

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT	PROJECT NO(S) LLA-24-02/VAR-24-03/VAR-24-04	PRE-APPLICATION NO. N/A
NON-REFUNDABLE FEE(S) \$1,200 + \$1,000+ \$500	REFUNDABLE DEPOSIT(S)	TOTAL \$2,700

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal (AP)
<input type="checkbox"/> CDC Amendment (CDC)
<input type="checkbox"/> Code Interpretation (MISC)
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Tree Easement Vacation (MISC)
<input type="checkbox"/> Expediated Land Division (ELD)
<input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Final Plat (FP) Related File # _____
<input type="checkbox"/> Flood Management Area (FMA)
<input type="checkbox"/> Historic Review (HDR)
<input checked="" type="checkbox"/> Lot Line Adjustment (LLA)
<input type="checkbox"/> Minor Partition (MIP)
<input type="checkbox"/> Modification of Approval (MOD)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses (MISC)
<input type="checkbox"/> Time Extension (EXT)
<input type="checkbox"/> Right of Way Vacation (VAC)
<input checked="" type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change (ZC) |
|--|---|--|

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: 5274 & 5266 Amy St.

Assessor's Map No.: 22E30CD

Tax Lot(s): 1200 & 1300

Total Land Area:

Brief Description of Proposal:

Lot Consolidation through a LLA and two Class I Variances to reduce Front and Rear setbacks by 20% for a new single family residence with ADU

Applicant Name*: Benny Damian
 Address: 26600 SW 45th Ave
 City State Zip: Wilsonville, OR 97070

Phone: 503.998.4872
 Email: bennydamian@yahoo.com

Owner Name (required): Amy West Linn LLC
 Address: 26600 SW 45th Ave
 City State Zip: Wilsonville, OR 97070

Phone: 503.998.4872
 Email: bennydamian@yahoo.com

Consultant Name: Kimberly Freeman
 Address: PO Box 1631
 City State Zip: Clackamas, OR 97015

Phone: 503.810.7552
 Email: kim@incloverconsulting.com

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the Submit a Land Use Application web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

Applicant's signature

Date

Owner's signature (required)

Date



5/14/24

Lot Line Adjustment and Variance Narrative

5274 & 5266 Amy St.

Taxlot Number:

22E30CD01200 & 22E30CD01300

Total site size: 5,964 square feet

Zoning: R4.5. Residential

Overlays: None

Other Designations: None

Prepared by Kimberly Freeman, In Clover Consulting

Prepared For: Benny Damian

May 8, 2024

Attachments

- A. Application
 - A.1 Application Form 5.9.24
 - A.2 Lot Line Adjustment & Variance Narrative 5.9.24
 - A.3 Business Registry – Amy West Linn LLC
 - A.4 TVFR SPP 2024-0076 Amy St
- B. Maps
 - B.1 Lot Line Adjustment Survey 5.8.24
- C. Supplemental Information
 - C.1 Legal Descriptions 5.8.24
- D. Site and Building Plans
 - D.1 Site and Building Plans – Amy Street Project 5.5.24

Proposal

The site is located in the R-4.5 zone. It consists of two separate lots 5274 Amy Street and 5266 Amy Street. This project proposes to consolidate those two lots into one lot through a Lot Line Adjustment thus removing the lot line between the two identified lots. The table below shows the current and proposed areas and dimensions.

Tract	Area Before LLA	Width Before LLA	Depth Before LLA
5274 Amy St	3,174 sq. ft.	50 ft.	77.19 ft.
5266 Amy St	2,397 sq. ft.	29.44 ft.	60.3 ft.
	Area After LLA	Avg. Width After LLA	Avg. Depth After LLA
Consolidated Tract 1	5,964 sq. ft.	85.18 ft.	70.715 ft.

The applicant then proposes to build a single-family home with an attached Accessory Dwelling Unit on the resulting lot. As part of this proposal, reductions to both the front and rear setbacks from 20' to 16' through a Class I Variance process is also requested.

Approval Standards - For Property Line Adjustment
85.210 Approval Standards

A. The Director shall approve or deny a request for a property line adjustment based on the criteria stated below:

1. An additional lot or parcel shall not be created by the property line adjustment.

Findings: The two existing lots are being consolidated into a single lot. This standard is met by a reduction in the number of lots. This standard is met.

2. The existing property shall not be reduced in size by the adjustments below the minimum lot or parcel size established by the approved zoning for that district. The property line adjustment shall not enlarge, increase or extend the non-conformity of a non-conforming lot or non-conforming structure.

Findings: The two existing lots are being consolidated into a single lot. All existing development will be removed to prepare the site for the new Single-Family Residence and attached ADU. The proposed lot area is 5,964 square feet in area, this meets the minimum lot area (4,500 sf) requirements of 14.070 for detached single-family units in the R-4.5 zone. This standard is met.

3. Property line adjustments shall be either:
 - a. A straight line (see Figure 1 example);
 - b. A line with maximum of two 45- to 90-degree turns (see Figure 2 example);
or
 - c. A maximum of three turns less than 45 degrees (see Figure 3 example).

Findings: The two existing lots are being consolidated into a single lot. The remaining lot lines will remain in their current configurations. This standard is met.

4. The property line adjustment shall not create a lot or parcel that violates applicable site development regulations.

Findings: The two existing lots are being consolidated into a single lot. The remaining lot meets the minimum requirements for lots within the R-4.5 zone. This standard is met.

5. The property line adjustment will not adversely affect existing easements or existing utilities unless an easement vacation is obtained, replacement easements are established, or any required utility relocations are paid for by the applicant.

Findings: The two existing lots are being consolidated into a single lot. The LLA will not be impacting any easements. This standard is met.

6. Proposed property line adjustments that cannot meet these standards are subject to review under CDC 99.060(B)(2)(e).

Findings: The two existing lots are being consolidated into a single lot. The remaining lot lines will remain in their current configurations. This standard is met.

7. Any appeal must be filed in accordance with CDC 99.240.

Findings: If needed, this process will be followed.

Approval Criteria- Class I Variance
75.020 Classification of Variances

A. Class I Variance. Class I variances provide minor relief from certain code provisions where it can be demonstrated that the modification will not harm adjacent properties, and it conforms with any other code requirements. Class I variances are allowed for the following code provisions:

1. Required Yard and Minimum Lot Dimensional Requirements. Required yards may be modified up to 20 percent, lot dimensions by up to 10 percent and lot area by up to five percent if the decision-making authority finds that the resulting approval:
 - a. Provides for a more efficient use of the site;
 - b. Preserves and incorporates natural features into the overall design of the project;
 - c. Does not adversely affect adjoining properties in terms of light, air circulation, noise levels, privacy, and fire hazards; and
 - d. Provides for safe vehicular and pedestrian access to the site and safe on-site vehicular and pedestrian circulation.

Findings: The proposed development includes a new single-family residence with attached ADU. The request includes a 20% reduction in the front and rear building setbacks from 20' to 16' for the new structure. The proposed structure is oriented to face Amy Street with limited windows facing north with large windows facing east and south to take advantage of views. Amy Street is a dead-end in front of the site with a large cul-de-sac for a turnaround. I-205 is located to the south of the site with single family development to the north and west. There is a multi-dwelling structure across Amy Street to the east. The site has two existing trees that will be removed with this proposal.

With the reduction of the front setback from 20' to 16', the design of the development retains its garage entrance setback of 18'. This allows for parking on site in front of the garage. Additionally, the cul-de-sac of Amy Street in front of this site has low traffic volume. Each of these items allows for good visibility for vehicular and pedestrian access on to and off of the site.

With the findings noted above, including a design customized this lot's unique shape and location to reduce any impacts to the neighboring properties and to ensure safe vehicular and pedestrian access onto and off of the property, this criterion is met.

2. Off-street parking dimensional and minimum number of space requirements may be modified up to 10 percent if the decision-making authority finds that the use is designed for a specific purpose, which is intended to be permanent in nature.

Findings: No reduction in off-street parking or dimensional requirements are requested. This criterion is not applicable.

3. Dimensional sign requirements may be modified up to 10 percent if the decision-making authority finds that the proposed larger sign is:
 - a. Necessary for adequate identification of the use on the property; and
 - b. Compatible with the overall site plan, the structural improvements, and with the structures and uses on adjoining properties.

Findings: No modifications to sign requirements are requested. This criterion is not applicable.

4. Landscaping requirements in the applicable zone may be modified up to 10 percent if the decision-making authority finds that the resulting approval:
 - a. Provides for a more efficient use of the site;
 - b. Preserves and incorporates natural features into the overall design of the project; and
 - c. Will have no adverse effect on adjoining property.

Findings: No modifications to landscaping requirements are requested. This criterion is not applicable.

Business Registry Business Name Search

[New Search](#)

Business Entity Data

05-09-2024
11:43

Registry Nbr	Entity Type	Entity Status	Jurisdiction	Registry Date	Next Renewal Date	Renewal Due?
1898395-91	DLLC	ACT	OREGON	11-30-2021	11-30-2024	
Entity Name AMY WEST LINN LLC						
Foreign Name						

[New Search](#)

Associated Names

Type						
PPB	PRINCIPAL PLACE OF BUSINESS					
Addr 1	5266 AMY ST					
Addr 2						
CSZ	WEST LINN	OR	97068		Country	UNITED STATES OF AMERICA

Please click [here](#) for general information about registered agents and service of process.

Type				Start Date	Resign Date	
AGT	REGISTERED AGENT			11-30-2021		
Name	BENNY		DAMIAN			
Addr 1	26600 SW 45TH DR					
Addr 2						
CSZ	WILSONVILLE	OR	97070		Country	UNITED STATES OF AMERICA

Type						
MAL	MAILING ADDRESS					
Addr 1	26600 SW 45TH DR					
Addr 2						
CSZ	WILSONVILLE	OR	97070		Country	UNITED STATES OF AMERICA

Type				Resign Date		
MEM	MEMBER					
Name	BENNY		DAMIAN			
Addr 1	26600 SW 45TH DR					
Addr 2						
CSZ	WILSONVILLE	OR	97070		Country	UNITED STATES OF AMERICA

[New Search](#)




Name History

Business Entity Name	Name Type	Name Status	Start Date	End Date
AMY WEST LINN LLC	EN	CUR	11-30-2021	

Please [read](#) before ordering [Copies](#).

[New Search](#)

Summary History

Image Available	Action	Transaction Date	Effective Date	Status	Name/Agent Change	Dissolved By
	AMENDED ANNUAL REPORT	11-08-2023		FI		
	AMENDED ANNUAL REPORT	10-26-2022		FI		
	ARTICLES OF ORGANIZATION	11-30-2021		FI	Agent	

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**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Kimberly Freeman
Address: PO Box 1631, Clackamas, OR 97070
Phone: 503.810.7552
Email: kim@incloverconsulting.com
Site Address: 5274 & 5266 Amy St.
City: West Linn, OR
Map & Tax Lot #: 22E30CD 1200 & 1300
Business Name: In Clover Consulting
Land Use/Building Jurisdiction: West Linn
Land Use/ Building Permit # TBD

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description

Lot Consolidation through a LLA and two Class I Variances to reduce Front and Rear setbacks by 20% for a new single family residence with ADU

Permit/Review Type (check one):

- Land Use / Building Review - Service Provider Permit
- Emergency Radio Responder Coverage Install/Test
- LPG Tank (Greater than 2,000 gallons)
- Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)
 - * Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.
- Explosives Blasting (Blasting plan is required)
- Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)
- Tents or Temporary Membrane Structures (in excess of 10,000 square feet)
- Temporary Haunted House or similar
- OLCC Cannabis Extraction License Review
- Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2024-0076
Permit Type: SPP-West Linn
Submittal Date: 5-17-24
Assigned To: DFM Arn
Due Date: NA
Fees Due: Ø
Fees Paid: Ø

**Approval/Inspection Conditions
(For Fire Marshal's Office Use Only)**

This section is for application approval only

[Signature] 6-4-24
Fire Marshal or Designee Date
Conditions: See approved plan,

See Attached Conditions: Yes No
Site Inspection Required: Yes No

This section used when site inspection is required

Inspection Comments:

Final TVFR Approval Signature & Emp ID _____ Date _____

Amy Street Project



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Project name:
Amy Street

Owner:
Marion Rusnak
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:
Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

DATE:

9/11/2022

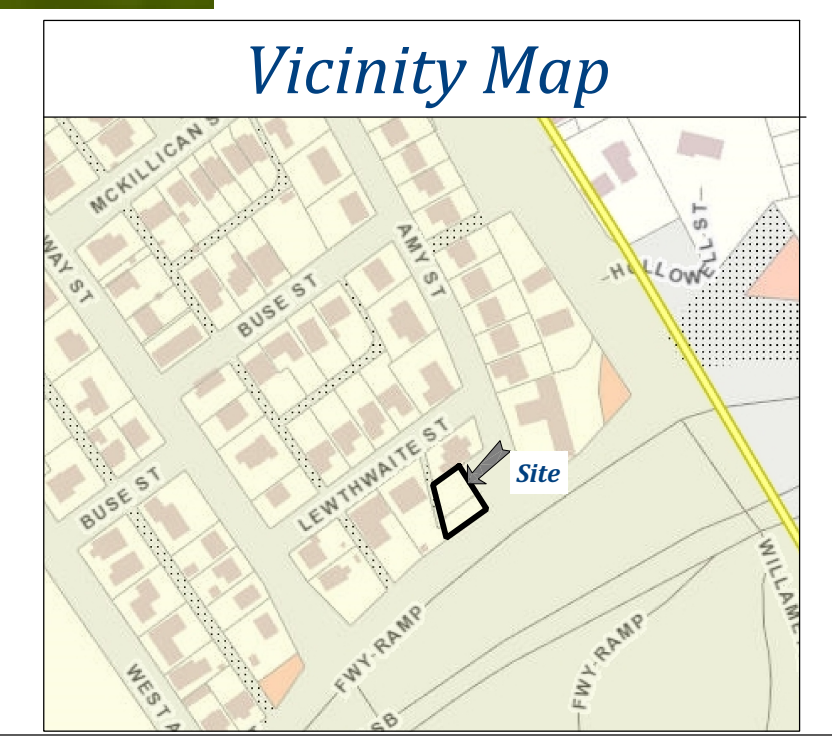
SCALE:

1/4" = 1'-0"

SHEET:

Page: **1**

Project Proposal			
Unit #1	Space Living	2330SF	
Unit #2	Space Living	993 SF	
Total	Space Living	3323SF	
Garage	Space	3185F	

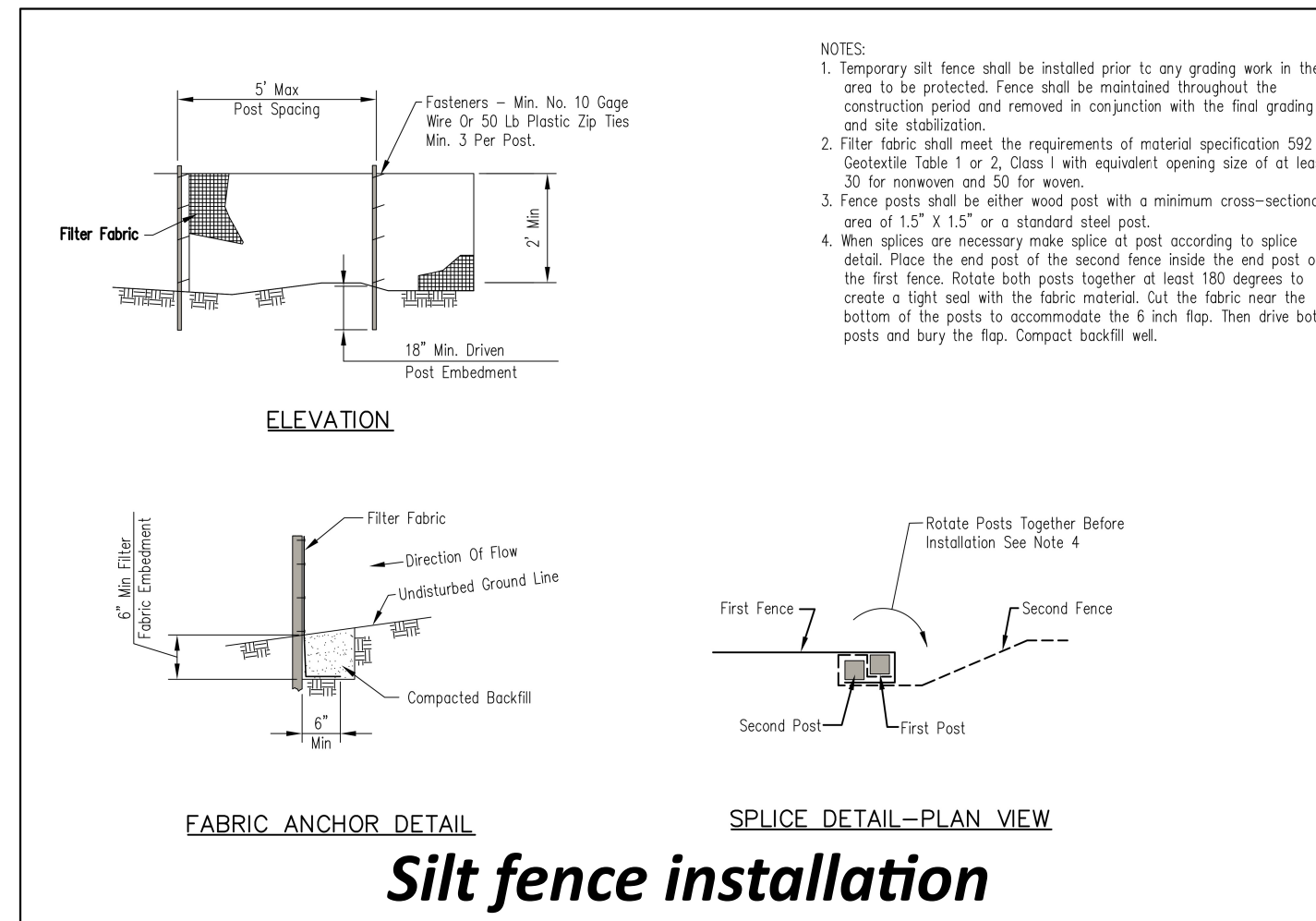


BUILDING PERFORMANCE:

- HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESIDENTIAL CODE AND/OR REQUIREMENTS OF LOCAL CODES.
- PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
- ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- PROVIDE CRAWLSPACE VENTING 1SF per 150SF CRAWL SPACE TO MEET LOCAL CODE REQUIREMENTS
INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
- MINIMUM INSULATION:
ATTIC/CEILING R-49
WALLS R-21
FLOORS R-30

TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE	
	Required Performance	Equiv. Value
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8

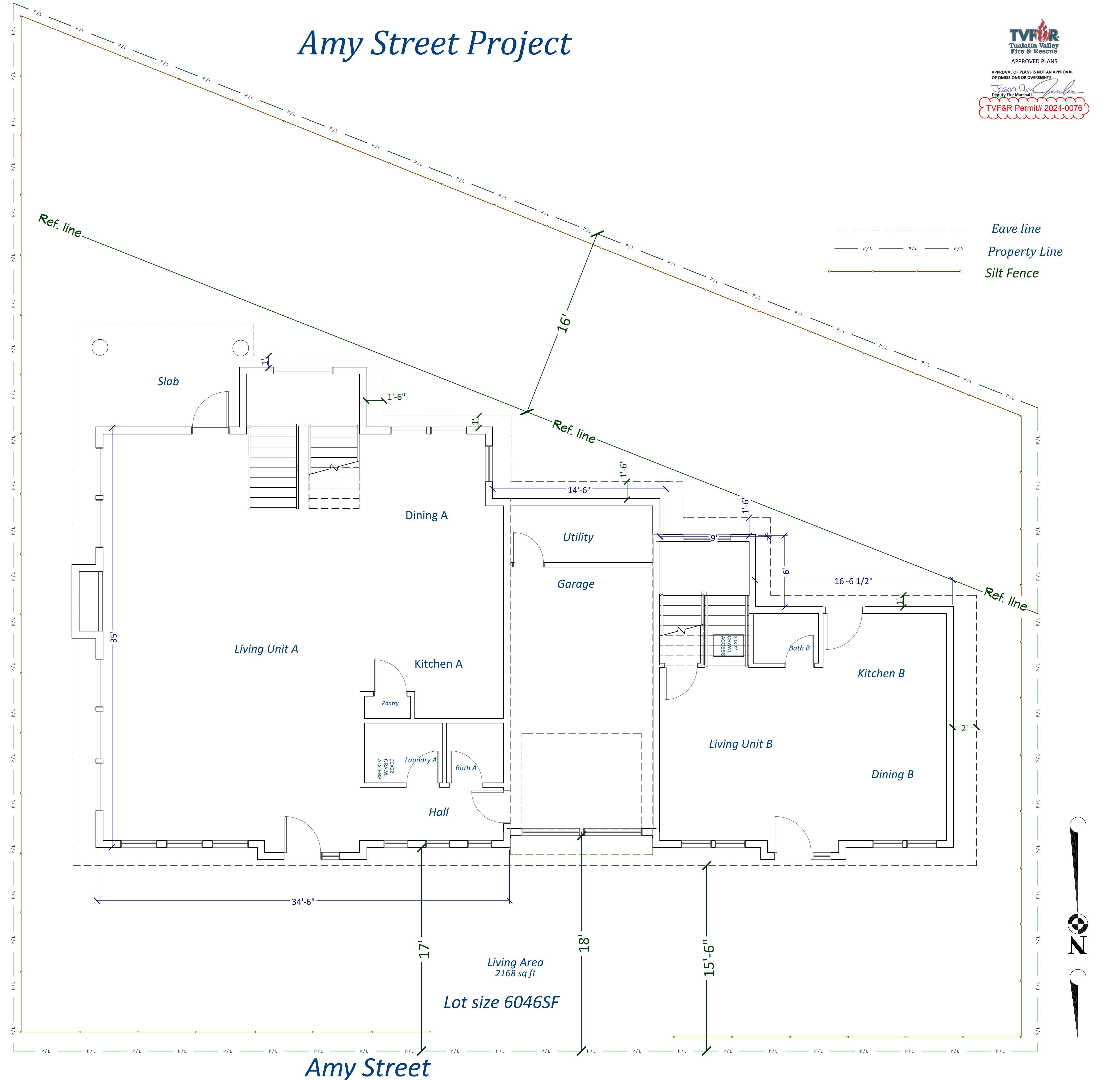


Silt fence installation

Vicinity Map



Amy Street Project



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: **Amy Street**

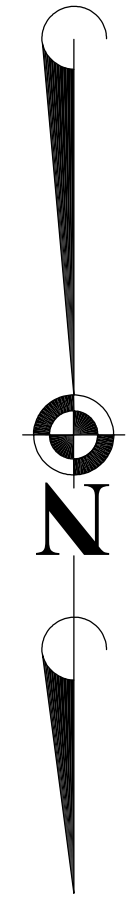
Owner: **Marion Rusnak**
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:
Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

DATE:
9/11/2022

SCALE:
1/4" = 1'-0"

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Page: **2**





Front View



Left View



Rear View



Right View

NUMBER	DATE	REVISION BY	DESCRIPTION

Project name:

Amy Street

Owner:

Marion Rusnak
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:

Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

DATE:

9/11/2022

SCALE:

1/4" = 1'-0"

SHEET:

Page:

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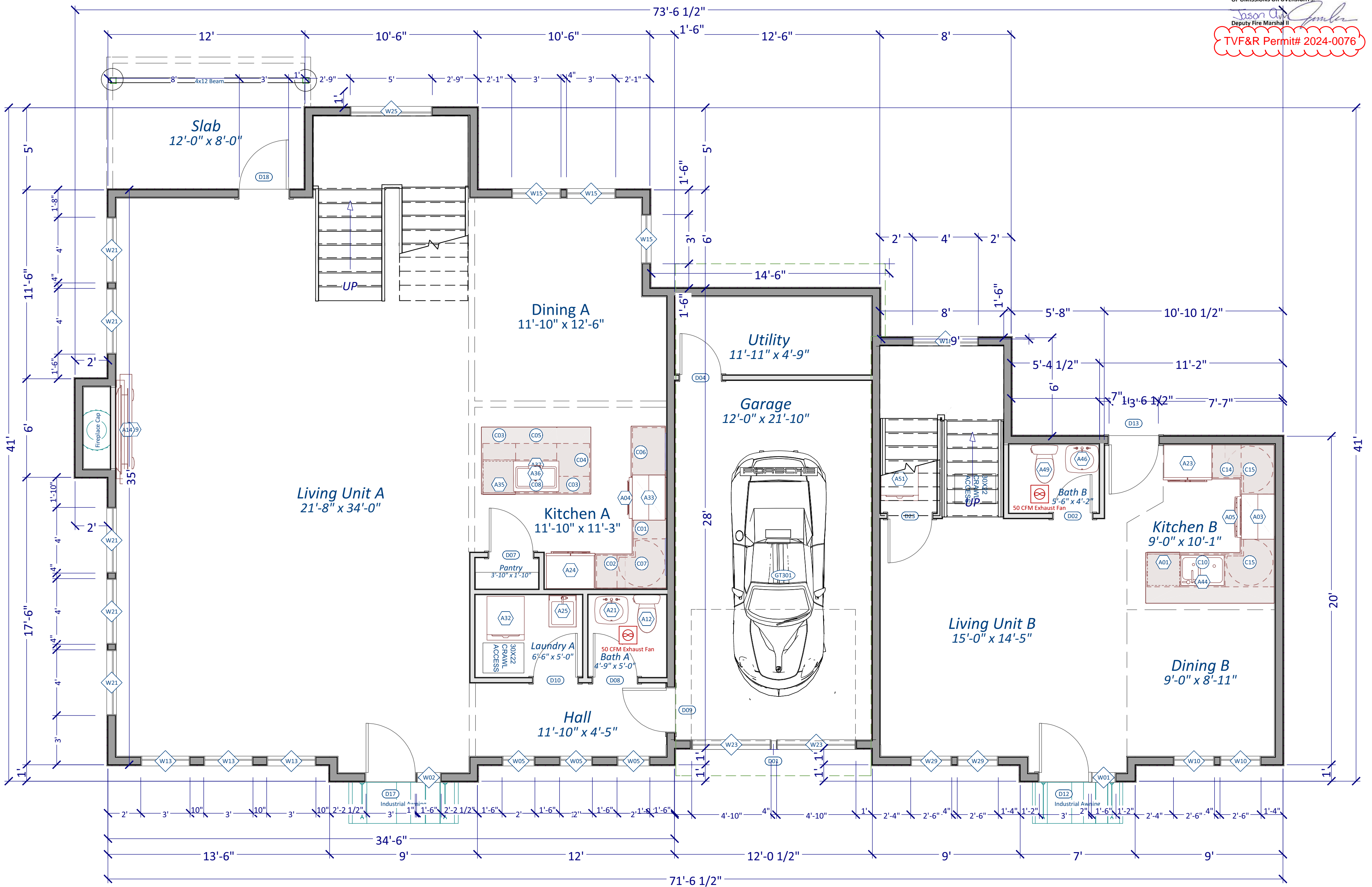
Number	Room Name	Floor	Label	Qty	Width	Depth	Height	Description	Code	Manufacturer	Comments
C01	Kitchen A	1	B15R	1	15"	24"	36"	base cabinet			
C02	Kitchen A	1	B21R	1	21"	24"	36"	base cabinet			
C03	Kitchen A	1	B2412R	2	24"	12"	36"	base cabinet			
C04	Kitchen A	1	B24R	1	24"	24"	36"	base cabinet			
C05	Kitchen A	1	B3012	1	30"	12"	36"	base cabinet			
C06	Kitchen A	1	R36	1	36"	24"	36"	base cabinet			
C07	Kitchen A	1	LSB36R	1	36"	36"	36"	corner base cabinet			
C08	Kitchen A	1	SB30	1	30"	24"	36"	base cabinet			
C09	Master Bath	2	SB302134	2	30"	21"	34"	base cabinet			
C10	Kitchen B	1	SB33	1	33"	24"	36"	base cabinet			
C11	Bath A	2	SB362134	1	36"	21"	34"	base cabinet			
C12	Bath B	2	SB3634	1	36"	24"	34"	base cabinet			
C13	Bath A	2	US02180	1	30"	21"	80"	utility cabinet			
C14	Kitchen B	1	LSB36R	1	24"	24"	36"	base cabinet			
C15	Kitchen B	1	LSB36R	2	36"	36"	36"	corner base cabinet			

Number	Room Name	Floor	Label	Qty	Size	Description	Header	Manufacturer
D01	Garage	1	10080	1	10080	122"x99"	Garage-Avante 2 Panel 24"	2x12x128" (2)
D02	Bath B/Living Unit B	1	2468	1	2468 R IN	30"x82 1/2"	Hinged-Door P10	2x6x33" (2)
D03	Toilet B/Bath B	2	2468	1	2468 R IN	30"x82 1/2"	Hinged-Door P10	2x6x33" (2)
D04	Utility/Garage	1	2668	1	2668 L IN	32"x82 1/2"	Hinged-Door P10	2x6x35" (2)
D05	Master Bath/Walk-In Closet A	2	2668	1	2668 L	62"x82 1/2"	Packet-Door P10	2x6x65" (2)
D06	Bath A/Hall	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35" (2)
D07	Kitchen A/Pantry	1	2868	1	2868 L IN	34"x82 1/2"	Hinged-Door P10	2x6x37" (2)
D08	Bath A/Hall	1	2868	1	2868 L IN	34"x82 1/2"	Hinged-Door P10	2x6x37" (2)
D09	Hall/Garage	1	2868	1	2868 R EX	34"x83"	ext. Hinged-Door P10	2x6x37" (2)
D10	Laundry A/Hall	1	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37" (2)
D11	Laundry A/Hall	2	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37" (2)
D12	Living Unit B	1	3068	1	3068 L EX	38"x83"	ext. Hinged-Glass Panel	2x6x41" (2)
D13	Living Unit B	1	3068	1	3068 R EX	38"x83"	ext. Hinged-Glass Panel	2x6x41" (2)
D14	Bedroom 2/Hall	2	3068	1	3068 L IN	38"x82 1/2"	Hinged-Door P10	2x6x41" (2)
D15	Master Bedroom/Deck	2	3068	1	3068 R EX	38"x83"	ext. Hinged-Glass Panel	2x6x41" (2)
D16	Bedroom 1/Hall	2	3068	1	3068 R IN	38"x82 1/2"	Hinged-Door P10	2x6x41" (2)
D17	Living Unit A	1	3080	1	3080 L EX	38"x99"	ext. Hinged-Glass Panel	2x6x41" (2)
D18	Living Unit A/Slab	1	3080	1	3080 R EX	38"x99"	ext. Hinged-Glass Panel	2x6x41" (2)
D19	Bedroom 1/Closet	2	5068	1	5068 L/R IN	62"x82 1/2"	Double Hinged-Door P10	2x6x65" (2)
D20	Bedroom Unit #2/Bath B	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35" (2)
D21	Toilet/Master Bath	2	2668	1	2668 L IN	62"x82 1/2"	Packet-Door P10	2x6x65" (2)
D22	Walk-In Closet B/Bedroom Unit #2	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35" (2)
D23	Utility/Living Unit B	1	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37" (2)
D24	Master Bedroom/Hall	2	3068	1	3068 R IN	38"x82 1/2"	Hinged-Door P10	2x6x41" (2)
D25	Closet/Bedroom 2	2	5068	1	5068 L/R IN	62"x82 1/2"	Double Hinged-Door P10	2x6x65" (2)

Number	Room Name	Floor	Label	Qty	Size	R/O	Egress	Description	Header	Manufacturer
W01	Living Unit B	1	1668FX	1	1668FX	19"x81"		Fixed Glass	2x6x22" (2)	
W02	Living Unit A	1	1680FX	1	1680FX	19"x97"		Fixed Glass	2x6x22" (2)	
W03	Bedroom 2	2	2040FX	1	2040FX	25"x49"		Fixed Glass	2x6x28" (2)	
W04	Bedroom 2	2	2060FX	1	2060FX	25"x73"		Fixed Glass	2x6x28" (2)	
W05	Hall	1	2080FX	3	2080FX	25"x97"		Fixed Glass	2x6x28" (2)	
W06	Bedroom 2	2	2080FX	1	2080FX	25"x97"		Fixed Glass	2x6x28" (2)	
W07	Bedroom Unit #2	2	2620FX	1	2620FX	31"x25"		Fixed Glass	2x6x34" (2)	
W08	Bedroom Unit #2	2	2634FX	1	2634FX	31"x47"		Fixed Glass	2x6x34" (2)	
W09	Bedroom 2	2	2640SC	1	2640SC	31"x49"		Single Casement-hr	2x6x34" (2)	
W10	Dining B	1	2668DH	2	2668DH	31"x81"		Double Hung	2x6x34" (2)	
W11	Bedroom Unit #2	2	2668DH	3	2668DH	31"x81"		Double Hung	2x6x34" (2)	
W12	Master Bath	2	3040FX	1	3040FX	31"x49"		Fixed Glass	2x6x40" (2)	
W13	Living Unit A	1	3080DH	3	3080DH	37"x97"		Double Hung	2x6x40" (2)	
W14	Master Bath	2	3080DH	2	3080DH	37"x97"		Double Hung	2x6x40" (2)	
W15	Dining A	1	3080SH	3	3080SH	37"x97"		Single Hung	2x6x40" (2)	
W16	Bedroom Unit #2	2	4020EX	2	4020EX	49"x25"		Fixed Glass	2x6x52" (2)	
W17	Master Bath	2	4040EX	3	4040EX	49"x49"		Fixed Glass	2x6x52" (2)	
W18	Utility	1	4060DH	1	4060DH	49"x73"		Double Hung	2x6x52" (2)	
W19	Open Below	2	4060DH	1	4060DH	49"x73"		Double Hung	2x6x52" (2)	
W20	Bedroom Unit #2	2	4068FX	1	4068FX	49"x81"		Fixed Glass	2x6x52" (2)	
W21	Living Unit A	1	4080DH	5	4080DH	49"x97"		Double Hung	2x6x52" (2)	
W22	Master Bath	2	4080DH	3	4080DH	49"x97"		Double Hung	2x6x49" (2)	
W23	Garage	1	4102FX	2	4102FX	59"x25"		Fixed Glass	2x6x62" (2)	
W24	Open Below	2	4680FX	1	4680FX	61"x97"		Fixed Glass	2x6x64" (2)	
W25	Living Unit A	1	5076DH	1	5076DH	61"x91"		Double Hung	2x6x64" (2)	
W26	Open Below	2	5076DH	1	5076DH	61"x91"		Double Hung	2x6x64" (2)	
W27	Bedroom 1	2	6050LS	1	6050LS	73"x61"		Left Sliding	2x6x76" (2)	
W28	Bedroom Unit #2	2	2640SC	1	2640SC	31"x49"		Single Casement-hr	2x6x34" (2)	
W29	Living Unit B	1	2668DH	2	2668DH	31"x81"		Double Hung	2x6x34" (2)	
W30	Master Bedroom	2	4040FX	2	4040FX	49"x49"		Fixed Glass	2x6x52" (2)	
W31	Master Bedroom	2	4080DH	2	4080DH	49"x97"		Double Hung	2x6x49" (2)	

Number	Room Name	Floor	Label	Qty	Width	Depth	Height	Manufacturer
A01	Kitchen B	1	Dishwasher	1	23 3/8"	23"	29 1/4"	
A02	Toilet	2	Toilet Paper Holder	1	7 5/16"	5"	8 5/8"	
A03	Kitchen B	1	Wall Hood 45OCFM	1	33"	24"	60"	Viking Range Corporation
A04	Kitchen A	1	30" Gas Range	1	30"	28"	41 3/16"	
A05	Kitchen B	1	30" Gas Range	1	30"	28 13/16"	36 7/16"	
A06	Master Bath	2	Adjustable Head Down	1	3"	3 1/8"	2 15/16"	
A07	Master Bath	2	Adjustable Head Front	2	3"	2 1/2"	3"	
A08	Master Bath	2	Button Shelf	1	26 5/16"	7 7/16"	6 3/8"	
A09	Master Bath	2	Commercial Steam Outlet	1	1 3/8"	1 3/16"	1 3/8"	
A10	Bath A	2	Elongated Back Drain Toilet	1	30"	36"	31"	
A11	Master Bath	2	Elongated Shower Head and Hose	1	2"	8 3/8"	43 15/16"	
A12	Bath A	2	Elongated Toilet	1	30"	36"	29 7/8"	
A13	Toilet	2	Elongated Toilet	1	30"	36"	29 7/8"	
A14	Living Unit A	1	Flat Screen tv	1	65"	4"	41"	
A15	Master Bedroom	2	Flat Screen tv	1	65"	4"	44"	
A16	Laundry A	2	Front Loading Stackable Clothes Washer	1	27"	33 1/16"	39"	
A17	Master Bath	2	Loose Showerhead	1	5 5/16"	12 9/16"	6 13/16"	
A18	Master Bath	2	Loose Volume Control	2	5 15/16"	4 1/16"	5 15/16"	
A19	Living Unit A	1	Napoleon+Twilight+42po (1)	1	60"	5 3/16"	18"	
A20	Master Bedroom	2	Napoleon+Twilight+42po (1)	1	60"	5 3/16"	18"	
A21	Bath A	1	Pedestal Sink 10	1	24 7/16"	20 1/2"	39 5/16"	
A22	Kitchen B	1	Ref. 3 doors with ice maker	1	35 5/8"	27"	71 11/16"	
A23	Kitchen A	1	Ref. 3 doors w ice maker	1	35 5/8"	27"	71 11/16"	
A24	Kitchen A	1	Ref. 3 doors w ice maker	1	35 5/8"	27"	71 11/16"	
A25	Laundry A	1	Single Basin Laundry Sink	1	19 7/8"	23 9/16"	48 7/8"	
A26	Laundry A	2	Stackable Clothes Dryer	1	27"	33 1/16"	39"	
A27	Bath A	2	Standard Tub 1 (60W)	1	60"	32 13/16"	29 1/4"	
A28	Master Bath	2	Steam Shower Control Panel	1	3"	3/16"	3"	

Number	3D Elevation	Room Name	Label	Qty	Floor	Description
GT301		Garage	Porsche Carrera GT3	1	1	Porsche Carrera GT3



1st Level Floor Plan

NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: Amy Street

Owner: Marion Rusnak
Phone 503 320-6041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:
Vasile Handolescu
16508 SE Oatfield Rd.
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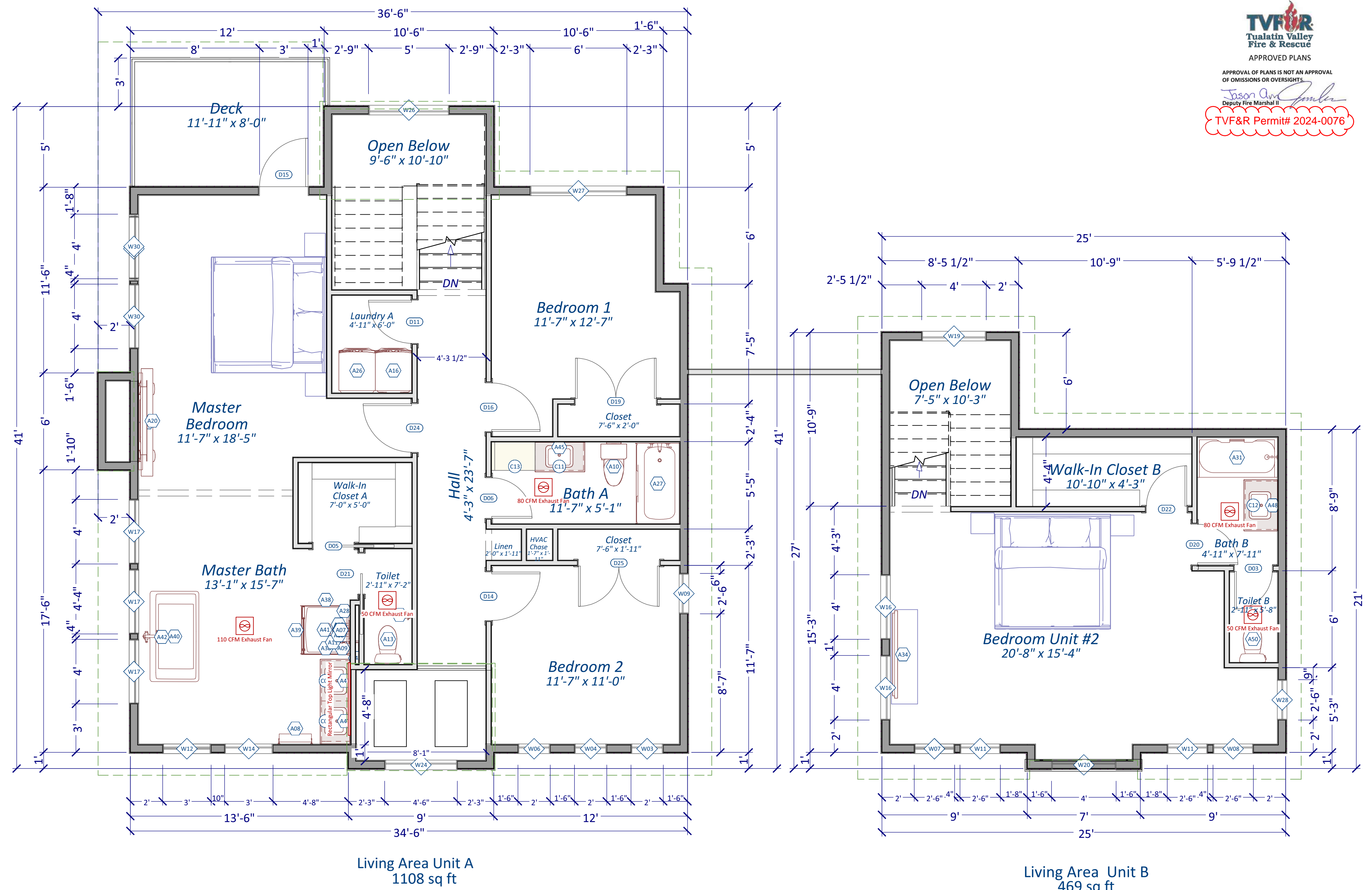
DATE:	9/11/2022
SCALE:	1/4" = 1'-0"
SHEET:	4

WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES
 DOORS ROUGH OPENING: 1" SIDES AND 2.5" TOP
 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES.
 CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
 WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2x CRIPPLE & (1) 2x KING, UNO
 PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
 PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
 PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
 ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
 SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES
 LUMBER SPECIES:
 POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
 EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER,
 SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
 ALL STUDS TO BE DF#2 OR BETTER
 SHEATHING SHALL BE AS FOLLOWS:
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD
 The width of a hallway shall be not less than 3 feet (914 mm).
 R308.4.5 Glazing and Wet Surfaces
 Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface shall be considered to be a hazardous location.
 This shall apply to single glazing and each pane in multiple glazing.

TABLE N1101.1(1)
 PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE Required Performance	Equiv. Value
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8



2nd Level Floor Plan



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: Amy Street

Owner: Marion Rusnak
 Phone 503 320-8041
 blurconstruction@yahoo.com

General Framing Notes

1. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
 2. WALL HEADERS: (2) 2 X 10 DF 2 W/ 1K/IT TYP. UNO
 3. I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
 4. ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
 5. PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.

6. ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
 7. ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
 8. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
 9. NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
 10. THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
 11. BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.

12. ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
 13. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-W SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
 14. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
 15. PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

16. GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
 17. GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
 18. "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
 19. ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 20. ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
 21. ALL HANGERS TO BE "SIMPSON" OR EQUAL.
 22. NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.

DRAWINGS PROVIDED BY:
 Vasile Handulescu
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 503 502-5924
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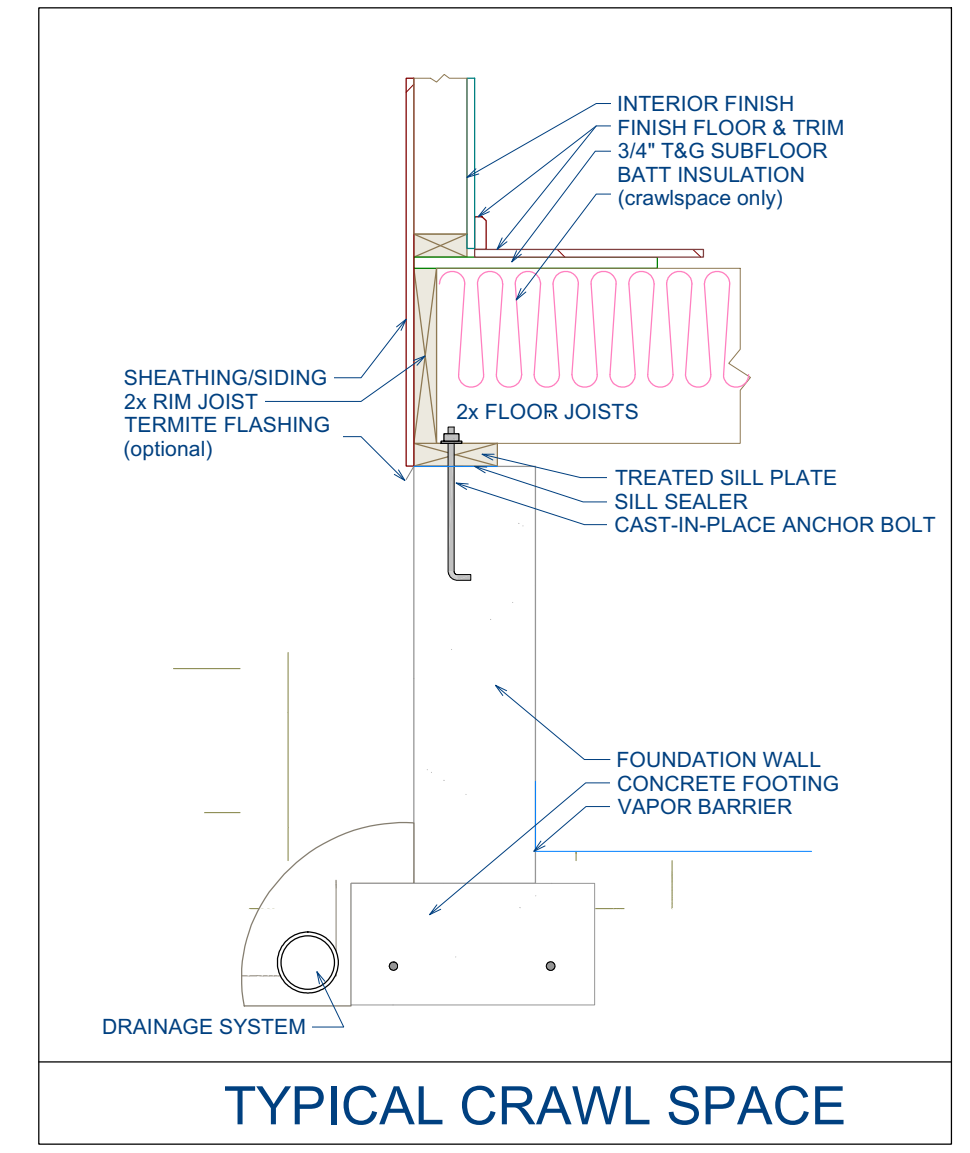
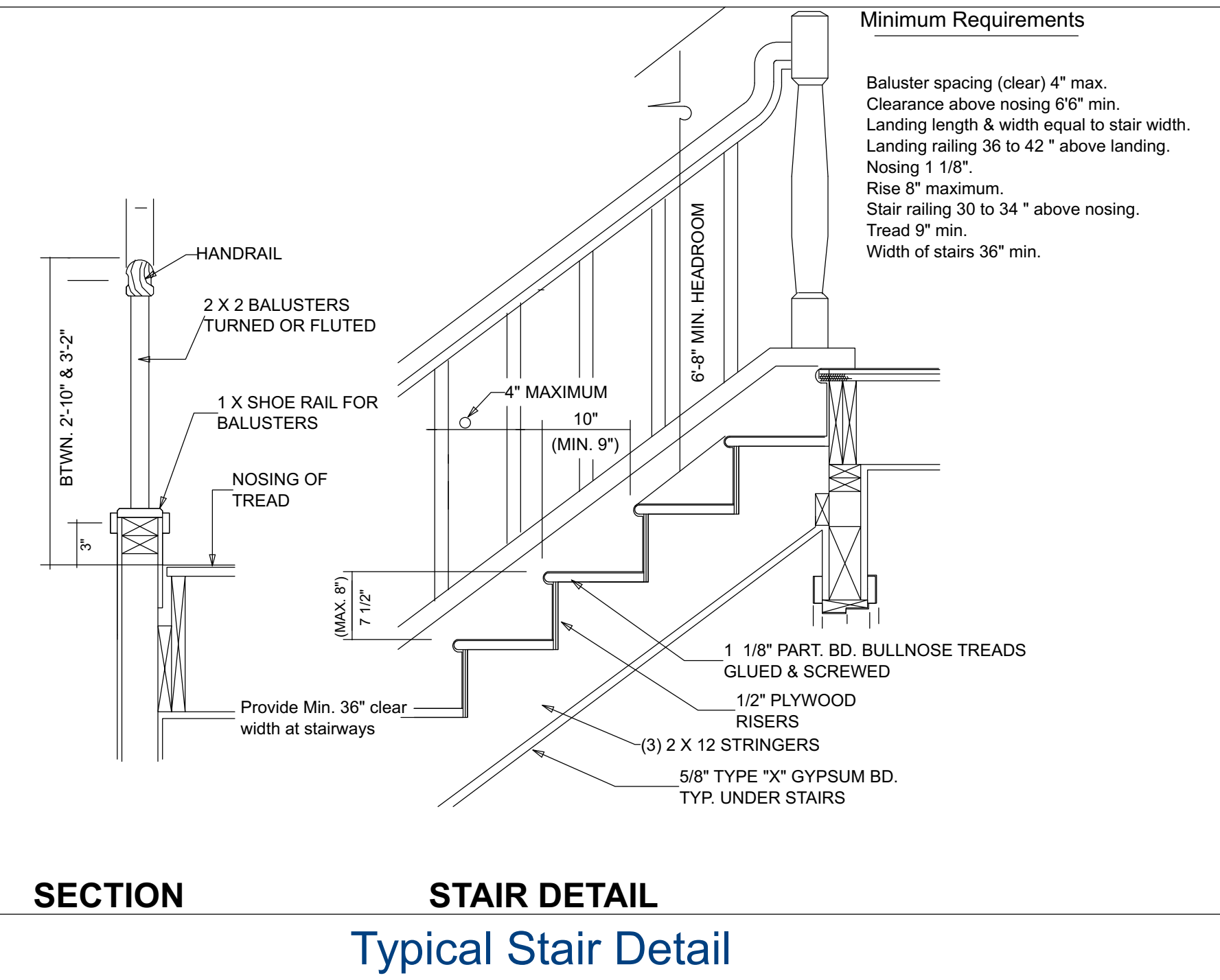
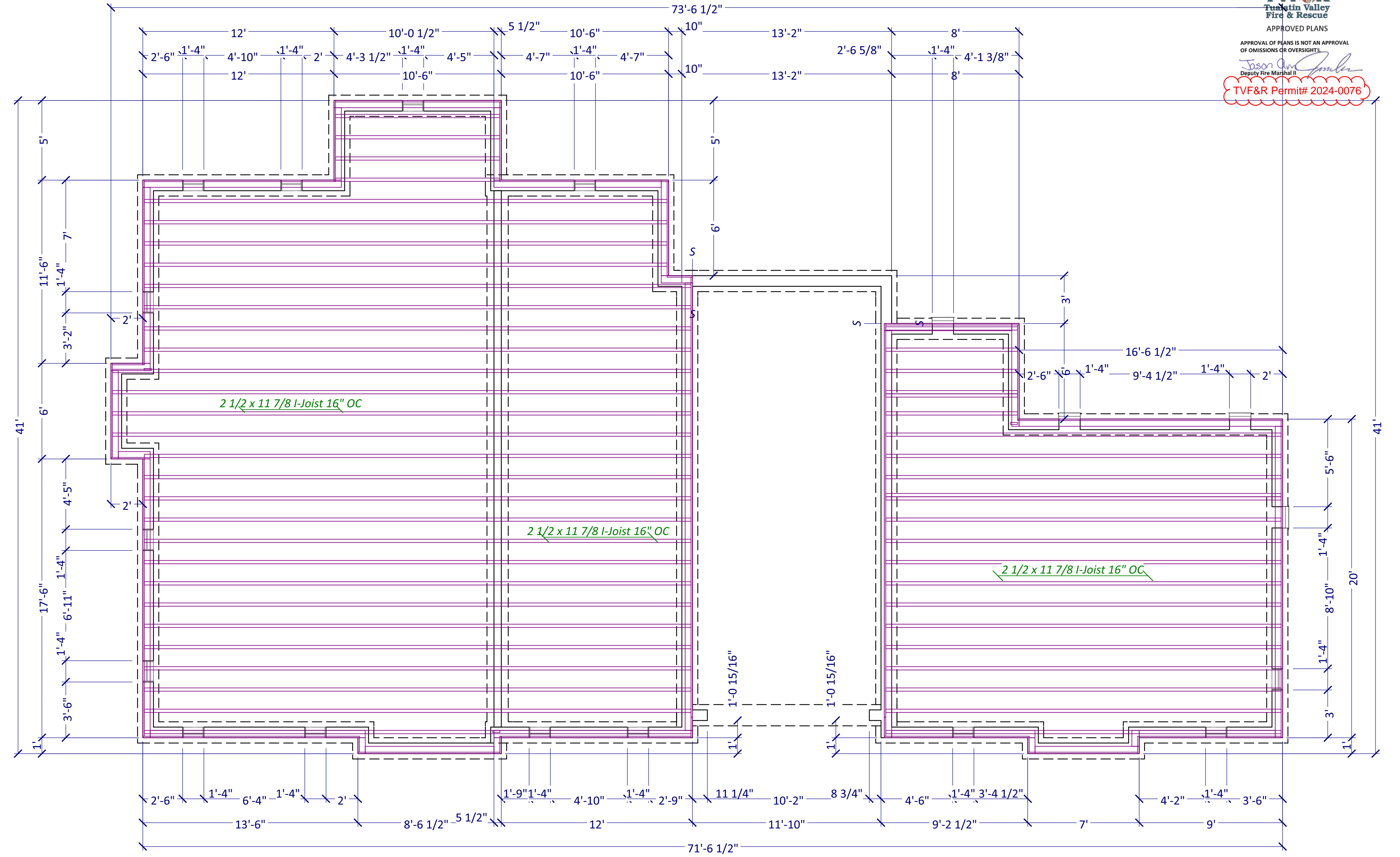
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 SHEET: 5

FOUNDATION NOTES

- FOUNDATIONS TO BEAR A MINIMUM OF 24" BELOW FINISH GRADE
- ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
- ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
- ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
- PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
- MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 26 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
- SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
- ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
- UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
- THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE
- MINIMUM 18" CLEARANCE FOR WOOD JOIST GIRDERS REQUIRED IN THE GARAGE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM

Stairs Requirement

- Stairway shall be not less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height.
- The headroom in stairways shall be not less than 6 feet 8 inches
- The riser height shall be not more than 8 inches.
- The tread depth shall be not less than 9 inches
- The rise of a step or steps shall not be less than 4 inches or greater than 8 inches.
- Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 30 inches and not more than 38 inches.



Foundation and first level floor framing

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

Project name: **Amy Street**

Owner: **Marion Rusnak**
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY: **Vasile Handolescu**
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v.a_builder@yahoo.com

DATE:

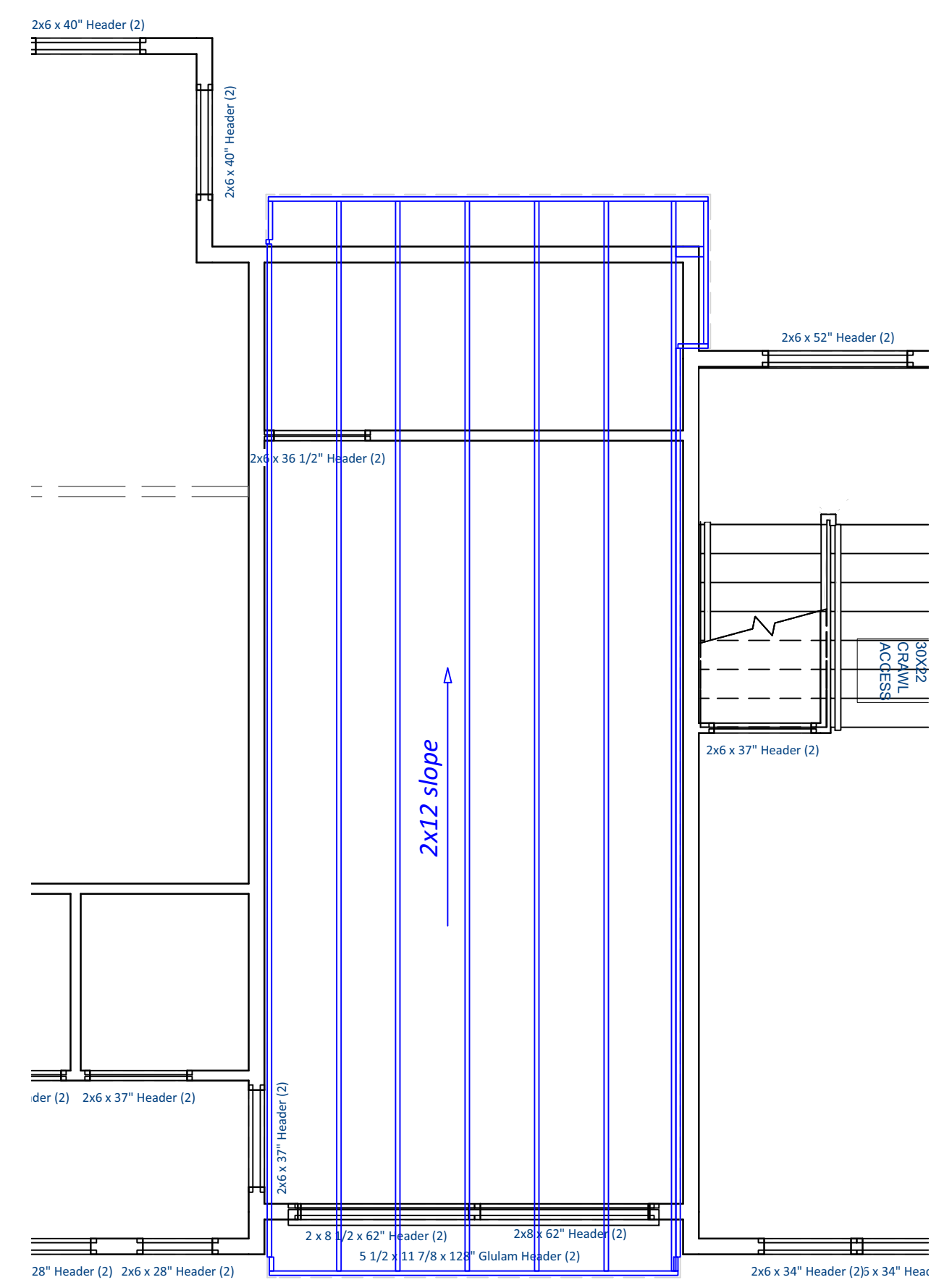
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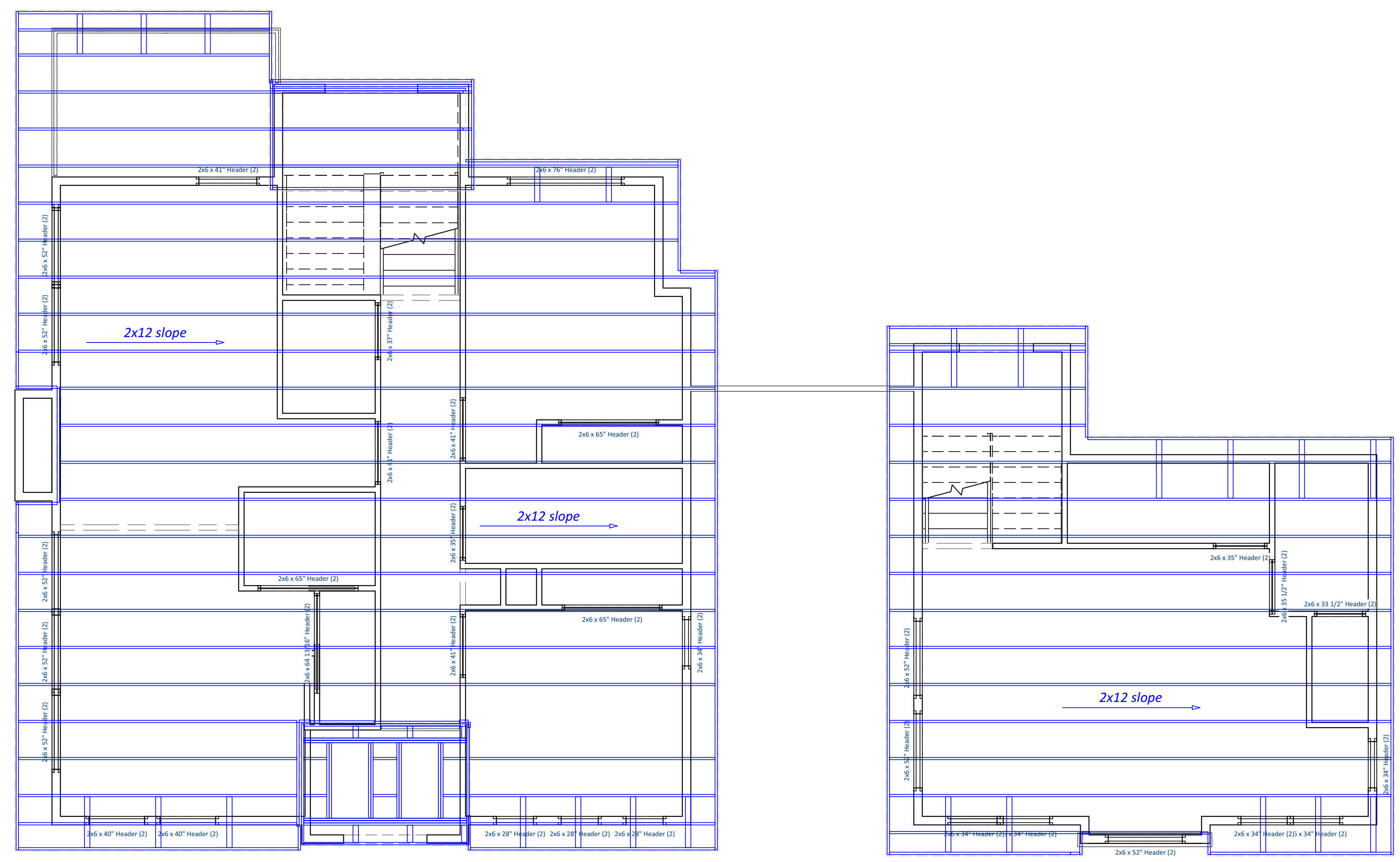
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1st Level Roof Framing Plan



2nd Level Roof Framing Plan

NUMBER	DATE	REVISION	DESCRIPTION

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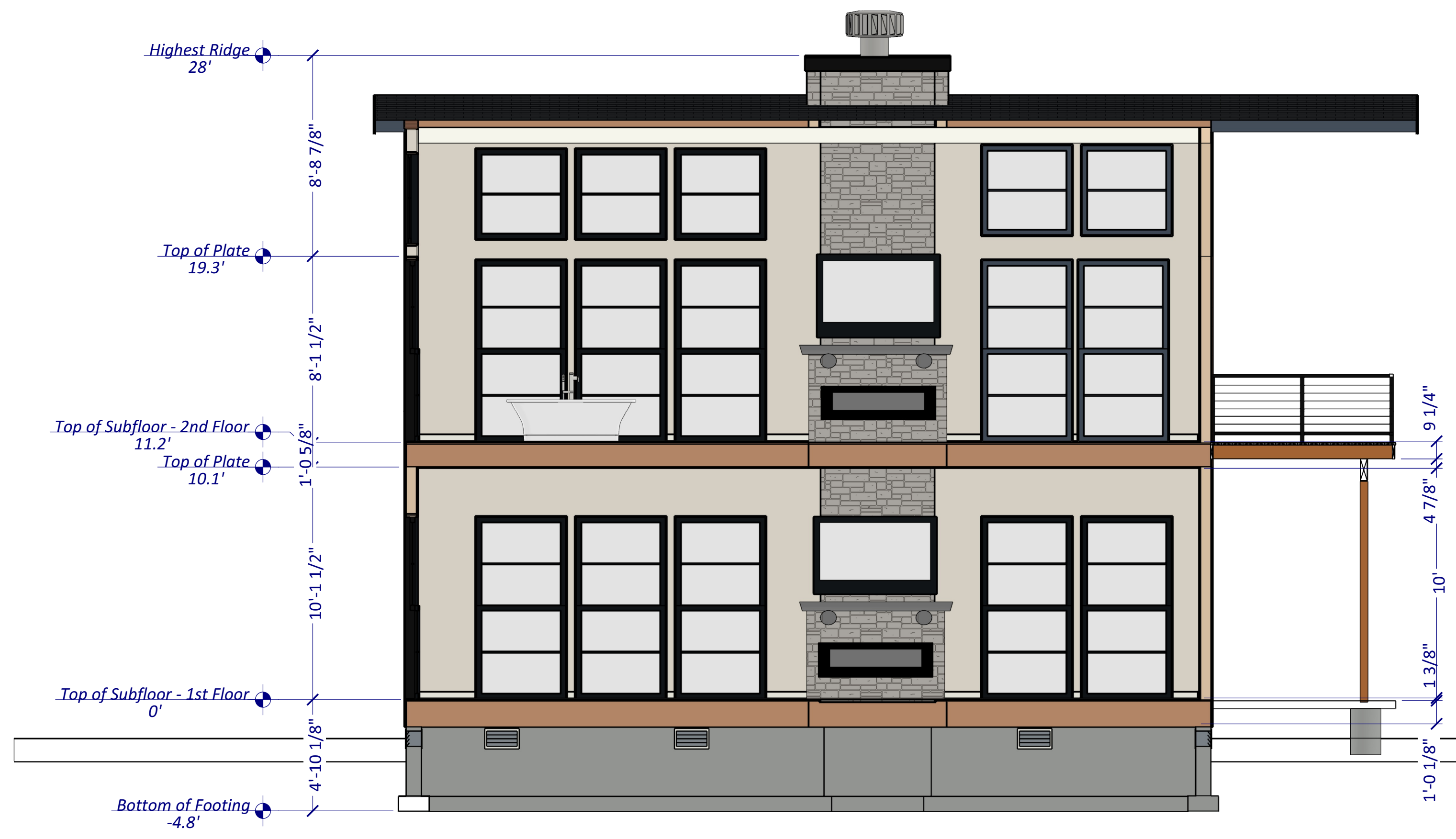
Owner: **Marion Rusnak**
 Phone 503 320-8041
 blucstructionllc@yahoo.com

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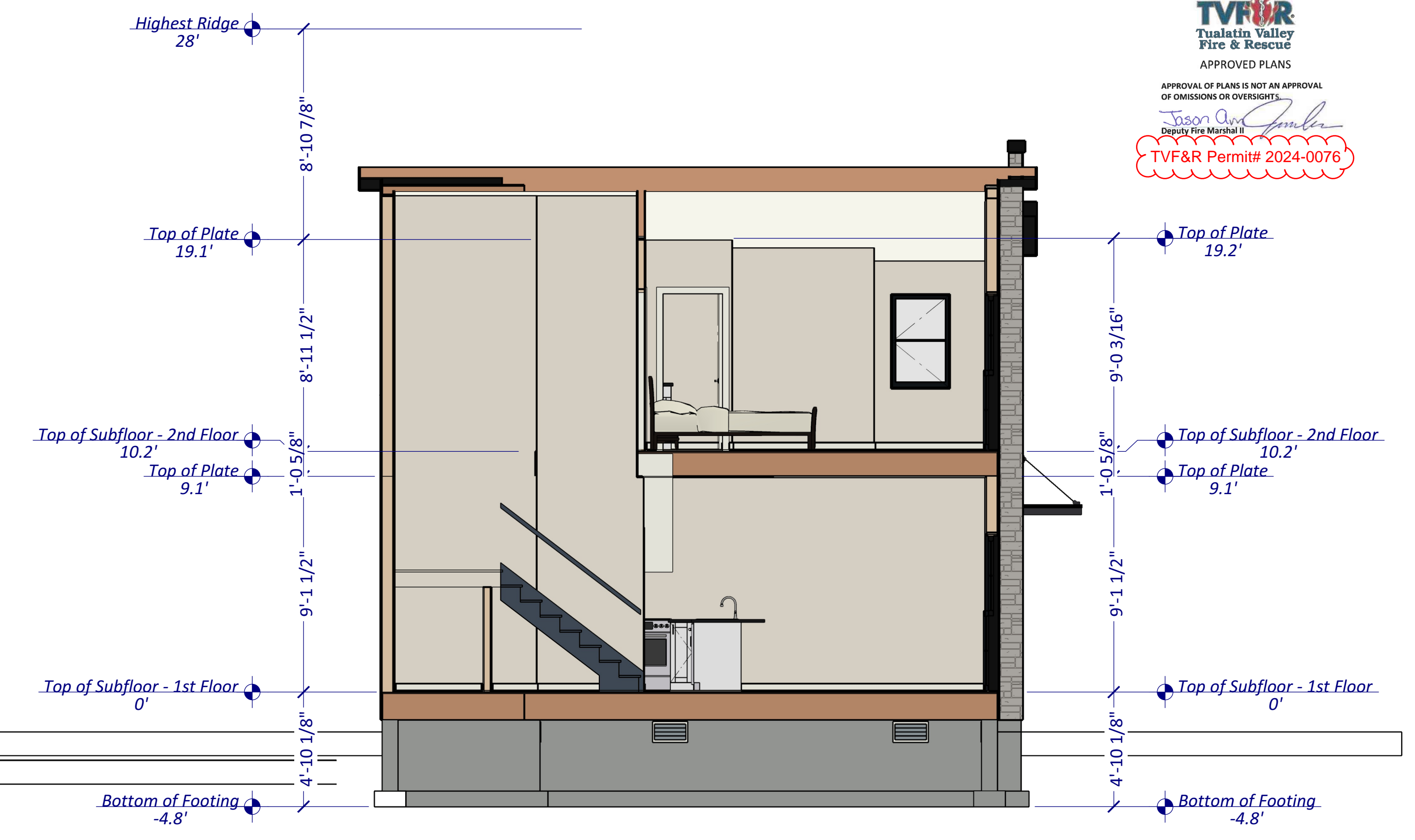
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Cross section A



Cross Section B



Cross Section C

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Project name:
Amy Street

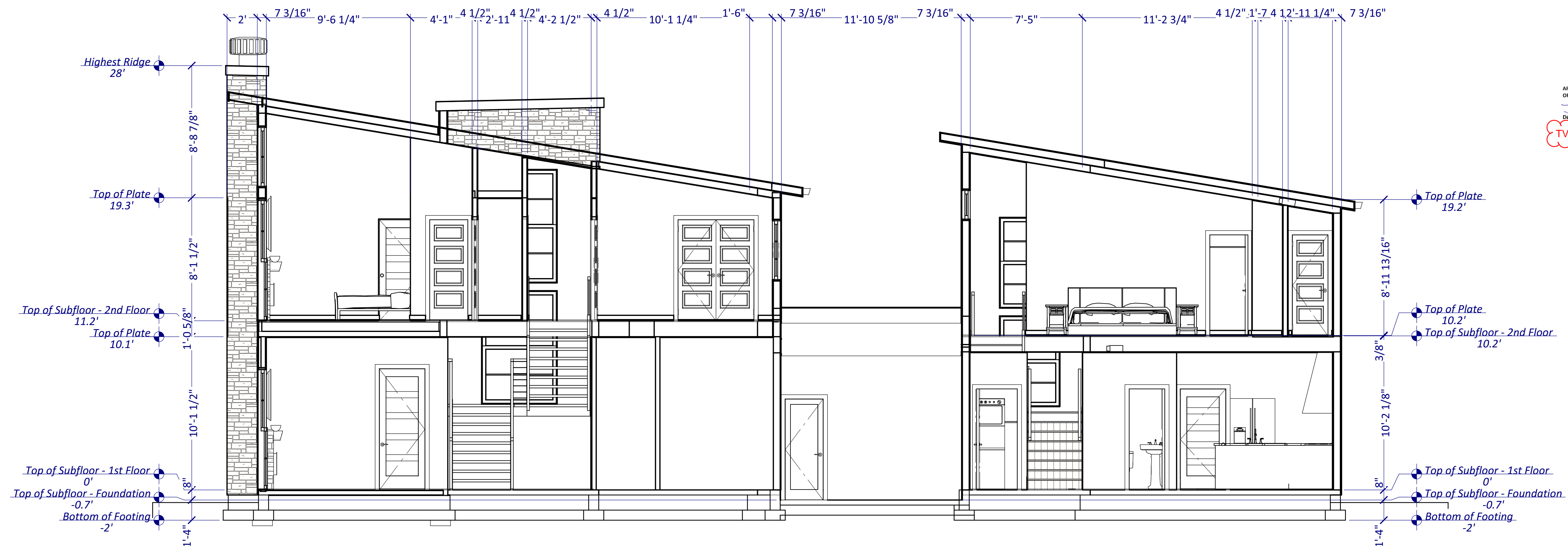
Owner:
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SCALE:
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Elevation Monolithic Slab Foundation Optional

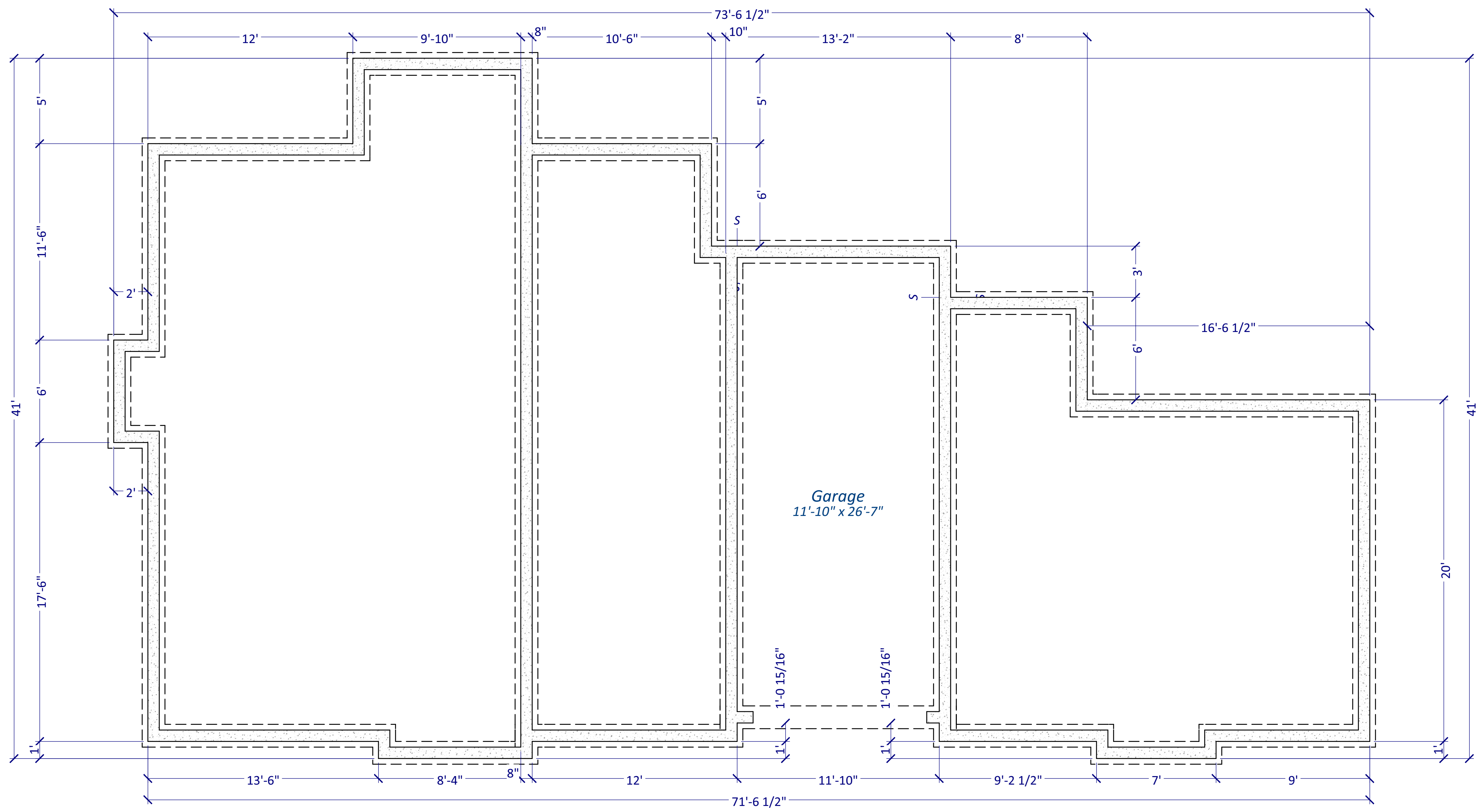
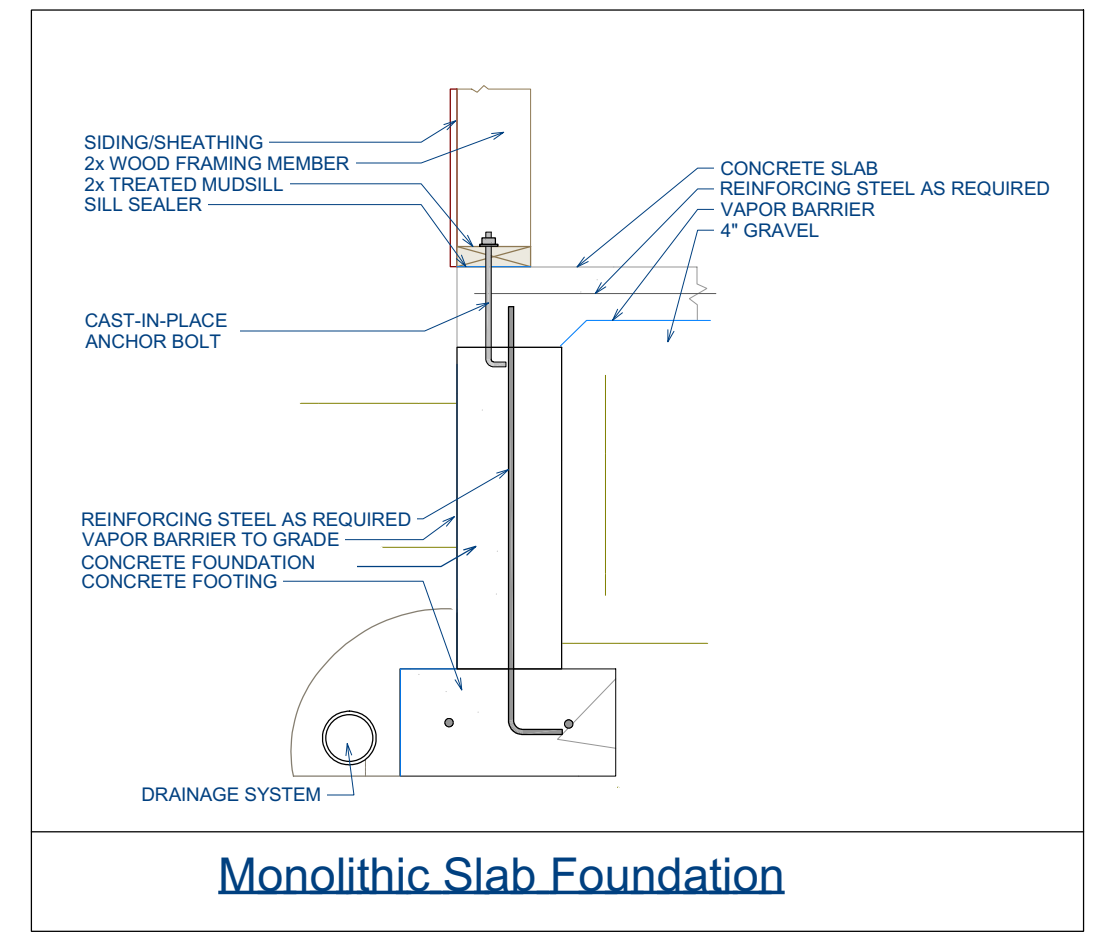


TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE	
	Required Performance	Equiv. Value
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8



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DATE: **9/11/2022**

SCALE: **1/4" = 1'-0"**

SHEET: **10**

RECORD OF SURVEY PROPERTY LINE ADJUSTMENT

A PORTION OF LOTS 13 AND 14, BLOCK 17,
"MOODY'S SUBDIVISION OF UNIT 'C' WEST OREGON CITY"
LOCATED IN THE
S.W. 1/4 SECTION 30, T.2S., R.2E., W.M.
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON
MAY 3, 2024 SCALE 1"=30'

SURVEY PERFORMED FOR:
BENNY DAMIAN

CLACKAMAS COUNTY SURVEYOR

RECEIVED: _____

ACCEPTED FOR FILING: _____

SURVEY NUMBER: _____

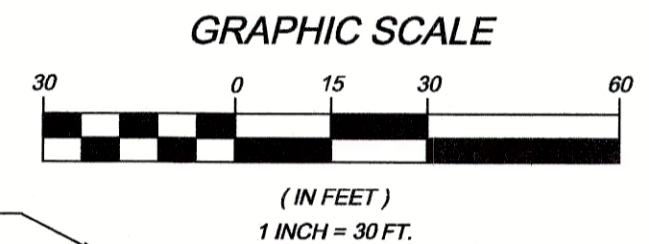
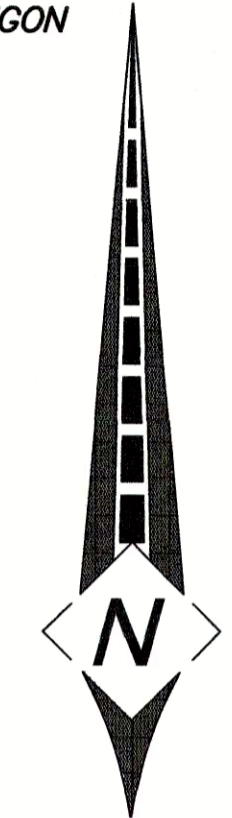
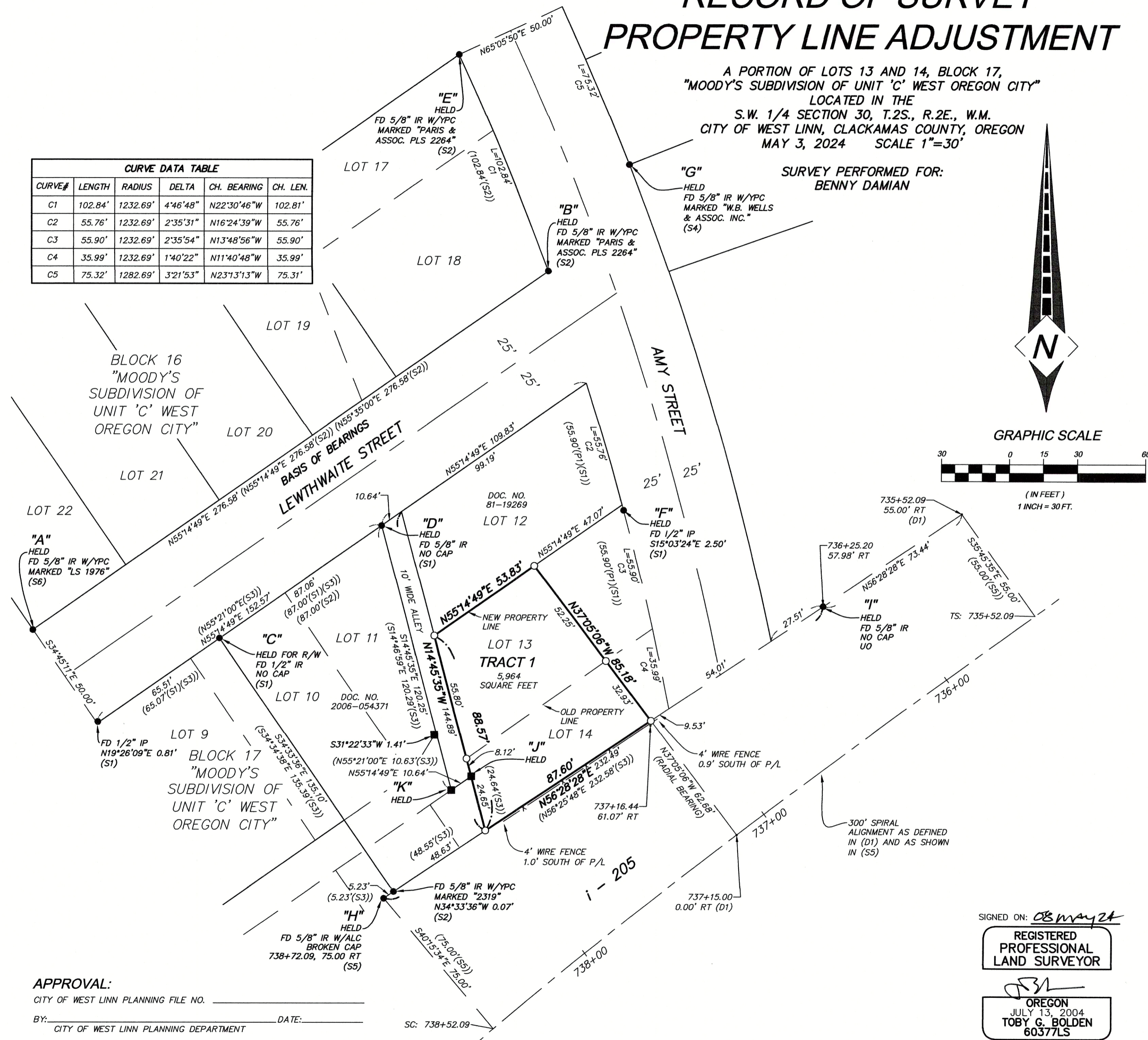
NARRATIVE:

THE PURPOSE OF THIS SURVEY IS TO ADJUST THE PROPERTY LINE TO CONSOLIDATE THE LOTS CONVEYED BY DEED RECORDED AS DOCUMENT NO. 2021-104424, CLACKAMAS COUNTY DEED RECORDS, BEING PORTIONS OF LOTS 13 AND 14, BLOCK 17, "MOODY'S SUBDIVISION OF UNIT 'C', WEST OREGON CITY", PLAT NO. 366, CLACKAMAS COUNTY PLAT RECORDS, IN ACCORDANCE WITH CITY OF WEST LINN CASE FILE NO. _____

FOR MY BASIS OF BEARINGS, AND THE NORTH LINE OF LEWTHWAITE STREET, AKA THIRD STREET (A 50.00 FOOT WIDE RIGHT OF WAY), I HELD NORTH 55°14'49" EAST BETWEEN FOUND MONUMENTS "A" AND "B", AND POINTS 50.00 FEET NORTH OF FOUND MONUMENTS "C" AND "D", PER SURVEYS NO. 3131, 26392, 24647, AND 2022-72 (BEARING SOURCE).

I HELD ALL FOUND MONUMENTS FOUND OR SET IN SAID SURVEY NO. 2022-72, AND ALL BEARINGS AND DISTANCES SHOWN THEREON, TO RETRACE THE BOUNDARIES OF THE SUBJECT TRACT.

CURVE DATA TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CH. BEARING	CH. LEN.
C1	102.84'	1232.69'	4°46'48"	N22°30'46"W	102.81'
C2	55.76'	1232.69'	2°35'31"	N16°24'39"W	55.76'
C3	55.90'	1232.69'	2°35'54"	N13°48'56"W	55.90'
C4	35.99'	1232.69'	1°40'22"	N11°40'48"W	35.99'
C5	75.32'	1282.69'	3°21'53"	N23°13'13"W	75.31'



LEGEND:

- FOUND 5/8" x 30" IRON ROD W/ RED PLASTIC CAP MARKED "CENTERLINE CONCEPTS" FROM SN 2022-072
- FOUND MONUMENT AS NOTED
- FOUND 5/8" IRON ROD W/ NO CAP FROM SN 23085
- () = RECORD DISTANCES & BEARINGS
- IR = IRON ROD IP = IRON PIPE
- FD = FOUND W/ = WITH
- YPC = YELLOW PLASTIC CAP
- ALC = 2" ALUMINUM CAP
- R/W = RIGHT OF WAY
- UO = UNKNOWN ORIGIN
- P/L = PROPERTY LINE
- TS = TANGENT TO SPIRAL
- SC = SPIRAL TO CURVE
- RT = RIGHT OF ALIGNMENT
- DOC. NO. = DEED DOCUMENT NUMBER, CLACKAMAS COUNTY DEED RECORDS
- SN = SURVEY NUMBER, CLACKAMAS COUNTY SURVEYOR'S OFFICE
- D1 = DOC. NO. 2021-104424
- S1 = SN 3131
- S2 = SN 26392
- S3 = SN 23085
- S4 = SN 19884
- S5 = SN 2019-040
- S6 = SN 24647
- P1 = "MOODY'S SUBDIVISION OF UNIT 'C' WEST OREGON CITY" CLACKAMAS COUNTY PLAT RECORDS

APPROVAL:
CITY OF WEST LINN PLANNING FILE NO. _____
BY: _____ DATE: _____
CITY OF WEST LINN PLANNING DEPARTMENT

SIGNED ON: *OS May 24*
REGISTERED PROFESSIONAL LAND SURVEYOR
TGB
OREGON
JULY 13, 2004
TOBY G. BOLDEN
60377LS
RENEWS: DECEMBER 31, 2023

CENTERLINE CONCEPTS
LAND SURVEYING, INC.
19376 MOLALLA AVE., SUITE 120
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189
PLOTTED: M:\PROJECTS\DAMIAN-AMY ST\DWG\PLA-C3D.dwg



CENTERLINE CONCEPTS
LAND SURVEYING, INC.

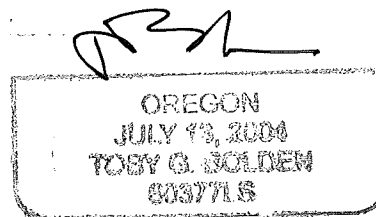
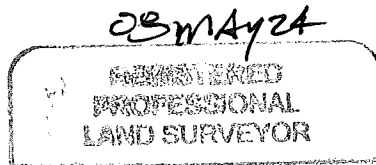
19376 Molalla Avenue, Ste. 120, Oregon City, OR 97045
P. 503-650-0188 F. 503-650-0189

TRACT 1
Exhibit "A"
Legal Description

A Tract of land being all that land conveyed by deed recorded as Document No. 2021-104424, Clackamas County Deed Records, being a portion of Lots 13, and 14, Block 17, "Moody's Subdivision of Unit 'C' West Oregon City", located in the Southwest one-quarter of Section 30, Township 2 South, Range 2 East of the Willamette Meridian, City of West Linn, County of Clackamas, State of Oregon, being more particularly described as follows:

BEGINNING at a found 5/8"x30" iron rod with red plastic cap marked "Centerline Concepts", at the most southerly southwest corner of Lot 12, of said Block 17; thence along the southeast line of said Lot 12, North 55°14'49" East 53.83 feet to the northeasterly corner of Deed Document No. 2021-104424 Clackamas County Deed Records; thence along the East line of said Document No. 2021-104424, South 37°05'06" East 85.18 feet to the northerly right of way line of I-205; thence along the northerly line of said I-205, South 56°28'28" West 87.60 feet to the southeast corner of that tract of land conveyed by deed Document No. 2006-054371, Clackamas County Deed Records; thence along the East line of said Document No. 2006-054371, and continuing along the east line of a 10-foot wide alley, North 14°45'35" West 88.57 feet to the **POINT OF BEGINNING**.

Contains 5,964 square feet, more or less.



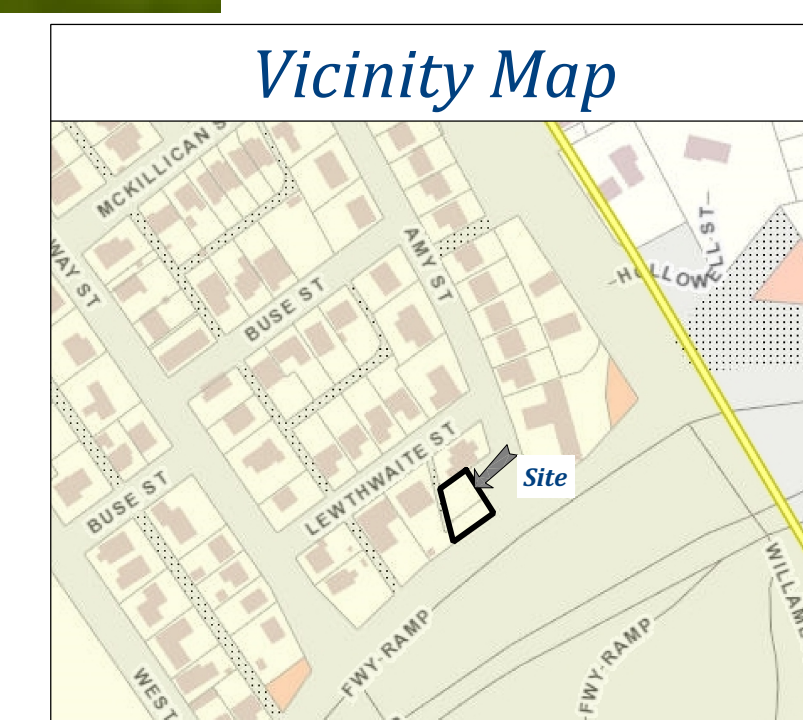
RECEIVED: 3/12/25

Amy Street Project



Project Proposal

Unit #1	Space Living	2330SF
Unit #2	Space Living	993 SF
Total	Space Living	3323SF
Garage	Space	3185F



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION

Project name:
Amy Street

Owner:
Marion Rusnak
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:
Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

DATE:

9/11/2022

SCALE:

1/4" = 1'-0"

SHEET:

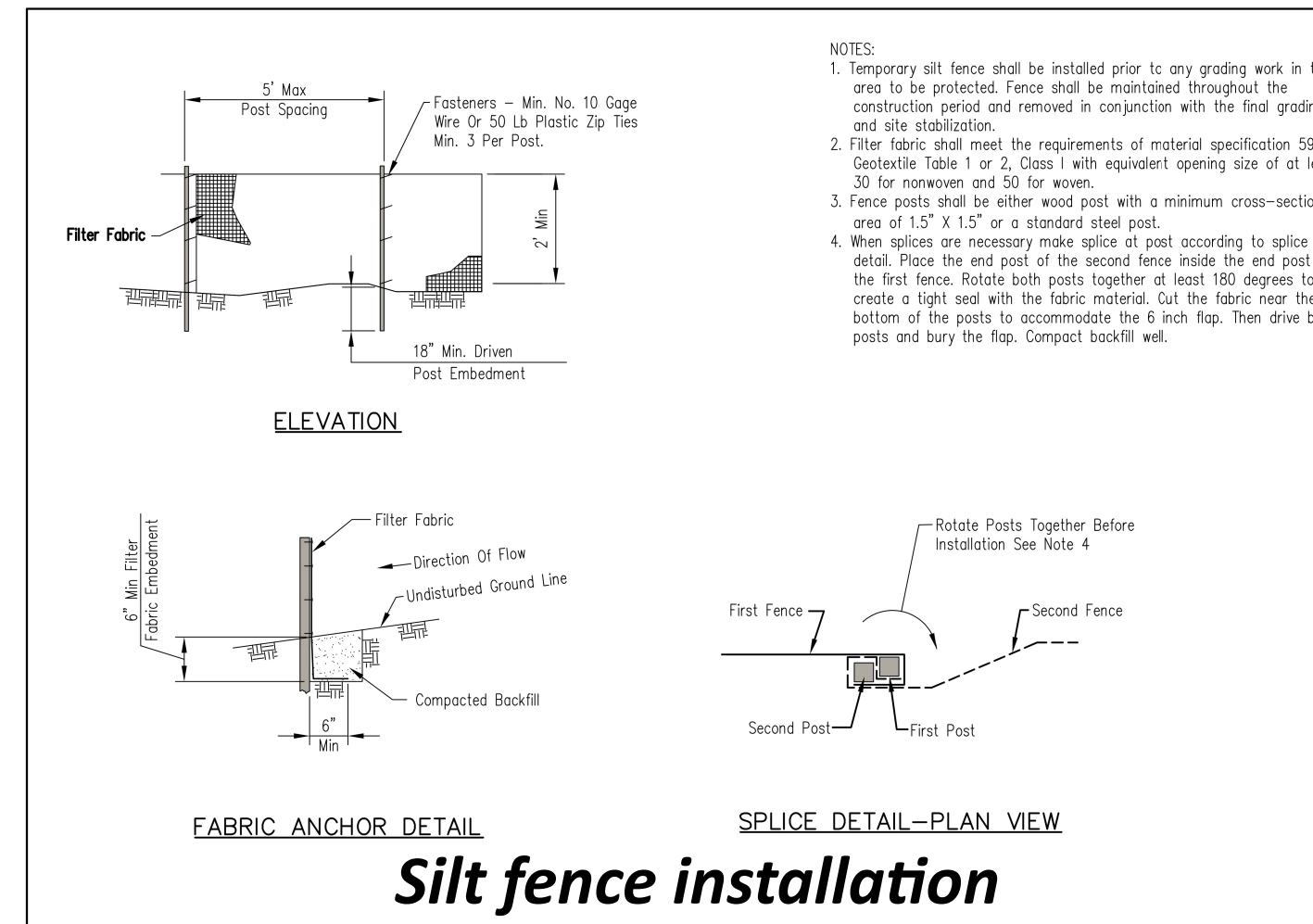
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BUILDING PERFORMANCE:

- HEAT LOSS CALCULATIONS SHALL COMPLY WITH RESIDENTIAL CODE AND/OR REQUIREMENTS OF LOCAL CODES.
- PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
- ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
- PROVIDE CRAWLSPACE VENTING 1SF per 150SF CRAWL SPACE TO MEET LOCAL CODE REQUIREMENTS
INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE, UNO.
- MINIMUM INSULATION:
ATTIC/CEILING R-49
WALLS R-21
FLOORS R-30

TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE Required Performance Equiv. Value	
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8

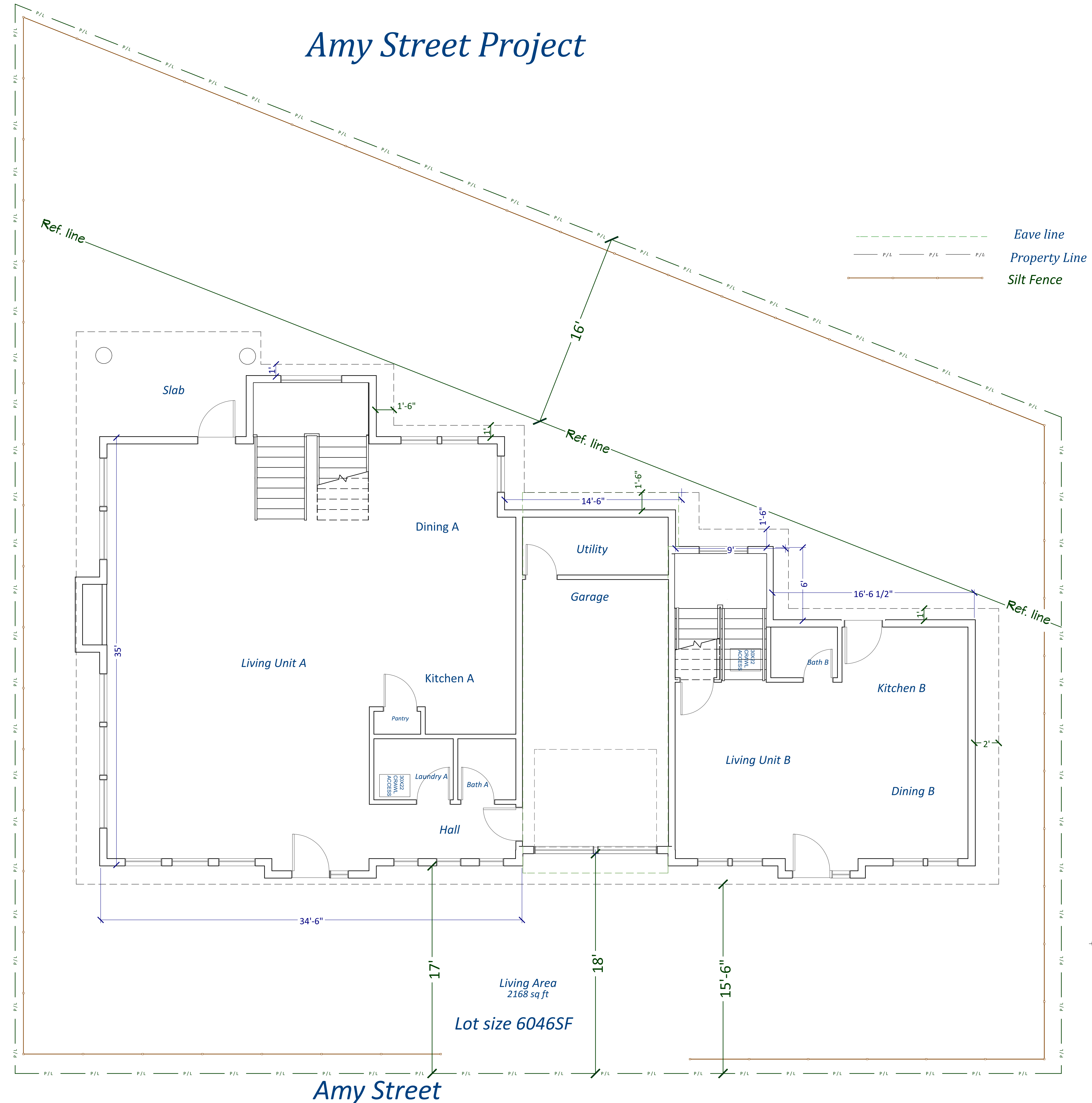


Silt fence installation

Vicinity Map



Amy Street Project



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: **Amy Street**

Owner: **Marion Rusnak**
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:
Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

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9/11/2022

SCALE:
1/4" = 1'-0"

SHEET:
Page: **2**





Front View



Left View



Rear View



Right View

REVISION TABLE	
NUMBER	DATE

Project name:

Amy Street

Owner:

Marion Rusnak
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY:

Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
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SCALE:

1/4" = 1'-0"

SHEET:

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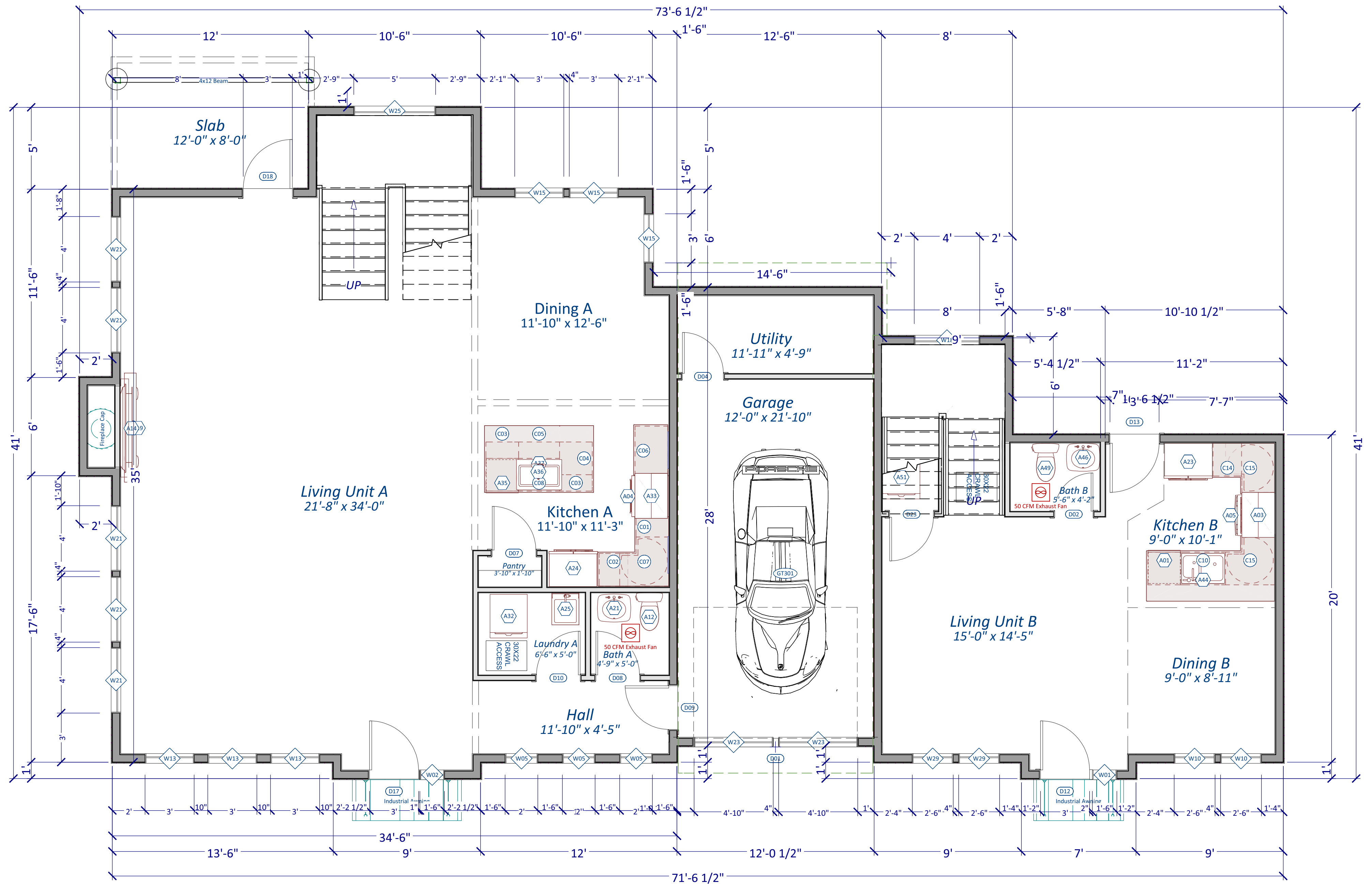
Cabinet Schedule											
Number	Room Name	Floor	Label	Qty	Width	Depth	Height	Description	Code	Manufacturer	Comments
C01	Kitchen A	1	B15R	1	15"	24"	36"	base cabinet			
C02	Kitchen A	1	B21R	1	21"	24"	36"	base cabinet			
C03	Kitchen A	1	B2412R	2	24"	12"	36"	base cabinet			
C04	Kitchen A	1	B24R	1	24"	24"	36"	base cabinet			
C05	Kitchen A	1	B3012	1	30"	12"	36"	base cabinet			
C06	Kitchen A	1	R36	1	36"	24"	36"	base cabinet			
C07	Kitchen A	1	LSB36R	1	36"	36"	36"	corner base cabinet			
C08	Kitchen A	1	SB30	1	30"	24"	36"	base cabinet			
C09	Master Bath	2	SB302134	2	30"	21"	34"	base cabinet			
C10	Kitchen B	1	SB33	1	33"	24"	36"	base cabinet			
C11	Bath A	2	SB362134	1	36"	21"	34"	base cabinet			
C12	Bath B	2	SB3634	1	36"	24"	34"	base cabinet			
C13	Bath A	2	US02180	1	30"	21"	80"	utility cabinet			
C14	Kitchen B	1	B21R	1	21"	24"	36"	base cabinet			
C15	Kitchen B	1	LSB36R	2	36"	36"	36"	corner base cabinet			

Door Schedule										
Number	Room Name	Floor	Label	Qty	Size	Description	Header	Manufacturer		
D01	Garage	1	10080	1	10080	122"x99"	Garage-Avante 2 Panel 24"	2x12x128"	(2)	
D02	Bath B/Unit B	1	2468	1	2468 R IN	30"x82 1/2"	Hinged-Door P10	2x6x33"	(2)	
D03	Toilet B/Bath B	2	2468	1	2468 R IN	30"x82 1/2"	Hinged-Door P10	2x6x33"	(2)	
D04	Utility/Garage	1	2668	1	2668 L IN	32"x82 1/2"	Hinged-Door P10	2x6x35"	(2)	
D05	Master Bath/Walk-In Closet A	2	2668	1	2668 L	62"x82 1/2"	Packet-Door P10	2x6x65"	(2)	
D06	Bath A/Hall	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35"	(2)	
D07	Kitchen A/Pantry	1	2868	1	2868 L IN	34"x82 1/2"	Hinged-Door P10	2x6x37"	(2)	
D08	Bath A/Hall	1	2868	1	2868 L IN	34"x82 1/2"	Hinged-Door P10	2x6x37"	(2)	
D09	Hall/Garage	1	2868	1	2868 R EX	34"x83"	ext. Hinged-Door P10	2x6x37"	(2)	
D10	Laundry A/Hall	1	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37"	(2)	
D11	Laundry A/Hall	2	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37"	(2)	
D12	Living Unit B	1	3068	1	3068 L EX	38"x83"	ext. Hinged-Glass Panel	2x6x41"	(2)	
D13	Living Unit B	1	3068	1	3068 R EX	38"x83"	ext. Hinged-Glass Panel	2x6x41"	(2)	
D14	Bedroom 2/Hall	2	3068	1	3068 L IN	32"x82 1/2"	Hinged-Door P10	2x6x35"	(2)	
D15	Master Bedroom/Deck	2	3068	1	3068 R EX	38"x83"	ext. Hinged-Glass Panel	2x6x41"	(2)	
D16	Bedroom 1/Hall	2	3068	1	3068 R IN	38"x82 1/2"	Hinged-Door P10	2x6x41"	(2)	
D17	Living Unit A	1	3080	1	3080 L EX	38"x99"	ext. Hinged-Glass Panel	2x6x41"	(2)	
D18	Living Unit A/Slab	1	3080	1	3080 R EX	38"x99"	ext. Hinged-Glass Panel	2x6x41"	(2)	
D19	Bedroom 1/Closet	2	5068	1	5068 L/R IN	62"x82 1/2"	Double Hinged-Door P10	2x6x65"	(2)	
D20	Bedroom Unit #2/Bath B	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35"	(2)	
D21	Toilet/Master Bath	2	2668	1	2668 L IN	62"x82 1/2"	Packet-Door P10	2x6x65"	(2)	
D22	Walk-In Closet B/Bedroom Unit #2	2	2668	1	2668 R IN	32"x82 1/2"	Hinged-Door P10	2x6x35"	(2)	
D23	Utility/Living Unit B	1	2868	1	2868 R IN	34"x82 1/2"	Hinged-Door P10	2x6x37"	(2)	
D24	Master Bedroom/Hall	2	3068	1	3068 R IN	38"x82 1/2"	Hinged-Door P10	2x6x41"	(2)	
D25	Closet/Bedroom 2	2	5068	1	5068 L/R IN	62"x82 1/2"	Double Hinged-Door P10	2x6x65"	(2)	

Window Schedule										
Number	Room Name	Floor	Label	Qty	Size	R/O	Egress	Description	Header	Manufacturer
W01	Living Unit B	1	1668FX	1	1668FX	19"x81"		Fixed Glass	2x6x22"	(2)
W02	Living Unit A	1	1680FX	1	1680FX	19"x97"		Fixed Glass	2x6x22"	(2)
W03	Bedroom 2	2	2040FX	1	2040FX	25"x49"		Fixed Glass	2x6x28"	(2)
W04	Bedroom 2	2	2060FX	1	2060FX	25"x73"		Fixed Glass	2x6x28"	(2)
W05	Hall	1	2080FX	3	2080FX	25"x97"		Fixed Glass	2x6x28"	(2)
W06	Bedroom 2	2	2080FX	1	2080FX	25"x97"		Fixed Glass	2x6x28"	(2)
W07	Bedroom Unit #2	2	2620FX	1	2620FX	31"x25"		Fixed Glass	2x6x34"	(2)
W08	Bedroom Unit #2	2	2634FX	1	2634FX	31"x47"		Fixed Glass	2x6x34"	(2)
W09	Bedroom 2	2	2640SC	1	2640SC	31"x49"		Single Casement-hr	2x6x34"	(2)
W10	Dining B	1	2668DH	2	2668DH	31"x81"		Double Hung	2x6x34"	(2)
W11	Bedroom Unit #2	2	2668DH	3	2668DH	31"x81"		Double Hung	2x6x34"	(2)
W12	Master Bath	2	3040FX	1	3040FX	37"x49"		Fixed Glass	2x6x40"	(2)
W13	Living Unit A	1	3080DH	3	3080DH	37"x97"		Double Hung	2x6x40"	(2)
W14	Master Bath	2	3080DH	2	3080DH	37"x97"		Double Hung	2x6x40"	(2)
W15	Dining A	1	3080SH	3	3080SH	37"x97"		Single Hung	2x6x40"	(2)
W16	Bedroom Unit #2	2	4020FX	2	4020FX	49"x25"		Fixed Glass	2x6x52"	(2)
W17	Master Bath	2	4040FX	3	4040FX	49"x49"		Fixed Glass	2x6x52"	(2)
W18	Utility	1	4060DH	1	4060DH	49"x73"		Double Hung	2x6x52"	(2)
W19	Open Below	2	4060DH	1	4060DH	49"x73"		Double Hung	2x6x52"	(2)
W20	Bedroom Unit #2	2	4068FX	1	4068FX	49"x81"		Fixed Glass	2x6x52"	(2)
W21	Living Unit A	1	4080DH	5	4080DH	49"x97"		Double Hung	2x6x52"	(2)
W22	Master Bath	2	4080DH	3	4080DH	49"x97"		Double Hung	2x6x49"	(2)
W23	Garage	1	41020FX	2	41020FX	59"x25"		Fixed Glass	2x6x62"	(2)
W24	Open Below	2	4680FX	1	4680FX	55"x97"		Fixed Glass	2x6x62"	(2)
W25	Living Unit A	1	5076DH	1	5076DH	61"x91"		Double Hung	2x6x64"	(2)
W26	Open Below	2	5076DH	1	5076DH	61"x91"		Double Hung	2x6x64"	(2)
W27	Bedroom 1	2	6050LS	1	6050LS	73"x61"		Left Sliding	2x6x76"	(2)
W28	Bedroom Unit #2	2	2640SC	1	2640SC	31"x49"		Single Casement-hr	2x6x34"	(2)
W29	Living Unit B	1	2668DH	2	2668DH	31"x81"		Double Hung	2x6x34"	(2)
W30	Master Bedroom	2	4040FX	2	4040FX	49"x49"		Fixed Glass	2x6x52"	(2)
W31	Master Bedroom	2	4080DH	2	4080DH	49"x97"		Double Hung	2x6x49"	(2)

Fixture Schedule										
Number	Room Name	Floor	Label	Qty	Width	Depth	Height	Manufacturer		
A01	Kitchen B	1	Dishwasher	1	23 3/8"	23"	29 1/4"			
A02	Toilet	2	Toilet Paper Holder	1	7 5/16"	5"	8 5/8"			
A03	Kitchen B	1	Wall Hood 45OCFEM	1	33"	24"	60"	Viking Range Corporation		
A04	Kitchen A	1	30" Gas Range	1	30"	28"	41 3/16"			
A05	Kitchen B	1	30" Gas Range	1	30"	28 13/16"	36 7/16"			
A06	Master Bath	2	Adjustable Head Down	1	3"	3 1/8"	2 15/16"			
A07	Master Bath	2	Adjustable Head Front	2	3"	2 1/2"	3"			
A08	Master Bath	2	Button Shelf	1	26 5/16"	7 7/16"	6 3/8"			
A09	Master Bath	2	Commercial Steam Outlet	1	1 3/8"	1 3/16"	1 3/8"			
A10	Bath A	2	Elongated Back Drain Toilet	1	30"	36"	31"			
A11	Master Bath	2	Elongated Shower Head and Hose	1	2"	8 3/8"	43 15/16"			
A12	Bath A	1	Elongated Toilet	1	30"	36"	29 7/8"			
A13	Toilet	2	Elongated Toilet	1	30"	36"	29 7/8"			
A14	Living Unit A	1	Flat Screen tv	1	65"	4"	41"			
A15	Master Bedroom	2	Flat Screen tv	1	65"	4"	44"			
A16	Laundry A	2	Front Loading Stackable Clothes Washer	1	27"	33 1/16"	39"			
A17	Master Bath	2	Loure Showerhead	1	5 5/16"	12 9/16"	6 13/16"			
A18	Master Bath	2	Loure Volume Control	2	5 15/16"	4 1/16"	5 15/16"			
A19	Living Unit A	1	Napoleon+Twilight+42po (1)	1	60"	5 3/16"	18"			
A20	Master Bedroom	2	Napoleon+Twilight+42po (1)	1	60"	5 3/16"	18"			
A21	Bath A	1	Pedestal Sink 10	1	24 7/16"	20 1/2"	39 5/16"			
A22	Kitchen B	1	Ref. 3 doors with ice maker	1	35 5/8"	27"	71 11/16"			
A23	Kitchen A	1	Ref. 3 doors w. ice maker	1	35 5/8"	27"	71 11/16"			
A24	Kitchen A	1	Ref. 3 doors w. ice maker	1	35 5/8"	27"	71 11/16"			
A25	Laundry A	1	Single Basin Laundry Sink	1	19 7/8"	23 9/16"	48 7/8"			
A26	Laundry A	2	Stackable Clothes Dryer	1	27"	33 1/16"	39"			
A27	Bath A	2	Standard Tub 1 (60W)	1	60"	32 13/16"	29 1/4"			
A28	Master Bath	2	Steam Shower Control Panel	1	3"	3/16"	3"			

Car Schedule						
Number	3D Elevation	Room Name	Label	Qty	Floor	Description
GT301		Garage	Porsche Carrera GT3	1	1	Porsche Carrera GT3



1st Level Floor Plan

REVISION TABLE	
NUMBER	DATE / REVISION BY / DESCRIPTION

Project name: Amy Street

Owner: Marion Rusnak
Phone 503 320-8041
bluconstruction@yahoo.com

DRAWINGS PROVIDED BY: Vasile Handolescu
16508 SE Oatfield Rd.
Milwaukie Or. 97267
503 502-5924
v.a_builder@yahoo.com

DATE: 9/11/2022

SCALE: 1/4" = 1'-0"

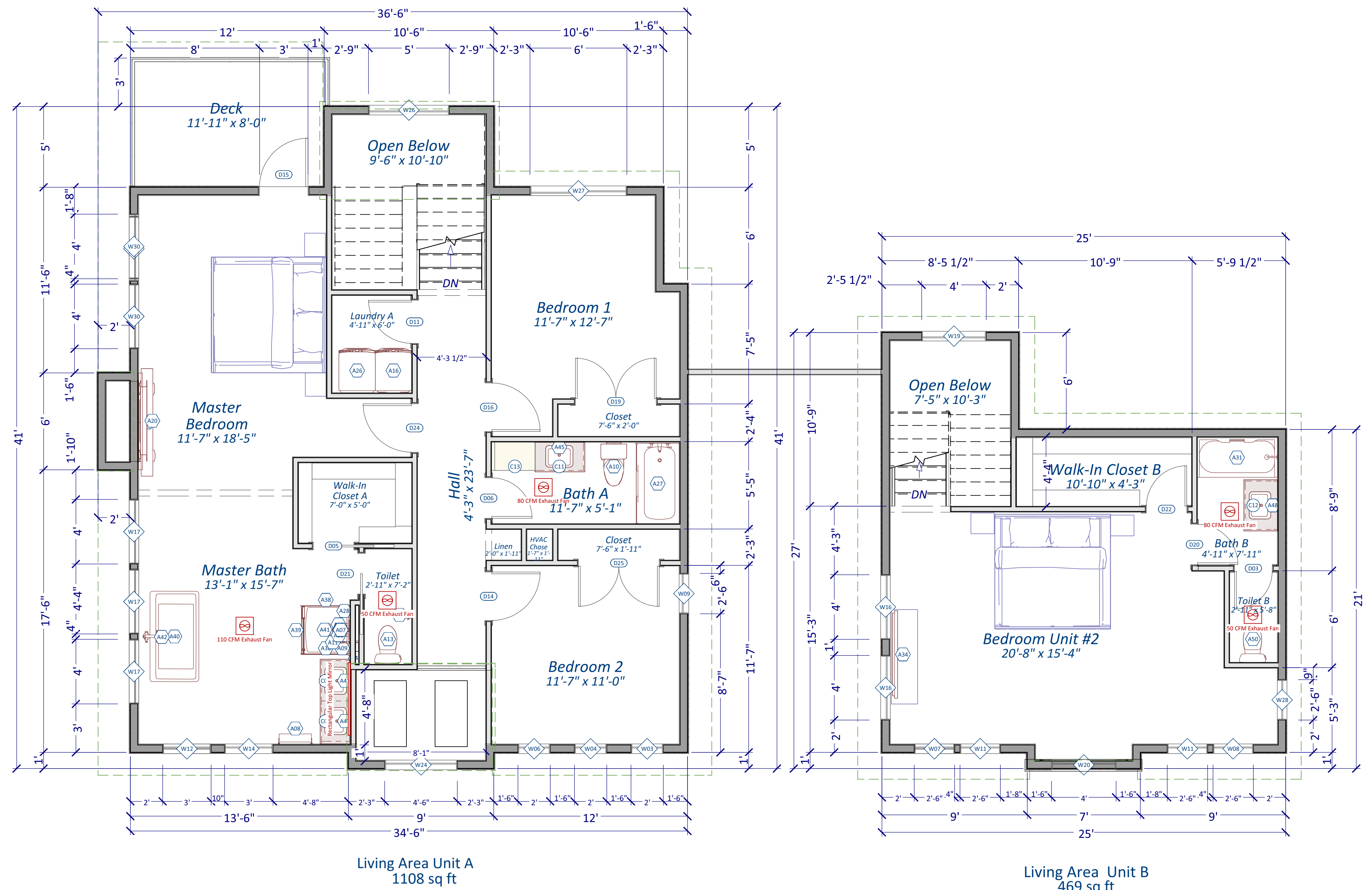
SHEET: 4

WALL FRAMING NOTES:

FRAMING & STRUCTURAL NOTES
 DOORS ROUGH OPENING: 1" SIDES AND 2.5" TOP
 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES.
 CONFIRM WINDOW MFG. SPECS. BEFORE FRAMING
 WALL HEADERS ON EXTERIOR WALLS: (2) 2" X 10" DF 2 TYP. INSULATED w/ (1) 2x CRIPPLE & (1) 2x KING, UNO
 PROVIDE DOUBLE FLOOR JOISTS. UNDER ALL WALLS RUNNING PARALLEL
 PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.
 PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT
 ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED
 SEE ROOF FRAMING FOR ADDITIONAL FRAMING NOTES
 LUMBER SPECIES:
 POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
 EXPOSED CEDAR BEAMS TO BE DF-#2 OR BETTER,
 SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2
 ALL STUDS TO BE DF#2 OR BETTER
 SHEATHING SHALL BE AS FOLLOWS:
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED OR 7/16" OSB
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED PLYWOOD
 The width of a hallway shall be not less than 3 feet (914 mm).
 R308.4.5 Glazing and Wet Surfaces
 Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface shall be considered to be a hazardous location.
 This shall apply to single glazing and each pane in multiple glazing.

TABLE N1101.1(1)
 PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE Required Performance	Equiv. Value
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8



2nd Level Floor Plan

General Framing Notes

1. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
 2. WALL HEADERS: (2) 2 X 10 DF 2 W/ 1K/IT TYP. UNO
 3. I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
 4. ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
 5. PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF THE JOISTS & TRUSSES IN WRITING TO THE CONTRACTOR/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.

6. ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
 7. ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
 8. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL.
 9. NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS, OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).
 10. THRUST SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
 11. BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.

12. ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
 13. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-W SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD, UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
 14. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
 15. PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

16. GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATIC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
 17. GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
 18. "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
 19. ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 20. ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
 21. ALL HANGERS TO BE "SIMPSON" OR EQUAL.
 22. NOTIFY EOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.

REVISION TABLE

NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: Amy Street

Owner: Marion Rusnak
 Phone 503 320-8041
 blucstructionllc@yahoo.com

DRAWINGS PROVIDED BY: Vasilie Handulescu
 16508 SE Oatfield Rd.
 Milwaukie Or. 97267
 503 502-5924
 v.a_builder@yahoo.com

DATE: 9/11/2022

SCALE: 1/4" = 1'-0"

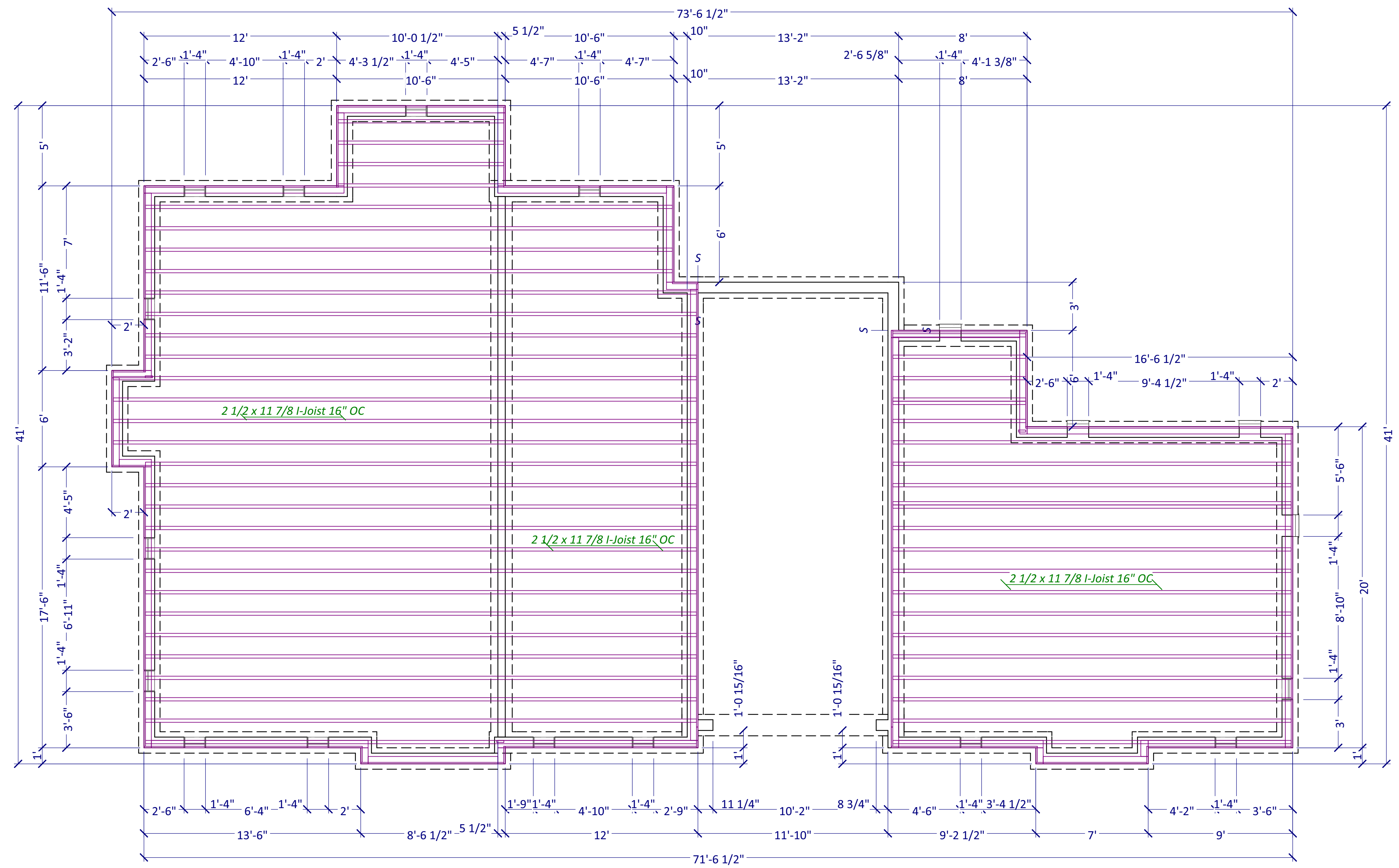
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FOUNDATION NOTES

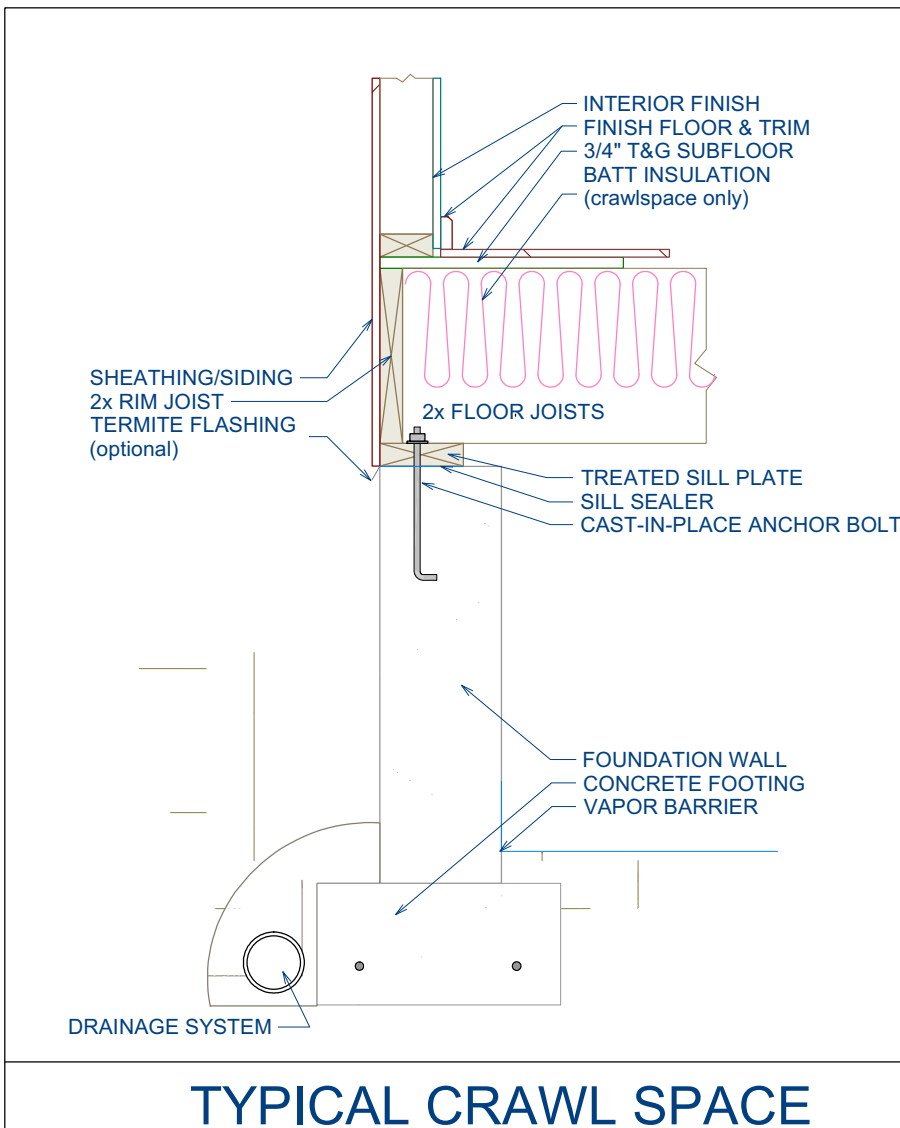
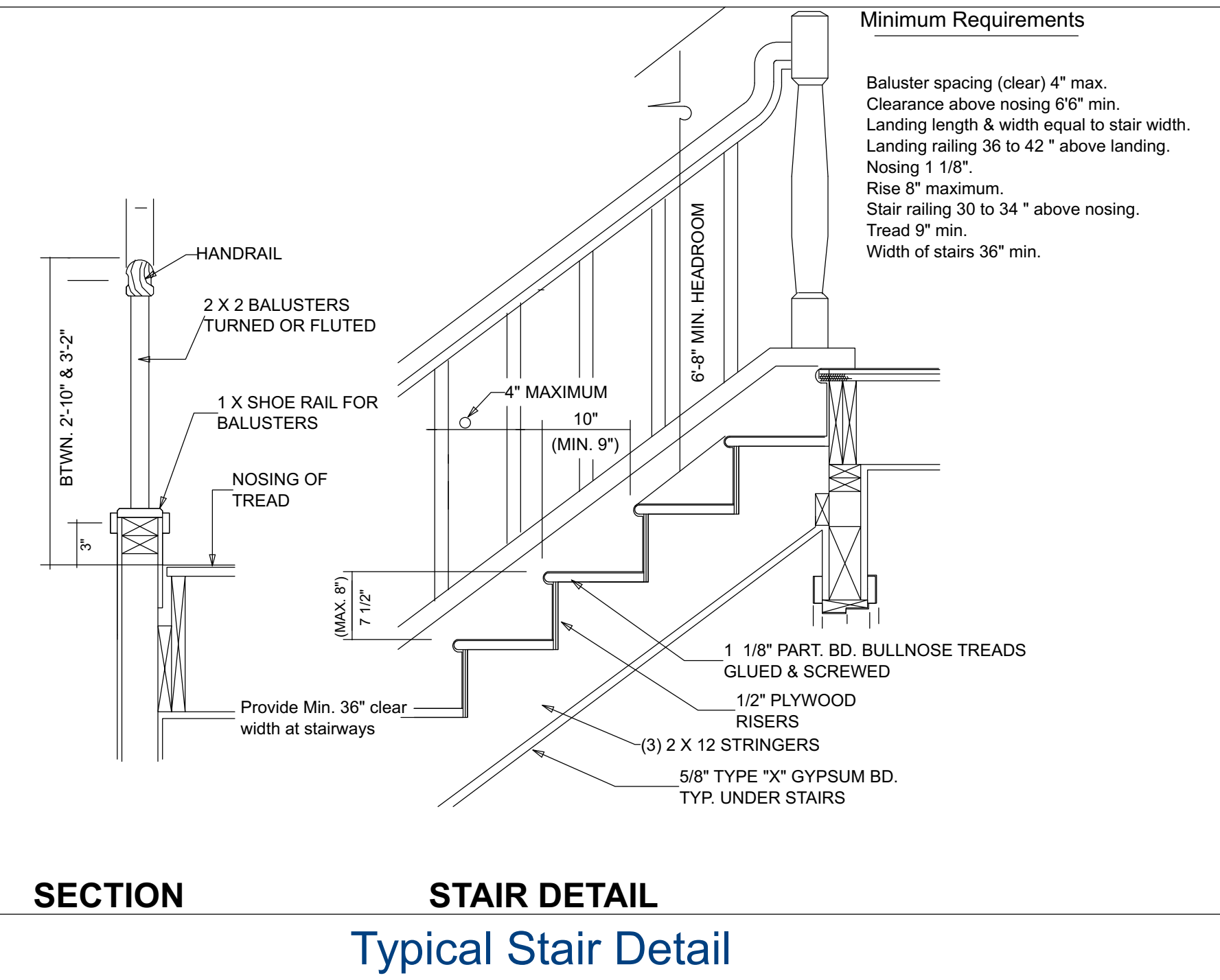
- FOUNDATIONS TO BEAR A MINIMUM OF 24" BELOW FINISH GRADE
- ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO. SEE SHEAR PLANS FOR HOLD DOWN DETAILS
- ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60
- ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES FOR #4 BARS & 36" FOR #5 BARS
- PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL
- MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI (DESIGNED AS 2,500 PSI) AT 26 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2
- SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF. IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED
- ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS
- UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT
- THE TOPS OF FOUNDATION WALLS SHALL EXTEND 6" ABOVE THE ADJACENT FINISH GRADE
- MINIMUM 18" CLEARANCE FOR WOOD JOIST GIRDERS REQUIRED IN THE GARAGE CRAWL SPACE UNLESS TREATED WOOD IS USED THROUGHOUT FLOOR SYSTEM

Stairs Requirement

- Stairway shall be not less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height.
- The headroom in stairways shall be not less than 6 feet 8 inches
- The riser height shall be not more than 8 inches.
- The tread depth shall be not less than 9 inches
- The rise of a step or steps shall not be less than 4 inches or greater than 8 inches.
- Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 30 inches and not more than 38 inches.



Foundation and first level floor framing



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SCALE:

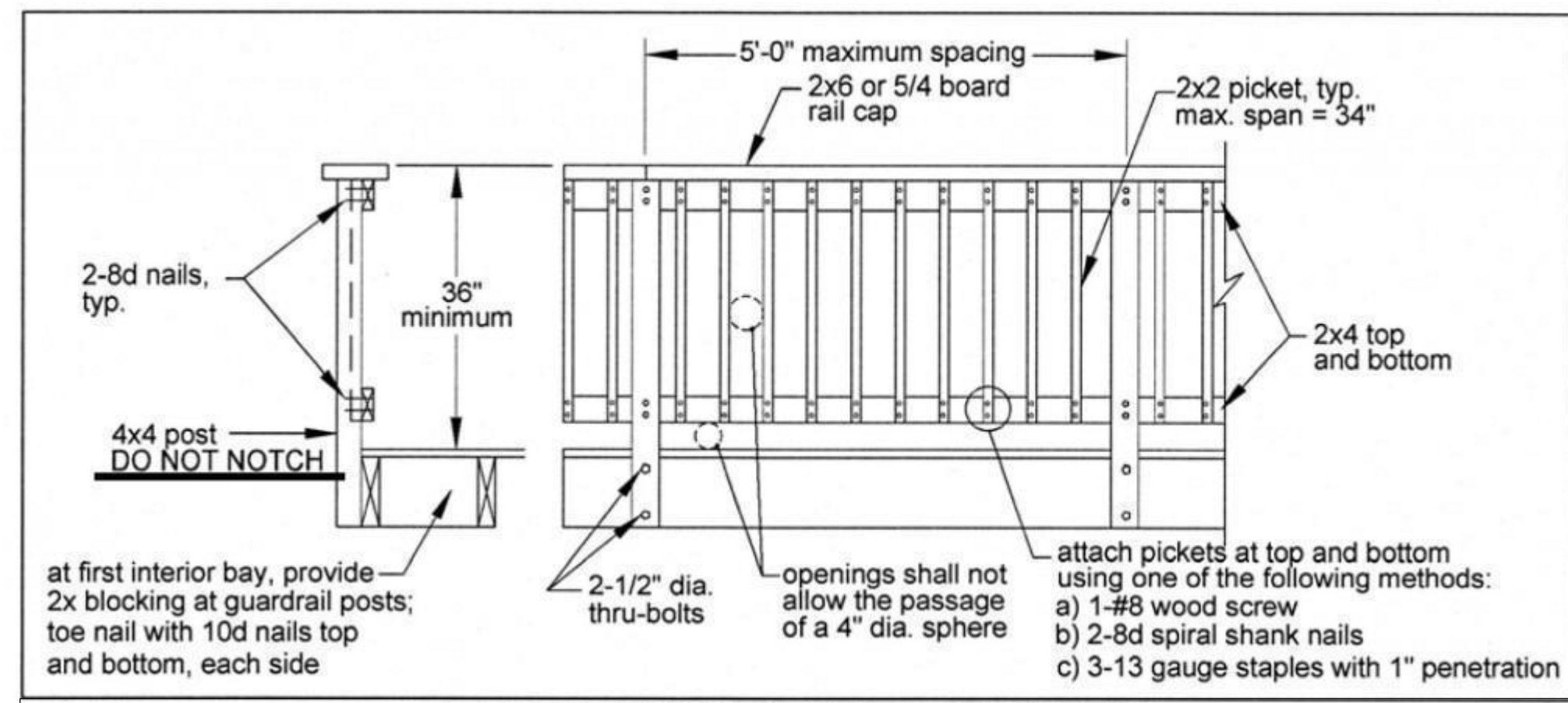
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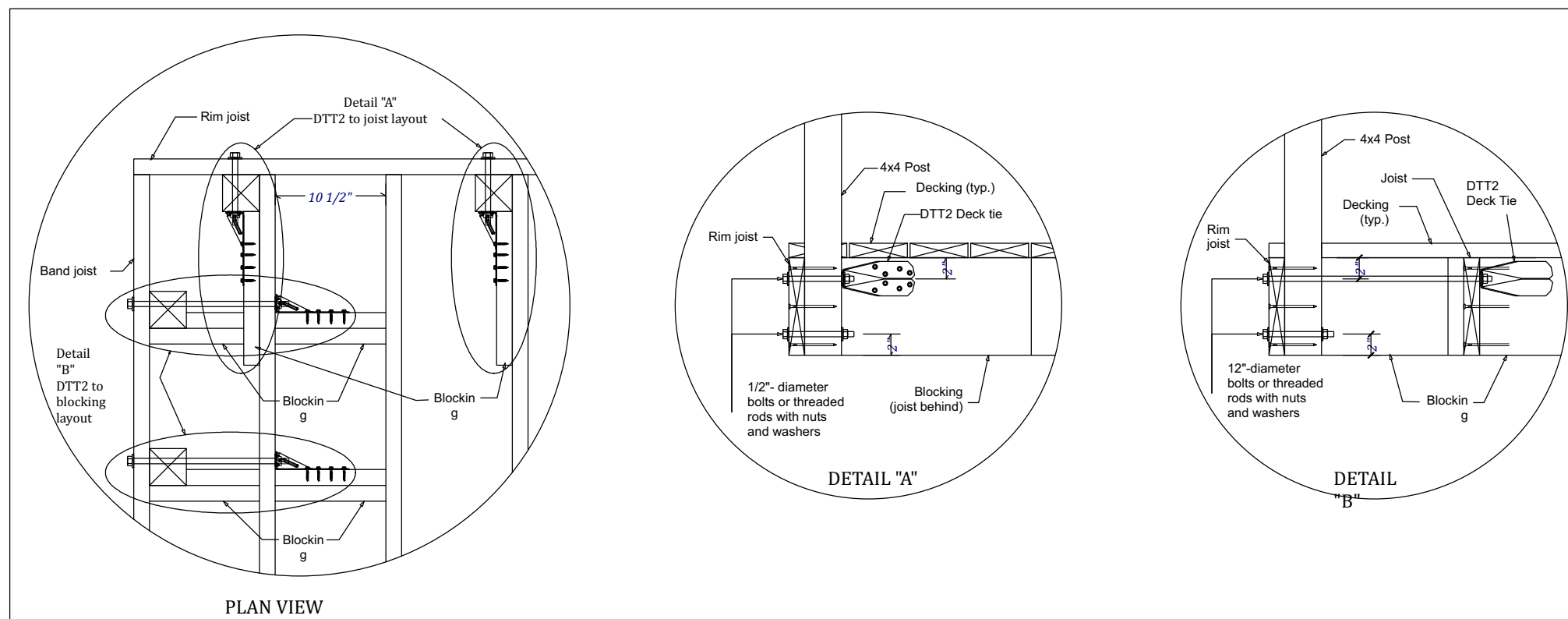
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Deck Notes:

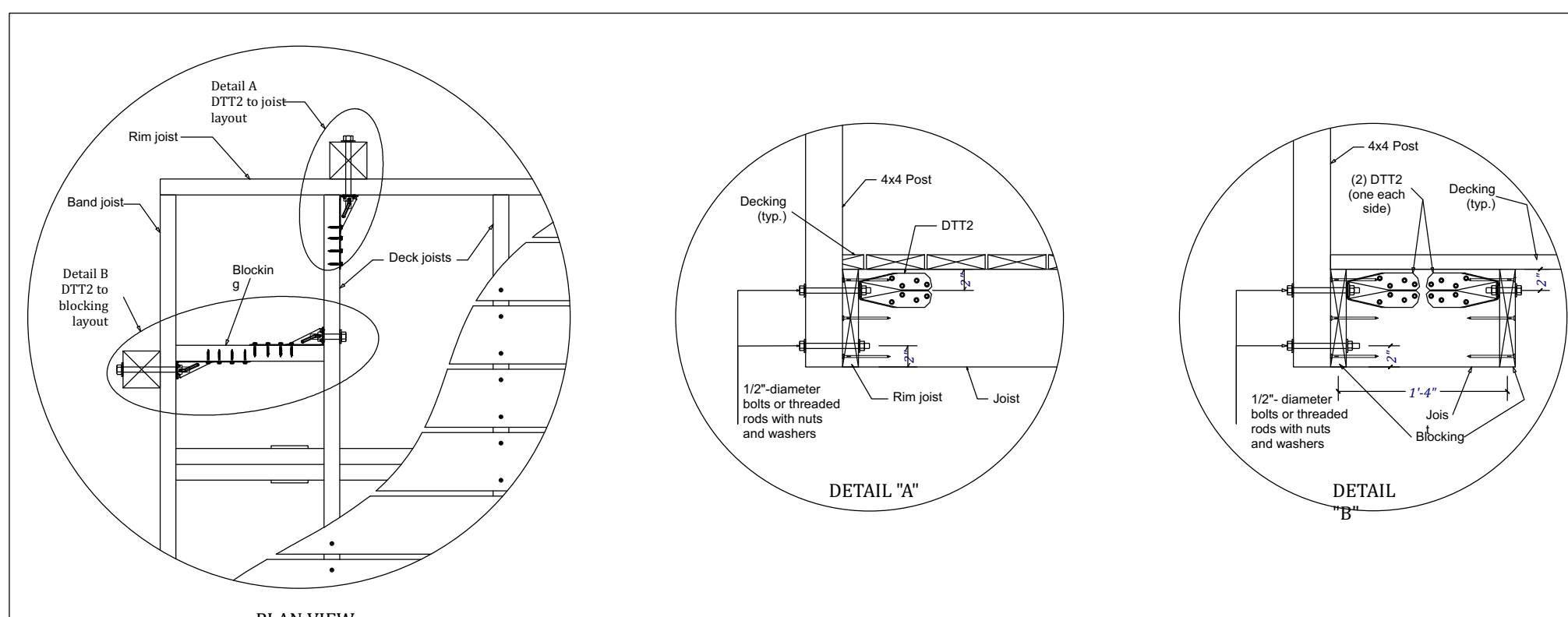
The deck type with 2x PT wood and have no stairs .
 Use LUS hangers at all joist.
 Deck fasteners must be for treated wood & all exterior material applications
 Coated, Corrosion-resistant finish.
 Deck guardrail post must be attached with Simpson DTT2



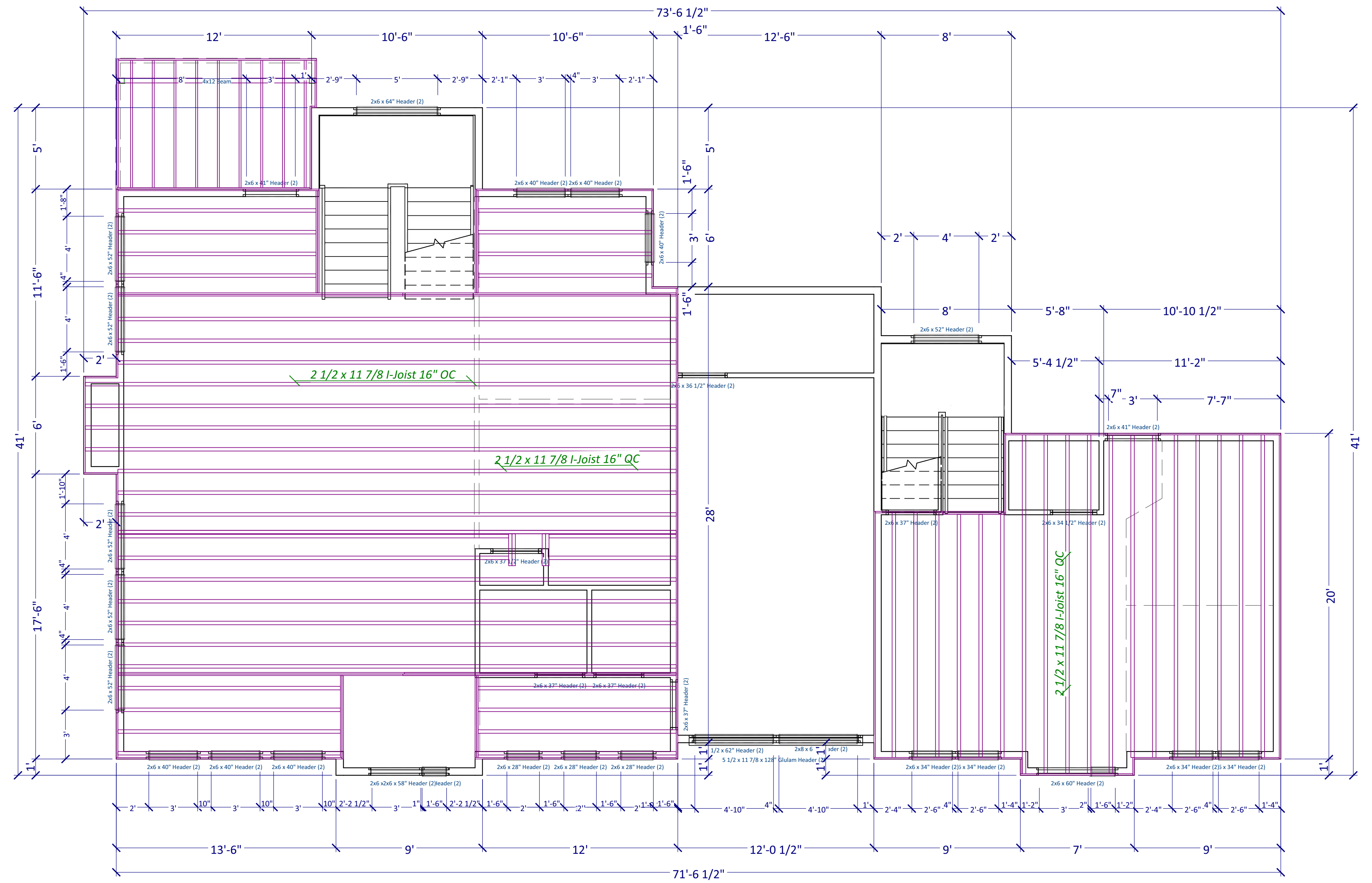
Deck Wood Guardrail Installation Detail



Deck Post Inside Rim Installation Detail



Deck Post Outside Rim Installation Detail



Second Level Floor Framing

REVISION TABLE	DESCRIPTION
NUMBER	DATE

Project name:
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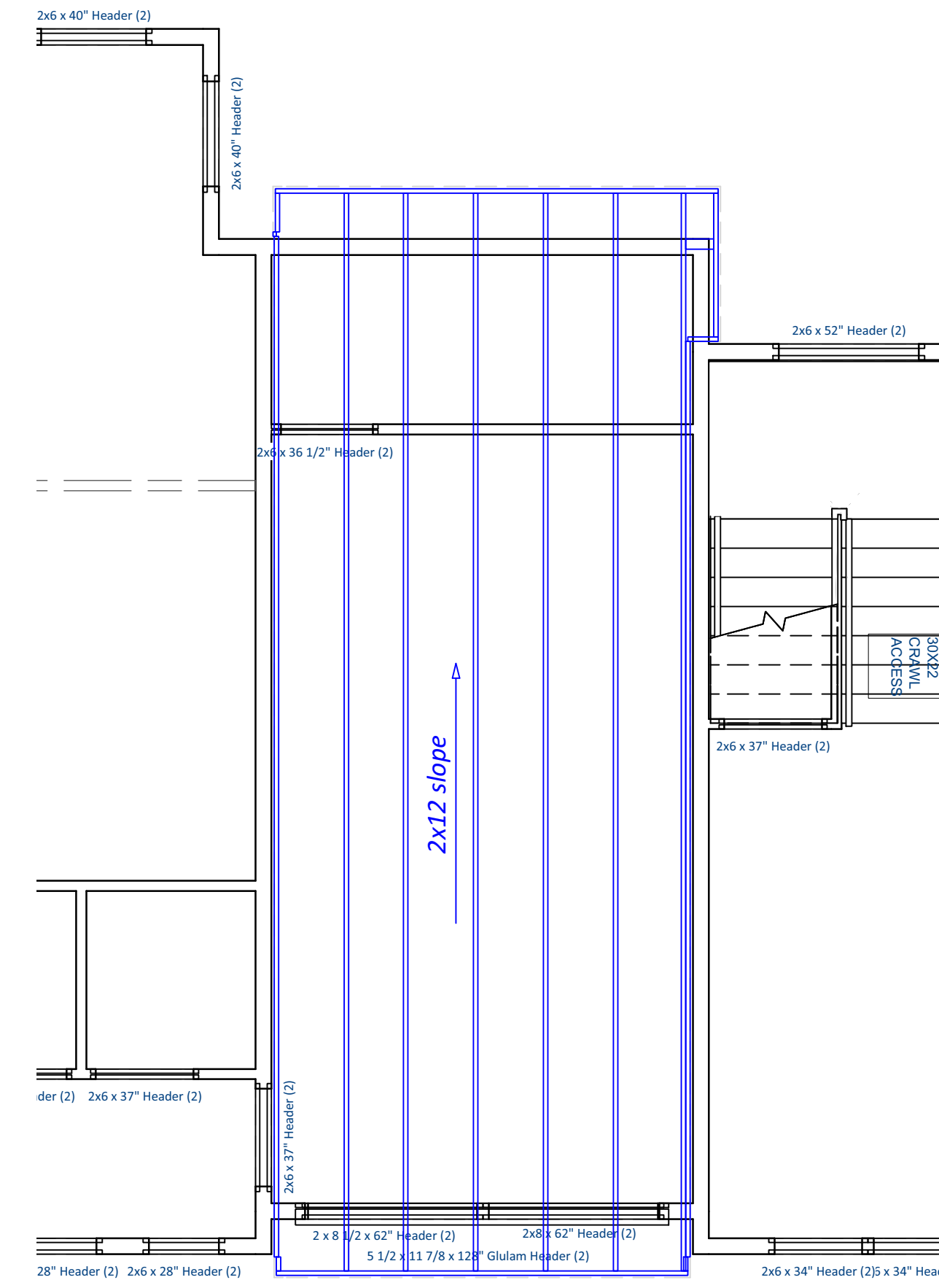
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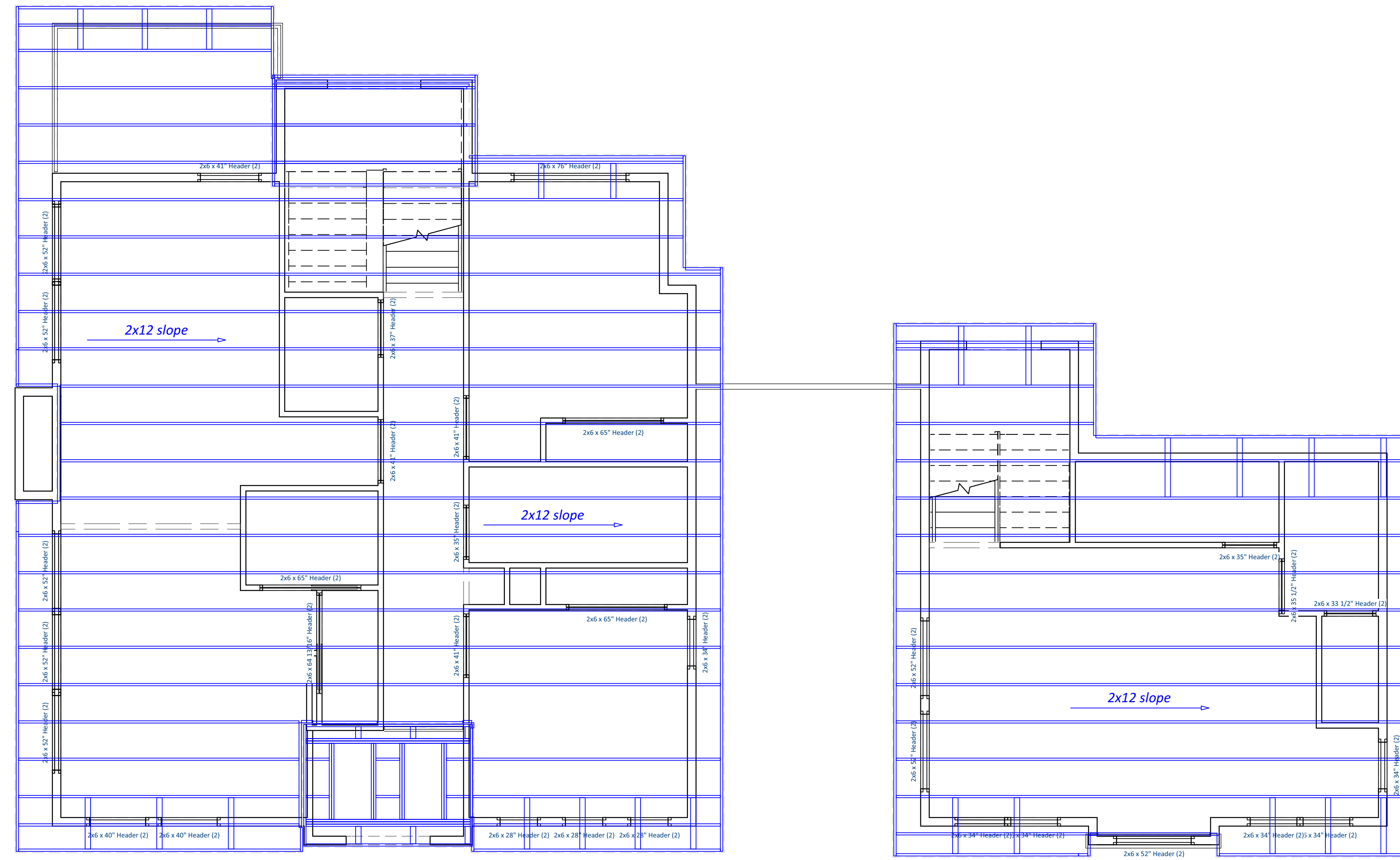
1/4" = 1'-0"

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1st Level Roof Framing Plan



2nd Level Roof Framing Plan

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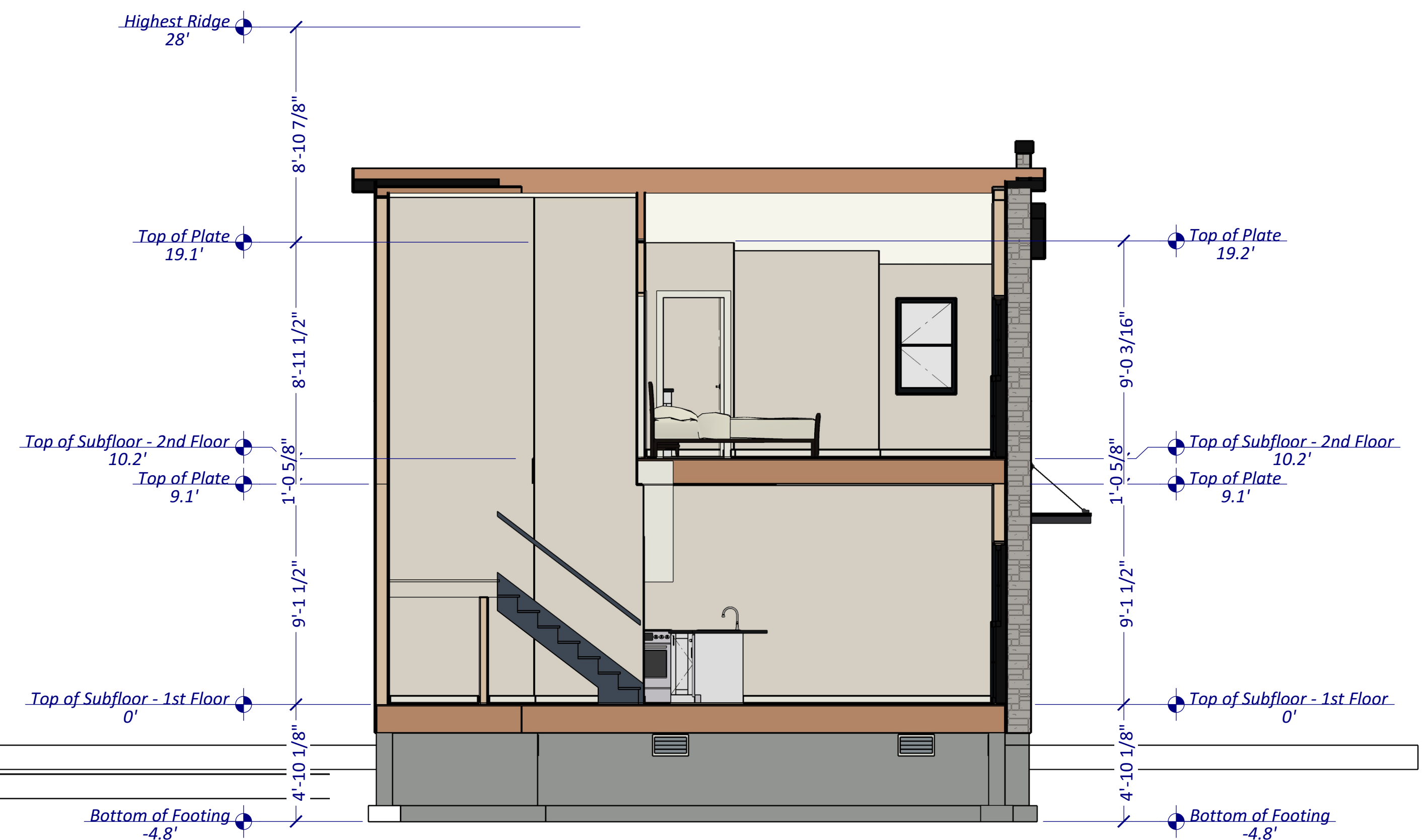
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 Page: 8



Cross section A



Cross Section B



Cross Section C

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Project name: Amy Street

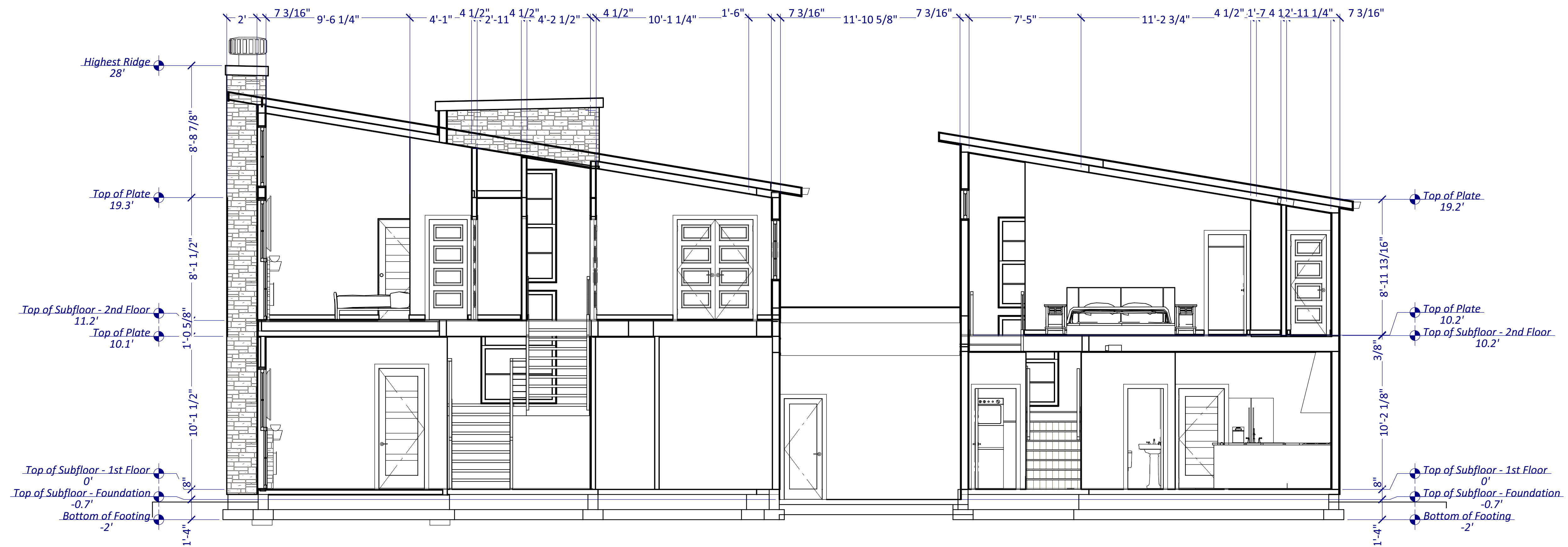
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SCALE: 1/4" = 1'-0"

SHEET: 9



Elevation Monolithic Slab Foundation Optional

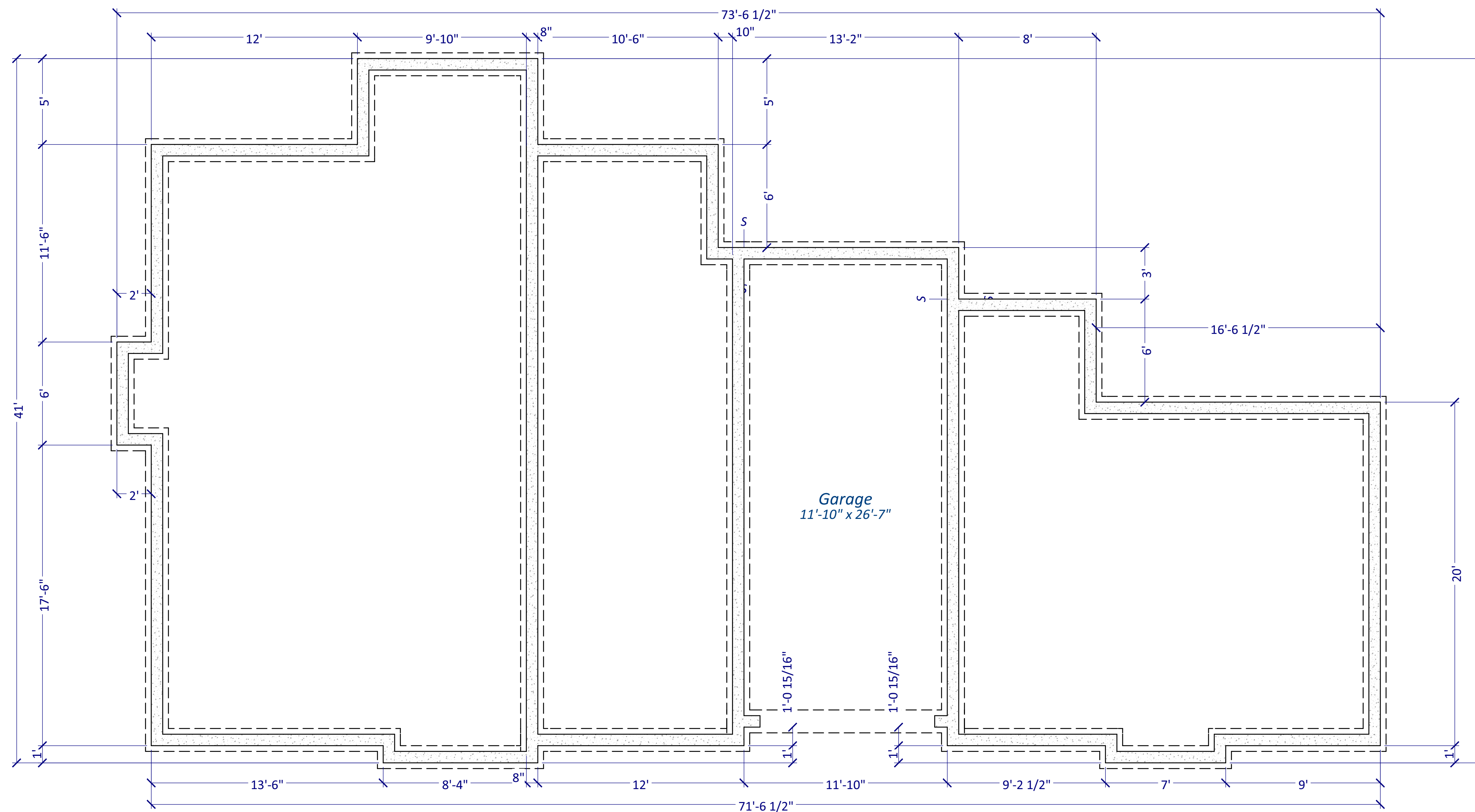
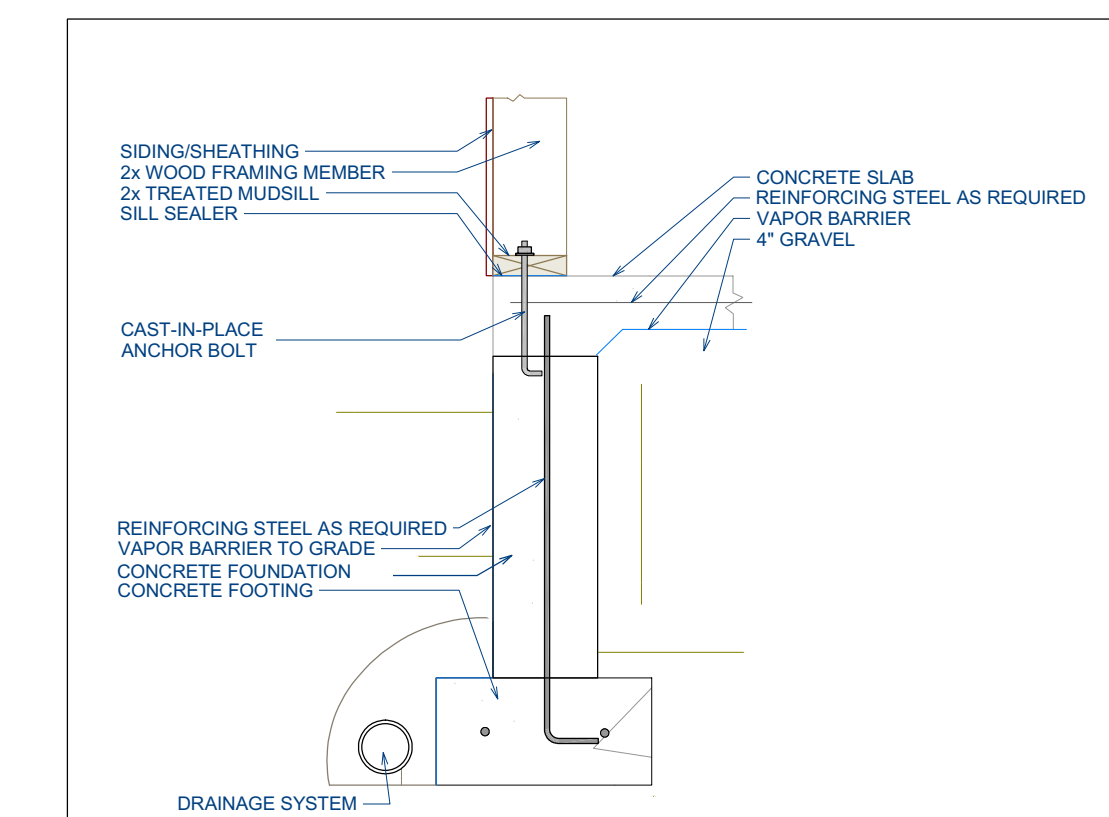


TABLE N1101.1(1)
PRESCRIPTIVE ENVELOPE REQUIREMENTS

BUILDING COMPONENT	STANDARD BASE CASE	
	Required Performance	Equiv. Value
Wall insulation—above grade	U-0.059c	R-21 Intermediate
Wall insulation—below grade	C-0.063	R-15/R-21
Flat ceilings	U-0.021	R-49
Vaulted ceilings	U-0.033	R-30 Rafter or R-30A Scissor Truss
Underfloors	U-0.033	R-30
Slab edge perimeter	F-0.520	R-15
Heated slab interior	n/a	R-10
Windows	U-0.30	U-0.30
Window area limitation	n/a	n/a
Skylights	U-0.50	U-0.50
Exterior doors	U-0.20	U-0.20
Exterior doors with > 2.5 ft ² glazing	U-0.40	U-0.40
Forced air duct insulation	n/a	R-8



Monolithic Slab Foundation

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Page:
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