Grade Floors		
Unheated	F-0.520	R-15 for 24in
Wood-frmd & other	F-0.843	R-20 for 24in
Opaque doors		
Swinging	0.37	
Non-swinging	0.31	
Fenestration		
Windows max 40% of above grade gross wall area. Skylights max 3% of roof area.		
	Max U	Max SHGC
Fixed:	0.36	0.38
Operable:	0.45	0.33
Entrance door:	0.63	0.33
Skylights:	0.50	0.40

LEGEND



25% for ADA (ORS 447.241)

Accessibility primary function budget:
a: **Parking:** @ Upper parking, provide (n) accessible ramp & 9'x18' parking space w/ 5' wide access aisle.
b: **Entry:**
@ Upper level: Provide (n) sidewalk/curb, (n) covered alcove entry, (e) entry doors, and (n) vestibule to create (n) main entry from upper level parking.
@ Lower level: Provide (n) door to lower level (not main entry).
c: **Route to the altered area:** (N) accessible swing doors provided at newly created rooms.
d: **Restrooms:** Modify existing toilets to improve accessibility by removing vanities that encroach on the existing doors & replacing with wall-mtd sinks. Walls & doors of existing toilets not altered.
e: **Telephones:** No public telephones in bldg.
f: **Storage:** No public storage access in bldg.

All (n) work in proposed alteration in tenant improvement to be accessible per current code.

Valuation of proposed construction:	\$50,000
25% of valuation for accessibility improvements:	\$12,500
Subtask valuations	
Parking	\$3,000
Entry	\$8,000
Route	\$1,000
Restrooms	\$500

PROJECT TEAM

Architect:	Structural Engineer:
Christie Architecture 9532 SW 18th Place Portland, OR 97219	Butler Consulting, Inc 12501 SE Scott Sreeek Lane Happy Valley, OR 97086
Contact: Adam Christie p: 503.756.6677 e: adam@christiearchitecture.com	Contact: Mark Butler p: (503) 658-0200 e: mark@bcengineering.com

APPLICABLE CODES

ALL WORK IS TO COMPLY WITH:
2022 Oregon Structural Specialty Code (OSSC)
2021 Oregon Energy Efficiency Specialty Code (OEESC)
2023 Oregon Electrical Specialty Code (OESC)
2022 Oregon Mechanical Specialty Code (OMSC)
2023 Oregon Plumbing Specialty Code (OPSC)

City of West Linn Community Development Code (CDC)

Building Code Summary

Existing building			
Construction Type:	Type V-B		
Sprinklers:	Not sprinklered		
Occupancy Groups:	Group B, Business		
Existing Building Areas/Occupancies:			
First floor:	2,185 gsf	Group B, Business	
Second floor:	3,945 gsf	Group B, Business	
Total bldg area (e):	6,130 gsf		
Proposed New Building Areas/Occupancies:			
First floor:	2,278 gsf	Group B, Business	[93 gsf new]
Second floor:	3,998 gsf	Group B, Business	[53 gsf new]
Total bldg area (n):	6,276 gsf		[146 gsf new]
Proposed alteration work area < 50% building area.			
Height Limitation:	NS		
In FT abv Grade Plane (504.3):	40'		
In Stories abv Grade Plane (504.4):	2		
Allowable Area (Table 506.2):			
Group B Occupancy, tabular:	9,000 sf		
Bldg Element Fire Rating Reqts (Table 601):			
Primary Structural Frame:	0		
Bearing Walls - Exterior:	0		
Bearing Walls - Interior:	0		
Non-bearing Walls - Exterior:	*		
Non-bearing Walls - Interior:	0		
Floor Assembly:	0		
Roof Assembly:	0		
* No adjacent structures within 30', so no required rating at exterior bearing walls. (Table 705.5)			

Submittals

The following submittals are required:

Windows	Storefront, interior & exterior
Deferred Submittals:	Electrical, incl energy form for lighting via elec sub

Submittal Notes:

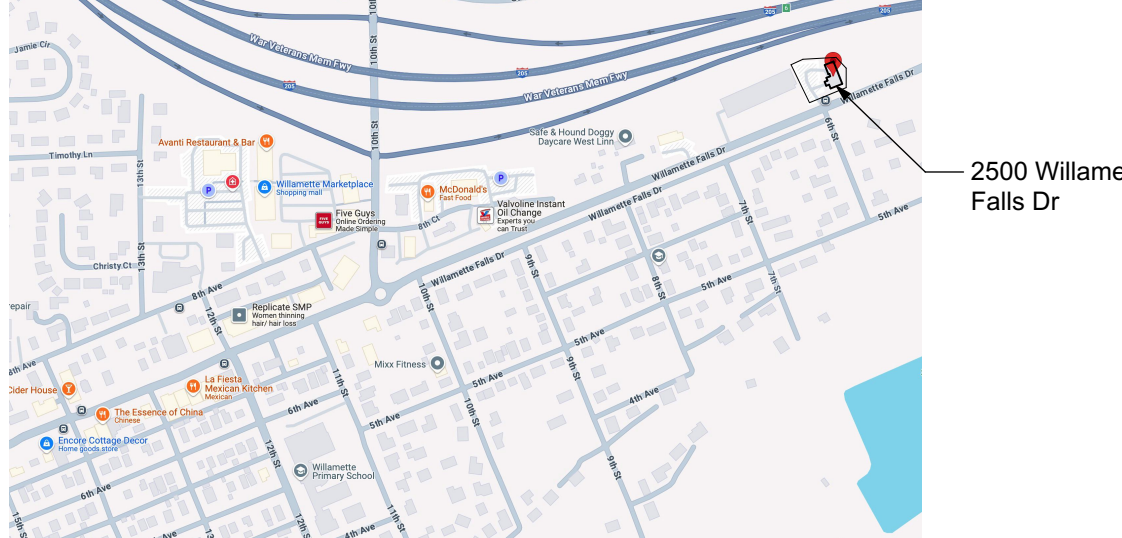
A. Types of Submittals: Provide types of submittals listed below. Transmit in pdf format to architect for review. Allow 7 business days for review by design team.
1. Shop drawings, reviewed and annotated by the Contractor.
2. Product data.
3. Samples, as required to indicate range of color, finish, and texture to be expected.
4. Inspection and test reports.
5. Warranties.

B. Submittal Procedures: Provide required re-submittals, if original submittals are not approved. Provide distribution of approved copies including modifications after submittals have been approved.

C. Samples and Shop Drawings: Samples and shop drawings shall be prepared specifically for this project. Shop drawings shall include dimensions and details, including adjacent construction and related work. Note special coordination required. Note any deviations from requirements of the Contract Documents.

D. Warranties: Provide warranties as specified; warranties shall not limit length of time for remedy of damages Owner may have by legal statute. Contractor, supplier or installer responsible for performance of warranty shall sign warranties.

Vicinity Map



SCOPE

PROPERTY:	2500 Willamette Falls Drive, West Linn, OR 97068
TAX LOT #:	21E35DD03600
ZONING:	GC, General Commercial
SCOPE:	Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. Improve existing toilets for accessibility. Existing rotting entry bridge is removed.

DEVELOPMENT STANDARDS

Setbacks		
Front	0'	20' max from arterial
Side	0'	0'
Rear	0'	0'
Max building height		3.5 stories or 45'
Max lot coverage		50%
Proposed scope of work does not challenge any of the dimensional development standards.		

Sheet Index

General - Cover, Code, Index		
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G002	Life Safety Plans - Existing	
G003	Life Safety Plans	

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Existing / Demolition		
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D102	Existing Demolition Upper Level Floor Plan	
D103	Existing Demolition Roof Plan	

Structural		
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S-1	Foundation Plan	
S-2	Floor Framing Plan	
S-3	Roof Framing Plan	
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Plans		
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Elevations		
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Details		
A501	Details	

Electrical		
E001	Electrical Lower Level Floor Plan	
E002	Electrical Upper Level Floor Plan	

CHRISTIE ARCHITECTURE

9532 SW 18th Place
Portland, OR 97219

503.756.6677

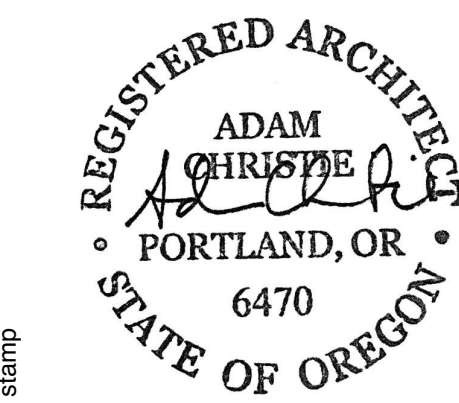
REVISIONS

#	Date	Description

PERMIT SET

REMODEL twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068



Proj Info, Notes, Abbvrs, Legend

G000

August 15, 2024

1 of 25

stamp drawing # drawing title sheet date

EXISTING CONDITIONS MAP

TAX LOT 3600, MAP 2S, 1E, 35DD
LOCATED IN THE S.E. 1/4 SECTION 35, T.2S., R.1E., W.M.
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON
MAY 16, 2024 SCALE 1"=10'

SURVEY NOTES:

THE DATUM FOR THIS SURVEY IS BASED UPON A STATIC GPS OBSERVATION OF LOCAL CONTROL POINTS, PROCESSED THROUGH OPUS. DATUM IS NAVD 88.
A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.
THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER PARTITION PLAT NO. 2018-022, RECORDS OF CLACKAMAS COUNTY.
THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.
NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.
NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

UTILITY NOTES:

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 24093085 DATED APRIL 23, 2024.
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.
INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.

LEGEND:

Some Symbols shown may not be used on map

- 12 DECIDUOUS TREE
- 24 EVERGREEN TREE
- DEAD TREE
- STORM SEWER MANHOLE
- CATCH BASIN
- CURB INLET
- AREA DRAIN
- DITCH INLET
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER MANHOLE
- WATER METER
- WATER VALVE
- HOSE BIB
- IRRIGATION CONTROL VALVE
- GAS VALVE
- GAS METER
- MAILBOX
- UTILITY RISER
- UTILITY BOX
- TELEPHONE MANHOLE
- TELEPHONE RISER
- STORM OUTFALL
- SIGN
- BOLLARD
- FOUND MONUMENT
- DOWN SPOUT TO STORM SYSTEM
- DOWN SPOUT TO SPLASH GUARD
- COLUMN
- END OF BIKE RACK
- TRAFFIC SIGNAL POLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC BOX
- ELECTRIC METER
- TRANSFORMER
- ELECTRIC RISER
- HEAT PUMP
- GATE POST
- CABLE TV BOX
- CABLE TV RISER
- OVERHEAD LINE
- GAS LINE
- ELECTRICAL LINE
- COMMUNICATIONS LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- WATER LINE
- FENCE LINE
- HANDRAIL
- HEDGEROW
- CONCRETE
- ASPHALT
- PAVERS
- GRAVEL
- FD = FOUND
- IP = IRON PIPE
- IR = IRON ROD
- YPC = YELLOW PLASTIC CAP
- ALC = ALUMINUM CAP
- RPC = RED PLASTIC CAP

REVISIONS

#	Date	Description

PERMIT SET

REMODEL
twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068

SIGNED ON: *ZOMAZA*
REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
JULY 13, 2004
TOBY G. BOLDEN
60377LS

RENEWS: DECEMBER 31, 2025

CENTERLINE CONCEPTS
LAND SURVEYING, INC.
19376 MOLALLA AVE., SUITE 120
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\TWENTY-FIVE HUNDRED-WILLAMETTE FALLS DR-2500\DWG\ECM-C30.dwg

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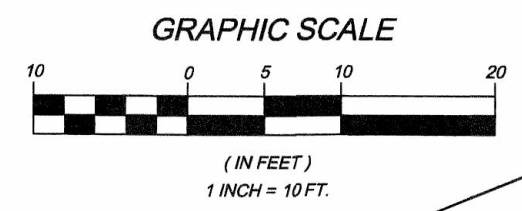
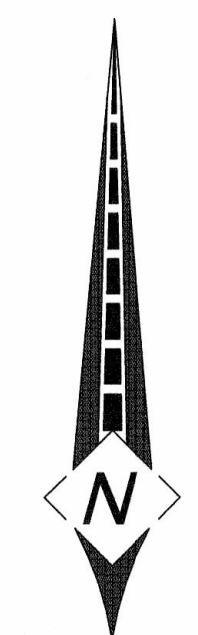
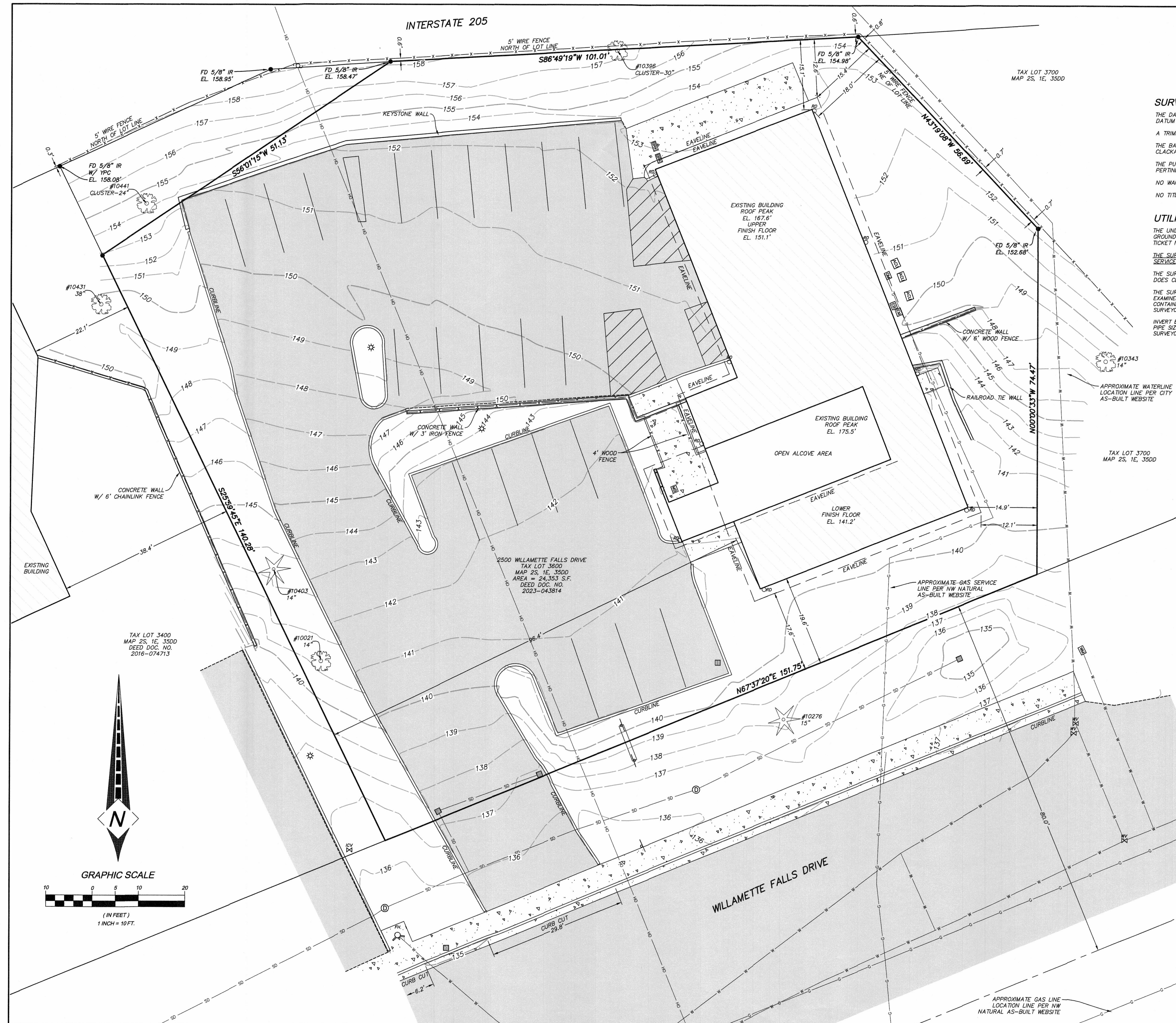


Site Survey (For Reference)

G001

August 15, 2024

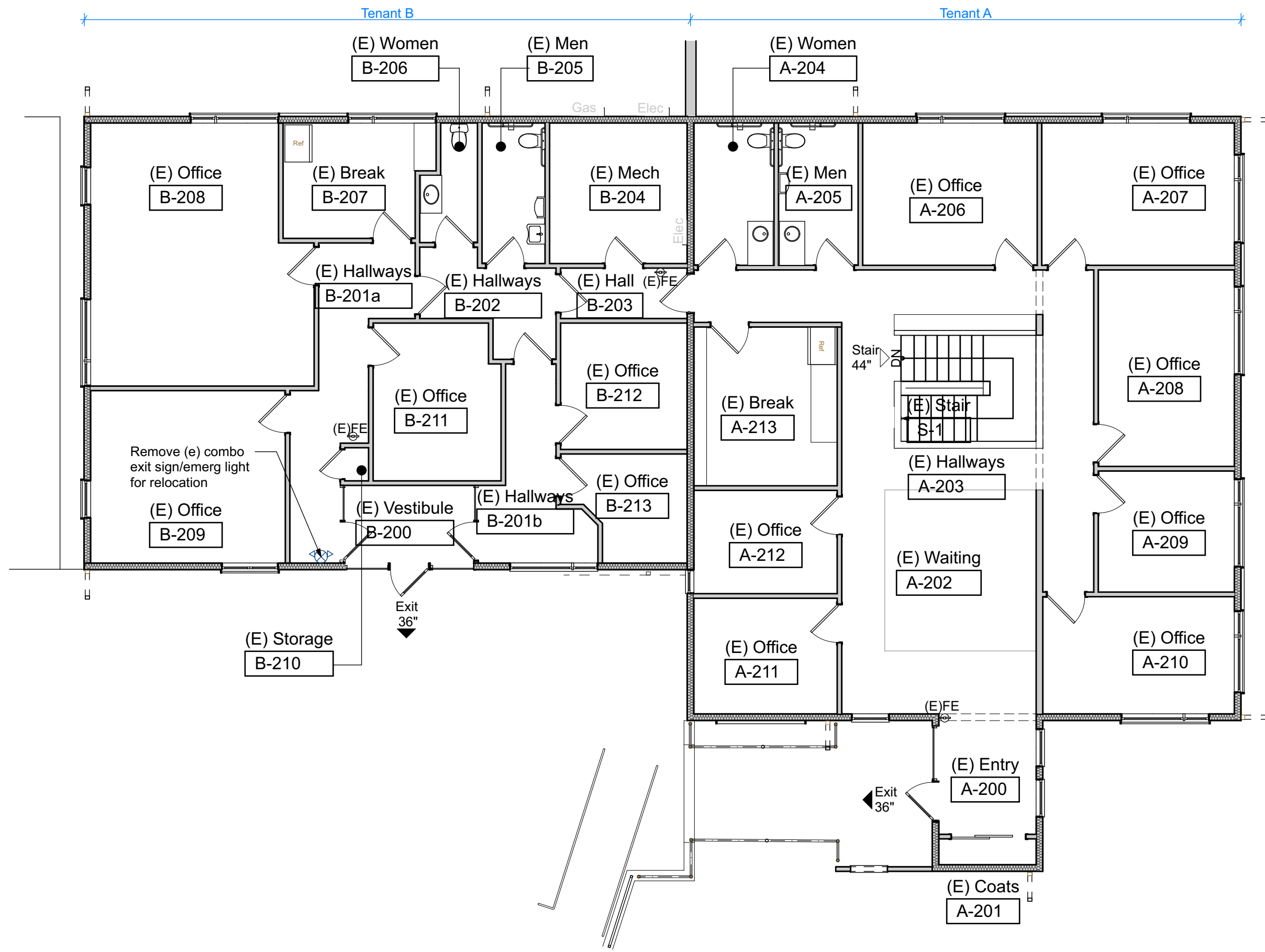
2 of 25



Occupant Load - Upper Level - Tenant A - Existing						
Occ Group	Rm #	Room	Area	Occ Use	Occ Load Factor	Occ # # Exits
B						
	A-201	(E) Coats	15.78	Accessory stor mech eqp 300	300	1 1
	A-202	(E) Waiting	154.28	Assembly w/out fixed unconcentrated tables chairs 15	15	11 1
	A-206	(E) Office	156.96	Business 150	150	2 1
	A-207	(E) Office	173.22	Business 150	150	2 1
	A-208	(E) Office	168.95	Business 150	150	2 1
	A-209	(E) Office	104.07	Business 150	150	1 1
	A-210	(E) Office	141.82	Business 150	150	1 1
	A-211	(E) Office	104.72	Business 150	150	1 1
	A-212	(E) Office	93.46	Business 150	150	1 1
	A-213	(E) Break	111.27	Assembly w/out fixed unconcentrated tables chairs 15	15	8 1
Not Occupied						
	A-200	(E) Entry	74.07	No Use Category	---	---
	A-203	(E) Hallways	427.91	No Use Category	---	---
	A-204	(E) Women	70.11	No Use Category	---	---
	A-205	(E) Men	71.53	No Use Category	---	---
	B-201a	(E) Hallways	132.97	No Use Category	---	---
					2,001.12 ft²	30

Occupant Load - Upper Level - Tenant B - Existing						
Occ Group	Rm #	Room	Area	Occ Use	Occ Load Factor	Occ # # Exits
B						
	B-204	(E) Mech	122.37	Accessory stor mech eqp 300	300	1 1
	B-207	(E) Break	88.80	Assembly w/out fixed unconcentrated tables c...	15	6 1
	B-208	(E) Office	344.67	Business 150	150	3 1
	B-209	(E) Office	212.19	Business 150	150	2 1
	B-210	(E) Storage	4.92	Accessory stor mech eqp 300	300	1 1
	B-211	(E) Office	124.26	Business 150	150	1 1
	B-212	(E) Office	100.94	Business 150	150	1 1
	B-213	(E) Office	72.71	Business 150	150	1 1
Not Occupied						
	B-200	(E) Vestibule	63.21	No Use Category	---	---
	B-201a	(E) Hallways	132.97	No Use Category	---	---
	B-201b	(E) Hallways	90.30	No Use Category	---	---
	B-202	(E) Hallways	67.22	No Use Category	---	---
	B-203	(E) Hall	40.21	No Use Category	---	---
	B-205	(E) Men	55.83	No Use Category	---	---
	B-206	(E) Women	36.60	No Use Category	---	---
					1,557.20 ft²	16

Occupant Load - Lower Level - Tenant A - Existing						
Occ Group	Rm #	Room	Area	Occ Use	Occ Load Factor	Occ # # Exits
B						
	A-103	(E) Storage	151.86	Accessory stor mech eqp 300	300	1 1
	A-104	(E) Office	321.13	Business 150	150	3 1
	A-105	(E) Coats	19.81	Accessory stor mech eqp 300	300	1 1
	A-106	(E) Office	100.69	Business 150	150	1 1
	A-107	(E) Office	104.07	Business 150	150	1 1
	A-108	(E) Office	168.95	Business 150	150	2 1
	A-109	(E) Office	183.11	Business 150	150	2 1
	A-110	(E) Office	119.58	Business 150	150	1 1
Not Occupied						
	A-100	(E) Hallways	556.75	No Use Category	---	---
	A-101	(E) Women	97.23	No Use Category	---	---
	A-102	(E) Men	75.61	No Use Category	---	---
	S-1	(E) Stair	112.80	No Use Category	---	---
					2,011.59 ft²	12



2 Upper Level Life Safety (Existing) Floor Plan
SCALE: 1/8" = 1'-0"

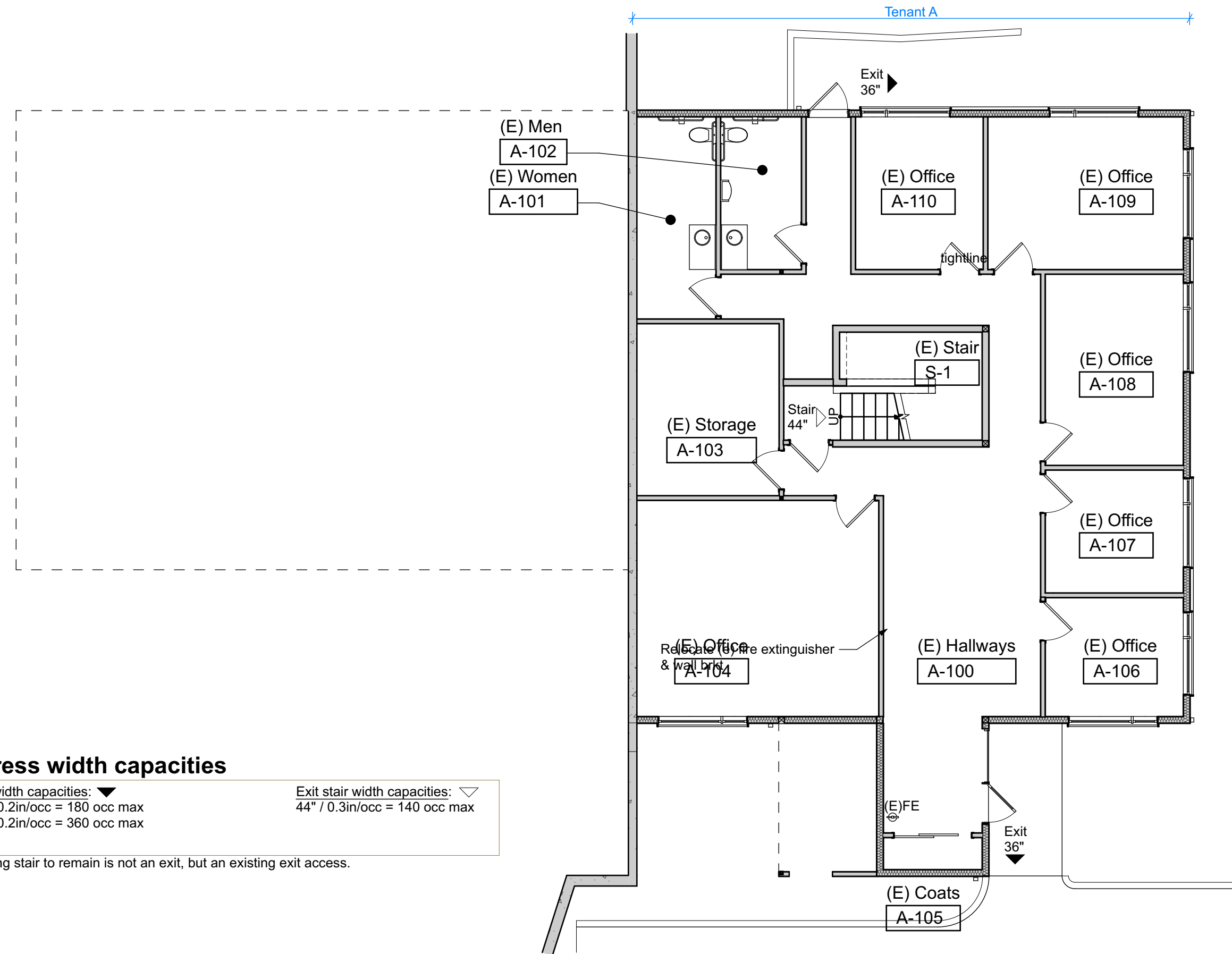
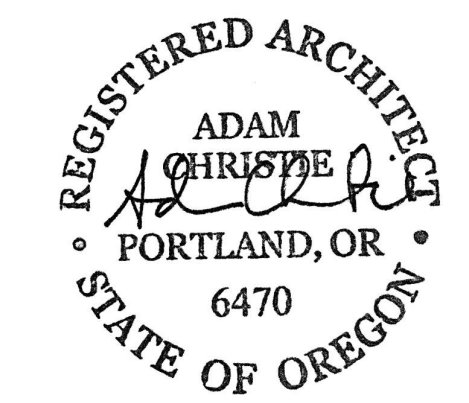
REVISIONS

#	Date	Description

PERMIT SET

REMODEL
twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068



1 Lower Level Life Safety (Existing) Floor Plan
SCALE: 1/8" = 1'-0"

Egress width capacities

Exit width capacities: ▼	Exit stair width capacities: ▼
36" / 0.2in/occ = 180 occ max	44" / 0.3in/occ = 140 occ max
72" / 0.2in/occ = 360 occ max	

Existing stair to remain is not an exit, but an existing exit access.

Life Safety Plans
- Existing

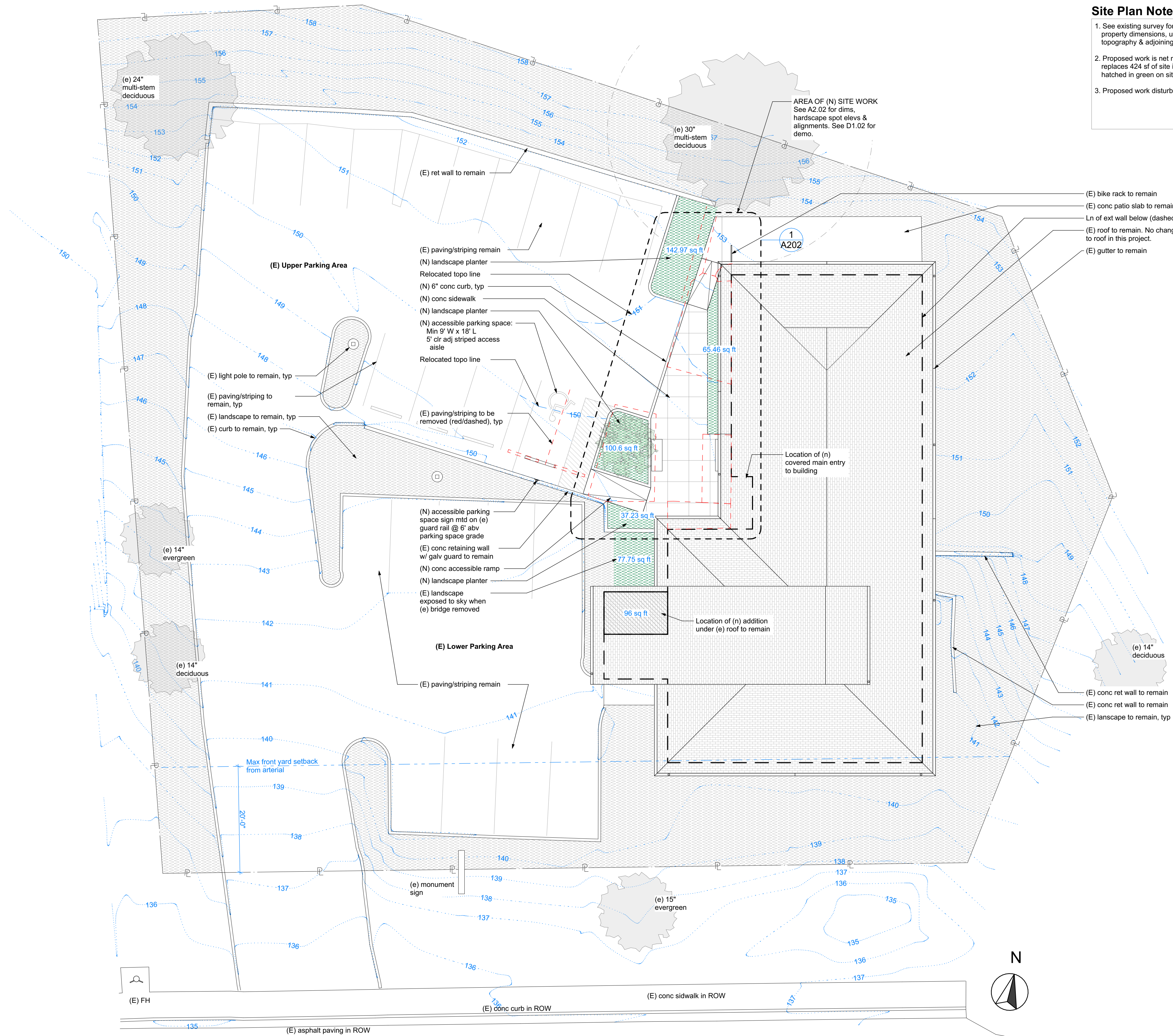
G002

August 15, 2024

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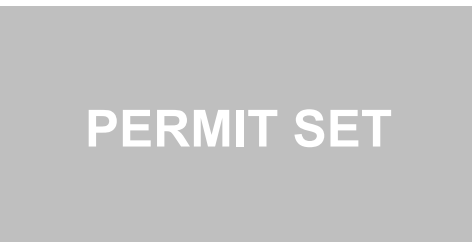
Site Plan Notes

1. See existing survey for additional existing site information, incl property dimensions, utility locations, site tree size/location, topography & adjoining property info.
2. Proposed work is net negative for site impervious area. It replaces 424 sf of site impervious area w/ (n) landscape. (Shown hatched in green on site plan.)
3. Proposed work disturbs less than 1,000sf of existing vegetation.



REVISIONS

#	Date	Description



**REMODEL
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2500 Willamette Falls Drive
West Linn, OR 97068



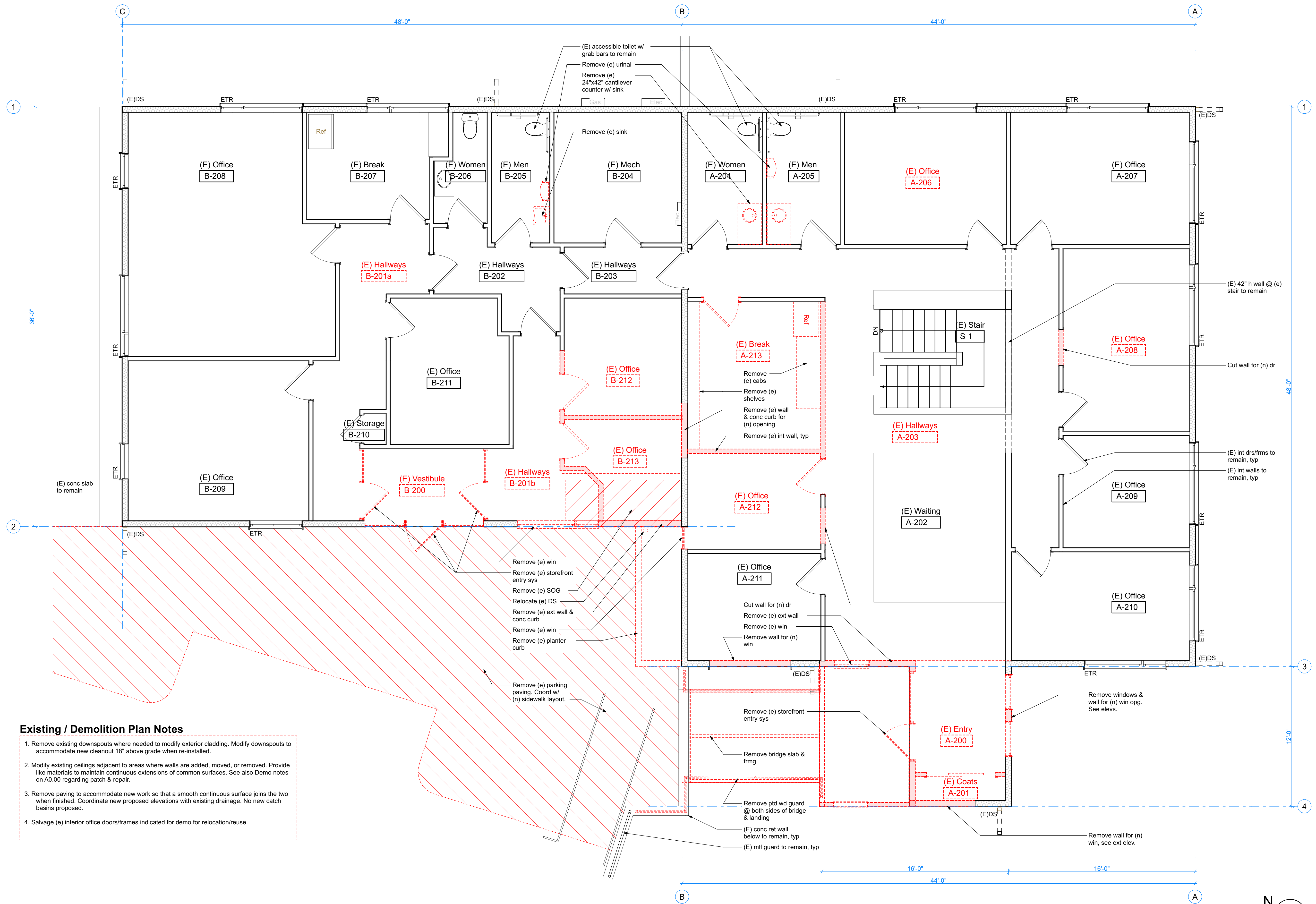
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sheet

Site Plan

A000

August 15, 2024

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Existing / Demolition Plan Notes

1. Remove existing downspouts where needed to modify exterior cladding. Modify downspouts to accommodate new cleanout 18" above grade when re-installed.
2. Modify existing ceilings adjacent to areas where walls are added, moved, or removed. Provide like materials to maintain continuous extensions of common surfaces. See also Demo notes on A0.00 regarding patch & repair.
3. Remove paving to accommodate new work so that a smooth continuous surface joins the two when finished. Coordinate new proposed elevations with existing drainage. No new catch basins proposed.
4. Salvage (e) interior office doors/frames indicated for demo for relocation/reuse.

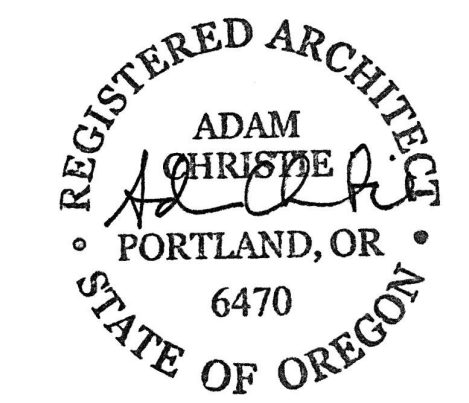
REVISIONS

#	Date	Description

PERMIT SET

**REMODEL
twentyfivehundred**

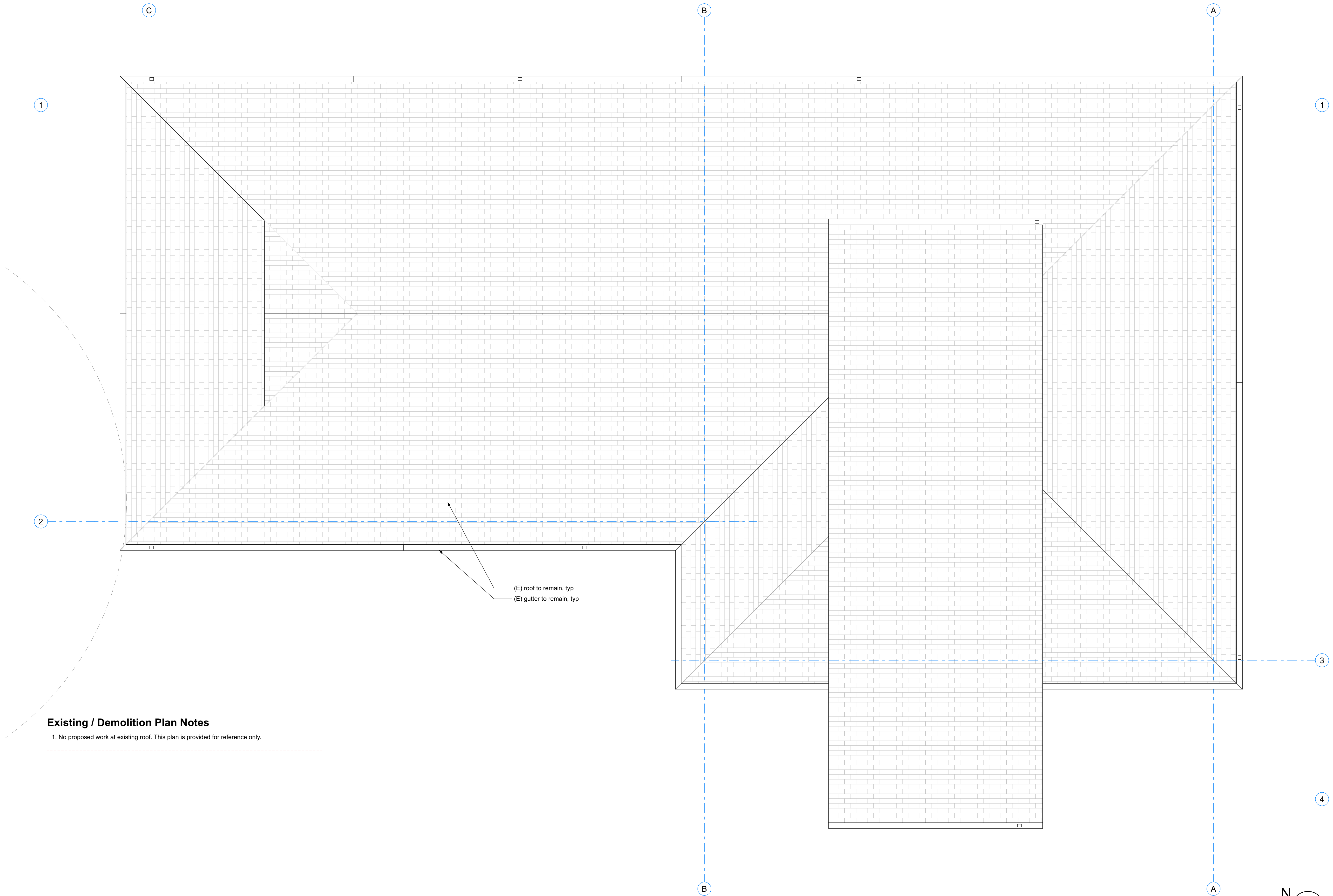
2500 Willamette Falls Drive
West Linn, OR 97068



Existing |
Demolition
Upper Level
Floor Plan

D102

August 15, 2024
7 of 25



REVISIONS

#	Date	Description

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**REMODEL
twentyfivehundred**

2500 Willamette Falls Drive
West Linn, OR 97068



stamp

Existing |
Demolition Roof
Plan

drawing title
D103

sheet date
August 15, 2024

drawing #
8 of 25

Existing / Demolition Plan Notes
1. No proposed work at existing roof. This plan is provided for reference only.

STRUCTURAL NOTES:

These plans are for a minor remodel to the TwentyFiveHundred commercial building located at 2500 Willamette Falls Drive in West Linn, Oregon. All new and existing components that carry new or increased loads have been designed in accordance with the 2022 Oregon Structural Specialty Code. Existing components to remain in place that do not carry any new or increased loads were not analyzed and may or may not conform to current code requirements. See architectural plans by Christie Architecture, LLC for all plan dimensions, finish details and all weatherproofing details. The project involves the following structural components:

- Adding a new recessed entry on the main level.
- Recapturing covered space at the NW corner creating new conference rooms on each floor.
- Removing some interior load-bearing walls.
- Reconfiguration of some windows which impact the lateral force resisting system.

All work is to be under the same roof footprint with no changes to the roof trusses or rafters.

Loading:

Roof: 17 psf DL + 25 psf Snow
 Floor - Office: 12 psf DL + 50 psf LL
 Exterior Walls: 12 psf DL
 Partitions: 8 psf DL
 Soil Bearing: 1,500 psf (assumed)
 Seismic: Seismic Design Category D
 $S_s = 0.834, S_1 = 0.376, S_{DS} = 0.667, \rho = 1.0$
 $R = 6.5$ for light wood framing

Wind: 98 mph 3-second gust, Exposure "B" simplified method per ASCE7-16

Existing Conditions:
 The contractor shall field verify all existing conditions, dimensions, and elevations. The contractor shall notify the Engineer of any discrepancies from conditions shown on the drawings prior to starting work.

Temporary Conditions:
 The contractor shall be responsible for structural stability during construction. The structure shown on the drawings has been designed for stability under the final configuration only.

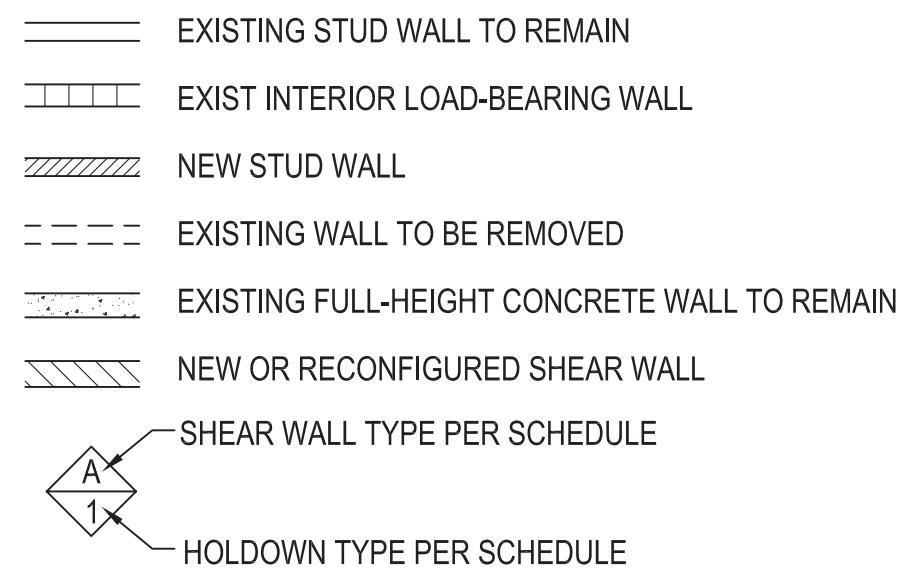
Concrete & Accessories:
 All mixing, placing and curing of concrete shall be in accordance with ACI 318. An air entraining agent conforming to ASTM C260 shall be used in all concrete with flat exterior surfaces exposed to the weather. The entrained air shall be 5 to 7% by volume.
 Concrete Design Strength:
 Footings: 2,500 psi, maximum slump 5" +/- 1"
 Slabs & Walls: 3,000 psi, maximum slump 4" +/- 1" Special inspection not required
 Reinforcing Steel: ASTM A615, Grade 60.
 Anchor Bolts: ASTM A307 unless noted otherwise. All bolts through pressure treated lumber shall be hot-dipped galvanized or stainless steel.
 Screw Anchors: Simpson Titen HD installed in accordance with ICC-ES-ESR-2713.
 Concrete Adhesive: Simpson SET-3G installed in accordance with ICC-ES ESR-4057.

Metals:
 Bolts: ASTM A307. Set bolts embedded in concrete prior to pouring concrete
 Threaded Rod: ASTM A307 typical

Wood:
 Sawn Lumber: Sawn lumber design is based on the National Design Specification. All framing nails shall be common nails. No box nails allowed. Sawn lumber shall conform to Western Wood Products Association grading rules as follows:
 Structural beams: DF #2 or better, kiln-dried unless noted otherwise
 Studs and wall plates: Stud grade or better, kiln-dried unless noted otherwise
 Pressure Treated Lumber: Hem Fir #2 or better. All wood in contact with concrete or masonry at interior locations protected from the weather such as mud sills and interior ledgers, shall be pressure treated with Sodium Borate (SBX/DOT) with retention level of 0.24. All wood at exterior locations such as decks, railings and ledgers shall be pressure treated with alkaline copper quat (ACQ) with retention level of 0.25. All fasteners and framing hardware through in or contact with ACQ treated lumber shall be stainless steel or hot-dipped galvanized.
 Misc. blocking: Standard or better unless noted otherwise
 Glue-laminated Lumber: 24F-V4 DF/DF beams
 Framing Accessories: Simpson Strong-Tie or approved equivalent
 Plywood Panels: APA rated plywood or oriented strand board sheathing.

Special Inspections:
 In accordance with Section 1704 of the OSSC. Inspections are to be performed by an approved independent testing laboratory employed by the owner for the following areas of work:
 1. All dowels and anchor bolts in adhesive. Inspection to be continuous.

WALL KEY



SHEAR WALL SCHEDULE:

TYPE	SHEATHING	EDGE NAILING	CAPACITY	PLATE ATTACHMENTS	
				ANCHOR BOLTS	NAILING
A0	1 ⁵ / ₃₂ " APA-RATED 1-SIDE	8d @ 6" O/C	130 SEIS 182 WIND	5/8" Ø @ 4'-0" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 24" O/C
A	1 ⁵ / ₃₂ " APA-RATED 1-SIDE	8d @ 6" O/C	230 SEIS 316 WIND	5/8" Ø @ 4'-0" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 16" O/C
B	1 ⁵ / ₃₂ " APA-RATED 1-SIDE	8d @ 4" O/C	380 SEIS 396 WIND	5/8" Ø @ 2'-8" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 16" O/C

SHEAR WALL NOTES:

- Provide blocking at all panel edges except not required on shear wall type "A0".
- All field nailing shall be @ 12" on center using same nails as edge nailing.
- All sheathing shall be APA rated plywood.
- Minimum of 2 anchor bolts in each length of shear wall.
- Provide galvanized plate washers on anchor bolts in shear walls per schedule.
- At existing shear walls, verify, sheathing, nailing, blocking & anchor bolts. Add new sheathing, nailing, blocking and anchor bolts as required.
- Only the new or reconfigured shear walls are called out on the floor plans. Existing shear walls with no changes are to remain in place.

HOLDOWN SCHEDULE

TYPE	HOLDOWN	CAPACITY	ATTACHMENT	REMARKS
--	NONE REQUIRED			
1	CS16 x 42" STRAP	1,705 lb	(20) 10d NAILS	ATTACH TO 2x STUD
2	MSTC40 STRAP	3,070 lb	(32) 16d NAILS	ATTACH TO DBL 2x STUD
3	SIMPSON HDU2 HOLDDOWN ON EXISTING WALL	3,070 lb	5/8" Ø THREADED ROD EMBED 10" IN ADHESIVE	ATTACH TO DBL 2x STUD w/ (6) SDS 1/4"x2 1/2" SCREWS
4	SIMPSON HDU2 HOLDDOWN ON NEW WALL	2,550 lb SEIS 3,075 lb WIND	SIMPSON SSTB16 BOLT	ATTACH TO DBL 2x STUD w/ (6) SDS 1/4"x2 1/2" SCREWS
5	SIMPSON HDU4 HOLDDOWN ON EXISTING WALL	3,875 lb	5/8" Ø THREADED ROD EMBED 10" IN ADHESIVE	ATTACH TO DBL 2x STUD w/ (10) SDS 1/4"x2 1/2" SCREWS
6	SIMPSON HDU4 HOLDDOWN ON NEW WALL	4,565 lb	SIMPSON SB5 5/8"x24 BOLT	ATTACH TO DBL 2x STUD w/ (10) SDS 1/4"x2 1/2" SCREWS

HOLDOWN NOTES:

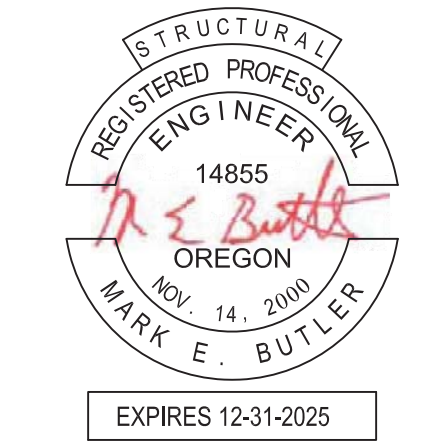
- Install all hardware with specified fasteners in accordance with Simpson installation instructions.
- Special inspection required for all threaded rods in adhesive.

CHRISTIE ARCHITECTURE

9532 SW 18th Place
 Portland, OR 97219
 503-490-5472

Butler Consulting, Inc.

12501 SE Scott Creek Lane
 Happy Valley, Oregon 97086
 (503) 658-0200
 mark@bcengineering.com



Permit Set

TwentyFiveHundred Remodel
 2500 Willamette Falls Drive
 West Linn, Oregon

NOTES & SCHEDULES

S-0

1/4" = 1'-0"

August 15, 2024

STRUCTURAL NOTES:

These plans are for a minor remodel to the TwentyFiveHundred commercial building located at 2500 Willamette Falls Drive in West Linn, Oregon. All new and existing components that carry new or increased loads have been designed in accordance with the 2022 Oregon Structural Specialty Code. Existing components to remain in place that do not carry any new or increased loads were not analyzed and may or may not conform to current code requirements. See architectural plans by Christie Architecture, LLC for all plan dimensions, finish details and all weatherproofing details. The project involves the following structural components:

- Adding a new recessed entry on the main level.
- Recapturing covered space at the NW corner creating new conference rooms on each floor.
- Removing some interior load-bearing walls.
- Reconfiguration of some windows which impact the lateral force resisting system.

All work is to be under the same roof footprint with no changes to the roof trusses or rafters.

Loading:
 Roof: 17 psf DL + 25 psf Snow
 Floor - Office: 12 psf DL + 50 psf LL
 Exterior Walls: 12 psf DL
 Partitions: 8 psf DL
 Soil Bearing: 1,500 psf (assumed)
 Seismic: Seismic Design Category D
 $S_s = 0.834$, $S_1 = 0.376$, $S_{25} = 0.667$, $\rho = 1.0$
 $R = 6.5$ for light wood framing
 Wind: 98 mph 3-second gust, Exposure "B" simplified method per ASCE7-16

Existing Conditions:
 The contractor shall field verify all existing conditions, dimensions, and elevations. The contractor shall notify the Engineer of any discrepancies from conditions shown on the drawings prior to starting work.

Temporary Conditions:
 The contractor shall be responsible for structural stability during construction. The structure shown on the drawings has been designed for stability under the final configuration only.

Concrete & Accessories:
 All mixing, placing and curing of concrete shall be in accordance with ACI 318. An air entraining agent conforming to ASTM C260 shall be used in all concrete with flat exterior surfaces exposed to the weather. The entrained air shall be 5 to 7% by volume.
Concrete Design Strength:
 Footings: 2,500 psi, maximum slump 5" +/- 1"
 Slabs & Walls: 3,000 psi, maximum slump 4" +/- 1" Special Inspection not required
 Reinforcing Steel: ASTM A615, Grade 60.
 Anchor Bolts: ASTM A307 unless noted otherwise. All bolts through pressure treated lumber shall be hot-dipped galvanized or stainless steel.
 Screw Anchors: Simpson Titen HD installed in accordance with ICC-ES ESR-2713.
 Concrete Adhesive: Simpson SET-3G installed in accordance with ICC-ES ESR-4057.

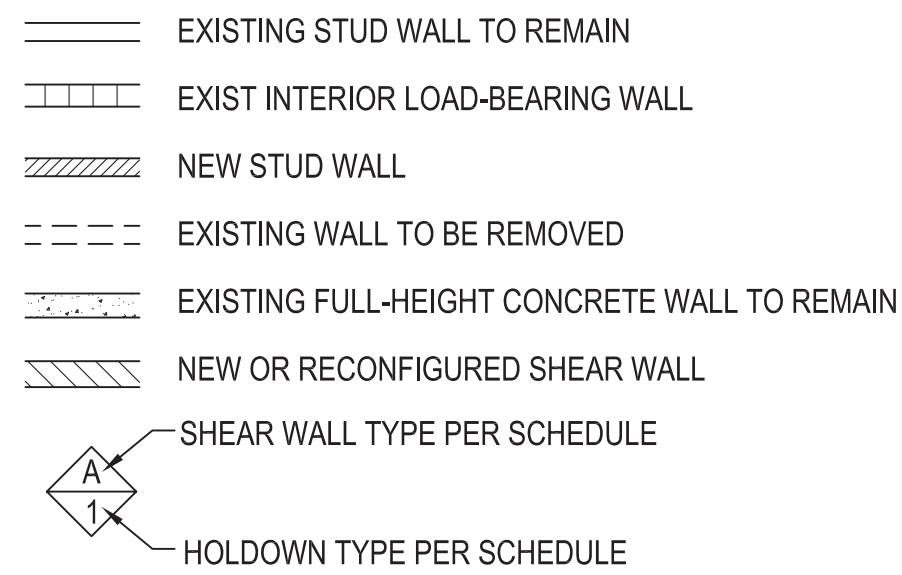
Metals:
 Bolts: ASTM A307. Set bolts embedded in concrete prior to pouring concrete
 Threaded Rod: ASTM A307 typical

Wood:
 Sawn Lumber: Sawn lumber design is based on the National Design Specification. All framing nails shall be common nails. No box nails allowed. Sawn lumber shall conform to Western Wood Products Association grading rules as follows:
 Structural beams: DF #2 or better, kiln-dried unless noted otherwise
 Studs and wall plates: Stud grade or better, kiln-dried unless noted otherwise
 Pressure Treated Lumber: Hem Fir #2 or better. All wood in contact with concrete or masonry at interior locations protected from the weather such as mud sills and interior ledgers, shall be pressure treated with Sodium Borate (SBX/DOT) with retention level of 0.24. All wood at exterior locations such as decks, railings and ledgers shall be pressure treated with alkaline copper quat (ACQ) with retention level of 0.25. All fasteners and framing hardware through in or contact with ACQ treated lumber shall be stainless steel or hot-dipped galvanized.
 Standard or better unless noted otherwise
 Misc. blocking: Standard or better unless noted otherwise
 Glue-laminated Lumber: 24F-V4 DF/DF beams
 Framing Accessories: Simpson Strong-Tie or approved equivalent
 Plywood Panels: APA rated plywood or oriented strand board sheathing.

Special Inspections:
 In accordance with Section 1704 of the OSSC. Inspections are to be performed by an approved independent testing laboratory employed by the owner for the following areas of work:

- All dowels and anchor bolts in adhesive. Inspection to be continuous.
- Wood shear wall sheathing with edge nailing spaced 4" or less. Inspection may be periodic.

WALL KEY



SHEAR WALL SCHEDULE:

TYPE	SHEATHING	EDGE NAILING	CAPACITY	PLATE ATTACHMENTS	
				ANCHOR BOLTS	NAILING
A0	1 5/32" APA-RATED 1-SIDE	8d @ 6" O/C	130 SEIS 182 WIND	5/8" Ø @ 4'-0" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 24" O/C
A	1 5/32" APA-RATED 1-SIDE	8d @ 6" O/C	230 SEIS 316 WIND	5/8" Ø @ 4'-0" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 16" O/C
B	1 5/32" APA-RATED 1-SIDE	8d @ 4" O/C	380 SEIS 396 WIND	5/8" Ø @ 2'-8" O/C w/ 0.229" x 3" x 3" PL WASHERS	16d @ 6" O/C + A34 @ 16" O/C

SHEAR WALL NOTES:

- Provide blocking at all panel edges except not required on shear wall type "A0".
- All field nailing shall be @ 12" on center using same nails as edge nailing.
- All sheathing shall be APA rated plywood.
- Minimum of 2 anchor bolts in each length of shear wall.
- Provide galvanized plate washers on anchor bolts in shear walls per schedule.
- At existing shear walls, verify, sheathing, nailing, blocking & anchor bolts. Add new sheathing, nailing, blocking and anchor bolts as required.
- Only the new or reconfigured shear walls are called out on the floor plans. Existing shear walls with no changes are to remain in place.

HOLDOWN SCHEDULE

TYPE	HOLDOWN	CAPACITY	ATTACHMENT	REMARKS
--	NONE REQUIRED			
1	CS16 x 42" STRAP	1,705 lb	(20) 10d NAILS	ATTACH TO 2x STUD
2	MSTC40 STRAP	3,070 lb	(32) 16d NAILS	ATTACH TO DBL 2x STUD
3	SIMPSON HDU2 HOLDDOWN ON EXISTING WALL	3,070 lb	5/8" Ø THREADED ROD EMBED 10" IN ADHESIVE	ATTACH TO DBL 2x STUD w/ (6) SDS 5/8x2 1/2 SCREWS
4	SIMPSON HDU2 HOLDDOWN ON NEW WALL	2,550 lb SEIS 3,075 lb WIND	SIMPSON S5TB16 BOLT	ATTACH TO DBL 2x STUD w/ (6) SDS 5/8x2 1/2 SCREWS
5	SIMPSON HDU4 HOLDDOWN ON EXISTING WALL	3,875 lb	5/8" Ø THREADED ROD EMBED 10" IN ADHESIVE	ATTACH TO DBL 2x STUD w/ (10) SDS 5/8x2 1/2 SCREWS
6	SIMPSON HDU4 HOLDDOWN ON NEW WALL	4,565 lb	SIMPSON SB5 5/8x24 BOLT	ATTACH TO DBL 2x STUD w/ (10) SDS 5/8x2 1/2 SCREWS

HOLDOWN NOTES:

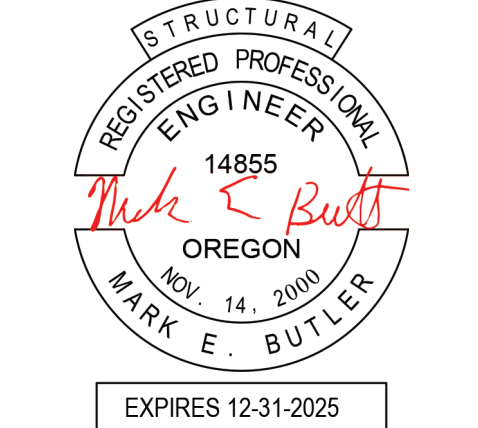
- Install all hardware with specified fasteners in accordance with Simpson installation instructions.
- Special Inspection required for all threaded rods in adhesive.

CHRISTIE ARCHITECTURE

9532 SW 18th Place
 Portland, OR 97219
 503-490-5472

Butler Consulting, Inc.

12501 SE Scott Creek Lane
 Happy Valley, Oregon 97086
 (503) 658-0200
 mark@bciengineering.com



REVISIONS

#	Description	Date
1	Checkshht Resp	9/20/24

Permit Set

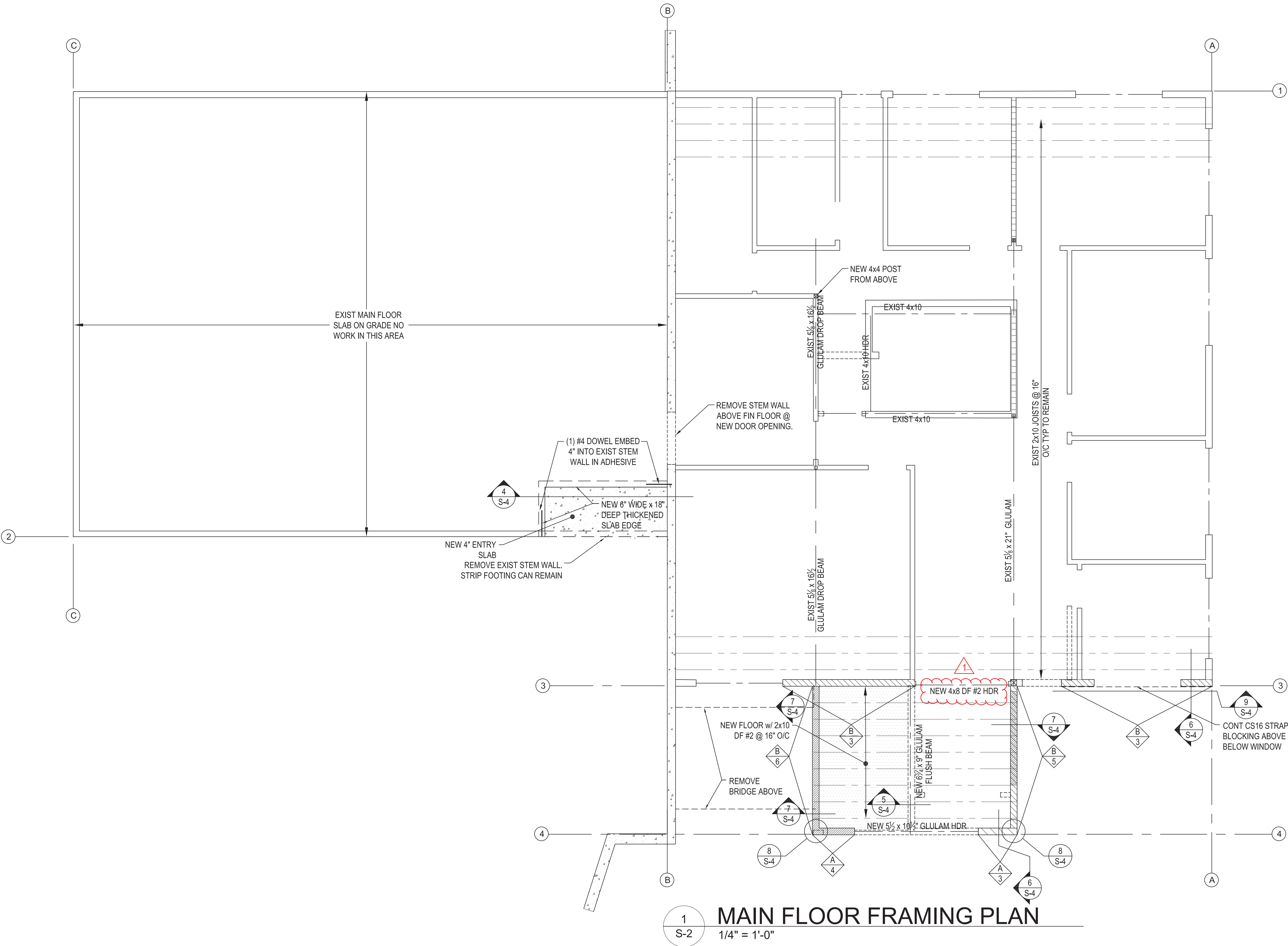
TwentyFiveHundred Remodel
 2500 Willamette Falls Drive
 West Linn, Oregon

NOTES & SCHEDULES

S-0

1/4" = 1'-0"

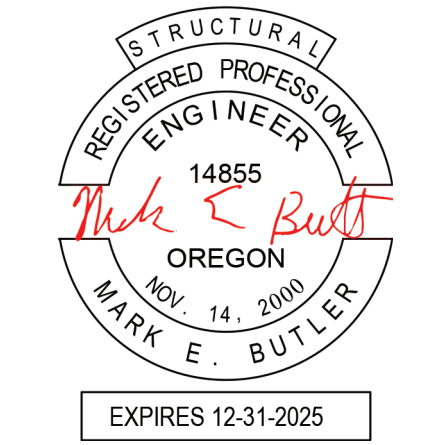
August 15, 2024



1
S-2 MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"

CHRISTIE ARCHITECTURE
9532 SW 18th Place
Portland, OR 97219
503-490-5472

Butler Consulting, Inc.
12501 SE Scott Creek Lane
Happy Valley, Oregon 97086
(503) 658-0200
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REVISIONS

#	Description	Date
1	Checkshl Resp	9/20/24

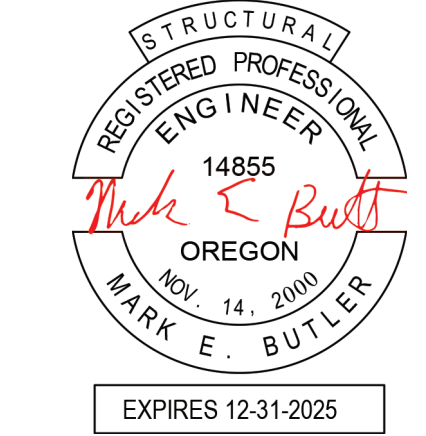
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FLOOR FRAMING PLAN

S-2

1/4" = 1'-0"
August 15, 2024



#	Description	Date
1	Checkshl Resp	9/20/24

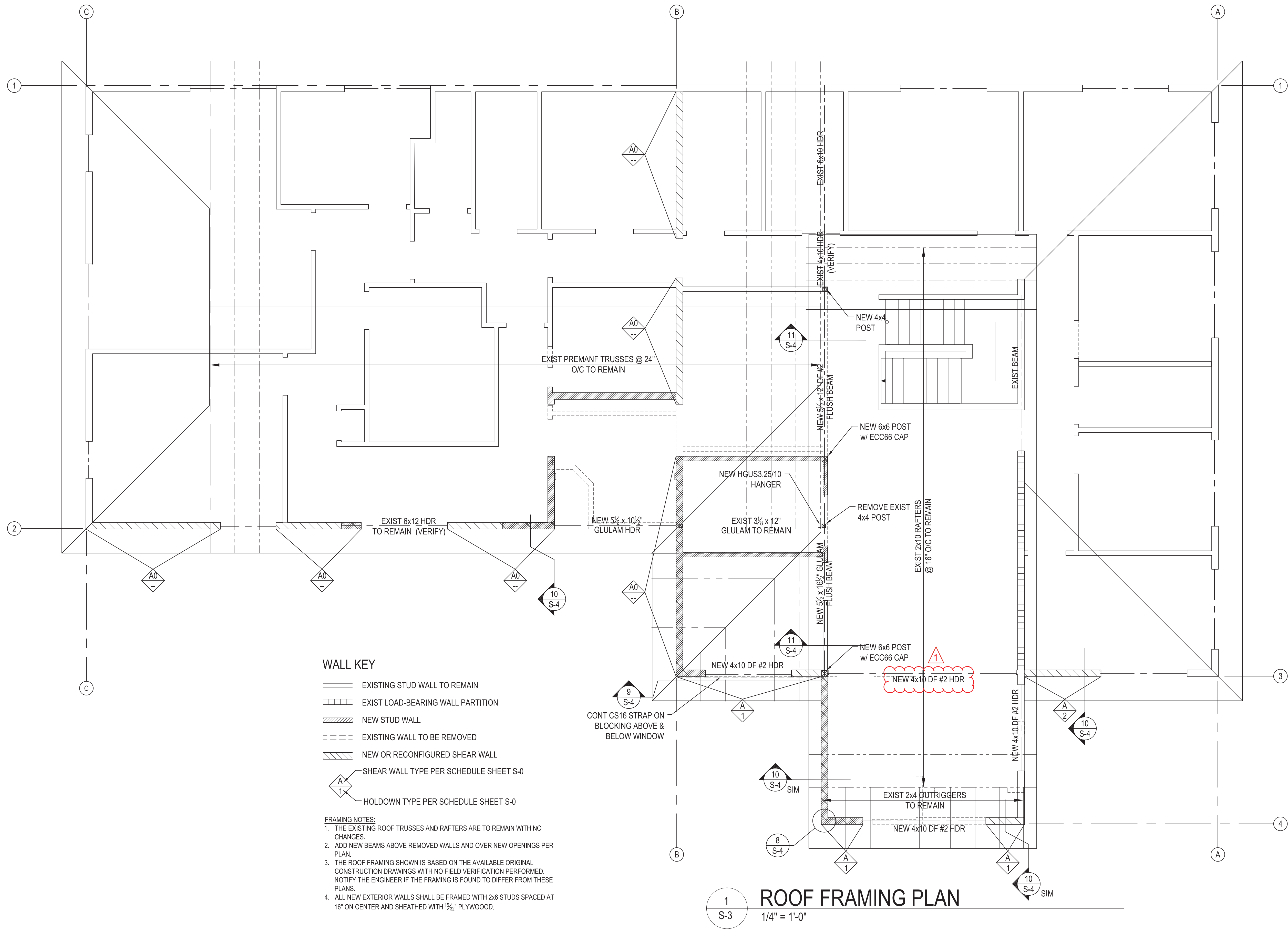
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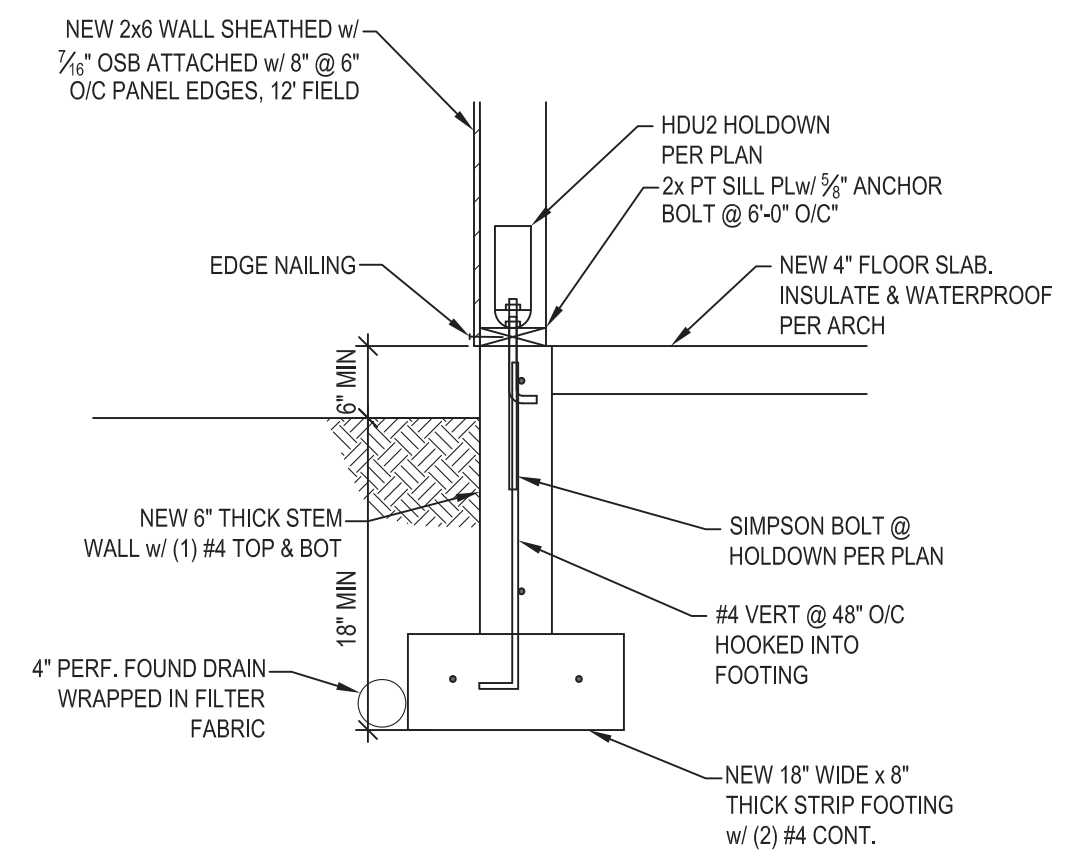
TwentyFiveHundred
Remodel
2500 Willamette Falls Drive
West Linn, Oregon

ROOF FRAMING PLAN

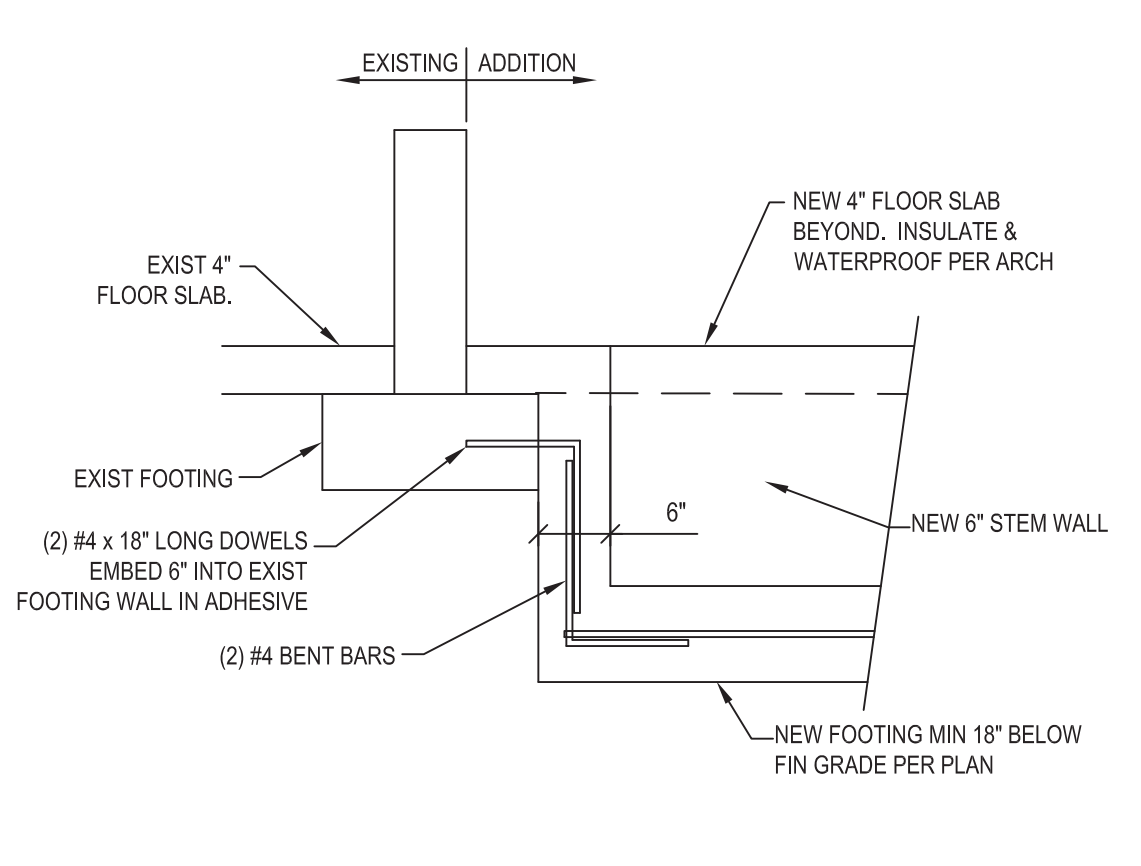
S-3

1/4" = 1'-0"
August 15, 2024

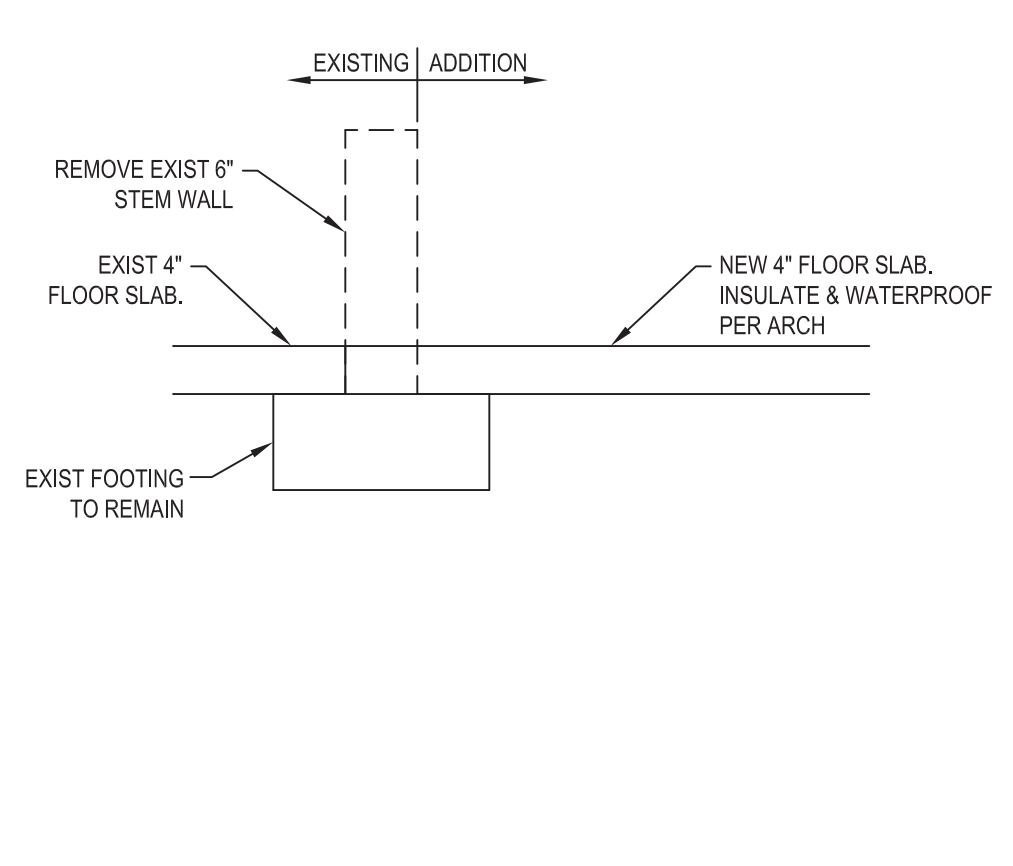




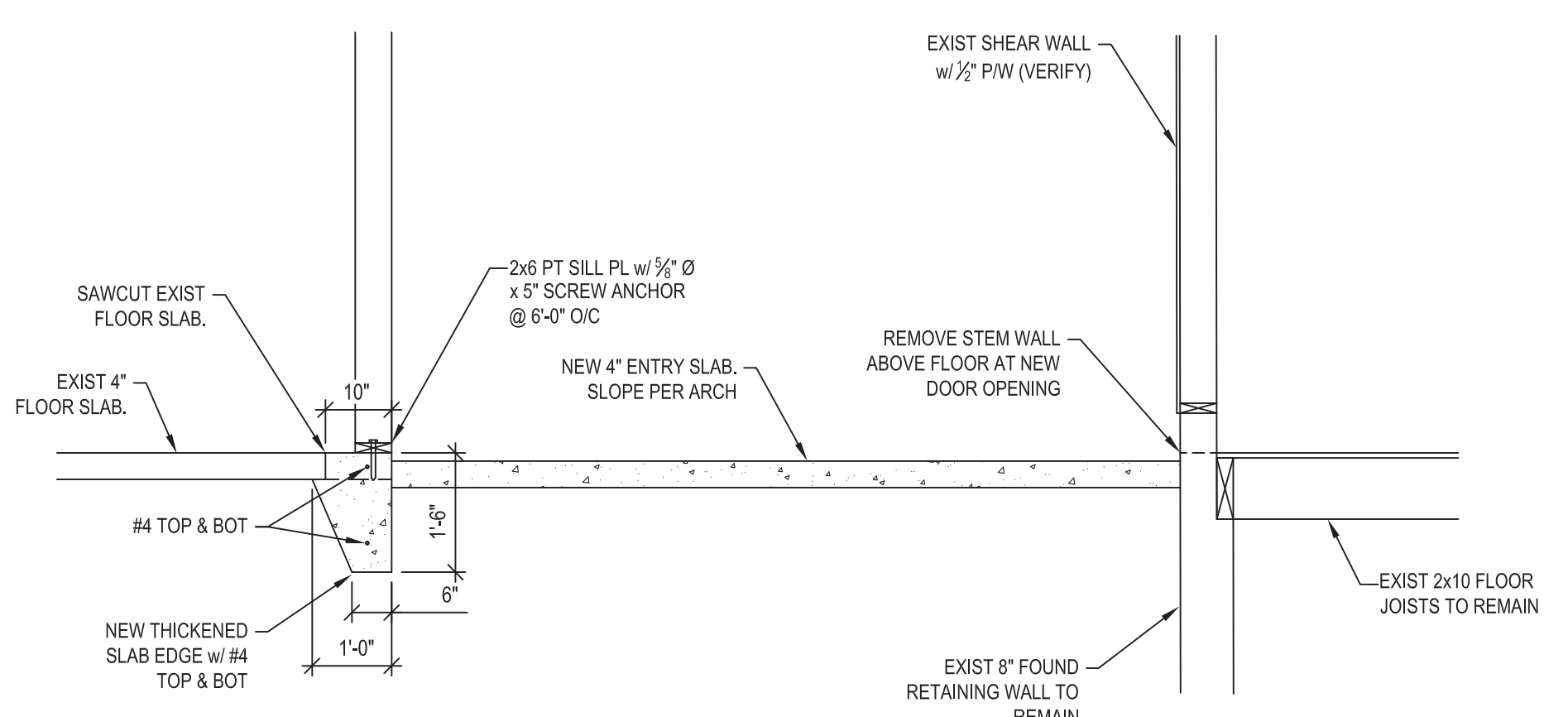
1 NEW STRIP FOOTING
S-4 3/4" = 1'-0"



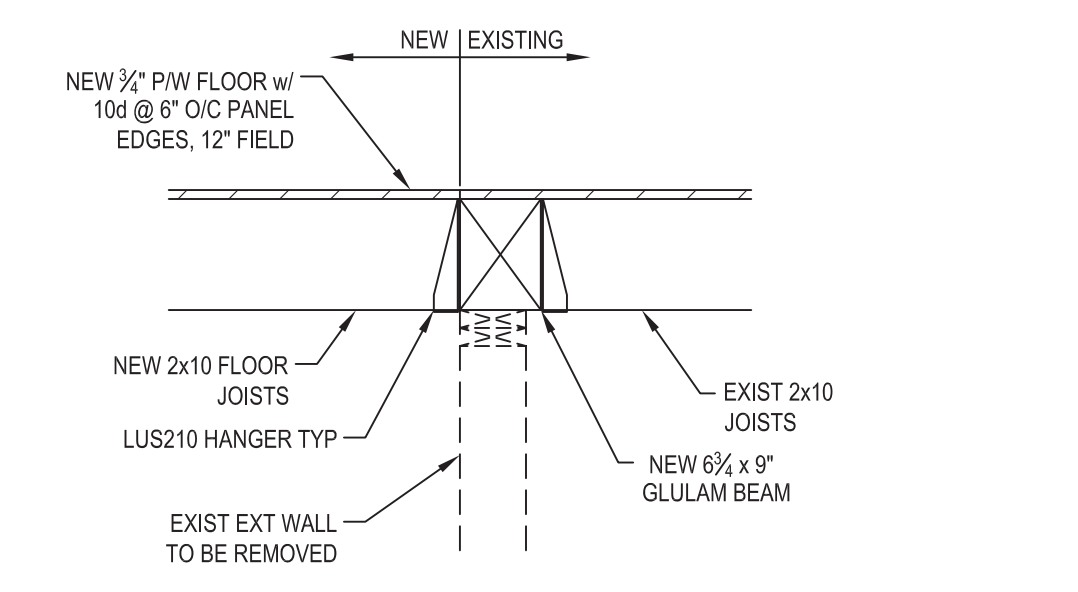
2 NEW FOOTING @ EXISTING
S-4 3/4" = 1'-0"



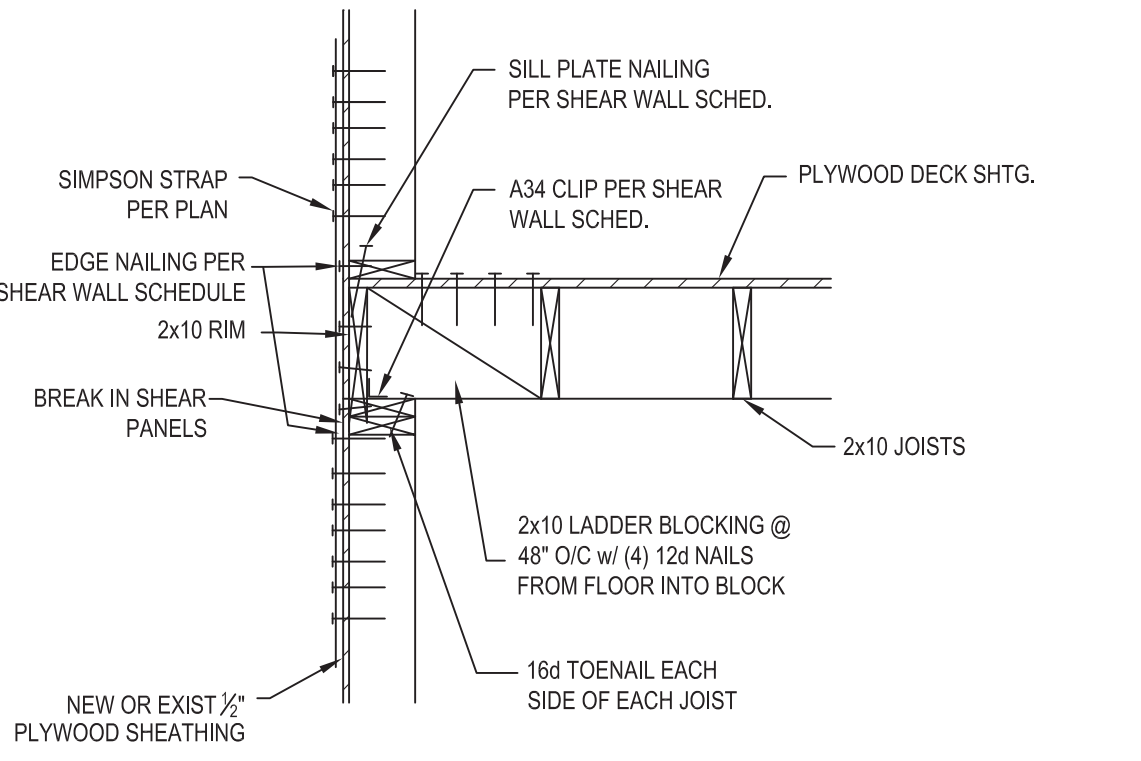
3 NEW FLOOR @ EXISTING
S-4 3/4" = 1'-0"



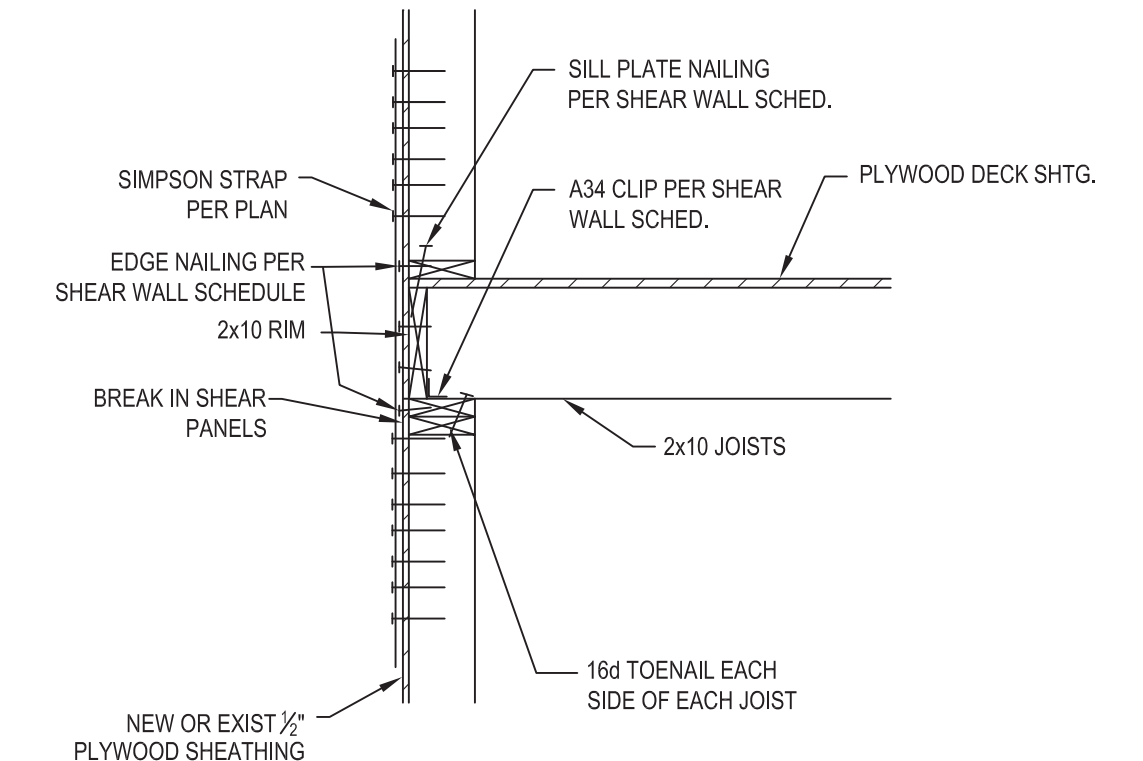
4 NEW ENTRY FLOOR SECTION
S-4 3/4" = 1'-0"



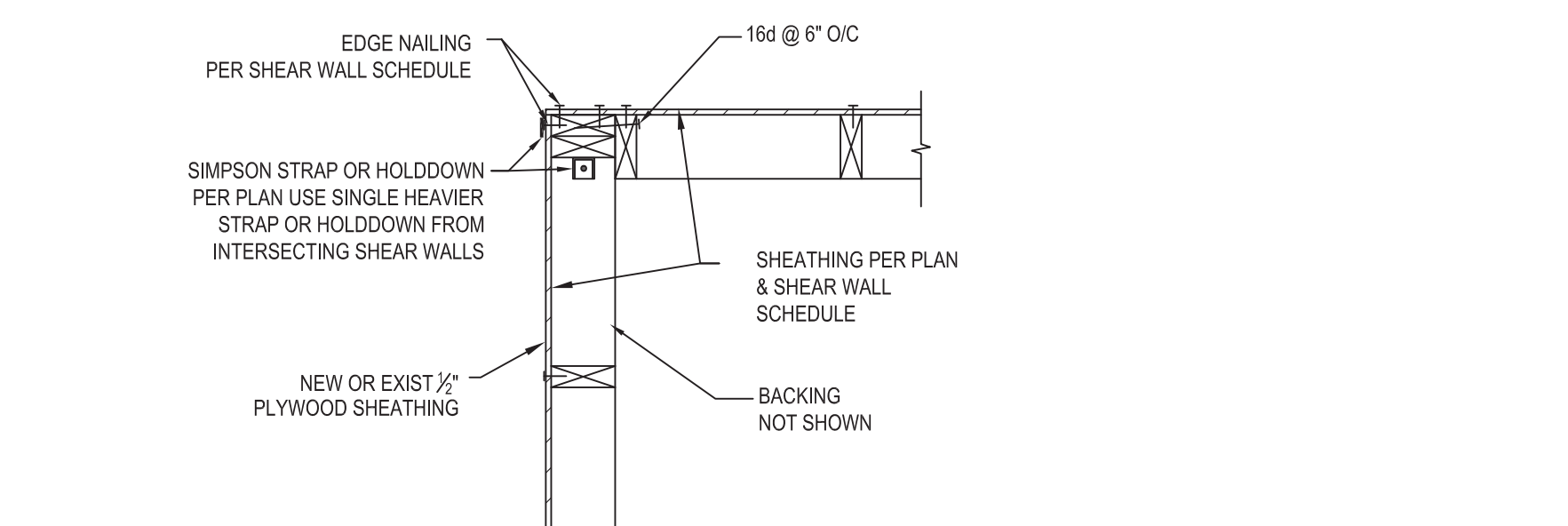
5 FLUSH BEAM
S-4 3/4" = 1'-0"



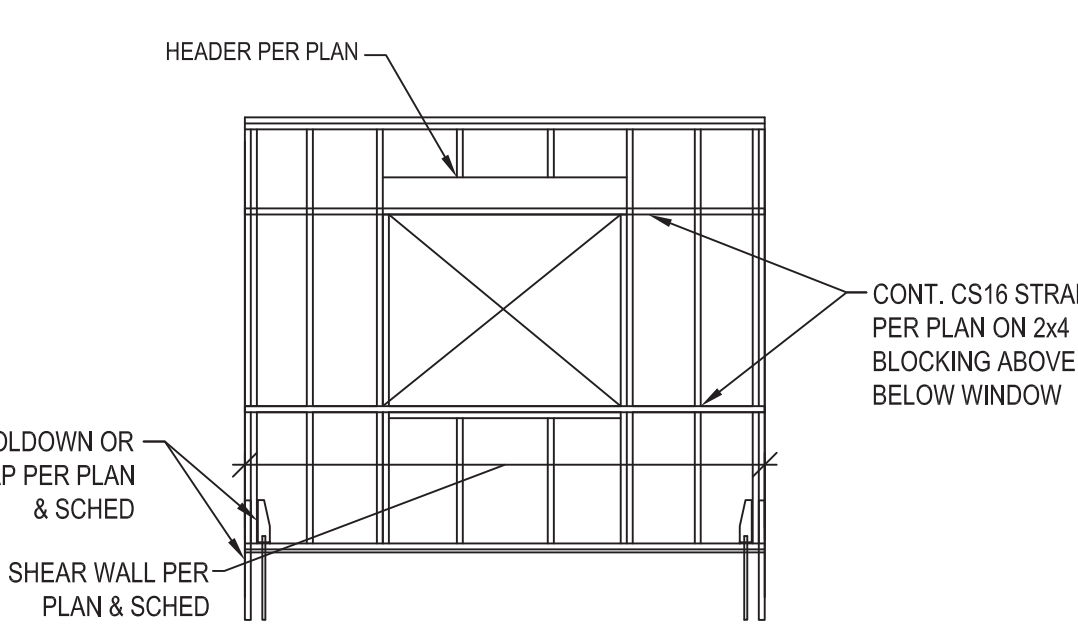
6 TYP EXT. SHEAR WALL
S-4 3/4" = 1'-0"



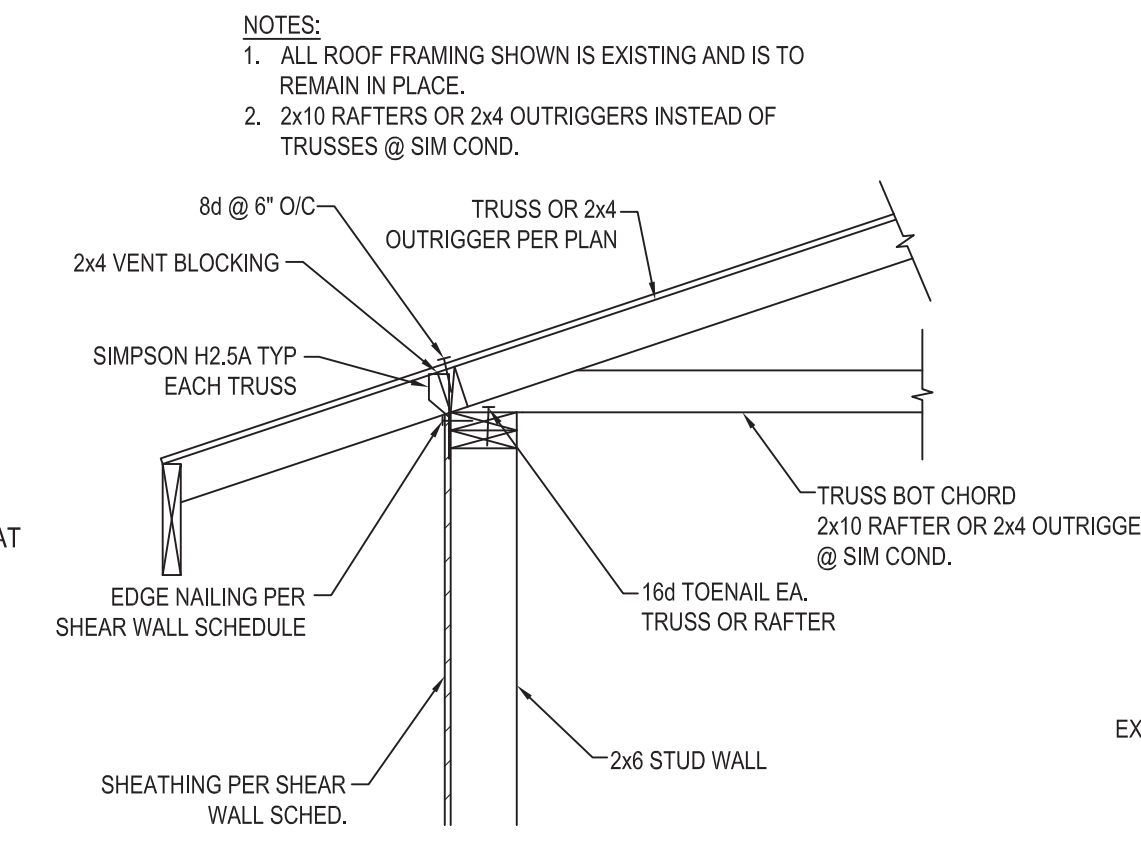
7 TYP EXT. SHEAR WALL
S-4 3/4" = 1'-0"



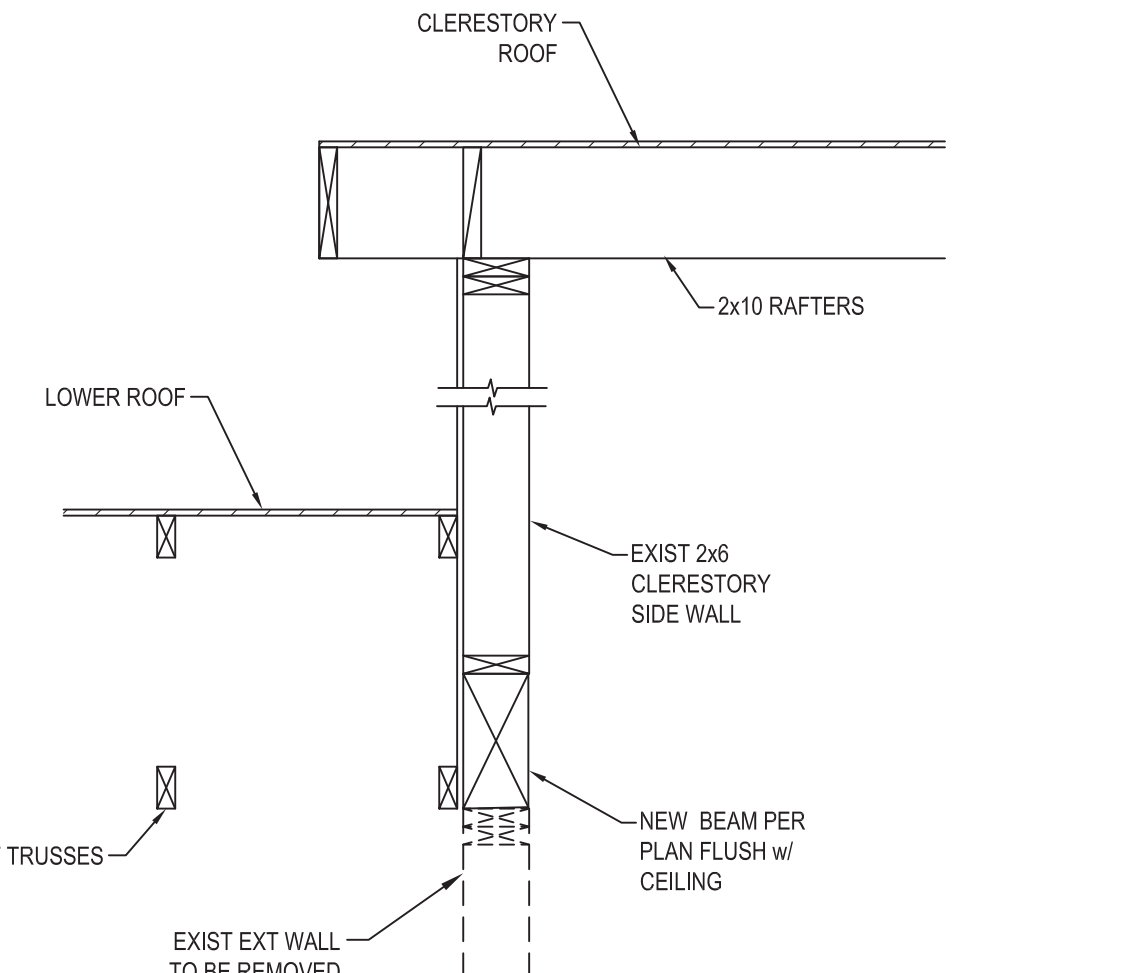
8 TYP SHEAR WALL CORNER
S-4 3/4" = 1'-0"



9 SHEAR WALL STRAPPING
S-4 1/4" = 1'-0"



10 TYP SHEAR WALL @ EAVE
S-4 3/4" = 1'-0"



11 BEAM @ CLERESTORY
S-4 3/4" = 1'-0"

NOTES:
1. ALL ROOF FRAMING SHOWN IS EXISTING AND IS TO REMAIN IN PLACE.
2. 2x10 RAFTERS OR 2x4 OUTRIGGERS INSTEAD OF TRUSSES @ SIM COND.

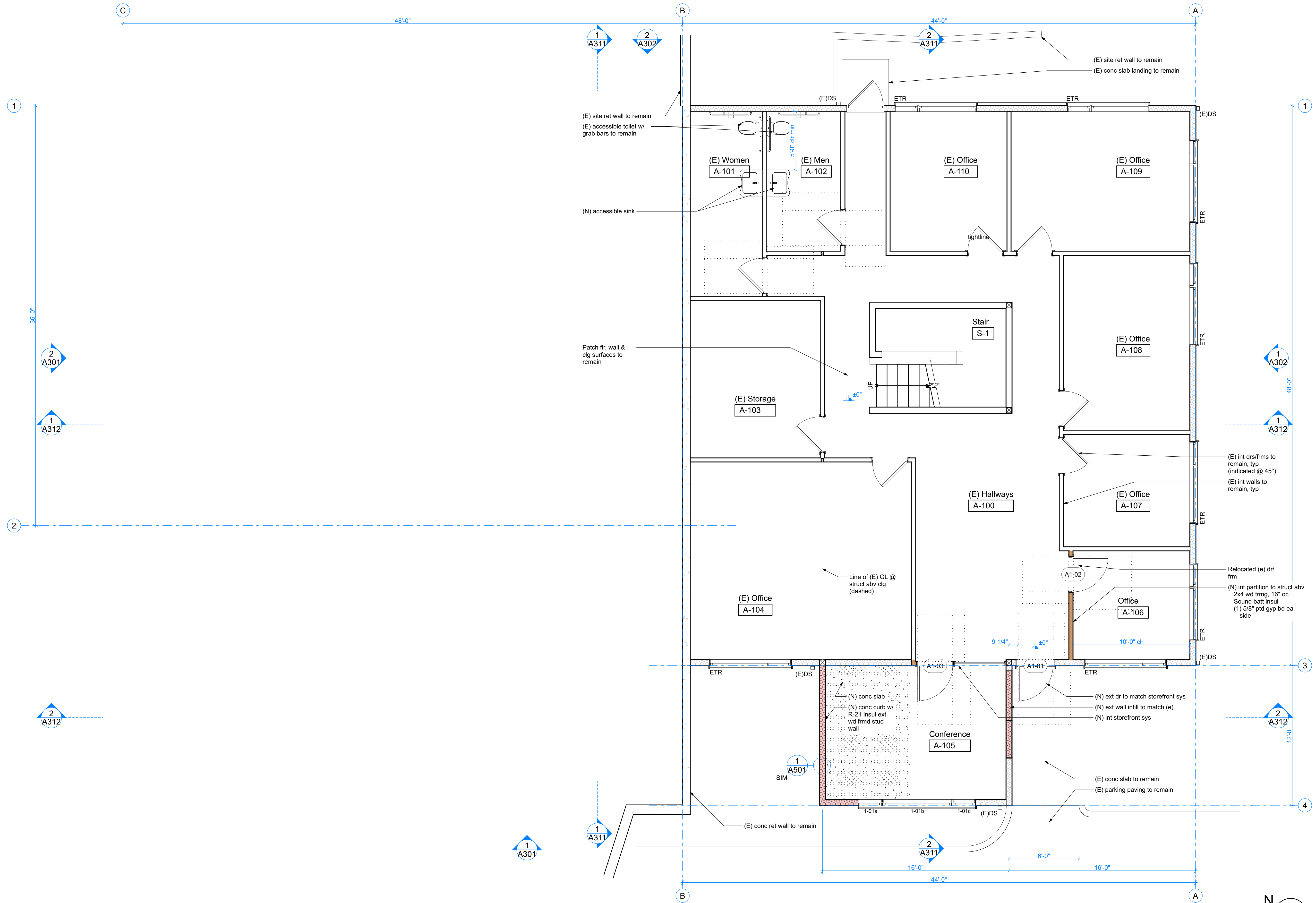
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TwentyFiveHundred Remodel
2500 Willamette Falls Drive
West Linn, Oregon

STRUCTURAL DETAILS

S-4

1/4" = 1'-0"
August 15, 2024



REVISIONS

#	Date	Description

PERMIT SET

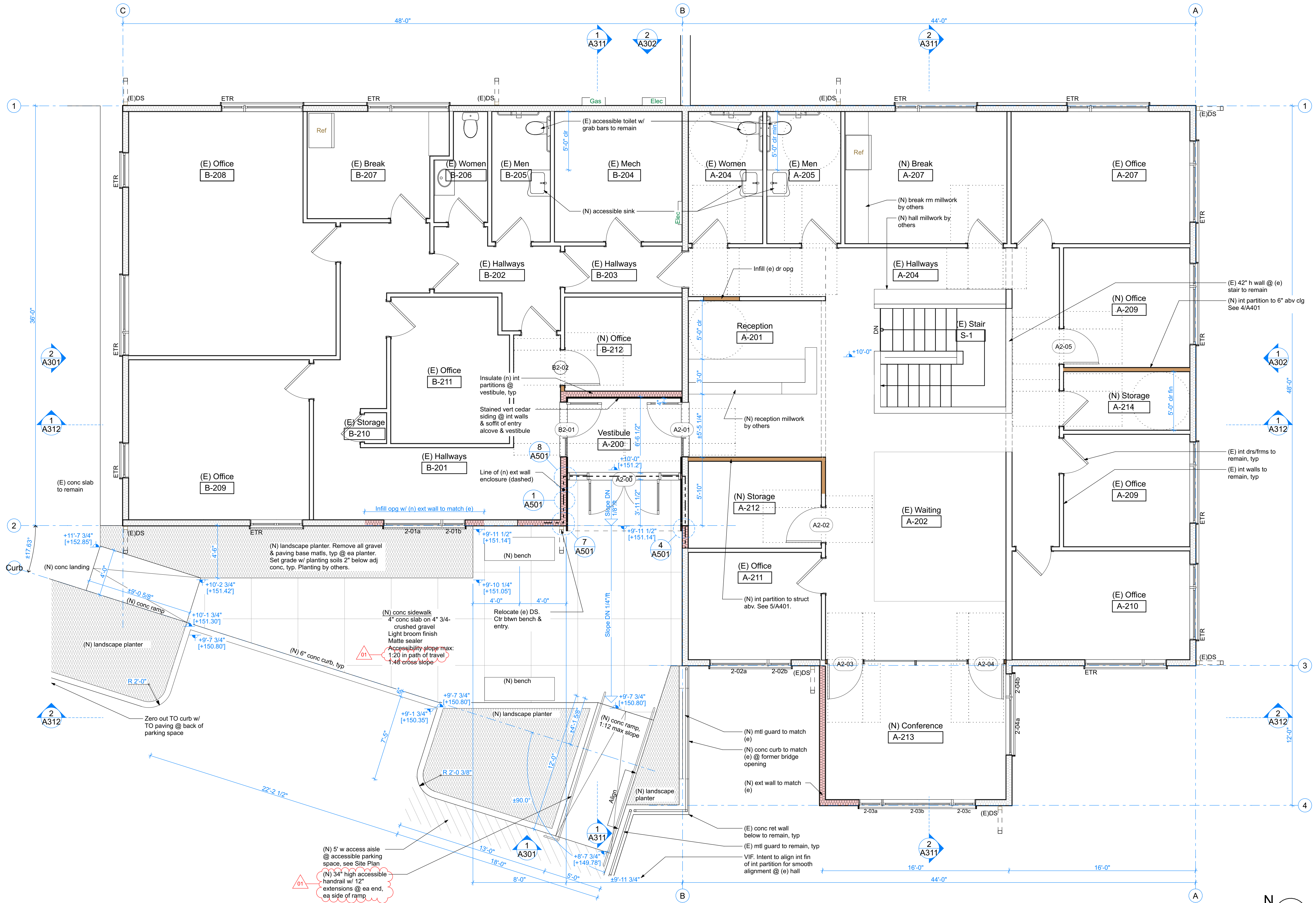
REMODEL
twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068



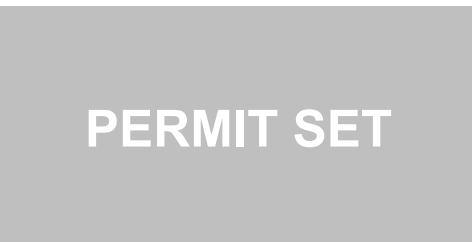
stamp
drawing title
Lower Level Floor Plan
drawing #
A201

sheet date
August 15, 2024
sheet 14 of 25



REVISIONS

#	Date	Description
01	8/23/24	CONCEPT RESPONSE



**REMODEL
twentyfivehundred**

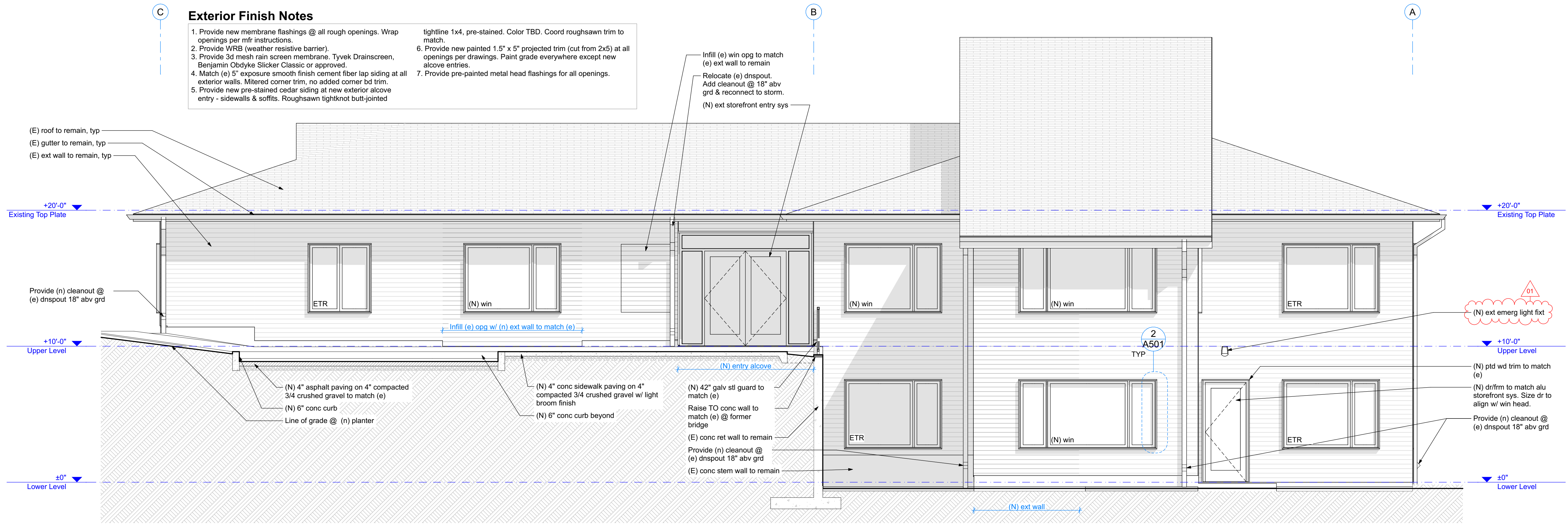
2500 Willamette Falls Drive
West Linn, OR 97068



stamp
drawing title
**Upper Level
Floor Plan**
drawing #
A202
date
August 15, 2024
sheet
15 of 25

Exterior Finish Notes

1. Provide new membrane flashings @ all rough openings. Wrap openings per mfr instructions.
2. Provide WRB (weather resistive barrier).
3. Provide 3d mesh rain screen membrane. Tyvek Drainscreen, Benjamin Obdyke Sticker Classic or approved.
4. Match (e) 5" exposure smooth finish cement fiber lap siding at all exterior walls. Mitered corner trim, no added corner bd trim.
5. Provide new pre-stained cedar siding at new exterior alcove entry - sidewalls & soffits. Roughsawn tightknit butt-jointed tightline 1x4, pre-stained. Color TBD. Coord roughsawn trim to match.
6. Provide new painted 1.5" x 5" projected trim (cut from 2x5) at all openings per drawings. Paint grade everywhere except new alcove entries.
7. Provide pre-painted metal head flashings for all openings.



1 West Elevation
A301 SCALE: 1/4" = 1'-0"

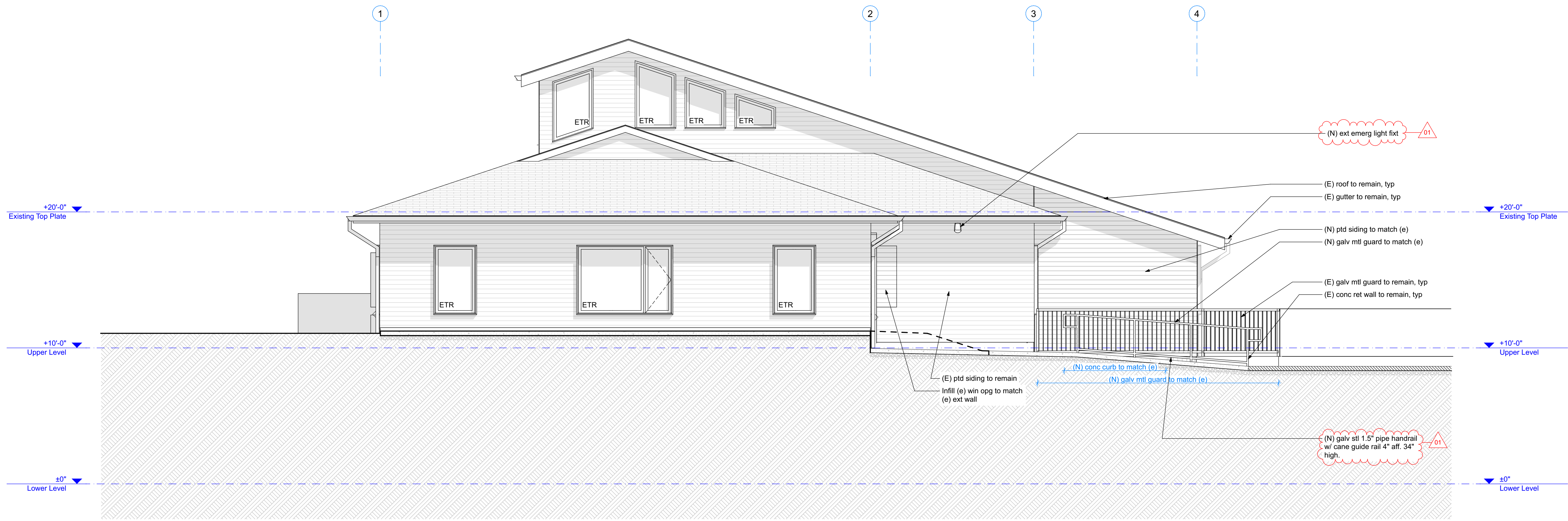
REVISIONS

#	Date	Description
01	8/23/24	CONCEPT RESPONSE

PERMIT SET

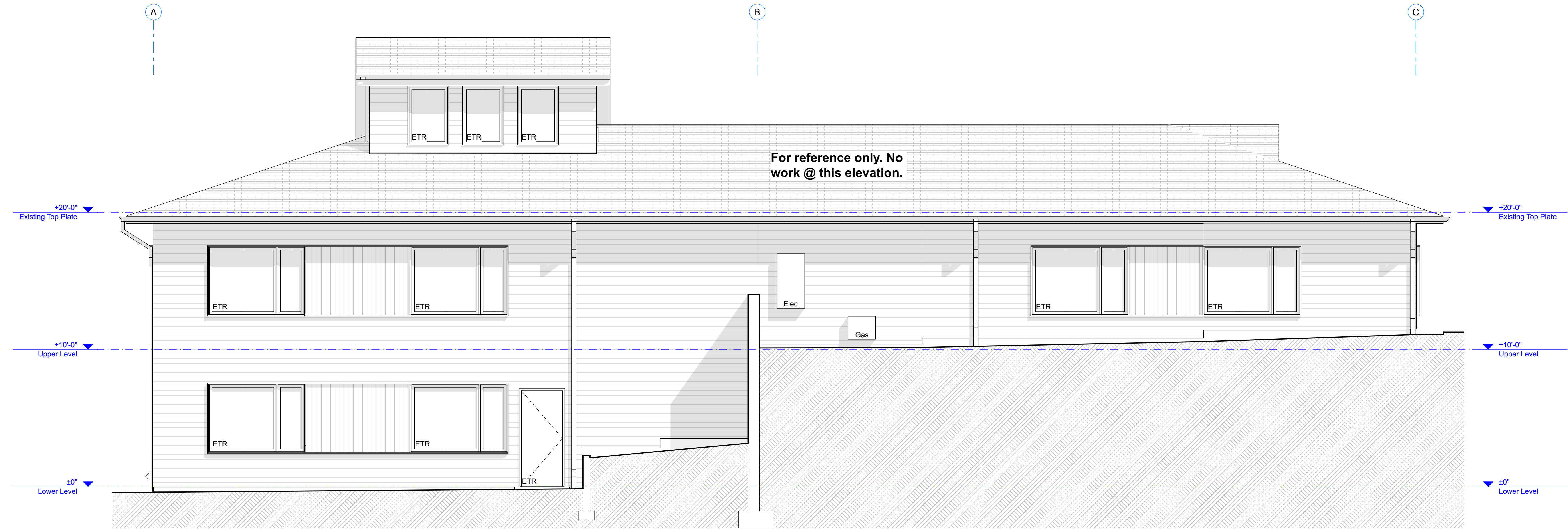
**REMODEL
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West Linn, OR 97068



2 North Elevation
A301 SCALE: 1/4" = 1'-0"

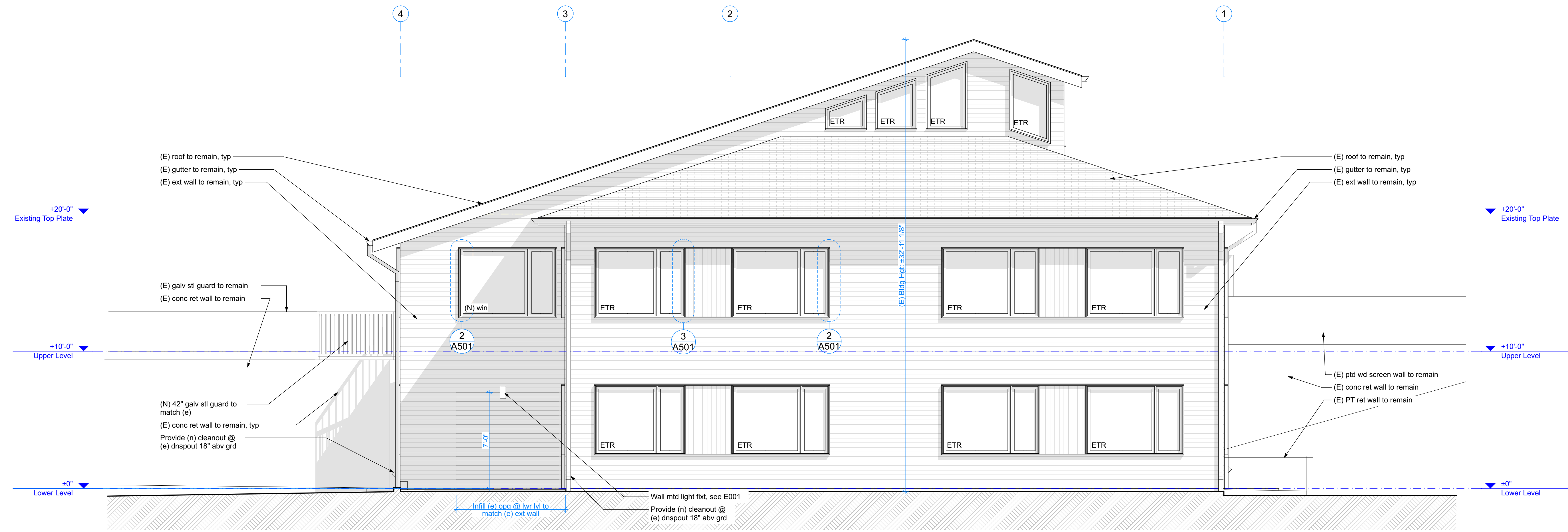
Building Elevations
A301
August 15, 2024
16 of 25



2 East Elevation
A302 SCALE: 1/4" = 1'-0"

REVISIONS

#	Date	Description



1 South Elevation
A302 SCALE: 1/4" = 1'-0"

PERMIT SET

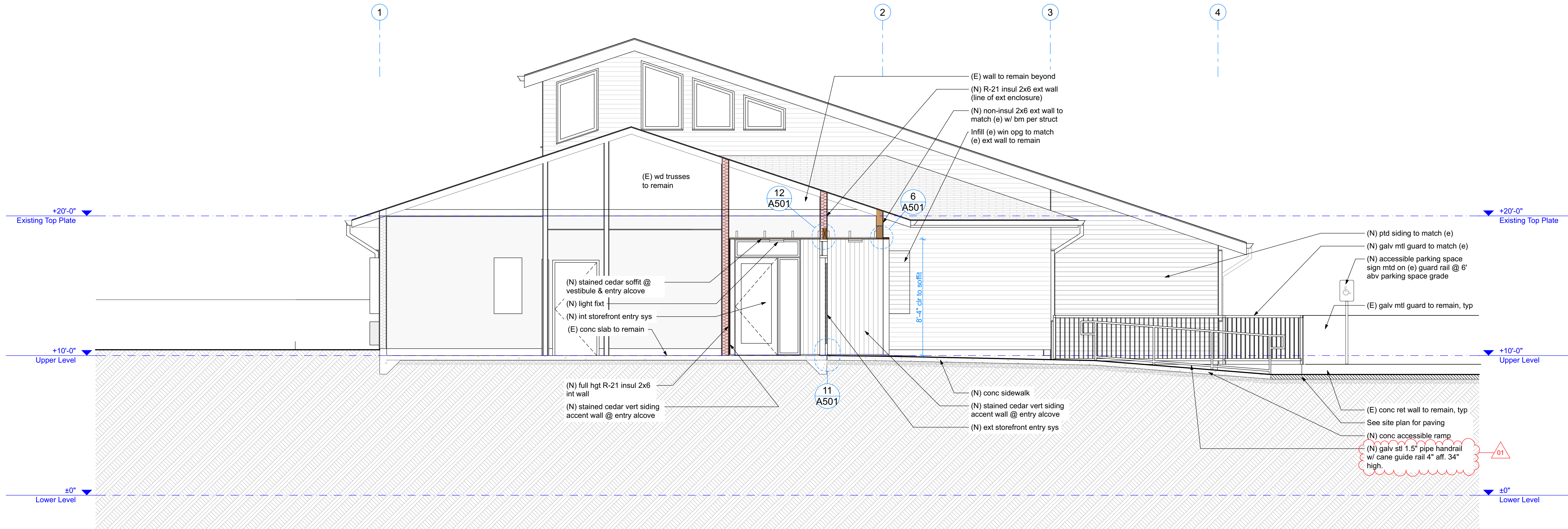
**REMODEL
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2500 Willamette Falls Drive
West Linn, OR 97068



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drawing title
drawing #
sheet
date
sheet

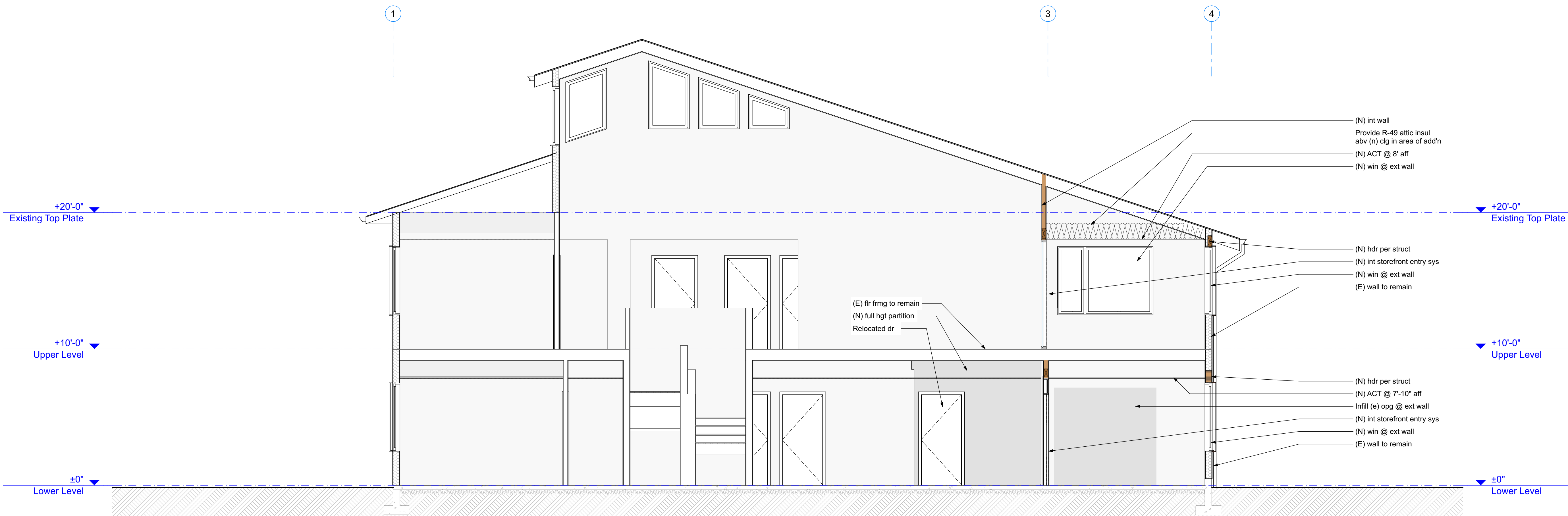
Building Elevations
A302
August 15, 2024
17 of 25



1 Building Section - East / West (@ 1-story)
A311 SCALE: 1/4" = 1'-0"

REVISIONS

#	Date	Description
01	8/23/24	CONCRETE RSPNS



2 Building Section - East / West (@ 2-story)
A311 SCALE: 1/4" = 1'-0"

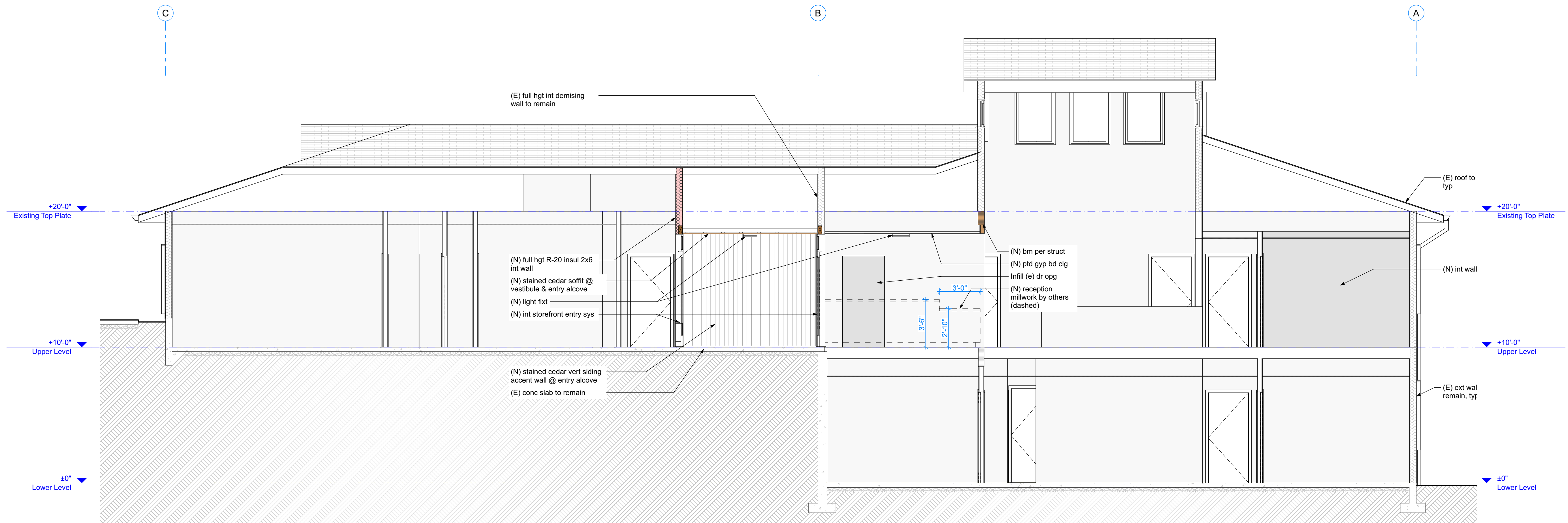
PERMIT SET

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West Linn, OR 97068



Building Sections
A311
August 15, 2024
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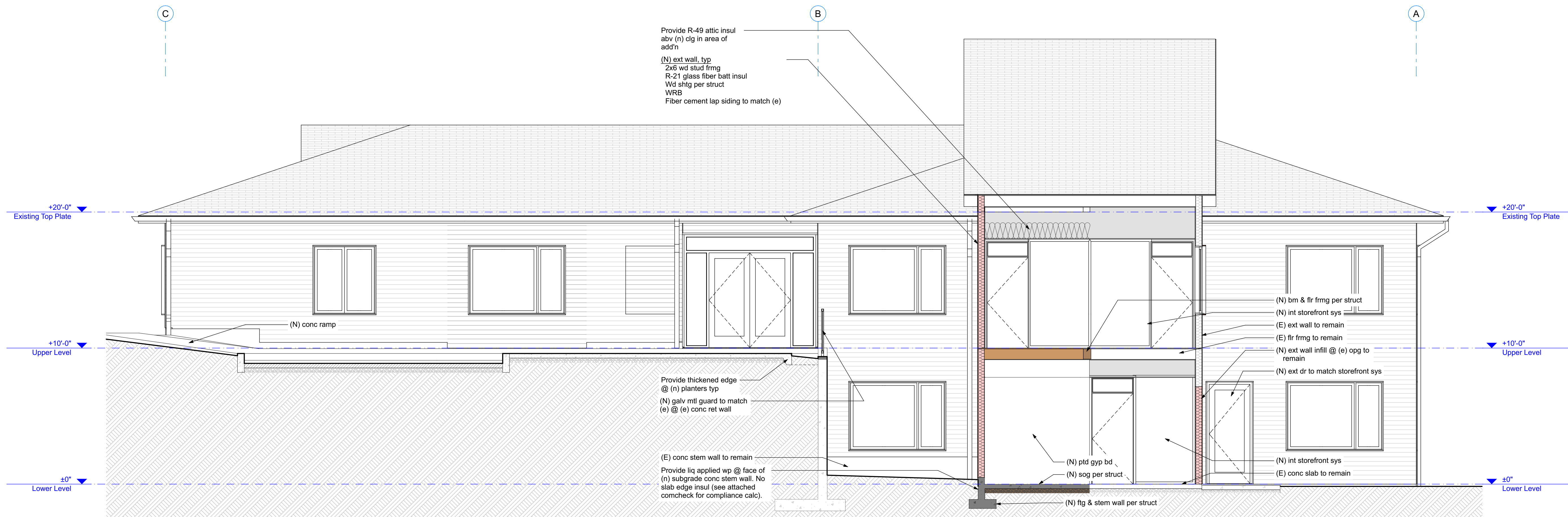


1 Building Section - North / South

A312 SCALE: 1/4" = 1'-0"

REVISIONS

#	Date	Description



2 Building Section - North / South @ near Entry

A312 SCALE: 1/4" = 1'-0"

PERMIT SET

**REMODEL
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2500 Willamette Falls Drive
West Linn, OR 97068



Building
Sections

A312

August 15, 2024

19 of 25

Door Schedule											
Door #	Rm Name	Rm #	Position	Operation Type	Door Frame Material	Door Leaf Material	Width	Height	Hardware Set	Qty	Note
Lower Level											
A1-01	(E) Hallways	A-100	Exterior	Outswing Door	FG	FG / Glass	3'-0"	7'-4"	Electric	1	2, 5
A1-02	Office	A-106	Interior	Inswing Door	WD	HM	3'-0"	6'-8"	Privacy	1	1
A1-03	Conference	A-105	Interior	Inswing Door	FG	FG / Glass	3'-0"	6'-8"	Passage	1	3
Upper Level											
A2-00	Vestibule	A-200	Exterior	Outswing Double Door	FG	FG / Glass	6'-0"	7'-0"	Electric	1	2, 5
A2-01	(E) Hallways	A-204	Exterior	Outswing Door	FG	FG / Glass	3'-0"	7'-0"	Electric	1	3, 4, 5
A2-02	(N) Storage	A-212	Interior	Inswing Door	WD	WD - Solid core	3'-0"	6'-8"	Privacy	1	1
A2-03	(N) Conference	A-213	Interior	Inswing Door	FG	FG / Glass	3'-0"	6'-8"	Passage	1	3
A2-04	(N) Conference	A-213	Interior	Inswing Door	FG	FG / Glass	3'-0"	6'-8"	Passage	1	3
A2-05	(N) Office	A-209	Interior	Inswing Door	WD	WD - Solid core	3'-0"	6'-8"	Privacy	1	1
B2-01	(E) Hallways	B-201	Exterior	Outswing Door	FG	FG / Glass	3'-0"	7'-0"	Electric	1	3, 4, 5
B2-02	(N) Office	B-212	Interior	Inswing Door	WD	WD - Solid core	3'-0"	6'-8"	Privacy	1	1

Door Schedule Notes

- Relocated salvaged existing wood door/frame. Match hinge-side jamb dimension of existing interior door locations when re-installing salvaged doors.
- Component of exterior storefront system. See A403 for exterior storefront elevations.
- Component of interior storefront system. See A403 for interior storefront elevations.
- 36" dr width reqd for accessible access. Coord sidelight dimension w/ rough opening prior to order.
- Prep frames/doors for closers & wiring. Coordinate w/ owner's security system for card swipe access.

Door Hardware Types

All interior hardware sets to by cylinder style.
Exterior door hardware per storefront mfr selections.
Coord w/ owner for locking/keying.
All handle sets & interior bolts where provided to be ADA compliant lever style.

A. Interior - Office - privacy
B. Interior - Storage - keyed privacy
C. Interior conference - passage, coord w/ int storefront mfr selections.
D. Exterior storefront - key card access, coord w/ ext storefront mfr selections.

Exterior Window Schedule							
Win #	Rm Name	Rm #	Operation Type	Nom Width	Nom Height	Qty	Notes
Lower Level							
1-01a	Conference	A-105	Sliding Window	2'-0"	5'-0"	1	
1-01b	Conference	A-105	Fixed	6'-0"	5'-0"	1	
1-01c	Conference	A-105	Sliding Window	2'-0"	5'-0"	1	
Upper Level							
2-01a	(E) Hallways	B-201	Fixed	5'-0"	5'-0"	1	
2-01b	(E) Hallways	B-201	Sliding Window	2'-0"	5'-0"	1	
2-02a	(E) Office	A-211	Fixed	5'-0"	5'-0"	1	
2-02b	(E) Office	A-211	Sliding Window	2'-0"	5'-0"	1	
2-03a	(N) Conference	A-213	Sliding Window	2'-0"	5'-0"	1	
2-03b	(N) Conference	A-213	Fixed	6'-0"	5'-0"	1	
2-03c	(N) Conference	A-213	Sliding Window	2'-0"	5'-0"	1	
2-04a	(N) Conference	A-213	Fixed	5'-0"	5'-0"	1	
2-04b	(N) Conference	A-213	Sliding Window	2'-0"	5'-0"	1	
						12	

Exterior Window Schedule Notes

- Relocated salvaged existing wood door/frame.
- Part of exterior storefront system. See exterior storefront elevations.
- Part of interior storefront system. See interior storefront elevations.

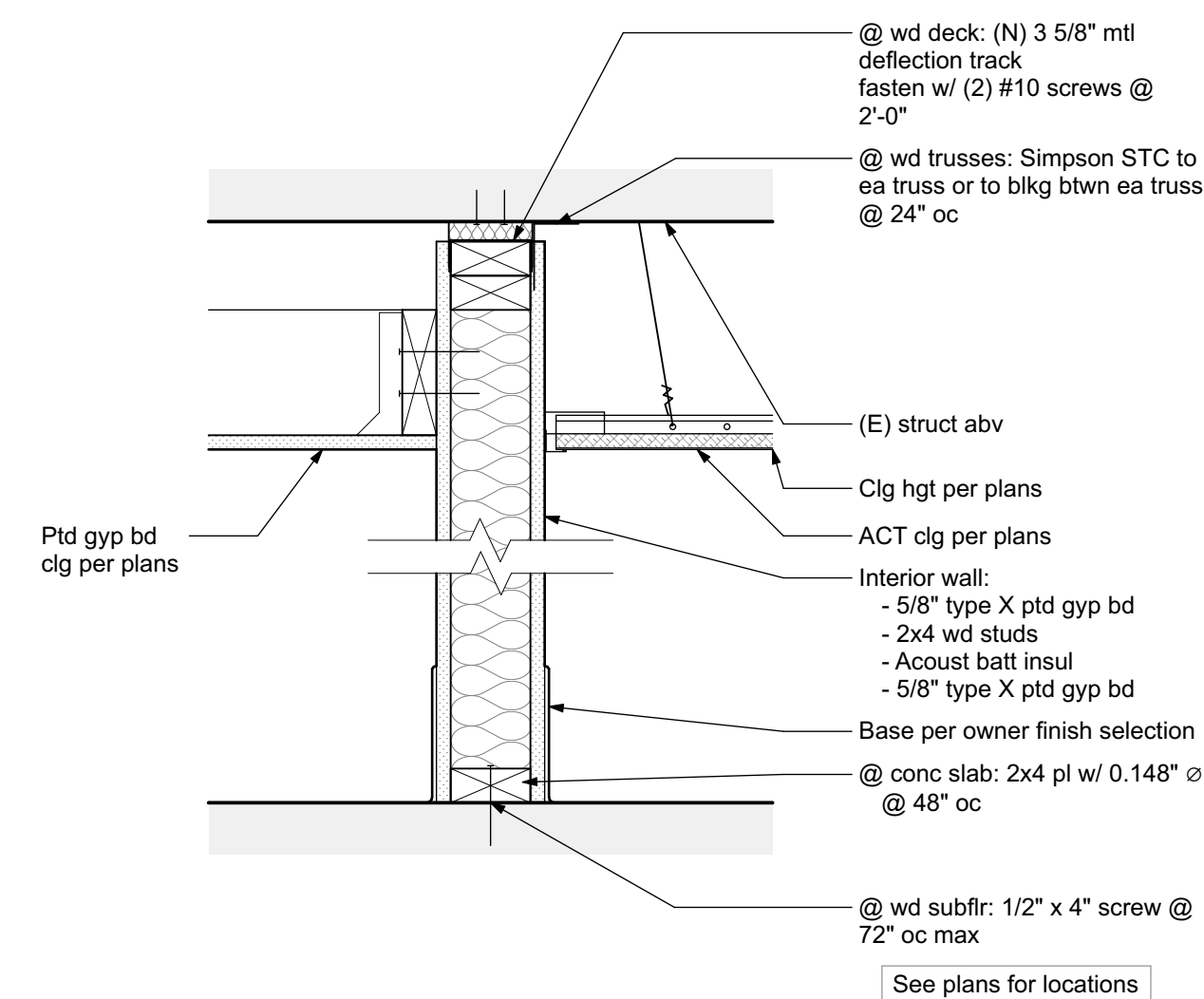
Window Specifications

New exterior windows to match existing in manufacturer, product & profile. See G000 for glazing prescriptive performance requirements.

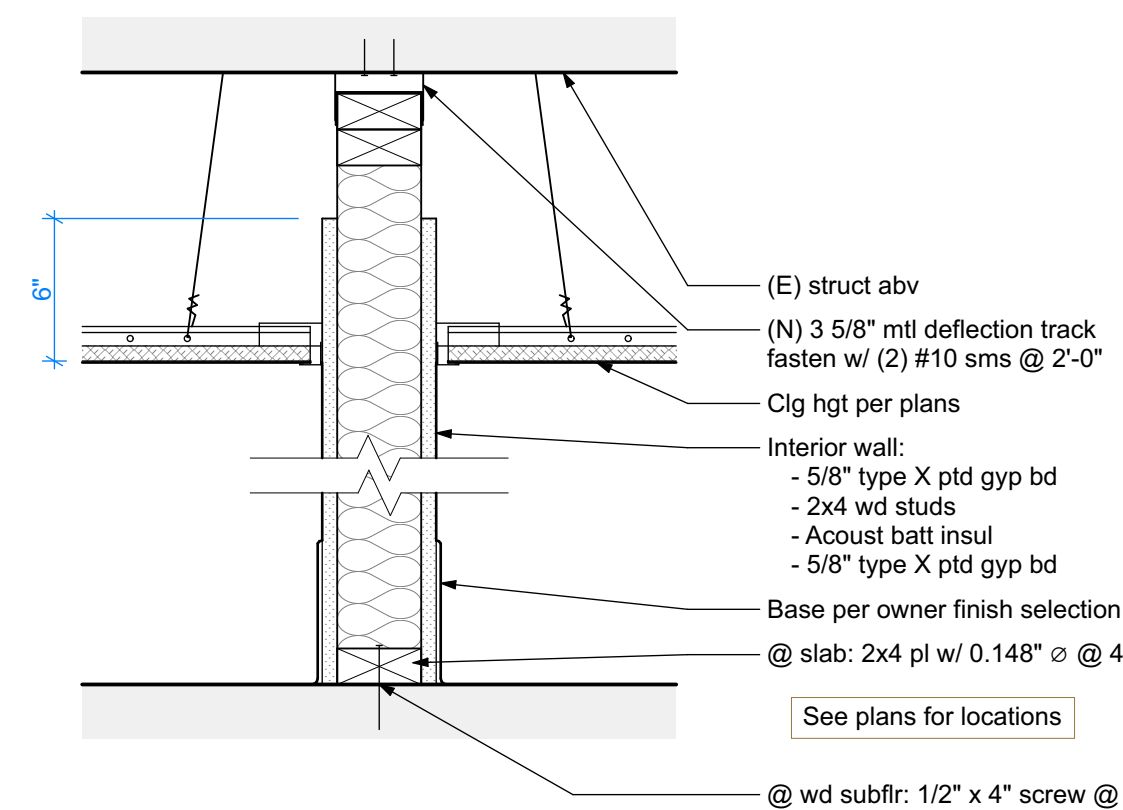
Manufacturer: Milgard
Product: Ultra C650 fiberglass
Type/Size: See schedule
Frame Size: 4 9/16"
Glazing: Clear Low-E, Max U = 0.27
Exterior Finish: Black
Interior Finish: White
Hardware Finish: White
Divided lights: None
Screens: Provide screens with operable units.

Window General Notes

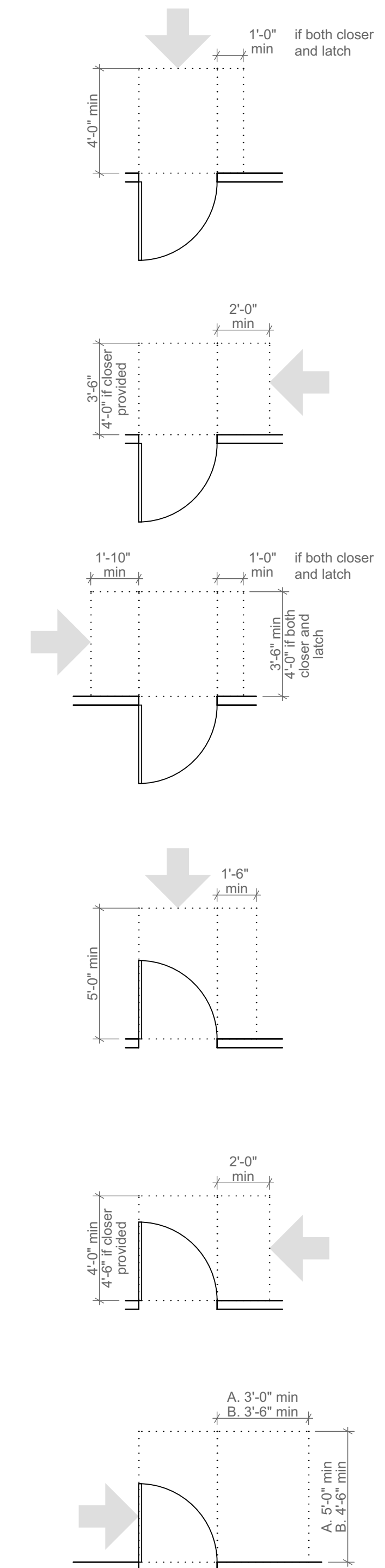
- Prior to order, submit window shop drawings for review.
- Locate windows vertically such that window heads align when viewed from the exterior.
- Provide screens for all operable window units.



5 Detail: Interior Partition to Structure Above
SCALE: 1 1/2" = 1'-0"



4 Detail: Interior Partition Typical
SCALE: 1 1/2" = 1'-0"



1 Accessible swing door clearance
SCALE: 1/4" = 1'-0"

REVISIONS

PERMIT SET

**REMODEL
twentyfivehundred**

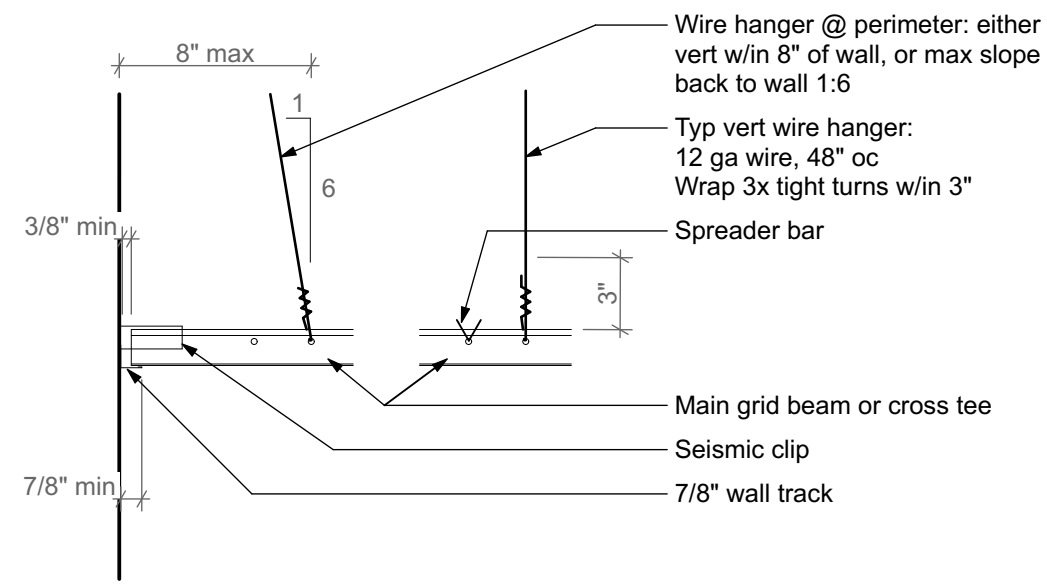
2500 Willamette Falls Drive
West Linn, OR 97068



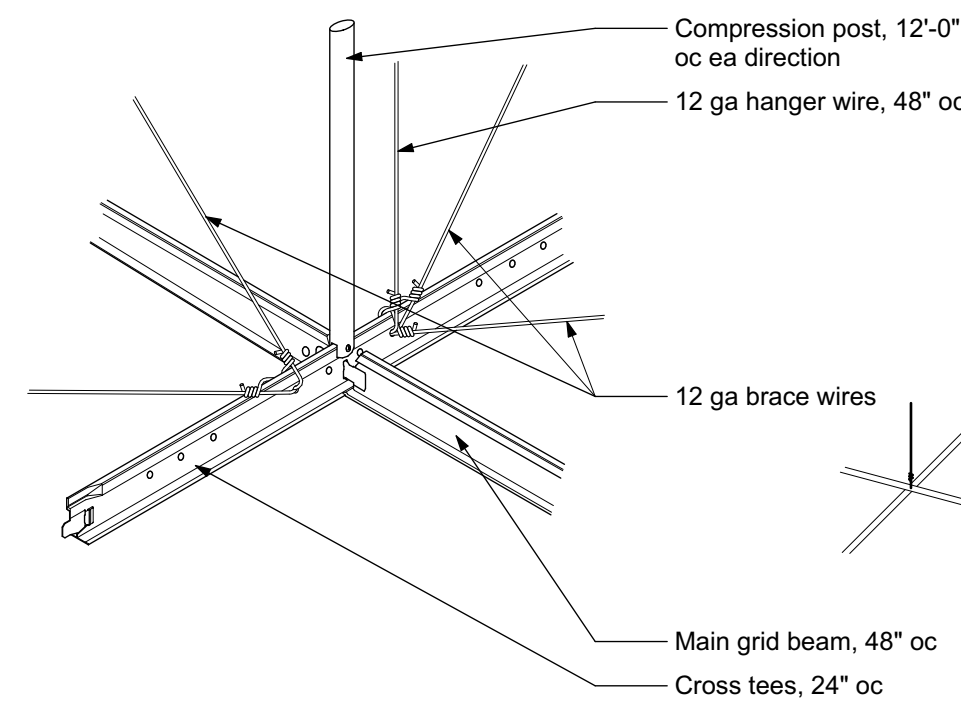
Interior Details & Schedules

A401

August 15, 2024
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TYPICAL & EDGE SUSPENSION



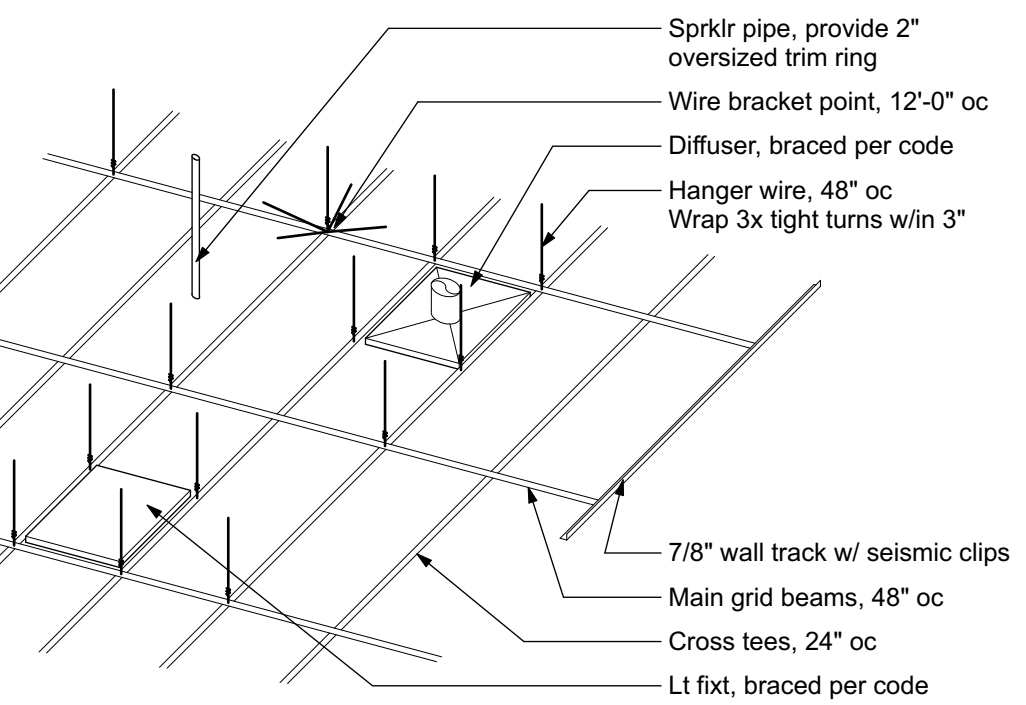
LATERAL BRACE POINT

SUSPENDED CEILING NOTES

Basis of design mats:
Mfr: USG
Grid: dx/dxl 15/16" acoustical suspension sys
Acoustic ceiling tile (act): 24" x 48" (tbd)

Run main grid beams parallel to slope.
If ceiling area exceeds 2,500 sf, provide seismic separation joint.
Provide suspension system consistent w/ prescriptive provisions of NWCB tech doc 401.

Anti-spread device:
1. Terminal ends of main grid beams & cross tees shall be tied together to prevent spreading.
2. Spreader bars not required where mains or cross tees are attached directly to wall track.
3. Perimeter clips allowed in place of spreader bars where substantiating documentation is provided to jurisdiction.



TYPICAL SUSPENDED SYSTEM

SUSPENDED CEILING NOTES (CONT)

Lateral force bracing:
1. Lateral force bracing is the use of compression posts & splay wires.
2. Ceilings w/ plenums < 12" to structure are not required to have lateral force bracing.
3. Ceiling areas < 1,000 sf are exempt from lateral force bracing.
4. Lateral force bracing shall be 12"-0" oc & begin max 6'-0" from perimeter walls.
5. Lateral force bracing to be (4) 12 ga wires attached to main grid beams. Wires to be arrayed 90deg from each other and at an angle not exceeding 45deg from plane of ceiling.
6. Seismic splay wires shall be attached to the grid & to the structure in such a manner that they can support 200 lbs or the actual design load w/ a safety factor of 2, whichever is greater.
7. Splay wires to be located w/in 2" of compression posts at suspended ceiling.
8. Compression post may be single 1 5/8" metal stud (20 ga) up to a length of 12'-0".

Hanger wires:
1. Hanger & perimeter wires shall be plumb w/in 1:6 unless counter sloping wires are provided.
2. Hanger wires shall be 12 ga & spaced 4'-0" oc.
3. Terminal ends of each main grid beam & cross tee must be supported w/in 8" of ea wall w/ perimeter wire or approved wall support.
4. Wires shall not attach to or bend around interfering material or equip.

Seismic separation joints:
1. Continuous ceiling areas not to exceed 2,500 sf. Length/width ratio shall not exceed 1:4.
2. Each area shall be capable of +/- 3/4" axial movement.
3. Areas surrounded by bulkheads or full-height partitions shall be provided w/ closure angles.

Electrical fixtures: not under this permit
1. Provide (1) hanger wire for fixtures < 10 lbs.
2. Provide (2) hanger wires for fixtures > 10 lbs and < 56 lbs.
3. Elec fixtures > 56 lbs shall be supported directly from structure above by approved hangers.
4. Pendant hung fixtures to be supported directly from structure w/ 9 ga wire or approved alternative support without using the suspended ceiling for support.

SUSPENDED CEILING NOTES (CONT)

Mechanical fixtures: not under this permit
1. Terminals or services < 20 lbs shall be positively attached to main beams or to cross runners that have the same carrying capacity as main beams.
2. Terminals or services > 20 lbs and < 56 lbs shall be positively attached to main beams and have (2) 12 ga wires connecting them to structure above.
3. Terminals or services > 56 lbs shall be supported directly from structure above by approved hangers.

Sprinklers: not under this permit
1. Sprinkler head penetrations shall have a 2" oversize ring, sleeve or adapter through the ceiling tile to allow free movement of at least 1" in plane w/ the ceiling.
2. Flexible head design allowed in place of oversize ring, sleeve or adapter.

SEISMIC SEPARATION @ GRID
1.5" total travel
@ attached walls, screw tightened thru main grid beam web restricting separation from wall track
4-way seismic expansion jt clip
Fastener
Main grid beam
Cross tee

Follow mfr's recommended install instructions for seismic clips by location



1 Suspended ceiling
SCALE: 1 1/2" = 1'-0"

Project Information

Energy Code: 90.1 (2019) Standard
Project Title: West Linn, Oregon
Location: 4c
Climate Zone: 4c
Project Type: Addition
Vertical Glazing / Wall Area: 12%
Performance Sim. Specs: EnergyPlus 8.1.0.009 (EPW: USA_OR_Portland.Intl.AP.726980_TMY3.epw)

Construction Site: Owner/Agent: Designer/Contractor:

COMcheck form provided to demonstrate no slab edge insul is needed @ addition.

Building Area	Floor Area
1-Office : Nonresidential	192

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₉₀
Floor: Unheated Slab-On-Grade, [Bldg. Use 1 - Office] (d)	20	---	---	0.730	0.520
Roof: Attic Roof, Wood Joists, [Bldg. Use 1 - Office]	192	49.0	0.0	0.021	0.021
NORTH					
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Office]	240	20.0	0.0	0.064	0.064
Window: Other Window: Fixed, Perf. Specs.: Product ID typ win, SHGC 0.29, VT 0.54, [Bldg. Use 1 - Office] (c)	50	---	---	0.260	0.360
WEST					
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Office]	160	20.0	0.0	0.064	0.064

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Other components require supporting documentation for proposed U-factors.
(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(d) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Project Notes

Envelope PASSES: Design 1% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2019) Standard requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Adam Christie, Christie Architecture
Name - Title Signature Date 8.16.2024

small addition

Remodel twentyfivehundred - 2500 Willamette Falls Dr
Project Title: Report date: 08/16/24
Data filename: Page 1 of 1

Toilet Finish / Fixture Specifications, Basis of Design — Final selection by owner

Design Basis selections: Final product selection by owner

Floor finish: ceramic tile, final selection by owner

Wall finishes: Wall tile: ceramic tile, final selection by owner
Paint: semi-gloss, color: white TBD

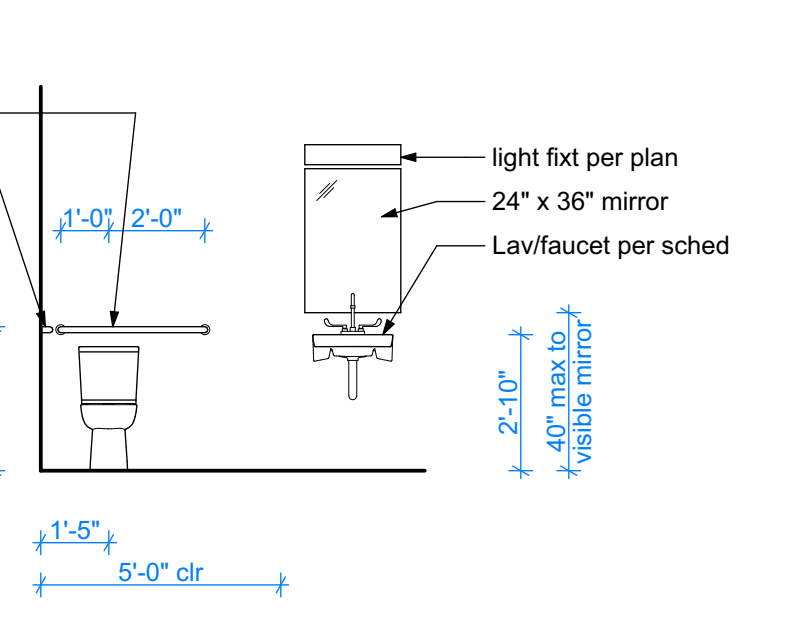
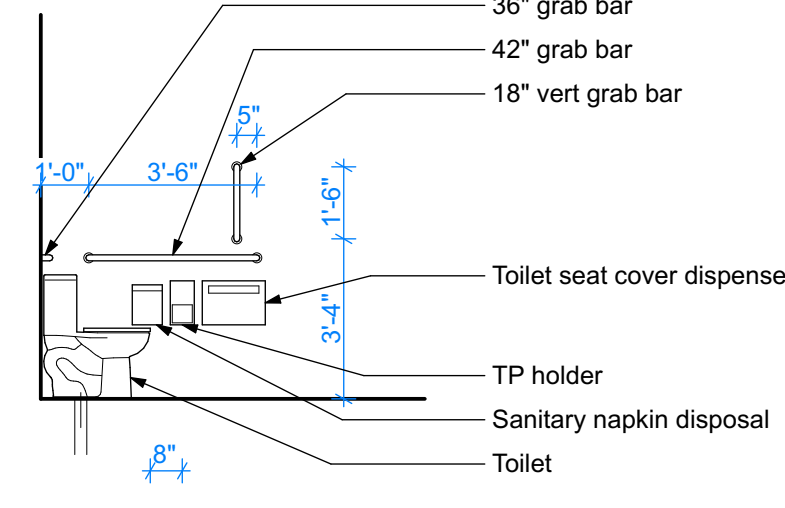
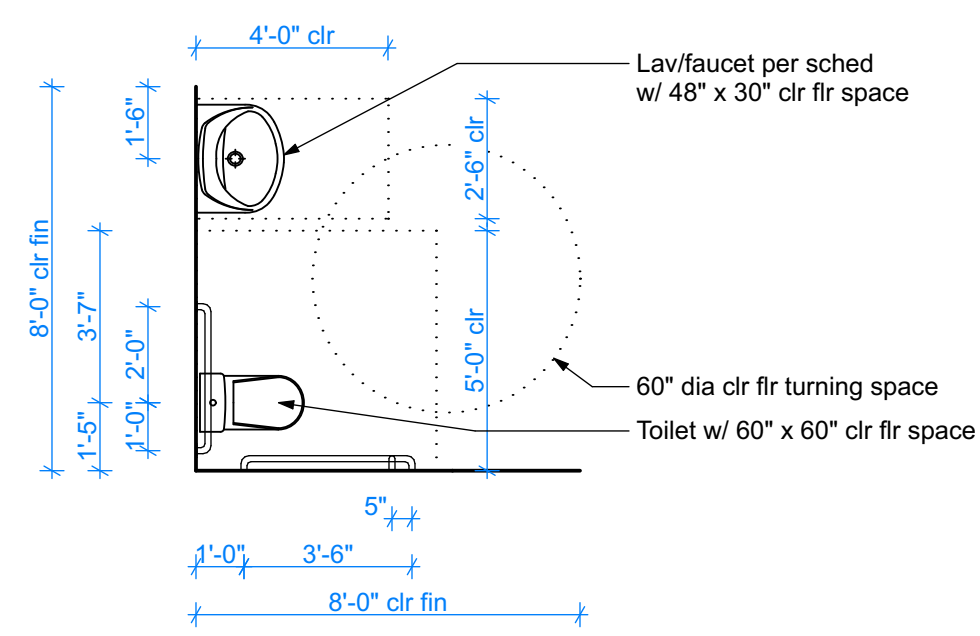
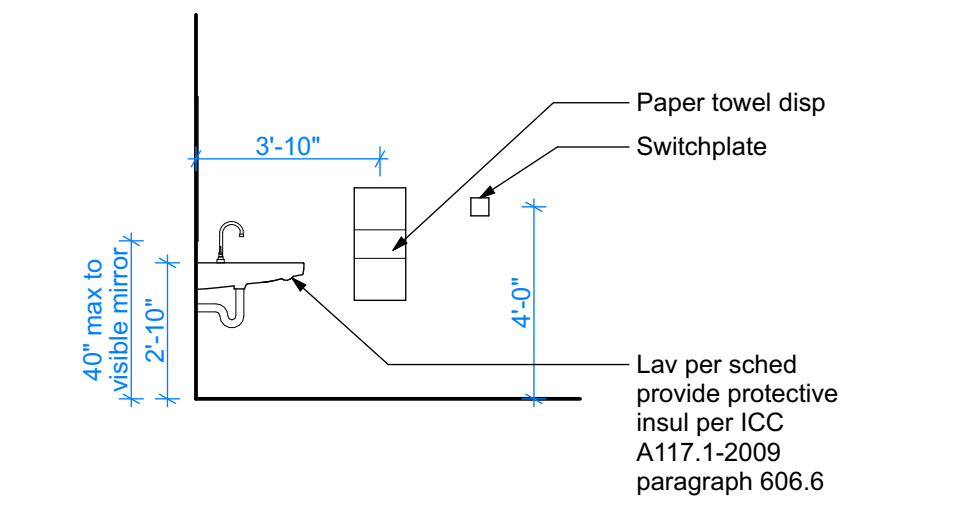
Ceiling finish: Fld gyp bd: semi-gloss, color: white TBD

Accessories: Provide blk/g for all wall mtd accessories.
16" grab bar: Bobrick, B-5806 x 18
36" grab bar: Bobrick, B-5806 x 36
42" grab bar: Bobrick, B-5806 x 42
Mirror: Bobrick B-165 2436
TP holder: Bobrick B-2888, surf mtd, multi-roll.
Seat cover dispenser: Bobrick B-221, surf mtd.
Sanitary napkin disposal: Bobrick B-270, surf mtd.
Paper towel/trash receptacle: Bobrick B-43699, surf mtd.

Partition System: Provide blk/g for securing partition sys at wall.
Bradley Phenolic Series 500 - floor braced partitions
Finish & accessory selections TBD

Plumbing fixtures: ADA toilet: Kohler "Highline" K-3519, 1.0 GPF. Elongated bowl, color: white. Provide compatible seat in matching finish.
ADA lavatory: American Standard "Wheelchair Users Lavatory", faucet holes on 4" centers, color: white. Provide concealed brackets for mounting.
ADA faucet: American Standard "Monterrey" two handle centerset lavatory faucet, finish: polished chrome.

Light fixtures: Vanity light fixture: WAC Lighting "Strip" LED vanity, 24", brushed aluminum, 3000k.
Clg mtd light fixture: WAC Lighting "Round LED Flushmount", 15in, white, 3000k.



2 Accessible Fixture Heights
SCALE: 1/4" = 1'-0"

REVISIONS

#	Date	Description

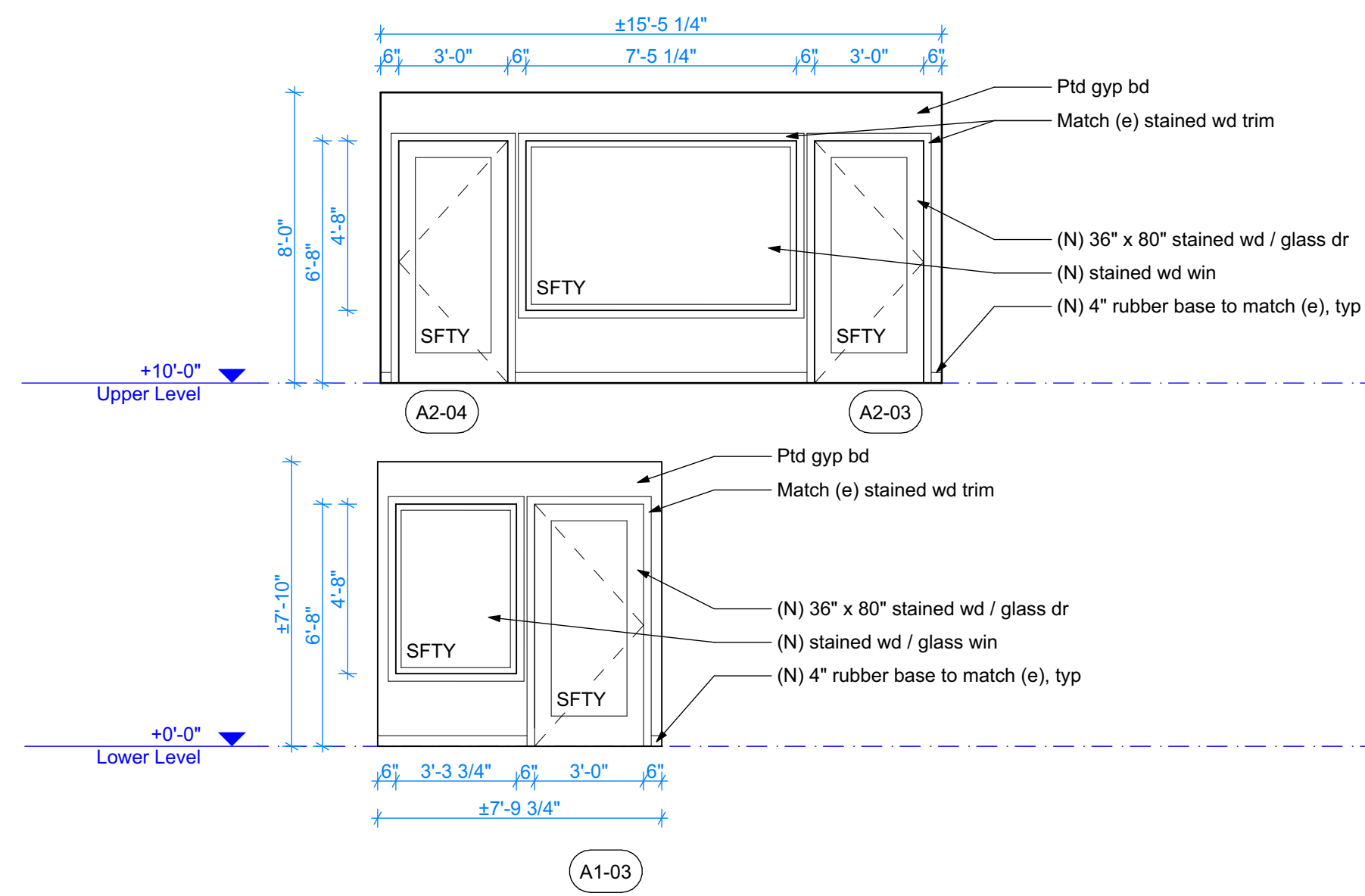
PERMIT SET

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West Linn, OR 97068



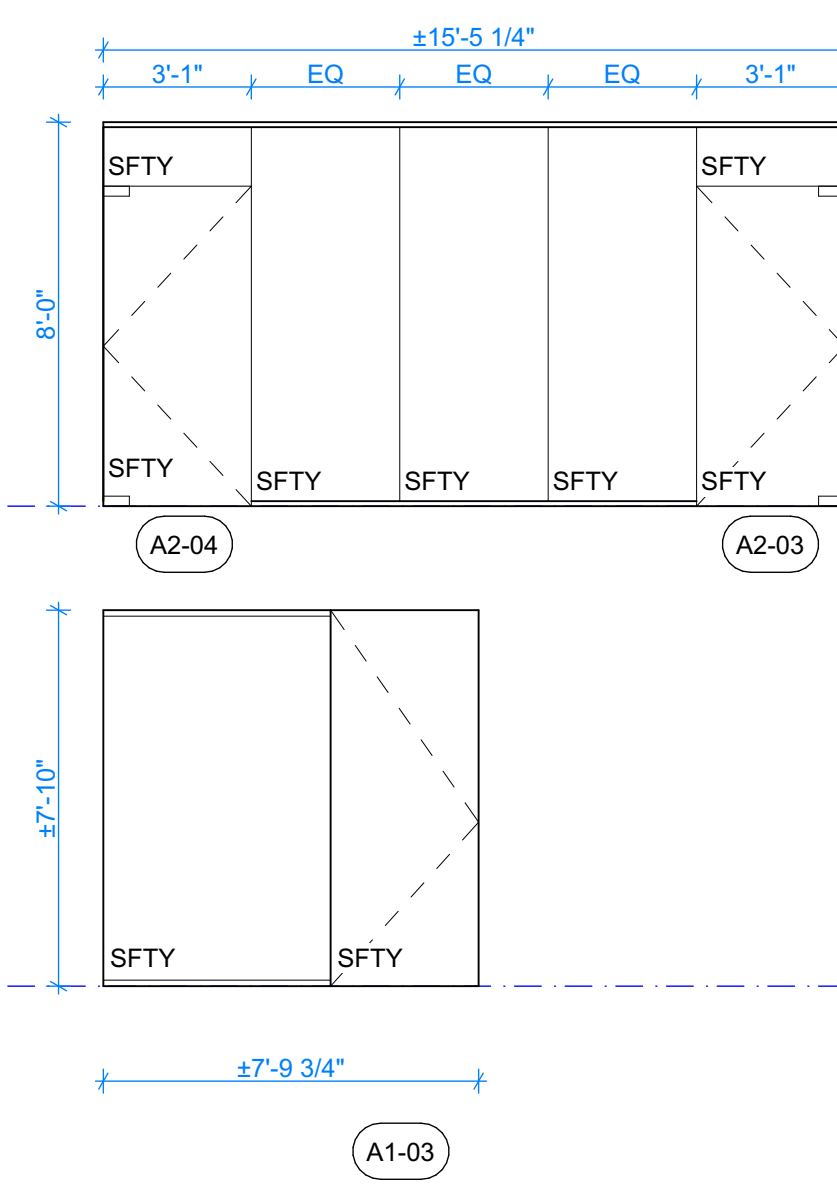
Interior Details
A402
August 15, 2024
21 of 25



ALTERNATE #2
(N) door & window in place of Interior Storefront

Basis of design. Final selection by owner.

Door		Window	
MFR:	Simpson Door	MFR:	Marvin
Product:	#1501, Interior French & Sash	Product:	Ultimate Wood
Thickness:	1 3/4"	Type:	Fixed direct glazed
Sticking profile:	Square	Trim profile:	Square
Finish:	Stained Fir	Finish:	Site stained to match (e)
Glazing:	Clear 1/2" laminated	Glazing:	VG fir, both sides
Frame:	Prehung, 4 9/16"	Glazing:	Clear 1/2" laminated

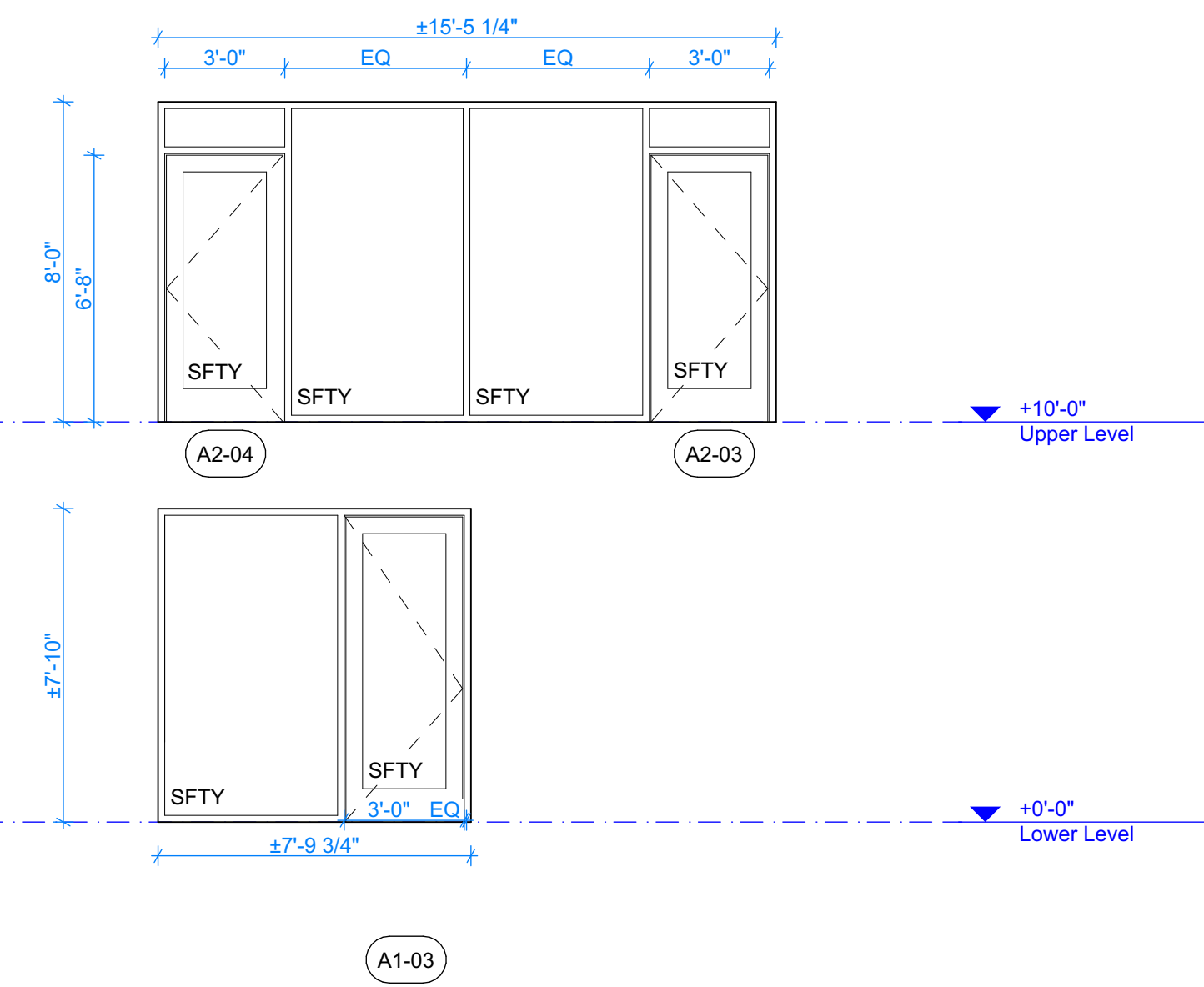


ALTERNATE #1
(N) interior storefront systems @ (n) conference rms

Glazed partition: CRL "Cascade Office Partition System," channel supported 1/2" laminated glass system w/ clear silicone panel edge joints.

Door: CRL clear anodized glass mounted passage latch w/ lever handle.

Coord bracing for top of partition stability.



(N) interior storefront systems @ (n) conference rms

Basis of design. Final selection by owner.

MFR:	Kawneer
Product:	Trifab Versaglaze 451
Nom frame size:	2" x 4.5"
Type:	Stick assembled
Glazing plane:	Front glazing plane
Framing finish:	Black, select from MFR's standard colors.
Glazing:	Clear 1/2" laminated

Basis of design. Final selection by owner.

MFR:	Kawneer
Product:	350 Swing Door
Nom frame size:	3.5"
Bottom rail:	10"
Door pull:	

1 Elevation: Storefront Systems - Interior

A403 SCALE: 1/4" = 1'-0"

REVISIONS

#	Date	Description
01	8/23/24	CORRECT RSPNS

Storefront Entrance Door Hardware

Hardware Group No. 01

For use on Door #(s): A2-00

MIN 5" stile req'd to accommodate hardware.
Door normally closed and locked. Valid credential will momentarily retract latch.
Request to exit (rx) and door contacts (dc) will signal monitoring system. Free egress at all times.

Provide each pair doors with the following:

QTY	DESCRIPTION	CATALOG #	FINISH	MFR
2 ea	Pivot set	7226 SET	BLK	IVE
2 ea	Intermediate pivot	7226 PT_INT TW8 CON_Y	BLK	IVE
1 ea	Elec panic hdwr	RX-QEL-7847-L-DT-05-304L-CON-SNB 24 VDC	315	VON
1 ea	Elec panic hdwr	RX-QEL-7847-L-NL-05-304L-CON-SNB 24 VDC	315	VON
1 ea	Rim cylinder	20-057 ICX	622	SCH
1 ea	FSIC core	23-030	622	SCH
2 ea	Surface closer	4050A SCUSH X 4050-61 X 4050-30	693	LCN
1 ea	Weather stripping	Gasketing by storefront mfr		
2 ea	Meeting stile	8192AA	AA	ZER
2 ea	Door sweep	8198AA	AA	ZER
1 ea	Threshold	545A	A	ZER
2 ea	Wire harness	CON-192P AS REQ		SCH
2 ea	Wire harness	CON-6W (FROM HINGE TO POWER)		SCH
1 ea	Power supply	PS902 900-2RS 120/240 VAC		VON
1 ea		Card reader by owner		

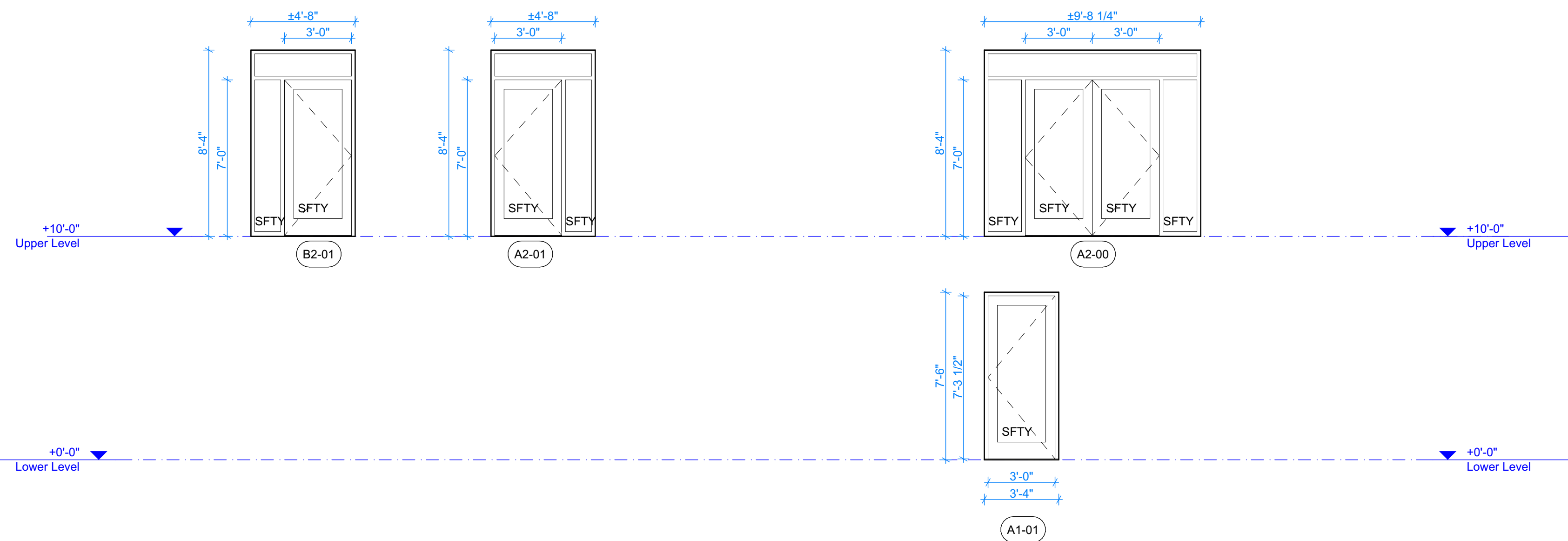
Hardware Group No. 02

For use on Door #(s): A1-01, A2-01, B2-01

MIN 5" stile required to accommodate hardware.
Door normally closed and locked. Valid credential will unlock lever. Lever will lock upon loss of power. Request to exit (rx) & door contact (dc) will signal monitoring system.
Free egress at all times.

Provide each single door with the following:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 ea	Pivot set	7226 SET	BLK	IVE
1 ea	Intermediate pivot	7226 PT_INT TW8 CON_Y	BLK	IVE
1 ea	EU Mortise lock	L9092TEU 05A RX CON 12/24 VDC	622	SCH
1 ea	FSIC core	23-030	622	SCH
1 ea	Surface closer	4050A EDA	693	LCN
1 ea	Wall stop	WS406/407CCV	BLK	IVE
1 ea	Weather stripping	Gasketing by storefront mfr		
1 ea	Door sweep	8198AA	AA	ZER
1 ea	Threshold	545A @ int drs	A	ZER
1 ea	Wire harness	CON-192P AS REQ		SCH
1 ea	Wire harness	CON-6W (from hinge to power)		SCH
1 ea	Power supply	PS902 900-2RS 120/240 VAC		VON
1 ea		Card reader by owner		
1 ea		Door contact by owner		



(N) exterior storefront systems @ entries (NOT thermally broken)

Basis of design. Final selection by owner.

MFR:	Kawneer
Product:	Trifab Versaglaze 451
Nom frame size:	2" x 4.5"
Type:	Stick assembled
Glazing plane:	Front glazing plane
Framing finish:	Black, select from MFR's standard colors.
Glazing:	Clear 1/2" laminated

Coord/prep frames & doors for power & low voltage for security & closers for vestibule energy req't.

(N) exterior storefront systems @ entries (Thermally broken)

Basis of design. Final selection by owner.

MFR:	Kawneer
Product:	Trifab Versaglaze 451T
Nom frame size:	2" x 4.5"
Type:	Thermally broken, stick assembled
Glazing plane:	Front glazing plane
Framing finish:	Black, select from MFR's standard colors.
IGU glass:	Clear, low-E
IGU performance:	Max U = 0.36, max SHGC = 0.36
Door IGU performance:	Max U = 0.63, max SHGC = 0.33
Safety glazing type:	Tempered

Coord/prep frames & doors for power & low voltage for security & closers for vestibule energy req't.

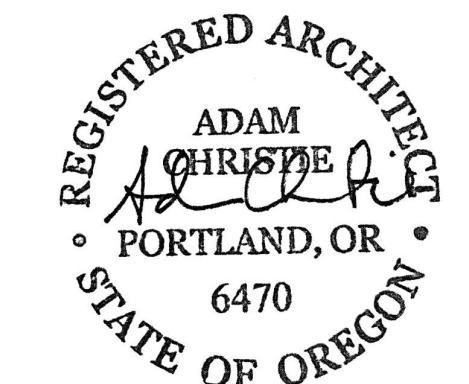
2 Elevation: Storefront Systems - Exterior

A403 SCALE: 1/4" = 1'-0"

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Storefront Elevations

A403

August 15, 2024

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REVISIONS

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West Linn, OR 97068



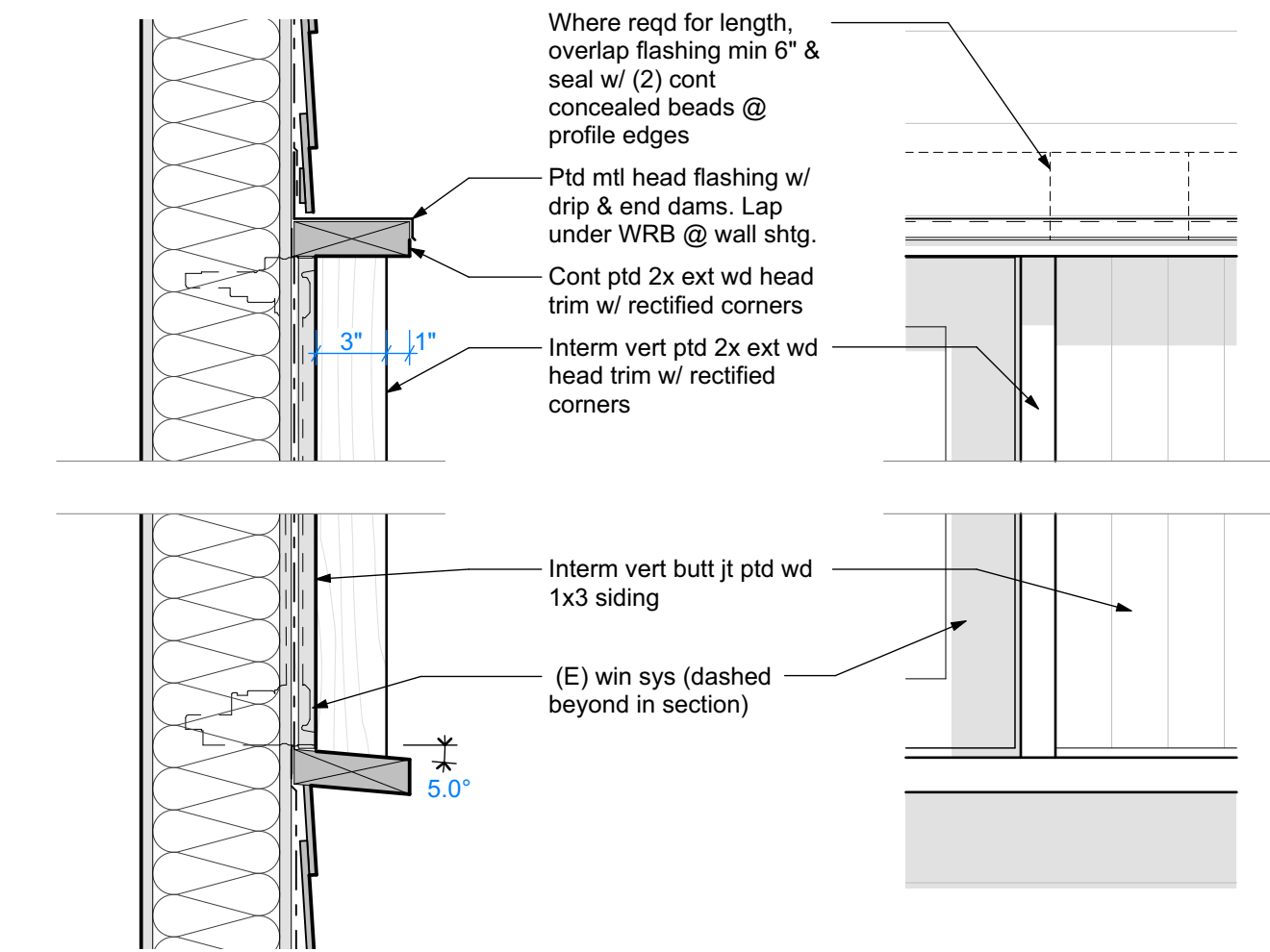
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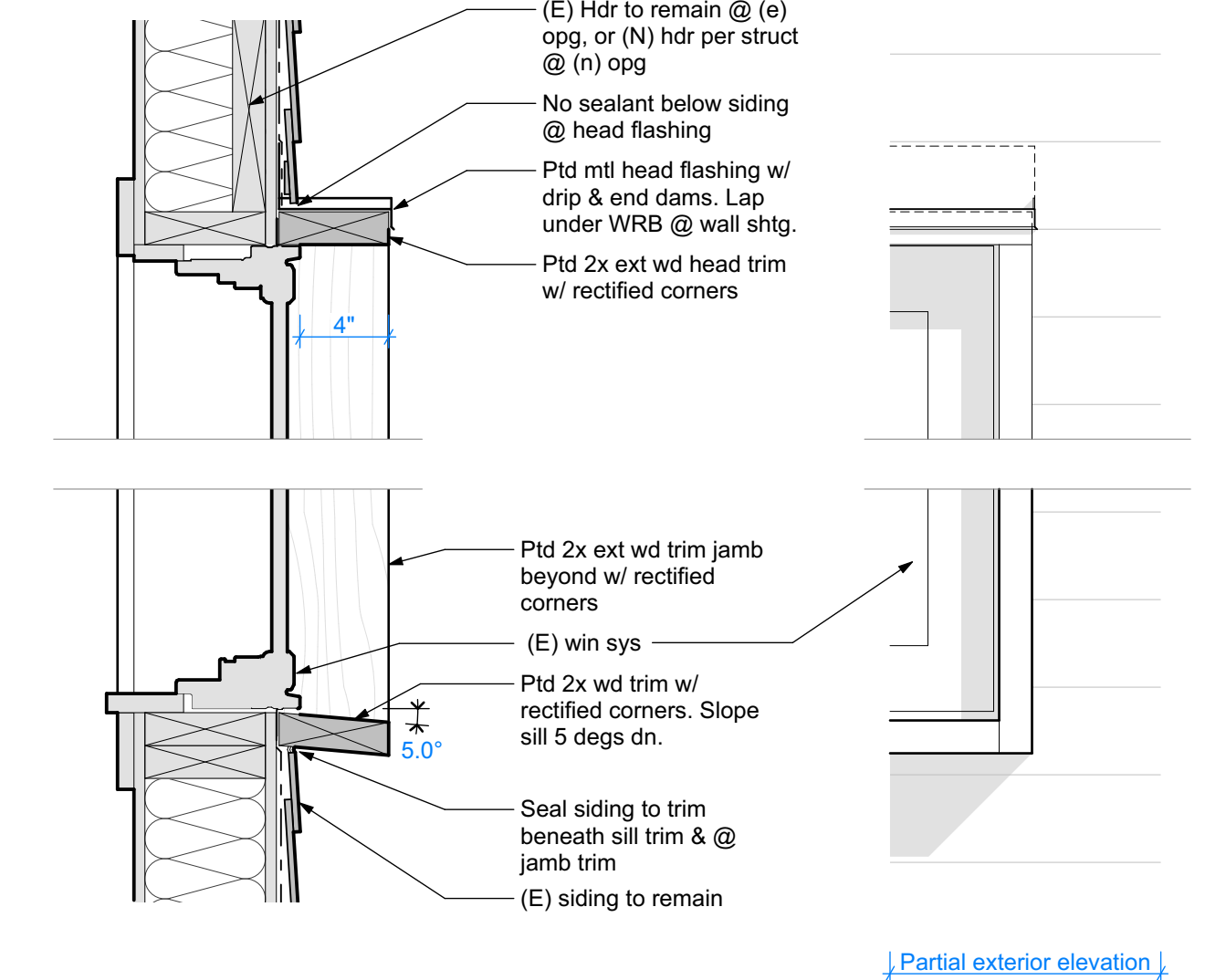
A501

August 15, 2024

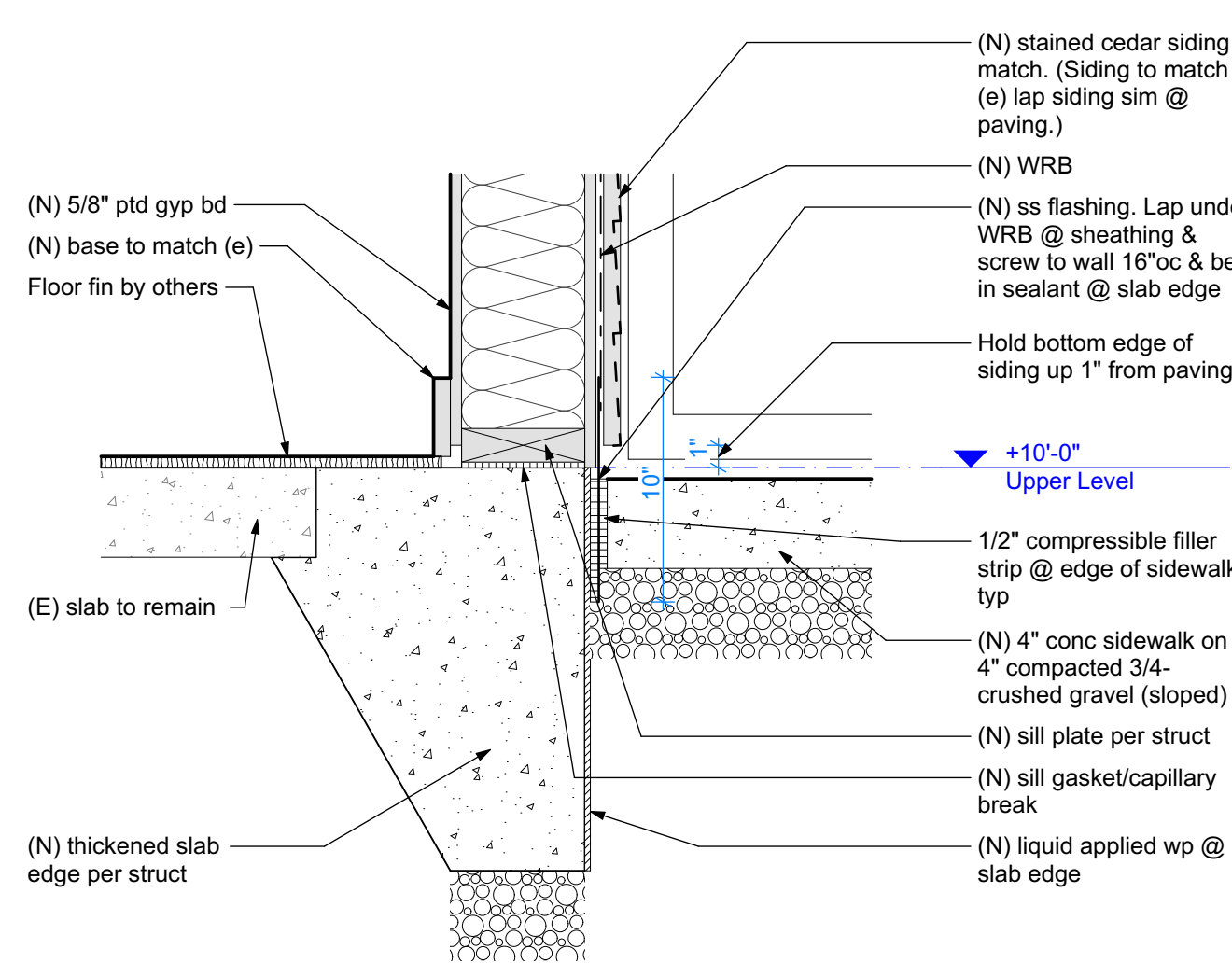
23 of 25



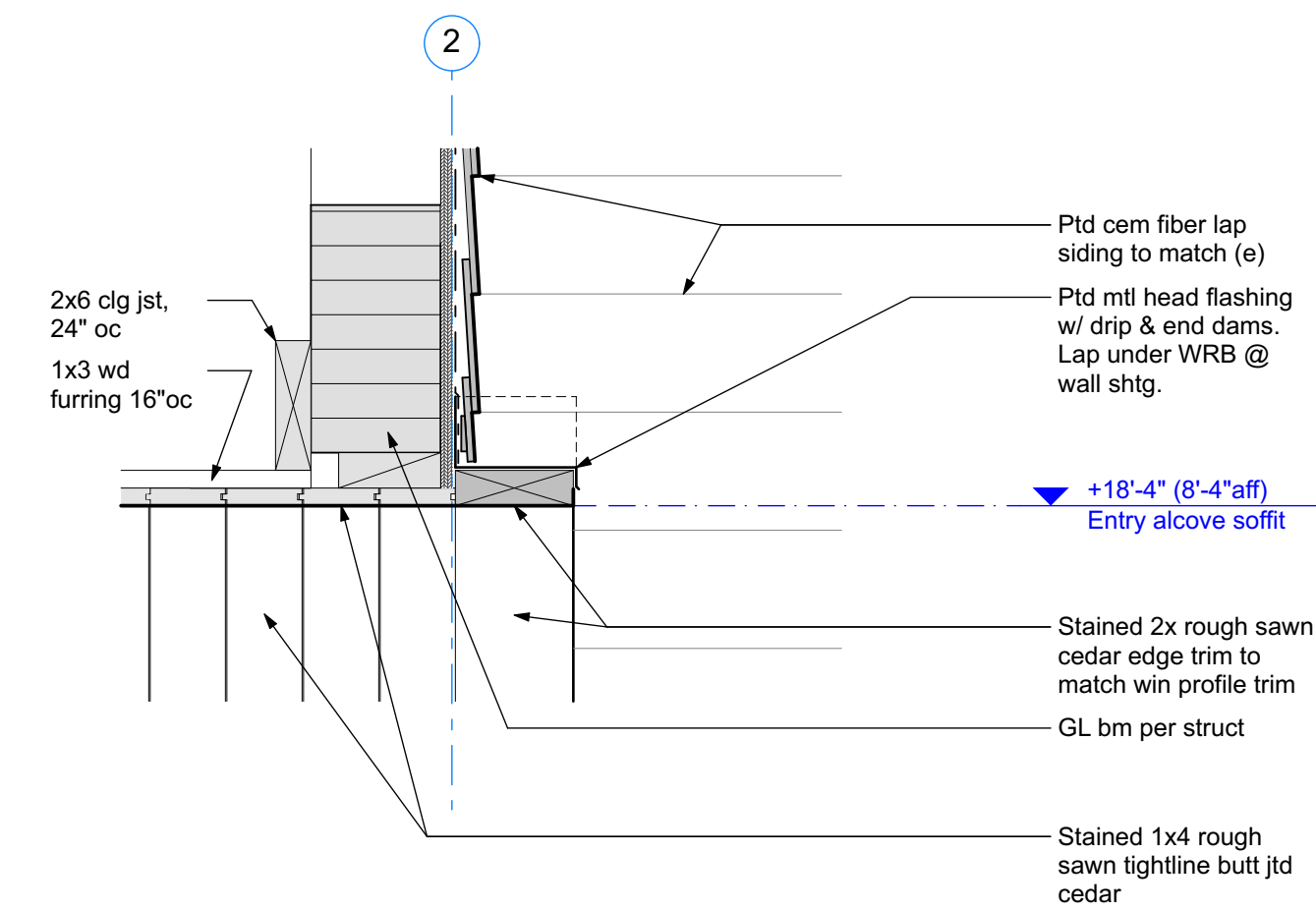
3 Section Dtl: Win Trim Profile - Intern Vert
A501 SCALE: 1 1/2"= 1'-0"



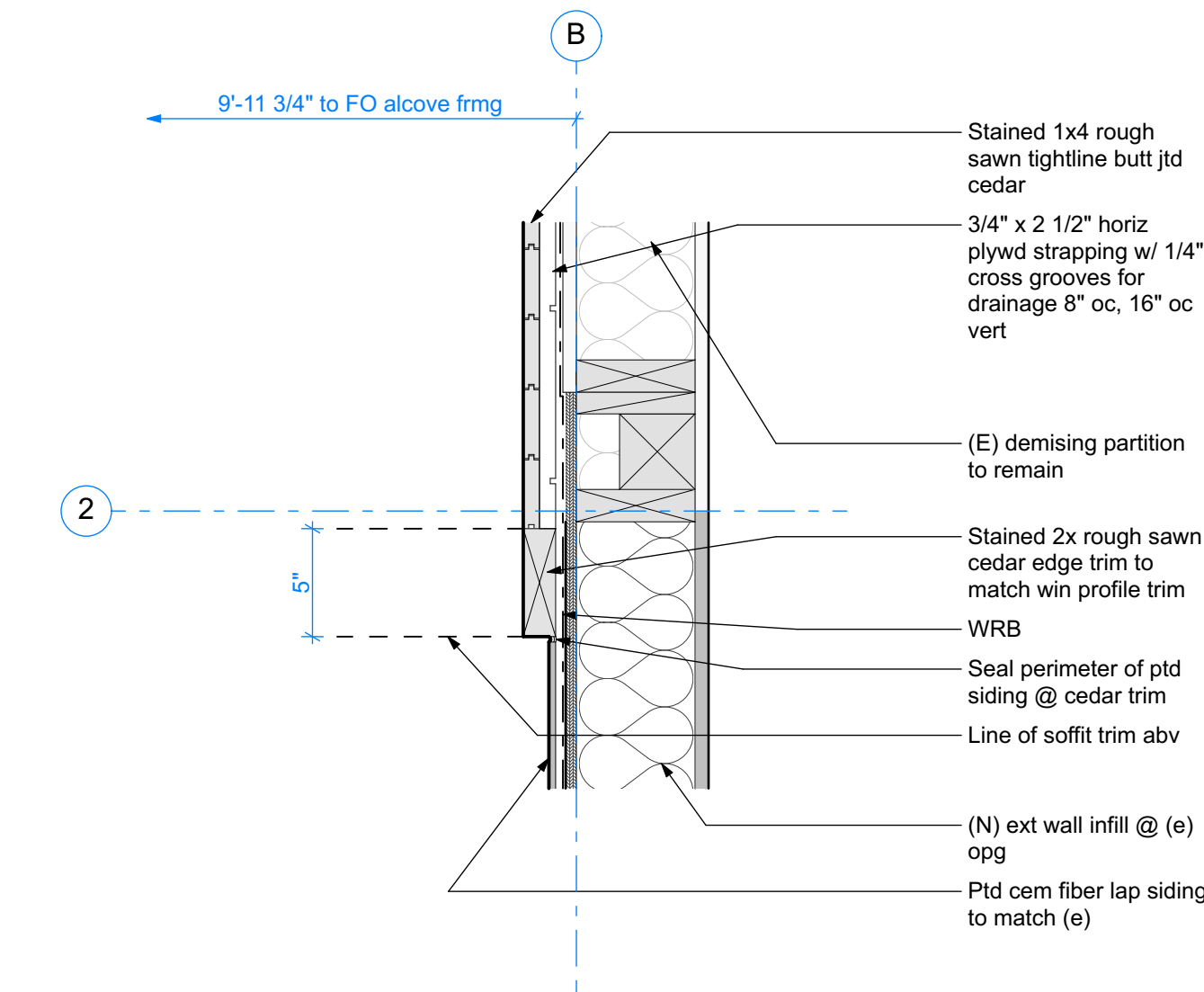
2 Section Dtl: Win Trim Profile - Perimeter
A501 SCALE: 1 1/2"= 1'-0"



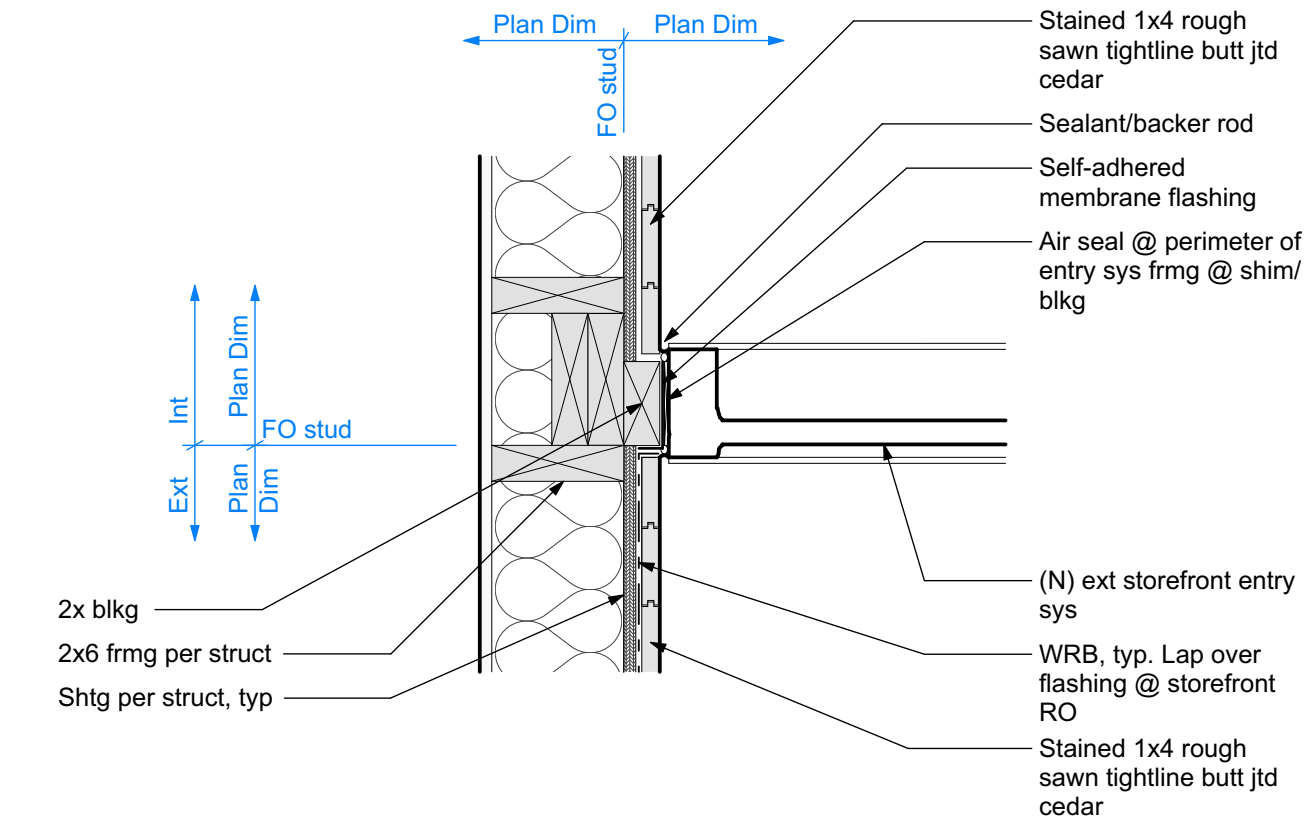
1 Section Detail: Slab Edge
A501 SCALE: 1 1/2"= 1'-0"



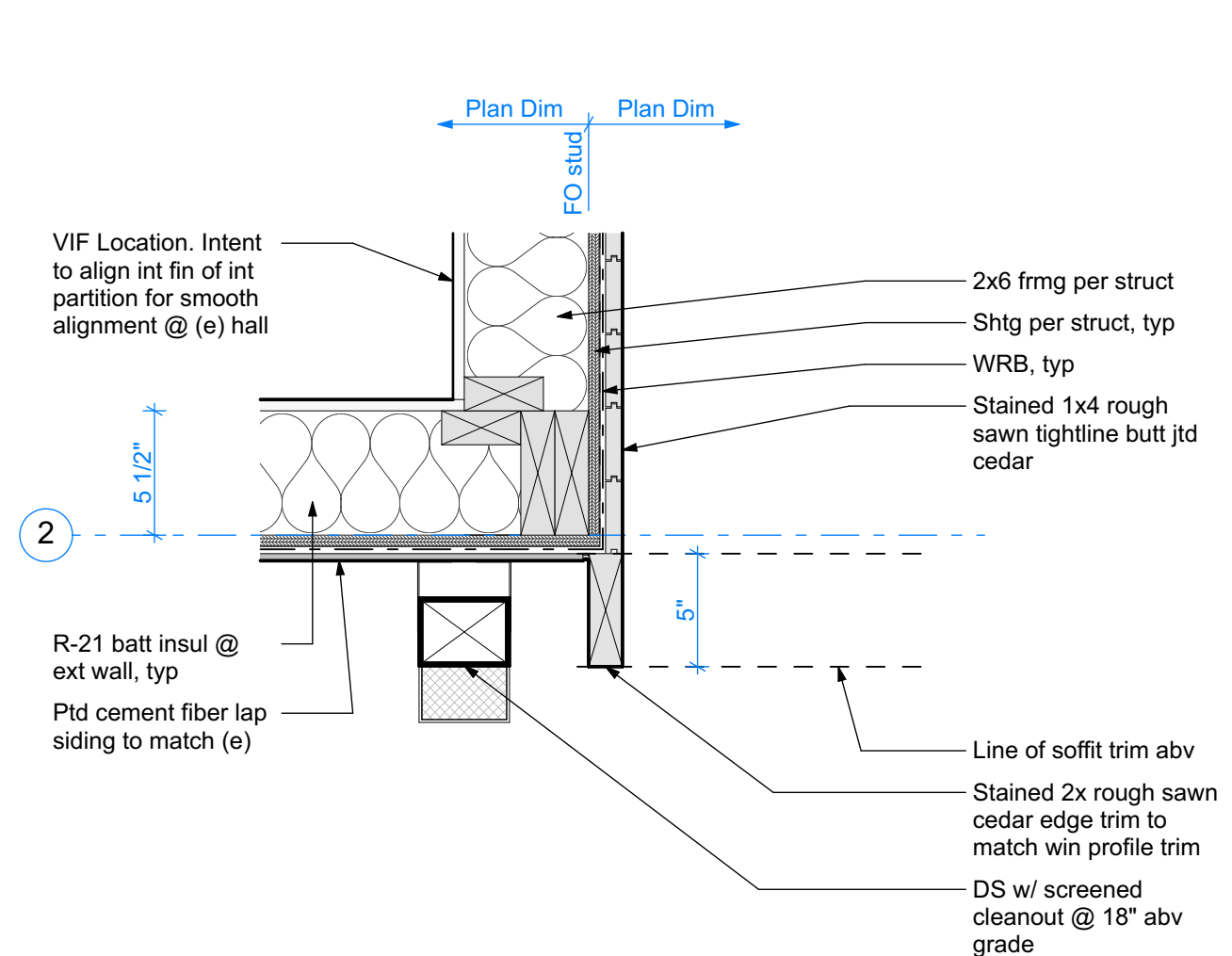
6 Section Dtl: Entry Alcove Trim Profile
A501 SCALE: 1 1/2"= 1'-0"



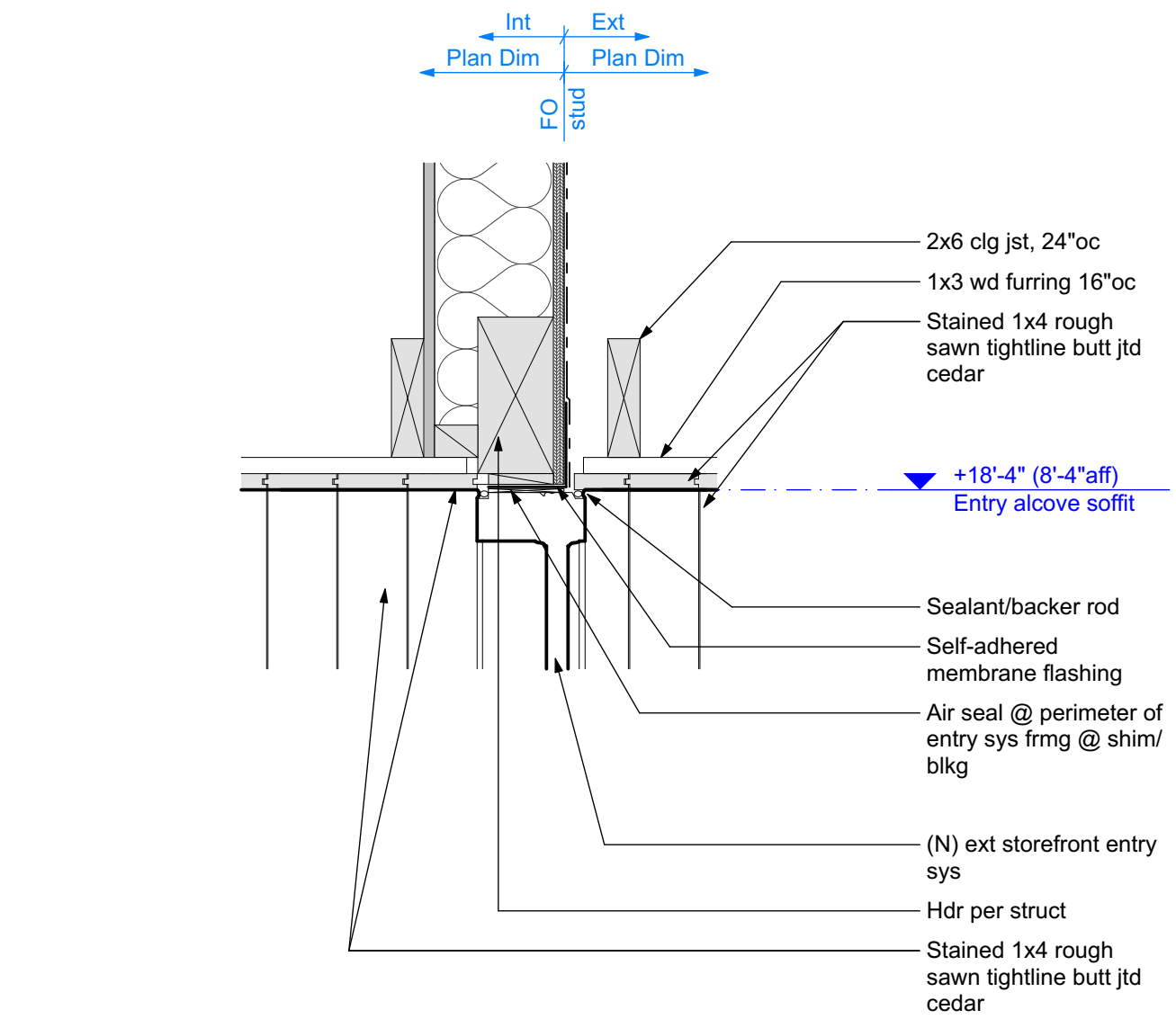
4 Plan Detail: Entry Alcove Trim Profile - Parallel
A501 SCALE: 1 1/2"= 1'-0"



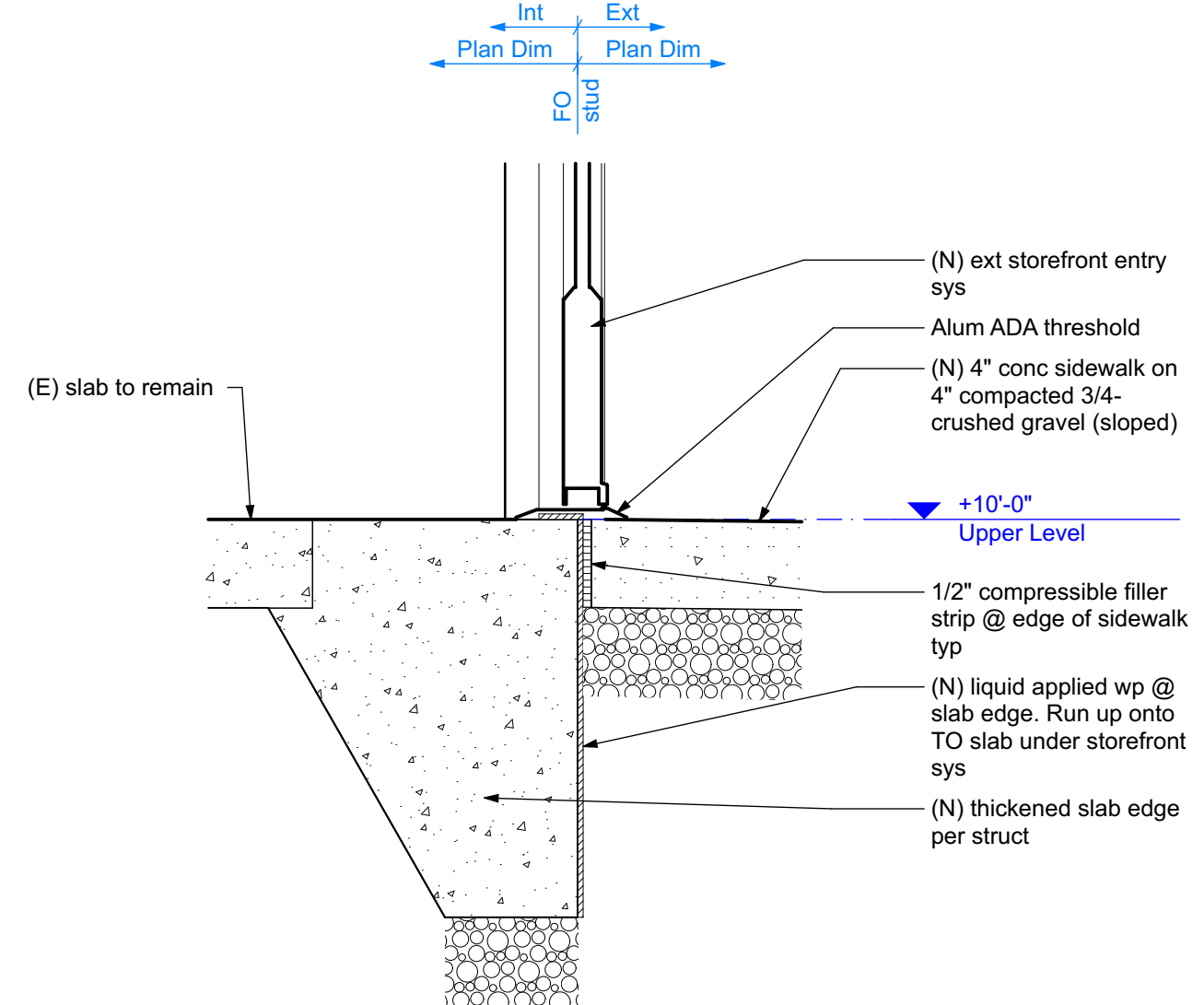
8 Plan Detail: Siding @ Entry Storefront
A501 SCALE: 1 1/2"= 1'-0"



7 Plan Detail: Entry Alcove Trim Profile - Perp
A501 SCALE: 1 1/2"= 1'-0"

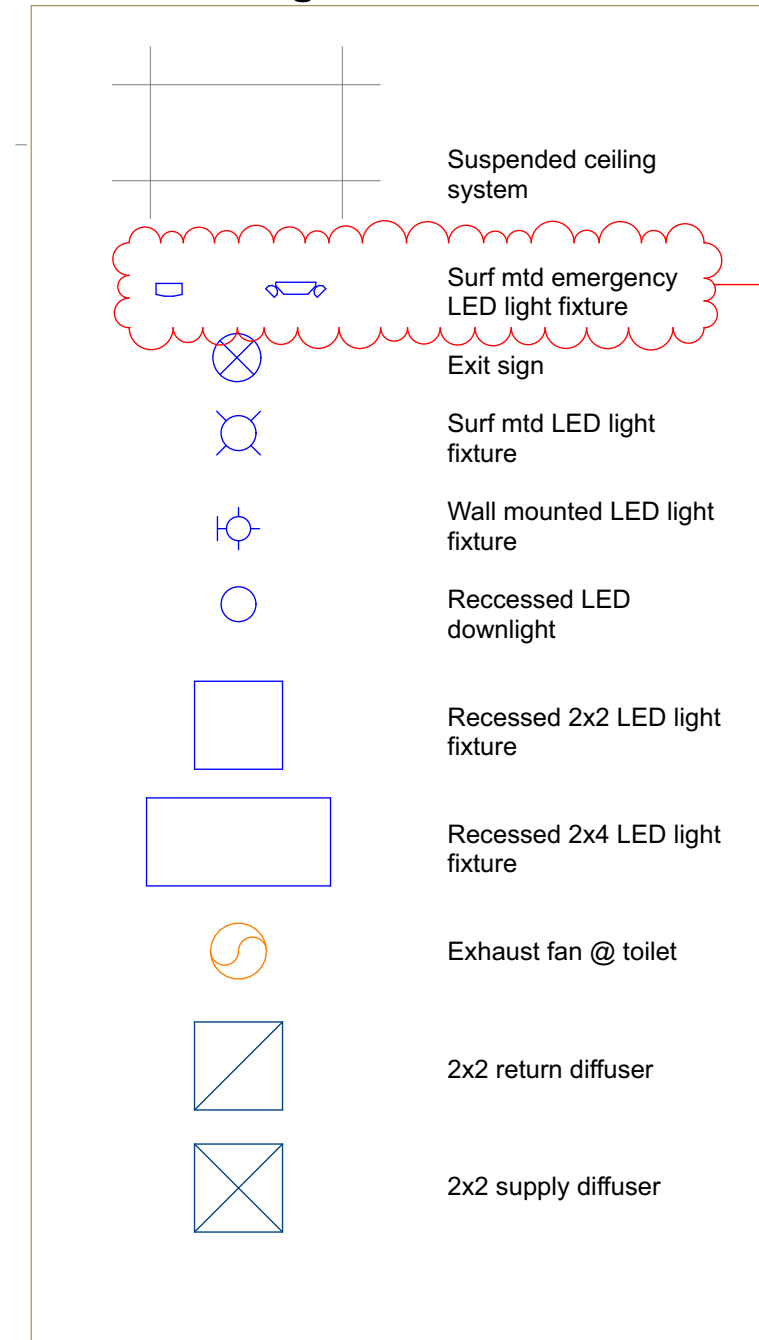


12 Section Dtl: Soffit @ Entry Storefront
A501 SCALE: 1 1/2"= 1'-0"



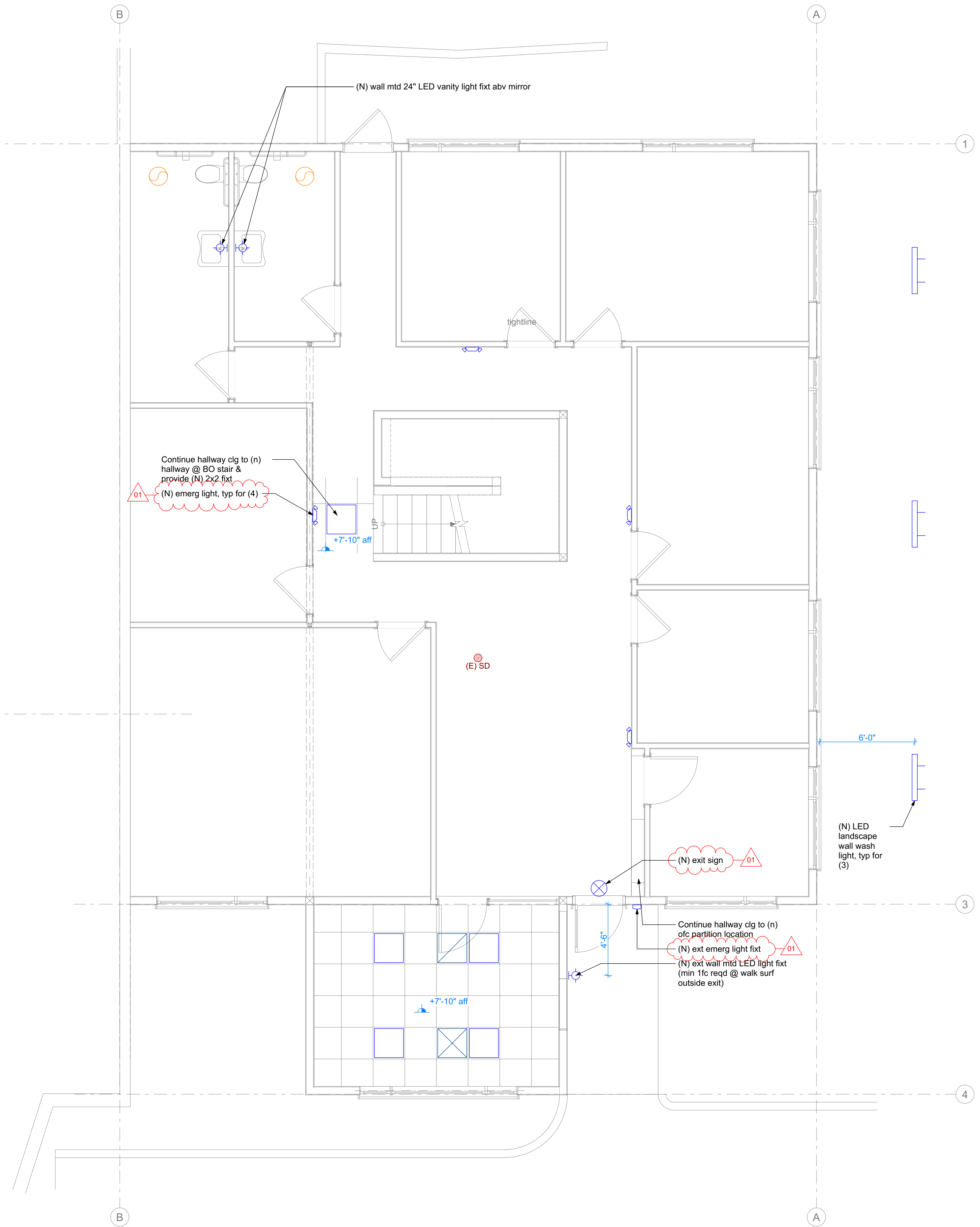
11 Section Detail: Entry Threshold
A501 SCALE: 1 1/2"= 1'-0"

Electrical Legend



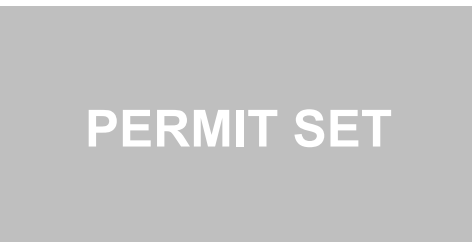
Electrical Notes

- Provide 4" sound batt insulation above the ceiling:
 - at new suspended ceiling system; and
 - where existing suspended ceiling to remain is divided by a new partition to subdivide an existing room.
- All mech, elec, plum, or fire work under separate permits. Any mech, elec, plum or fire shown herein for reference only.
- Finish light fixture specifications under separate elec permit. Energy budget identified here. Lighting allowance per ASHRAE 90.1-2019 Table 9.3.1-1:
 - Office: 0.7 w/sf
 - Spaces ≤ 250sf to be controlled by a manual-ON occupant sensor.
 - Spaces > 250sf to be controlled by an occupant sensor.
- Provide automatic lighting controls to turn lighting off when spaces are unoccupied or scheduled to be unoccupied.
- Elec sub to provide energy form for selected light fixtures w/ trade permit mats. Basis of design fixture selections on E002, but final fixture selections to be by owner.
- See A402 for suspended ceiling details.
- Emergency lighting: Required means of egress shall be lit at all times whenever the building is occupied. In the event of power loss, emergency lighting shall automatically illuminate and remain on for 90 minutes minimum. Emergency lighting shall provide an average of 1 foot candle measured along the path of egress at floor level.
- Exit signs: Exit signs are not required in areas or spaces that only require one exit. Exit signs, where provided, shall be lit at all times and have a 90 minute run time in the event of primary power loss. Internally lit signs shall comply with UL 924. Externally lit signs shall comply with OSSC 1011.5



REVISIONS

#	Date	Description
01	8/23/24	CONCIRT RSPNS

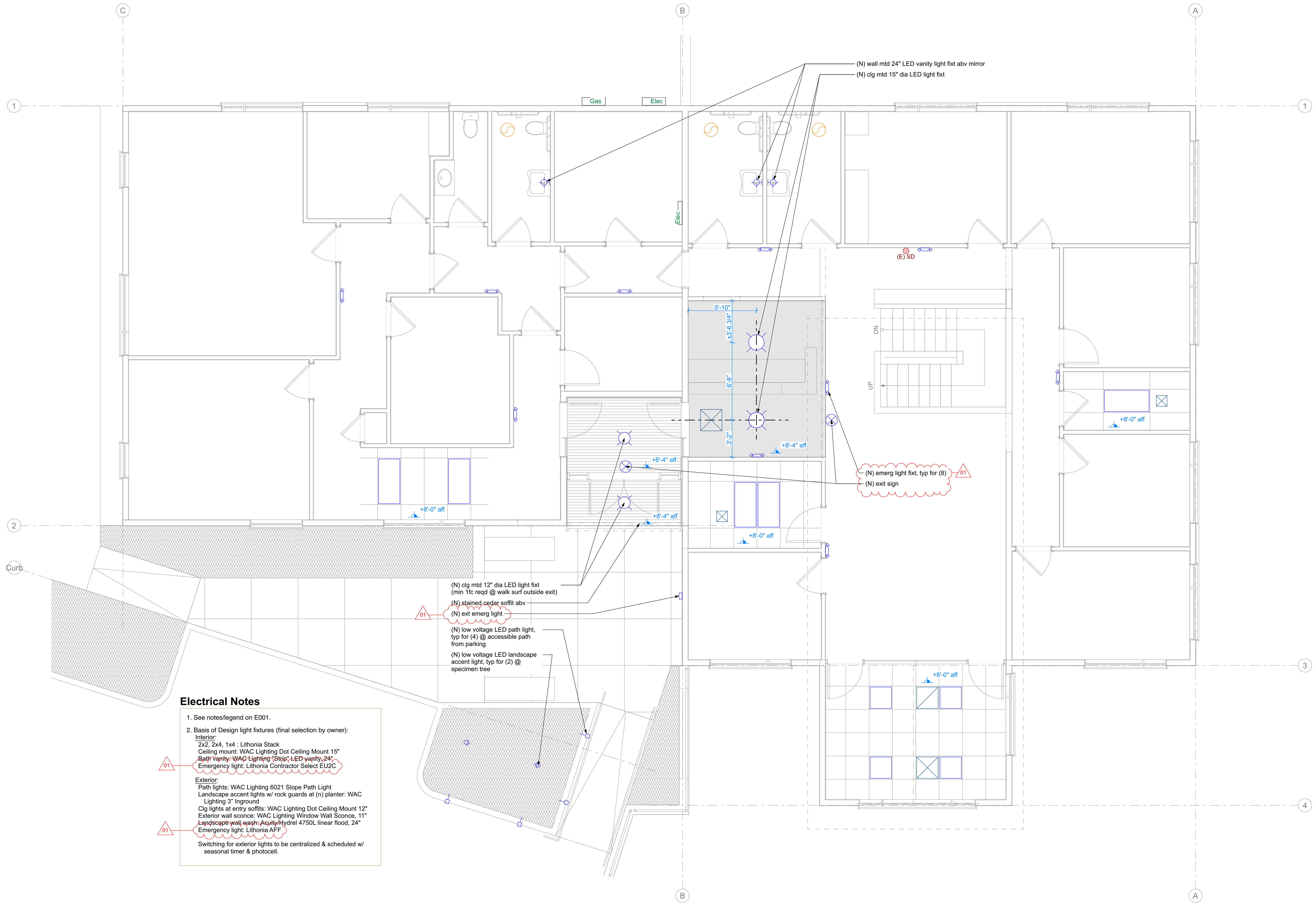


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stamp
drawing title
Electrical Lower Level Floor Plan
drawing #
E001
date
August 15, 2024
sheet
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Electrical Notes

- See notes/legend on E001.
- Basis of Design light fixtures (final selection by owner):
 - Interior:
 - 2x2, 2x4, 1x4 : Lithonia Stack
 - Ceiling mount: WAC Lighting Dot Ceiling Mount 15"
 - Bath vanity: WAC Lighting "Strip", LED vanity, 24"
 - Emergency light: Lithonia Contractor Select EU2C
 - Exterior:
 - Path lights: WAC Lighting 6021 Slope Path Light
 - Landscape accent lights w/ rock guards at (n) planter: WAC Lighting 3" Inground
 - Clg lights at entry soffits: WAC Lighting Dot Ceiling Mount 12"
 - Exterior wall sconce: WAC Lighting Window Wall Sconce, 11"
 - Landscape wall wash: AcuityHydrel 4750L linear flood, 24"
 - Emergency light: Lithonia AFF

Switching for exterior lights to be centralized & scheduled w/ seasonal timer & photocell.

REVISIONS

#	Date	Description
01	8/23/24	CONCRIT RSPNS

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2500 Willamette Falls Drive
West Linn, OR 97068



Electrical Upper
Level Floor Plan

E002

August 15, 2024

25 of 25

**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Adam Christie, Christie Architecture
Address: 9532 SW 18th Place, Portland, OR 97219
Phone: 503.756.6677
Email: adam@christiearchitecture.com
Site Address: 2500 Willamette Falls Dr
City: 2500 Willamette Falls Dr
Map & Tax Lot #: 21E35DD03600
Business Name: Twenty-Five Hundred LLC
Land Use/Building Jurisdiction: City of West Linn
Land Use/ Building Permit # 935-24-000824-STR

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description

Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. Improve existing toilets for accessibility. Existing rotting entry bridge is removed.

Permit/Review Type (check one):

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
 - * Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2024-0122
Permit Type: SPP-West Linn
Submittal Date: 08-21-2024
Assigned To: DFM Arn
Due Date: NA
Fees Due: \$0.
Fees Paid: \$0.

**Approval/Inspection Conditions
(For Fire Marshal's Office Use Only)**

This section is for application approval only

 08-27-2024
Fire Marshal or Designee Date

Conditions: **See approved fire service plan.**

See Attached Conditions: Yes No

Site Inspection Required: Yes No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID _____ Date _____

ABBREVIATIONS

AB	anchor bolt	L	long, length
AC	air conditioning	LAM	laminated (d)
ACOU	acoustical	LAV	lavatory
ADJ	adjacent	LN	lane
AFF	above finish floor	LT	light
AGG	aggregate		
AL	aluminum	MAS	masonry
ALT	alternative	MATL	material
ANOD	anodized	MAX	maximum
APPROX	approximate (ly)	MDF	medium density fiberboard
ARCH	architect (ural)	MECH	mechanical
AUTO	automatic	MEMB	membrane
AVE	avenue	MED	medium
		MEZZ	mezzanine
BD	board	MFR	manufacturer
BLDG	building	MFG	manufacturing
BLKG	blocking	MH	manhole
BO	bottom of	MIL	1/1000 inch
BOT	bottom	MM	millimeter
BR	bedroom	MIN	minimum
		MIR	mirror
CB	catch basin	MISC	miscellaneous
CEM	cement	MTL	metal
CFCI	contractor furnished contractor installed	MW	microwave
CG	clear glass		
CH	ceiling height	(N)	new
CHNL	channel	N	north
CI	cast iron	N/A	not applicable
CJ	control joint	NIC	not in contract
CL	close	NO	number
CLG	ceiling	NOM	nominal
CLR	clear	NTS	not to scale
CMU	concrete masonry unit		
CO	clean out	OC	on center
COL	column	OH	overhang
CONC	concrete	OR	oregon
CONST	construction	OSB	oriented strand board
CONT	continue / continuous	OPP	opposite
CORR	corridor	OPG	opening
CPT	carpet	OHD	overhead door
CSMT	casement	OFCI	owner furnished contractor installed
CT	ceramic tile	OFOI	owner furnished owner installed
CTR	center		
		PTD	painted
DBL	double	PERF	perforated
DEMO	demolish	PL	property line, plate
DET	detail	PLAM	plastic laminate
DIA	diameter	PLAS	plaster
DIAG	diagonal	PLYWD	plywood
DIM	dimension	PNL	panel
DN	down	PR	pair
DR	door, drive	PSF	pounds per square foot
DS	downspout	PSI	pounds per square inch
DTL	detail	PT	pressure treated
DW	dishwasher	PVC	polyvinyl chloride
DWG	drawing	PVMT	pavement
		QTY	quantity
(E)	existing		
E	east		
EA	each	R	riser, radius
EL	elevation	RA	return air
ELEV	elevation, elevator	RB	rubber base
ELEC	electric	RD	roof drain
EMER	emergency	REF	refrigerator
EQ	equal	REINF	reinforced
EQUIP	equipment	REQD	required
ETR	existing to remain	RESIL	resilient
EZH	exhaust	REV	revised
EXIST	existing	RM	room
EXP	expansion	RND	round
EXT	exterior	RO	rough opening
		S	south
FA	fire alarm	SECT	section
FD	floor drain	SF	square feet
FDC	fire department connect	SFTY	safety glazing
FE	fire extinguisher	SGL	single
FF	finish floor	SHR	shower
FH	fire hydrant	SHT	sheet
FIN	finish (ed)	SIM	similar
FLR	floor	SPECS	specifications
FND	foundation	SPRKL	sprinkler
FO	face of	SQ	square
FP	fireproof	SS	stainless steel
FRP	fiber reinforced panel	STD	standard
FT	foot, feet	STL	steel
FTG	footing	STOR	storage
FURR	furred, furring	STRUC	structural
		T	tread
GA	gauge, gage	TBR	to be removed
GAR	garage	TPL	top of plate
GC	general contractor	TC	top of curb
GL	glass, glazing	TEL	telephone
GALV	galvanized	TEMP	temporary, tempered
GND	ground	T&G	tongue and groove
GR	grade	THK	thick, thickness
GYP	gypsum	TOC	top of concrete
		TP	toilet paper dispenser
HB	hose bib	TS	tube steel
HD	heavy duty	TV	television
HDCP	handicap (ped)	TOW	top of wall
HDR	header	TYP	typical
HDWR	hardware	UNO	unless noted otherwise
HP	horsepower	UL	underwriter's laboratory
HM	hollow metal		
HORIZ	horizontal	VCT	vinyl composition tile
HR	hour	VERT	vertical
HT	height	VEST	vestibule
HTG	heating	VFY	verify
HW	hot water	VT	vinyl tile
HDWD	hardwood	W	west, width
HVAC	heating, ventilation & air conditioning	W/	with
		WD	washer & dryer
IN	inch	WID	wide flange
INCL	include(d)	WF	water heater
INSUL	insulate, insulated, insulation	W/O	without
INT	interior	WP	waterproof
		&	and
		@	pound, number
		#	

GENERAL NOTES

- All clear dimensions are to be exactly within 1/8" of full height and width of walls. Contractor shall not adjust any dimension marked "Clear" or "CLR" without written instruction from the architect.
- All dimensions shown are to face of the finish walls, UNO.
- The contractor shall field verify all existing conditions, dimensions, and elevations. The contractor shall notify the architect of any discrepancies from conditions shown on the drawings prior to starting work.
- Existing concealed conditions and connections are based upon information taken from limited field investigations. The contractor shall make required adjustments to system components as necessitated by actual field conditions and notify owner of any change to cost prior to performing the work.
- These drawings are not to be scaled for any reason.
- Where one detail is shown for one condition, it shall apply for all like or similar conditions, even though not specifically marked on the drawings or referred to in the specifications, unless noted otherwise.
- All work shall comply with all applicable codes, ordinances, and regulations.
- The contractor shall verify that no conflicts exist between the locations of any and all mechanical, electrical, plumbing, or structural elements and that all required clearances for installation and maintenance are met. Notify the architect of any conflicts prior to proceeding with the work.
- If the contractor or sub-contractors find it necessary to deviate from original approved plans, then it is the contractor's responsibility to provide the architect with a written notification of the proposed changes for the architect's approval prior to proceeding with the work.
- Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. The contractor shall be responsible for removal of all construction debris from project site on a daily basis.
- All manufacturer's specifications shall be complied with. If a conflict between the drawings and a manufacturer's specification is discovered, the contractor shall notify the architect in writing prior to proceeding with the work.
- The contractor shall be responsible for cutting, fitting, or patching required to complete the work or to make its parts fit together properly.
- The contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work.
- The contractor is responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, etc. according to applicable codes, standards, and good construction practices.
- The contractor and sub-contractors shall be responsible for procuring all necessary inspections and approvals from building authorities during the execution of the work.
- Exterior walls open during work shall be insulated to current code requirements. If wall depth is greater than minimum code insulation thickness, fill framing cavities.

DEMOLITION NOTES

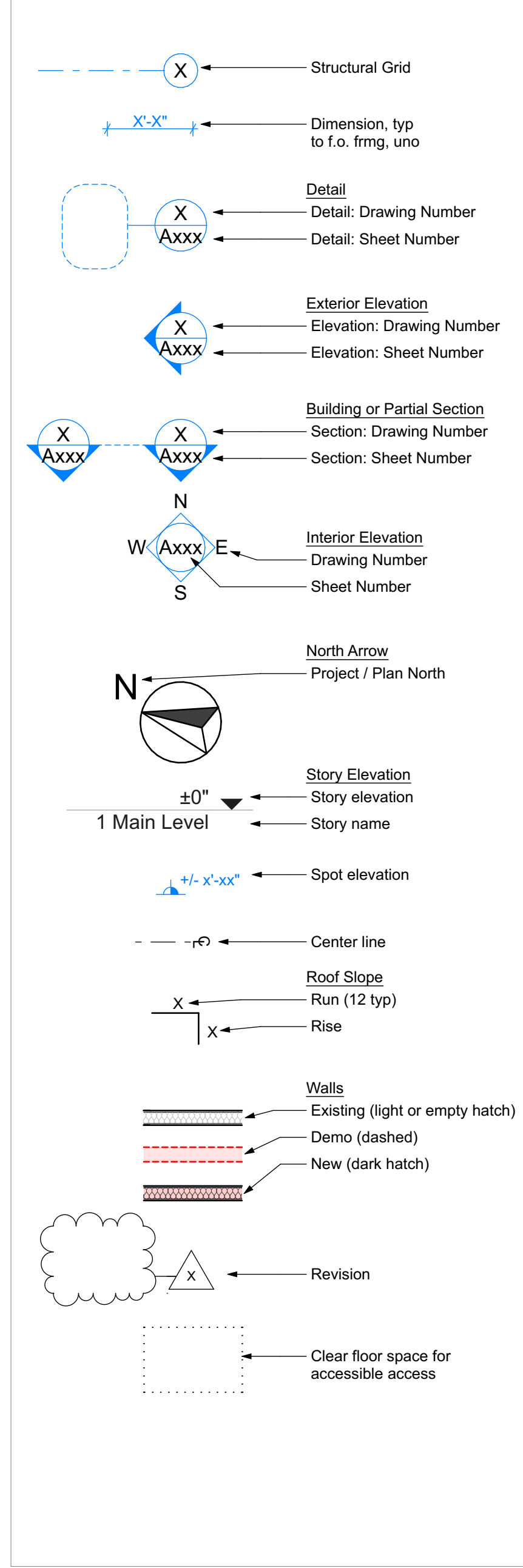
- Remove all existing constructions & finishes necessary for the completion of the work as depicted on the drawings, including but not limited to, items shown on the plans with dashed lines. Necessary disconnects & alterations to existing mechanical and electrical systems shall be included. Where contractor is designated to make removals, disposal of materials is the responsibility of the contractor. Verify with owner, the disposal and removal of any components of salvageable value.
- Where applicable, level all existing floors as required to receive new floor finishes. Install required transition pieces between various floor finishes suitable for conditions & acceptable to the owner. Match existing wherever possible.
- Patch existing walls to remain (gypsum drywall or plaster) to match existing of sufficient thickness to maintain uniform wall thickness.
- Patch all finishes to match existing. Verify match of new finish materials to existing in color, texture, thickness, cut, etc... to satisfaction of owner prior to installations.
- Temporary shoring of structural elements is the responsibility of the contractor.

Prescriptive Envelope Requirements

Partial summary per Table 5.5-4 from ASHRAE 90.1-2019 -- Climate Zone 4C

Opaque assemblies	Max U	Min R-value
Roofs		
Attic & other	0.021	R-49
Walls, abv grade		
Steel frmd	0.064	R-13 + R-7.5ci
Wood frmd & other	0.064	R-13 + R3.8ci or R-20
Walls, below grade		
Below grade wall	C-0.119	R-7.5ci
Floors		
Steel frmd	0.038	R-30
Wood-frmd & other	0.033	R-30
Slab-on-Grade Floors		
Unheated	F-0.520	R-15 for 24in
Wood-frmd & other	F-0.843	R-20 for 24in
Opaque doors		
Swinging	0.37	
Non-swinging	0.31	
Fenestration		
Windows max 40% of above grade gross wall area. Skylights max 3% of roof area.		
	Max U	Max SHGC
Fixed:	0.36	0.38
Operable:	0.45	0.33
Entrance door:	0.63	0.33
Skylights:	0.50	0.40

LEGEND



25% for ADA (ORS 447.241)

Accessibility primary function budget:

a: **Parking:** @ Upper parking, provide new accessible ramp & 9'x18' parking space w/ 5' wide access aisle.

b: **Entry:**

- @ Upper level: Provide new sidewalk/curb, new covered alcove entry, new entry doors, and new vestibule to create new main entry from upper level parking.
- @ Lower level: Provide new door to lower level (not main entry).

c: **Route to the altered area:** New accessible swing doors provided at newly created rooms.

d: **Restrooms:** Modify existing toilets to improve accessibility by removing vanities that encroach on the existing doors & replacing with wall-mid sinks. Walls & doors of existing toilets not altered.

e: **Telephones:** No public telephones in bldg.

f: **Storage:** No public storage access in bldg.

All new work in proposed alteration in tenant improvement to be accessible per current code.

Valuation of proposed construction:	\$50,000
25% of valuation for accessibility improvements:	\$12,500
Subtask valuations	
Parking	\$3,000
Entry	\$8,000
Route	\$1,000
Restrooms	\$500

PROJECT TEAM

Architect:	Structural Engineer:
Christie Architecture 9532 SW 18th Place Portland, OR 97219	Butler Consulting, Inc 12501 SE Scott Creek Lane Happy Valley, OR 97086
Contact: Adam Christie p: 503.756.6677 e: adam@christiearchitecture.com	Contact: Mark Butler p: (503) 658-0200 e: mark@bcengineering.com

APPLICABLE CODES

ALL WORK IS TO COMPLY WITH:

- 2022 Oregon Structural Specialty Code (OSSC)
- 2021 Oregon Energy Efficiency Specialty Code (OEESC)
- 2023 Oregon Electrical Specialty Code (OESC)
- 2022 Oregon Mechanical Specialty Code (OMSC)
- 2023 Oregon Plumbing Specialty Code (OPSC)

City of West Linn Community Development Code (CDC)

Building Code Summary

Existing building		
Construction Type:	Type V-B	
Sprinklers:	Not sprinklered	
Occupancy Groups:	Group B, Business	
Existing Building Areas/Occupancies:		
First floor:	2,185 gsf	Group B, Business
Second floor:	3,945 gsf	Group B, Business
Total bldg area (e):	6,130 gsf	
Proposed New Building Areas/Occupancies:		
First floor:	2,278 gsf	Group B, Business [93 gsf new]
Second floor:	3,998 gsf	Group B, Business [53 gsf new]
Total bldg area (n):	6,276 gsf	[146 gsf new]
Proposed alteration work area < 50% building area.		
Height Limitation:	NS	
In FT abv Grade Plane (504.3):	40'	
In Stories abv Grade Plane (504.4):	2	
Allowable Area (Table 506.2):		
Group B Occupancy, tabular:	9,000 sf	
Bldg Element Fire Rating Reqts (Table 601):		
Primary Structural Frame:	0	
Bearing Walls - Exterior:	0	
Bearing Walls - Interior:	0	
Non-bearing Walls - Exterior:	*	
Non-bearing Walls - Interior:	0	
Floor Assembly:	0	
Roof Assembly:	0	

* No adjacent structures within 30', so no required rating at exterior bearing walls. (Table 705.5)

Submittals

- The following submittals are required:
- Windows
 - Storefront, interior & exterior
- Deferred Submittals:**
- Electrical, incl energy form for lighting via elec sub
- Submittal Notes:**
- Types of Submittals: Provide types of submittals listed below. Transmit in pdf format to architect for review. Allow 7 business days for review by design team.
 - Shop drawings, reviewed and annotated by the Contractor.
 - Product data.
 - Samples, as required to indicate range of color, finish, and texture to be expected.
 - Inspection and test reports.
 - Warranties.
 - Submittal Procedures: Provide required re-submittals, if original submittals are not approved. Provide distribution of approved copies including modifications after submittals have been approved.
 - Samples and Shop Drawings: Samples and shop drawings shall be prepared specifically for this project. Shop drawings shall include dimensions and details, including adjacent construction and related work. Note special coordination required. Note any deviations from requirements of the Contract Documents.
 - Warranties: Provide warranties as specified; warranties shall not limit length of time for remedy of damages Owner may have by legal statute. Contractor, supplier or installer responsible for performance of warranty shall sign warranties.

SCOPE

PROPERTY:	2500 Willamette Falls Drive, West Linn, OR 97068
TAX LOT #:	21E35DD03600
ZONING:	GC, General Commercial
SCOPE:	Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. Improve existing toilets for accessibility. Existing rotting entry bridge is removed.

DEVELOPMENT STANDARDS

Setbacks		
Front	0'	20' max from arterial
Side	0'	0'
Rear	0'	0'
Max building height	3.5 stories or 45'	
Max lot coverage	50%	
Proposed scope of work does not challenge any of the dimensional development standards.		

**City of West Linn
TVFR Land Use
Review**

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FS-2	G001 Site Survey (For Reference)
	G002 Life Safety Plans - Existing
	G003 Life Safety Plans
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FS-3	A000 Site Plan
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	D101 Existing Demolition Lower Level Floor Plan
	D102 Existing Demolition Upper Level Floor Plan
	D103 Existing Demolition Roof Plan
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	S-2 Floor Framing Plan
	S-3 Roof Framing Plan
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FS-5	A302 Building Elevations
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	A311 Building Sections
	A312 Building Sections
Interior Elevations	
	A401 Interior Details & Schedules
	A402 Interior Details
	A403 Storefront Elevations
Details	
	A501 Details
Electrical	
	E001 Electrical Lower Level Floor Plan
	E002 Electrical Upper Level Floor Plan

FS-1

CHRISTIE ARCHITECTURE

9532 SW 18th Place
Portland, OR 97219
503.756.6677

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Tualatin Valley Fire & Rescue
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Deputy Fire Marshal II
TVFR Permit# 2024-0122

REVISIONS

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2500 Willamette Falls Drive
West Linn, OR 97068

REGISTERED ARCHITECT
ADAM CHRISTIE
PORTLAND, OR
6470
STATE OF OREGON

Proj Info, Notes, Abbvrs, Legend

G000

August 15, 2024

1 of 25



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EXISTING CONDITIONS MAP

TAX LOT 3600, MAP 2S, 1E, 35DD
LOCATED IN THE S.E. 1/4 SECTION 35, T.2S., R.1E., W.M.
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON
MAY 16, 2024 SCALE 1"=10'

SURVEY NOTES:

THE DATUM FOR THIS SURVEY IS BASED UPON A STATIC GPS OBSERVATION OF LOCAL CONTROL POINTS, PROCESSED THROUGH OPUS. DATUM IS NAVD 88.
A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.
THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER PARTITION PLAT NO. 2018-022, RECORDS OF CLACKAMAS COUNTY.
THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS, NO PROPERTY CORNERS WERE SET IN THIS SURVEY.
NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.
NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

UTILITY NOTES:

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 24093085 DATED APRIL 23, 2024.
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.
INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.

LEGEND:

Some Symbols shown may not be used on map

- | | |
|----------------------------|--------------------------|
| 12' DECIDUOUS TREE | UTILITY POLE |
| 24' EVERGREEN TREE | LIGHT POLE |
| DEAD TREE | GUY WIRE |
| STORM SEWER MANHOLE | ELECTRIC BOX |
| CATCH BASIN | ELECTRIC METER |
| CURB INLET | TRANSFORMER |
| AREA DRAIN | ELECTRIC RISER |
| DITCH INLET | HEAT PUMP |
| SANITARY SEWER CLEANOUT | GATE POST |
| SANITARY SEWER MANHOLE | CABLE TV BOX |
| FIRE HYDRANT | CABLE TV RISER |
| WATER MANHOLE | OVERHEAD LINE |
| WATER METER | GAS LINE |
| WATER VALVE | ELECTRICAL LINE |
| HOSE BIB | COMMUNICATIONS LINE |
| IRRIGATION CONTROL VALVE | SANITARY SEWER LINE |
| GAS VALVE | STORM DRAIN LINE |
| GAS METER | WATER LINE |
| MAILBOX | FENCE LINE |
| UTILITY RISER | HANDRAIL |
| UTILITY BOX | HEDGEROW |
| TELEPHONE MANHOLE | CONCRETE |
| TELEPHONE RISER | ASPHALT |
| STORM OUTFALL | PAVERS |
| SIGN | GRAVEL |
| BOLLARD | FD = FOUND |
| FOUND MONUMENT | IP = IRON PIPE |
| DOWN SPOUT TO STORM SYSTEM | IR = IRON ROD |
| DOWN SPOUT TO SPLASH GUARD | YPC = YELLOW PLASTIC CAP |
| COLUMN | ALC = ALUMINUM CAP |
| END OF BIKE RACK | RPC = RED PLASTIC CAP |

REVISIONS

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REMODEL
twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068

SIGNED ON: ZOMAZA
REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
JULY 13, 2004
TOBY G. BOLDEN
60377LS

RENEWS: DECEMBER 31, 2025

CENTERLINE CONCEPTS
LAND SURVEYING, INC.
19376 MOLALLA AVE., SUITE 120
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\TWENTY-FIVE HUNDRED-WILLAMETTE FALLS DR-2500\DWG\ECM-C30.dwg

stamp

drawing title

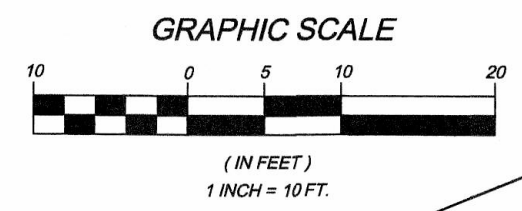
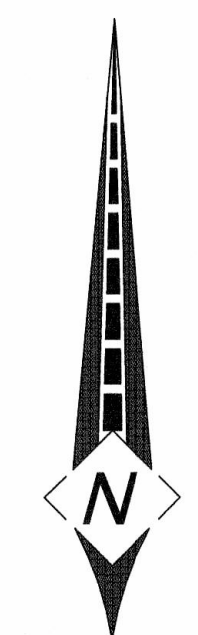
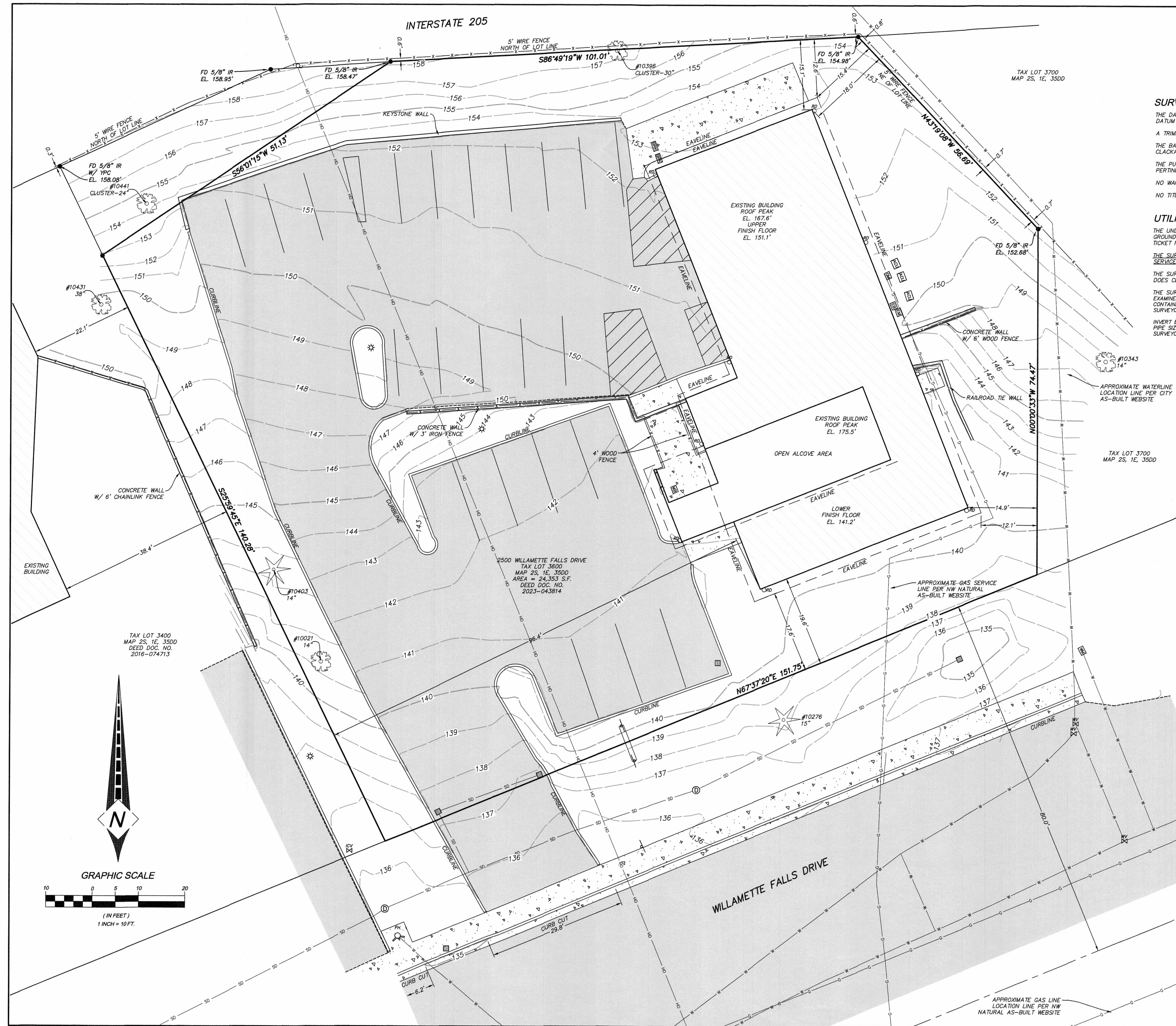


Site Survey (For Reference)

FS-2 G001

August 15, 2024

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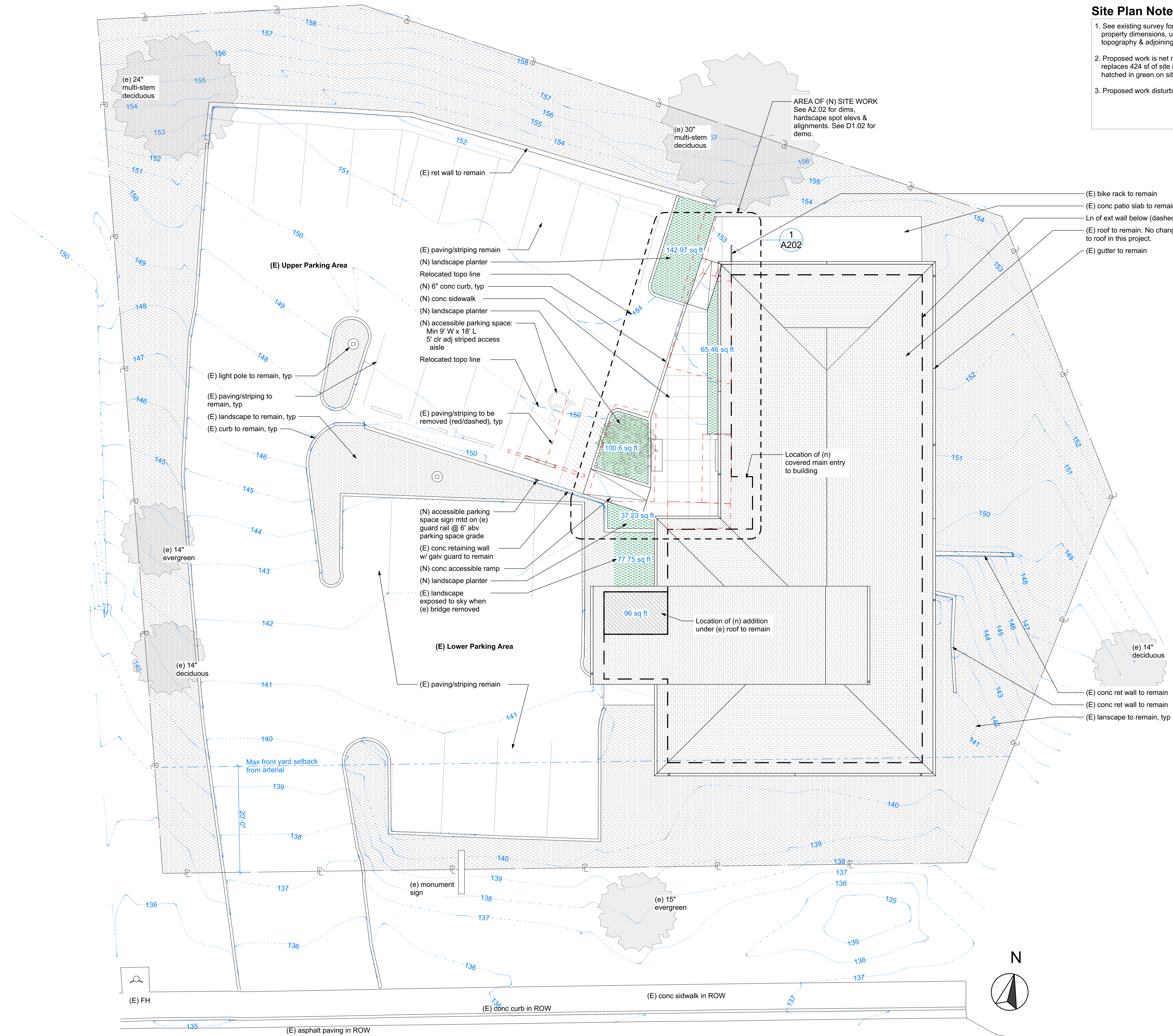




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Deputy Fire Marshal II
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Site Plan Notes

1. See existing survey for additional existing site information, incl property dimensions, utility locations, site tree size/location, topography & adjoining property info.
2. Proposed work is net negative for site impervious area. It replaces 424 sf of site impervious area w/ (n) landscape. (Shown hatched in green on site plan.)
3. Proposed work disturbs less than 1,000sf of existing vegetation.



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stamp

drawing title

Site Plan

FS-3 A000

sheet

August 15, 2024

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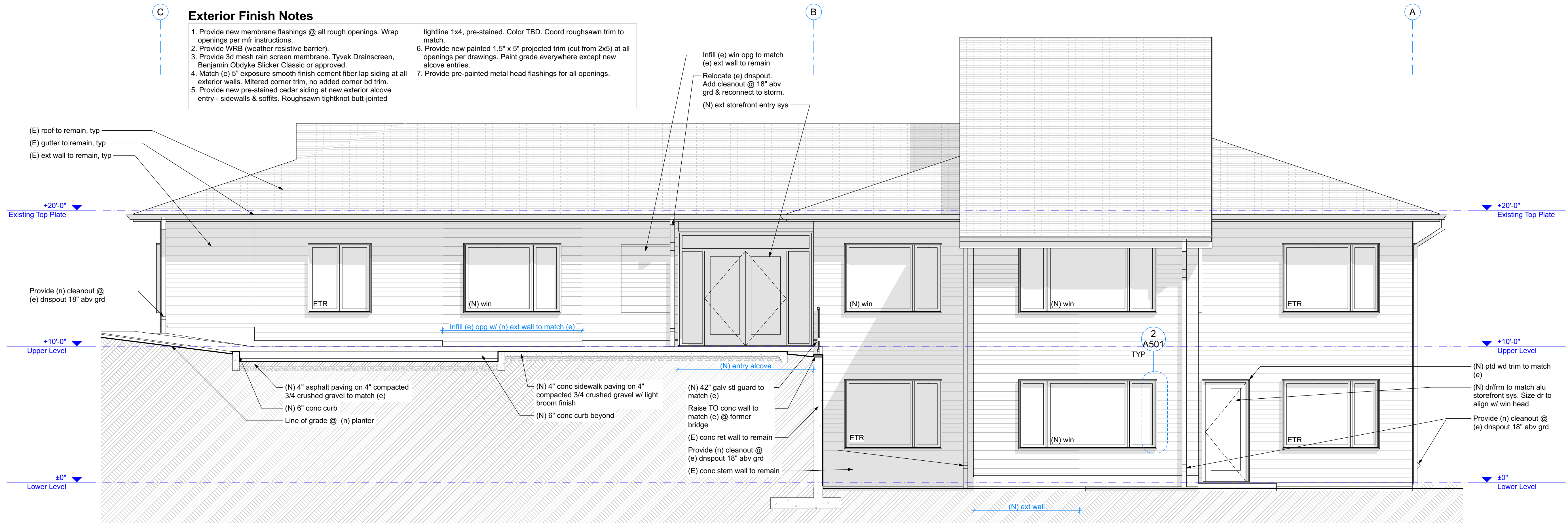


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Exterior Finish Notes

1. Provide new membrane flashings @ all rough openings. Wrap openings per mfr instructions.
2. Provide WRB (weather resistive barrier).
3. Provide 3d mesh rain screen membrane. Tyvek Drainscreen, Benjamin Obdyke Sticker Classic or approved.
4. Match (e) 5" exposure smooth finish cement fiber lap siding at all exterior walls. Mitered corner trim, no added corner bd trim.
5. Provide new pre-stained cedar siding at new exterior alcove entry - sidewalls & soffits. Roughsawn tightknit butt-jointed tightline 1x4, pre-stained. Color TBD. Coord roughsawn trim to match.
6. Provide new painted 1.5" x 5" projected trim (cut from 2x5) at all openings per drawings. Paint grade everywhere except new alcove entries.
7. Provide pre-painted metal head flashings for all openings.



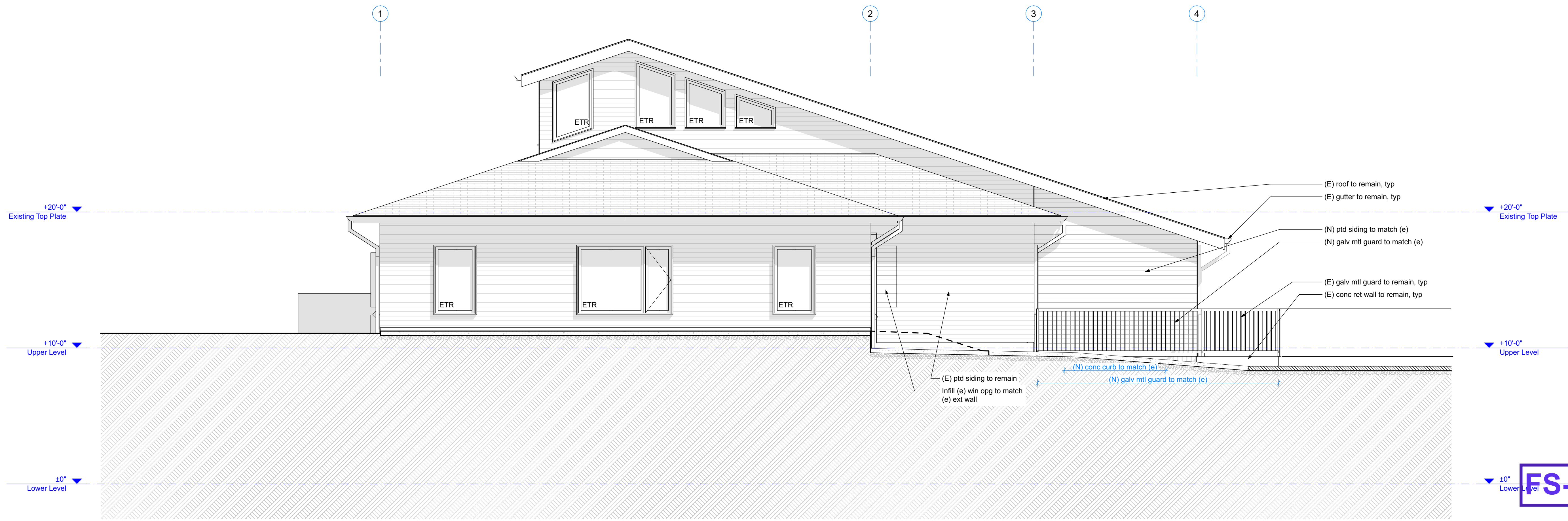
1 West Elevation
A301 SCALE: 1/4" = 1'-0"

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2 North Elevation
A301 SCALE: 1/4" = 1'-0"

Building Elevations

FS-4

A301

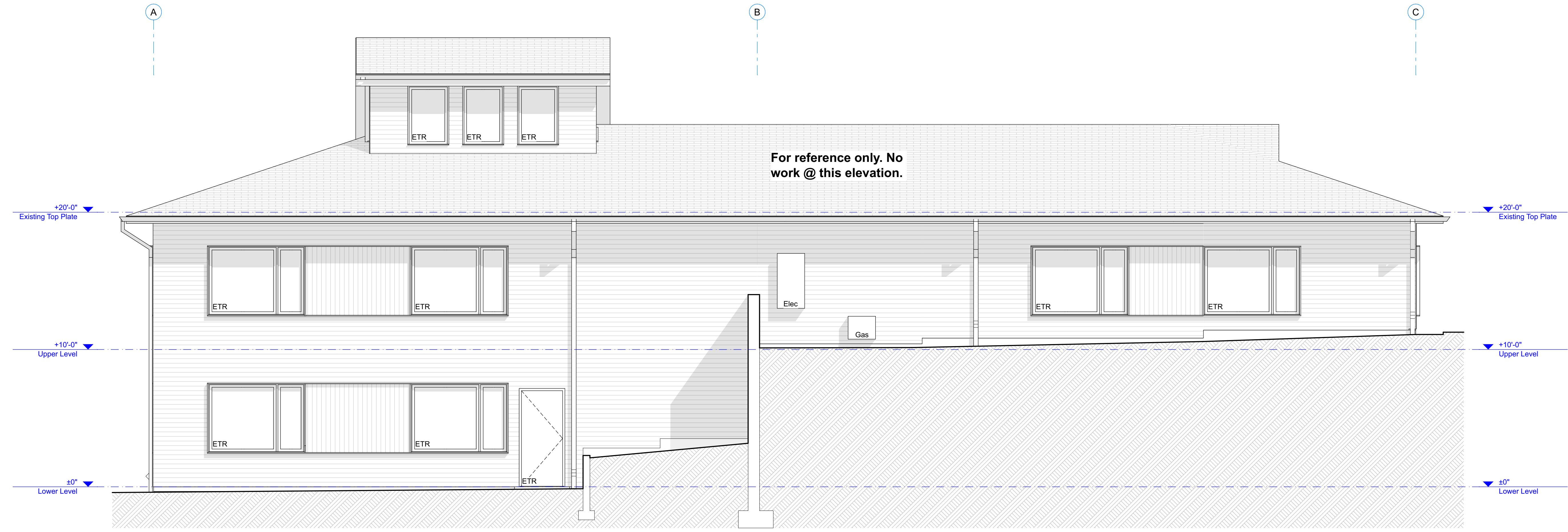
August 15, 2024

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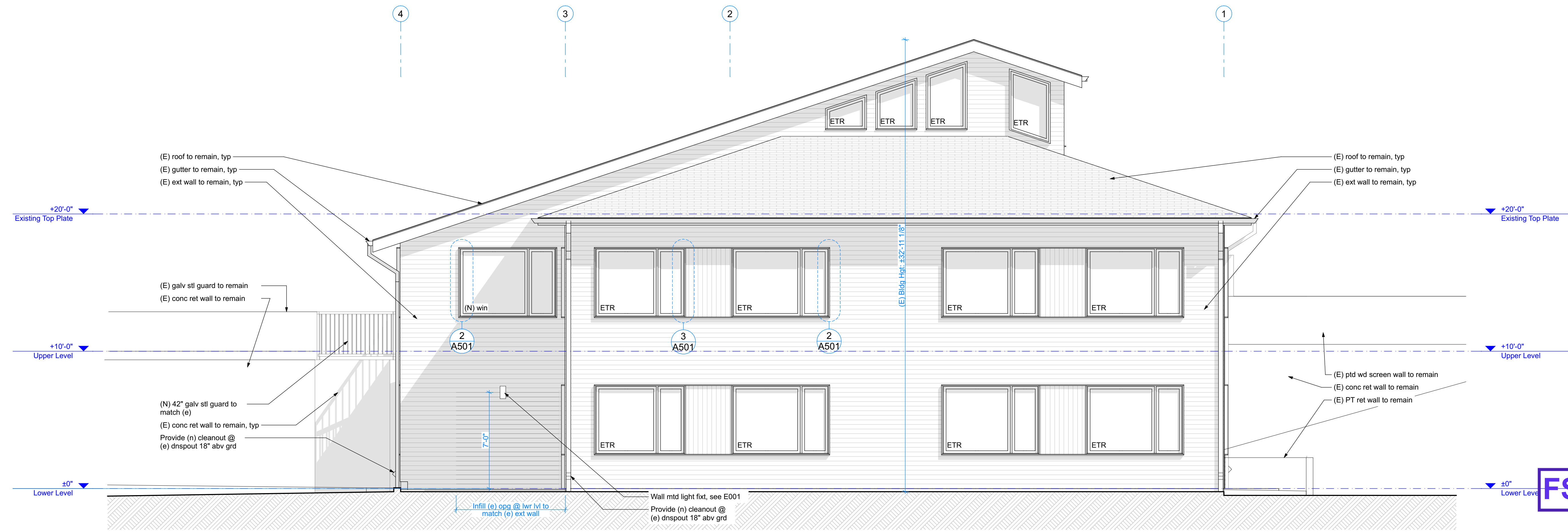
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2 East Elevation
A302 SCALE: 1/4" = 1'-0"

REVISIONS



1 South Elevation
A302 SCALE: 1/4" = 1'-0"

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Building Elevations

FS-5 A302

August 15, 2024

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