



CITY OF West Linn

PLANNING MANAGER DECISION

DATE: April 18, 2024

FILE NO.: DR-23-11

REQUEST: Approval for two new exterior doors, an interior remodel (cosmetic), and minor alterations to the striping and signs in the parking lot at 19133 Willamette Drive (Walmart).

PLANNER: Aaron Gudelj, Associate Planner

Planning Manager DSW

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GENERAL INFORMATION

APPLICANT: Heather Edmiston
Permit Coordinator
PB2 Architecture & Engineering
2809 Ajax Avenue, Ste 100
Rogers, Arkansas 72758

OWNER: ROIC Robinwood LLC
PO Box 130339
Carlsbad, CA 92013

SITE LOCATION: 19133 Willamette Drive; West Linn, OR 97068

SITE SIZE: 6.15 Acres

LEGAL DESCRIPTION: Tax lot 21E23AD06101

COMP PLAN DESIGNATION: Commercial

ZONING: GC (General Commercial)

APPROVAL CRITERIA: Community Development Code (CDC):
Chapter 19: General Commercial (GC)
Chapter 55: Design Review
Chapter 99: Procedures for Decision-Making: Quasi-Judicial.

120-DAY RULE: The application became complete on January 19, 2024. The 120-day period therefore ends on May 18, 2024.

PUBLIC NOTICE: Notice was mailed to property owners within 300 feet of the subject property and to the affected neighborhood association on February 1, 2024. A sign was placed on the property on February 5, 2024. The notice was also posted on the City's website on January 31, 2024. Therefore, public notice requirements of CDC Chapter 99 have been met.

EXECUTIVE SUMMARY

The applicant proposes to install two new exterior doors, re-stripe a portion of the parking lot, remove & replace existing “pickup” sign(s) in the parking lot near NE entrance, install a new light pole near the NE entrance in the parking lot, and install a new STOP sign in the parking lot near the NE entrance, at an existing retail store (Walmart) at 19133 Willamette Drive.

The applicant also intends to remodel portions of the interior of the building including removal and replacement of refrigerators and associated equipment, a remodel of the customer service area, checkout area, break room area, and pharmacy area, as well as general upgrades of interior finishes throughout the building.

Additionally, the applicant has included new business storefront signage as part of the application however, the review of storefront signage will require a separate review and approval of a Sign Permit pursuant to Chapter 52 of the Community Development Code and is not part of this review.

Public Comments:

No public comments received for this application.

DECISION

The Community Development Director (designee) approves this application (DR-23-11), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Plans, Elevations, and Narrative. The project shall conform to the plans, elevations, and narrative submitted in Exhibit PD-1 and obtain all necessary building permits.**

The provisions of the Community Development Code Chapter 99 have been met.

Aaron Gudelj
Aaron Gudelj, Associate Planner

April 18, 2024
Date

Appeals to this decision must be filed with West Linn Planning within 14 days of mailing date. Cost is \$400. An appeal to City Council of a decision by the Planning Director shall be a de novo hearing. The appeal must be filed by an individual who has established standing by submitting comments prior to the decision date. Approval will lapse 3 years from effective approval.

Mailed this 18th day of April 2024.

Therefore, the 14-day appeal period ends at 5:00 p.m., on May 2, 2024.

ADDENDUM

APPROVAL CRITERIA AND STAFF FINDINGS

DR-23-11

This decision adopts the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

CDC Chapter 19 GENERAL COMMERCIAL, GC

CDC 19.030 PERMITTED USES:

The following uses are permitted outright in this zone:

(...)

15. General retail services.

(...)

Staff Finding 1: 'General Retail Services' is a permitted use within the General Commercial zone. The existing retail service store (Walmart) will not significantly change in use, function, or occupancy because of the proposed modifications. The criteria are met.

CDC 55.020 Classes of Design Review

A. Class I Design Review. The following are subject to Class I Design Review:

1. Modification of an office, commercial, industrial, public or multifamily structure for purposes of enhancing the aesthetics of the building and not increasing the interior usable space (e.g., covered walkways or entryways, addition of unoccupied features such as cupolas, clock towers, etc.).

Staff Finding 2: The proposed project of a new entry door, rear employee exit door, and interior remodeling will not increase the interior usable space or intensify the use. Therefore, this application qualifies as a Class I Design Review. The criteria are met.

CDC 55.090 Approval Standards – Class I Design Review – General/Discretionary

The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:

A. The provisions of the following sections shall be met:

1. CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment, shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.

Staff Finding 3: The existing site is substantially developed. The proposed new entry door for customers, rear exit door for employees, interior alterations, and parking lot re-striping will occur entirely on the building and/or the paved parking lot and will not alter any remaining natural physical features at the site. No significant or heritage trees will be impacted or removed, nor will landscaping be altered as a result of the project. The criteria are met.

2. CDC 55.100(B)(5) and (6), architecture, et al., shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.

Staff Finding 4: The proposed building modifications include installation of a new door at the SE corner of the building, installation of a new door at the rear SW corner of the building, interior remodeling, and parking lot re-stripping. The proposed entry/exit door at the SE corner of the front of the building will match the existing architectural style at the main entrance complete with a primarily glass frontage. The new rear exit door at the SW corner of the building will be painted to match the existing color of the building. There are no proposed changes to the scale of the building or window transparency. The criteria are met.

3. Pursuant to CDC 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.

Staff Finding 5: The application for the proposed alterations to the subject site was deemed complete on January 19, 2024 with no additional information required. The criteria are met.

4. The design standards or requirements identified in the base zone shall apply.

Staff Finding 6: The proposed installation of a new entry door, rear exit door, interior remodel, and parking lot re-stripping are alterations to the building that are primarily aesthetic. Existing setbacks, lot width, lot depth, lot coverage, building height and access/egress to the site will not be changed. The criteria are met.

B. An application may be approved only if adequate public facilities, as defined in CDC 2.030 and pursuant to CDC 55.100(I), Public facilities, will be available to provide service to the property at the time of occupancy.

Staff Finding 7: The existing site provides adequate public facilities as defined in West Linn CDC Chapter(s) 2.030 and CDC 55.100(I). The proposed modifications will not alter existing public facilities at the site and an intensity of use and/or occupancy will not occur because of the project. The criteria are met.

C. The Planning Director shall determine the applicability of the approval criteria in subsection A of this section. (Ord. 1408, 1998; Ord. 1544, 2007; Ord. 1675 § 44, 2018; Ord. 1745 § 1 (Ex. A), 2023)

Staff Finding 8: The proposed installation of a new 5'6" x 8' door on the SE corner of front of the building is intended to be used by store associates and customers for the 'Grocery Pickup' service provided by the business (Walmart). The addition of a new door along the building frontage will match the existing aesthetics of the building and will not intensify the existing retail use or occupancy of the building. No impacts are anticipated.

The proposed installation of a new 3' x 7' door at the rear of the building is anticipated to be used by employees as an additional exit at the rear of the building for incidental business purposes. Currently, there is only one door at the rear of the building thereby a total of two doors at the rear would exist upon project completion. Staff will note that the properties to the rear of the subject building are residential in use and are located approximately 100 ft from the subject commercial building. The existing topography along the shared property line consists of an elevation reduction (~10ft - ~20ft) from the residential uses to the Walmart building, large trees and shrubbery along the downslope, and a paved private road that provide a natural buffer from the residential uses at the rear. The proposed standard size door at the rear of the building for employee ingress/egress will not intensify use of the building or create unwanted impacts to neighboring properties. The criteria are met.

*CHAPTER 99 PROCEDURES FOR DECISION MAKING: QUASI-JUDICIAL
99.030 APPLICATION PROCESS: WHO MAY APPLY, PRE-APPLICATION CONFERENCE,
REQUIREMENTS,
REFUSAL OF APPLICATION, FEES*

...

B. Pre-application conferences.

1. Subject to subsection (B)(4) of this section, a pre-application conference is required for, but not limited to, each of the following applications:

...

e. Design review (Class I and Class II);

...

Staff Finding 9: A pre-application conference with Heather Edmiston, Stephanie Lunsford, and Michael Nasland, PE and City Staff was held on November 16, 2023 at West Linn City Hall. The criteria are met.

99.080 NOTICE

Notice shall be given in the following ways

...

B. Class B Notice. Notice of a proposed action on a development application pursuant to CDC 99.060 shall be given by the Director in the following manner:

1. At least 14 days prior to the decision date, a notice shall be sent by mail to:

a. The applicant or their agent;

b. The affected recognized neighborhood association or citizens advisory committee; and

c. All property owners of record within 300 feet of the site perimeter;

Staff Finding 10: A Class B Notice was prepared and sent via mail to the applicant, the affected neighborhood association, and all property owners within 300 feet of the site perimeter of 19133 Willamette Dr on 2/1/2024. The criteria are met.

2. *At least 10 days prior to the earliest date that the approval authority can take action on the application, the applicant shall place a sign, provided by the Community Development Department, on the subject property in plain view. The sign shall state, "This property is the subject of a land use decision," with the type of use or request indicated.*

Staff Finding 11: A sign detailing the property as being subject of a land use decision with case information was placed on the property on February 5, 2024. The criteria are met.

3. *The Director shall cause an affidavit of mailing of notice and posting of notice to be filed and made part of the administrative record.*

Staff Finding 12: An affidavit of mailing of notice and posting of notice was filed in the land use case record. See exhibit PD-3. The criteria are met.

EXHIBIT PD-1 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT John Floyd	PROJECT NO(S). DR-23-11	PRE-APPLICATION NO. PA-23-24
NON-REFUNDABLE FEE(S) \$2,800	REFUNDABLE DEPOSIT(S)	TOTAL \$2,800

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Final Plat (FP) | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal (AP) | <input type="checkbox"/> Flood Management Area (FMA) | <input type="checkbox"/> Temporary Uses (MISC) |
| <input type="checkbox"/> CDC Amendment (CDC) | <input type="checkbox"/> Historic Review (HDR) | <input type="checkbox"/> Time Extension (EXT) |
| <input type="checkbox"/> Code Interpretation (MISC) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Right of Way Vacation (VAC) |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Minor Partition (MIP) | <input type="checkbox"/> Variance (VAR) |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Modification of Approval (MOD) | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC) | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change (ZC) |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: 19133 Willamette Drive, West Linn, OR 97068	Assessor's Map No.: 00362949
	Tax Lot(s): 21E23AD06101
	Total Land Area: 6.15 AC

Brief Description of Proposal:

Interior remodel project with minor exterior pavement markings and MUTCD signage updates. A new exterior door is proposed underneath the existing roof line with minimal impacts to the building wall.

Applicant Name*: Heather Edmiston	Phone:
Address: 2809 Ajax Avenue, Ste 100	Email: 479-878-3530
City State Zip: Rogers, Arkansas 72758	heather.edmiston@pb2ae.com

Owner Name (required): ROIC ROBINWOOD LLC	Phone:
Address: PO BOX 130339,	Email: 858-255-4918
City State Zip: Carlsbad, CA 92013	jwynton@roireit.net

Consultant Name: Michael Nasland, PE	Phone:
Address: 910 W Main Street, Ste 314	Email: 208-593-4676
City State Zip: Boise, ID 83702	miken@nasland.com

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.



09/29/2023



10/10/2023

DEVELOPMENT REVIEW CHECKLIST

The application form and supporting materials should be submitted electronically through <https://westlinnoregon.gov/planning/submit-land-use-application> as one (1) .pdf file. To create a single PDF file, go to [Adobe Acrobat Free Merge PDF](#) online tool. [Other free Acrobat PDF tools](#) like converting a file to PDF or reducing the file size are available on the Adobe website.

Supporting reports may be uploaded separately through this web form *if* the file size is too large. The separate submissions should be numbered (i.e., Submittal 1 of 2) and noted under transmittal contents. All plan set files MUST be flattened and reduced.

Submission requirement to upload through the web form:

- .pdf format.
- Individual file size no larger than 128 MB.
- Do not attach 'zip' files. Our server will reject all 'zip' files.
- Reduce and flatten all plan sets BEFORE uploading plan sets. The raster/vector settings should be optimized for printing.

A complete application must include the following:

- Development Review Application. Original signatures from all owners must be on the application form. **Do NOT use DocuSign.**
- A **project narrative** outlining the project's scope in detail, including the changes to the site, structure, landscaping, parking, land use, and lot consolidations.
- Complete written responses to identified approval criteria in the [Community Development Code \(CDC\)](#).
- A Service Provider Letter from Tualatin Valley Fire and Rescue - <https://www.tvfr.com/399/Service-Provider-Permit> Please contact Jason Arn at jason.arn@tvfr.com with any questions about TVF&R requirements.
- Vicinity Map showing the site within the City.
- Site Plan drawn to scale showing the:
 - Taxlot and address of the project,
 - Area of the site (acres or square feet),
 - Zoning and Neighborhood Association,
 - Location and dimensions of existing and proposed buildings, structures,
 - Location of existing and proposed on-site driveways and off-street parking,
 - Configuration and dimensions of all existing and proposed lots and tracts, including a proposed park, open space, and or drainage tracts or easements,
 - Location and width of existing and proposed easement for access, drainage, etc., and
 - Location of existing and proposed trees and other proposed landscaping.
 - Location of existing public and private utilities, easements, and 100-year floodplain,
 - Sensitive areas, including the location of on-site wetlands and riparian areas,
 - Location of existing off-site driveways across the street,
 - If applicable, internal circulation system, name, and location of existing and proposed roadways and roadway easements (private and public), and
 - Location and width of existing and proposed on-site pedestrian and bicycle facilities on-site.
- If applicable, a Utility Plan and Landscape plan, drawn to scale.
- If applicable, Building elevation drawings with exterior elevations for every side of each structure, height including building materials and floor levels, drawn to scale.
- If required, documentation of any required meeting with the respective City-recognized neighborhood association per CDC [99.038](#).
- Any other materials identified by city staff at the pre-application meeting.

For applications that the Planning Commission decides, the applicant or applicant's representative should present their proposal to the PC at the public hearing.



2809 Ajax Avenue Suite 100
Rogers, Arkansas 72758
Phone: 479.636.3545

December 15, 2023

City of West Linn
Planning Department
22500 Salamo Rd.
West Linn, OR 97068
Class I Design Review
File #: PA-23-24

John Floyd, Senior Planner
jfloyd@westlinnoregon.gov
PH: 503-656-3535

Subject: Class I Design Review for (2) new exterior doors and minor revisions to parking lot pavement markings and signage.

RE: Walmart #5994 Remodel
19133 Willamette Dr
West Linn, OR 97068
Plan Review 2

Zoning: General Commercial
Tax Lot Information: 21E23AD06101

**DESIGN REVIEW – CLASS 1 NARRATIVE
WALMART #5994 REMODEL**

SCOPE OF WORK:

The proposed scope of work includes the addition of 2 new exterior doors. A single HMSTL exit door will be added to the rear breakroom, to allow for direct safety egress out of the building for associates. A single surface mounted slider door will be added to the front façade of the building at the new Pickup Storage for direct associate access. All exterior materials and finishes will remain, paint color updates have been approved in the city's building review.

COMMUNITY DEVELOPMENT CODE APPROVAL STANDARDS - CLASS I DESIGN REVIEW:

- Chapter 19: General Commercial
 - 19.090 Other Applicable Development Standards (Chapters 34, 35, 38, 41, 42, 44, 46, 48, 52, 54)

1. Chapter 19 CDC General Commercial.

Response: The proposed scope of work includes revised Grocery Pickup parking arrangement striping, including new parking lot signage within existing parking lot area.

2. Chapter 34 CDC, Accessory Structures, Accessory Dwelling Units, and Accessory Uses.

Response: The proposed scope of work does not include any new accessory use, accessory dwelling units, or new noise-producing equipment.

3. Chapter 35 CDC, Temporary Structures and Uses.

Response: The proposed new scope of work does not include temporary structure or use per planning definition of temporary storage containers being exempt as temporary structure/use. The General Contractor shall use trailers, temporary storage containers and staging areas for proposed remodel in conjunction with Walmart Specification 01500 Temporary Facilities and Controls.

4. Chapter 38 CDC, Additional Yard Area Required; Exceptions to Yard Requirements; Storage in Yards; Projection into Yards.

Response: The proposed scope of work does not include any modifications for a new building structure, street widening or right-of-way or residential work. All temporary storage containers and staging areas will be located within the property line.

5. Chapter 41 CDC, Building Height, Structures on Steep Lots, Exceptions.

Response: The proposed scope of work will not change the building height or new structures.

6. Chapter 42 CDC, Clear Vision Areas.

Response: The proposed scope of work does not include any new construction that would impact the existing maintained clear vision areas on the property.

7. Chapter 44 CDC, Fences.

Response: The proposed new scope of work does not include any new fencing, walls, retaining wall or landscaping. The existing building will maintain adequate clear vision areas.

8. Chapter 46 CDC, Off-Street Parking, Loading and Reservoir Areas.

Response: The proposed new scope of work does not include construction of new parking, loading or reservoir areas. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area.

- a. 46.030 Submittal Requirements. Acknowledged, Class I Design Review required per Pre-Application Conference Meeting Summary Notes dated 11/16/23.
- b. 46.040 Approval Standards. Acknowledged.
- c. 46.060 Storage in Parking and Loading Areas Prohibited. Acknowledged. The Owner and General Contractor shall be informed of this requirement.
- d. 46.150 Design and Improvement Standards. Acknowledged, the proposed revised Grocery Pickup parking, loading and circulation design complies.

9. Chapter 48 CDC, Access, Egress and Circulation.

Response: The proposed new scope of work does not include construction of new parcels, lot, structure, or residential use. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area. The proposed revised Grocery Pickup parking, loading and circulation design complies with Section 48.040 CDC.

10. Chapter 52 CDC, Signs.

Response: Sign permit procedures are acknowledged. The proposed scope of work includes revised Grocery Pickup parking arrangement striping, including new parking lot signage within existing parking lot area.

11. Chapter 54 CDC, Landscaping.

Response: The proposed new scope of work does not include new landscaping. Existing landscaping will continue to be maintained per Section 54.060 CDC.

- Chapter 42: Clear Vision

1. Chapter 42 CDC, Clear Vision Areas.

Response: The proposed scope of work does not include any new construction that would impact the existing maintained clear vision areas on the property.

- Chapter 46: Off-Street Parking, Loading, and Reservoir Areas

- o 46.150 Design and Standards

1. Chapter 46 CDC Off-Street Parking, Loading, and Reservoir Areas

Response: Acknowledged, the proposed revised Grocery Pickup parking, loading and circulation design complies.

- Chapter 54: Landscaping

1. Chapter 54 CDC Landscaping

Response: The proposed new scope of work does not include new landscaping. Existing landscaping will continue to be maintained per Section 54.060 CDC.

- Chapter 55: Design Review

- o 55.070 Submittal Requirements
- o 55.090 Approval Standards – Class I Design Review
- o 55.100(B)(5) and (6)
- o 55.110 Site Analysis
- o 55.120 Site Plan
- o 55.140 Architectural Drawings

1. Chapter 55 CDC Design Review

Response:

- a. 55.070 Class 1 Design Review has been determined per Pre-Application Conference Meeting Summary Notes dated 11/16/23. See enclosed documents for Class 1 Design Review.
- b. 55.090 Approval Standards – Class 1 Design Review. Acknowledged.
- c. 55.100(B)(5) remains unaffected with the scope of work included in this project.
55.100(B)(6) remains unaffected with the scope of work included in this project.
- d. 55.110 Site Analysis. N/A. The scope of work included in this project is an existing developed site.

- e. 55.120 Site Plan. The scope of work included in this project is an existing developed site. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area.
- f. 55.140 Architectural Drawings. Acknowledged. See enclosed documents for Class 1 Design Review.

- Chapter 99: Procedures for Decision Making: Quasi-Judicial

- 1. Chapter 99 CDC, Procedures for Decision Making: Quasi-Judicial

Response: Procedures acknowledged; we are understood to meet all requirements at this time.

DOOR AND FRAME SCHEDULE																	
DETAIL REFERENCES ARE TO SHEET A8 UNO																	
MARK	ROOM NAME	NEW/ETR	DOOR				FRAME				DETAIL			FIRE RATING (MIN)	NOTES	MARK	
			TYPE	MATERIAL	QTY	NOMINAL SIZE	TYPE	MATERIAL	HEAD	JAMB	THRESHOLD						
300B	PHARMACY	NEW	U	ALUM	4	4'-8"	4'-3"	---	NEW	1	ALUM	---	---	---	---	30	300B
107A	CASH	NEW	F	HDPE	1	3'-0"	7'-0"	---	NEW	1	HM-STL	4	3	---	---	27, 28, 42	107A
151F	BREAKROOM	NEW	F	HM-STL	1	3'-0"	7'-0"	---	NEW	2	HM-STL	10	9	8	---	2, 9, 27	151F
303B	HEALTH SERVICE	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	NEW	1	HM-STL	4	3	---	---	27, 28, 31, 33	303B
303C	HEALTH SERVICE	NEW	N1	HDPE	1	3'-0"	7'-0"	TEMPERED	NEW	1	HM-STL	4	3	---	---	27, 28, 32, 33	303C
946B	PICKUP STORAGE	NEW	Y	PLASTIC	1	4'-6 1/2"	3'-2"	---	NEW	---	---	---	---	---	---	24, 27, 35	946B
946A	PICKUP STORAGE	NEW	C1	ALUM	1	4'-5 1/2"	8'-0"	TEMPERED	NEW	---	ALUM	6	5	7	---	38, 40, 41, 45	946A

- ### GENERAL DOOR NOTES
- ALL DOORS SCHEDULED AS ARE TO RECEIVE COMPLETE HARDWARE SETS AS LISTED IN SPECIFICATIONS
 - REFERENCE ELEVATIONS ON A2 FOR EXTERIOR DOOR COLORS
 - SCHEDULED WIDTH AND HEIGHT INDICATE FINISHED OPENING SIZE AT ALL OVERHEAD AND COILING DOOR LOCATIONS
 - SCHEDULED WIDTH AND HEIGHT INDICATE ROUGH OPENING SIZE AT ALL AUTOMATIC SLIDING DOOR LOCATIONS
 - INSTALL DRIP CAP AT ALL EXTERIOR DOORS
 - REPLACE ALL EXTERIOR HM DOOR WEATHERSTRIPPING AND CLEAN THRESHOLDS

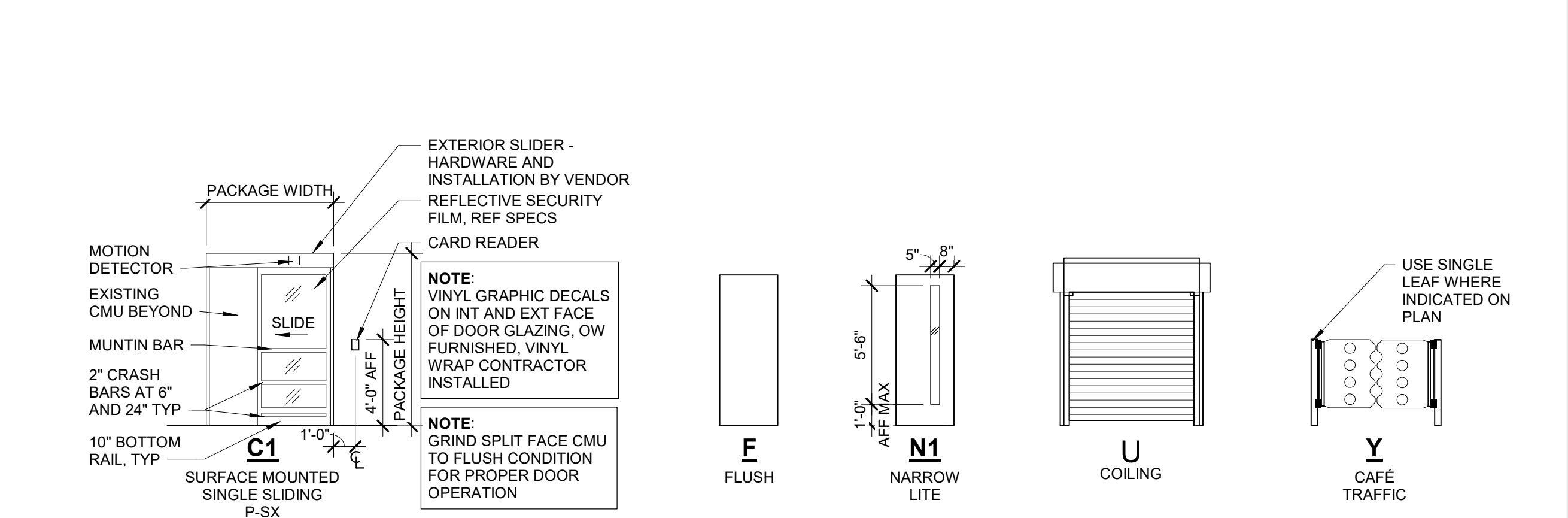
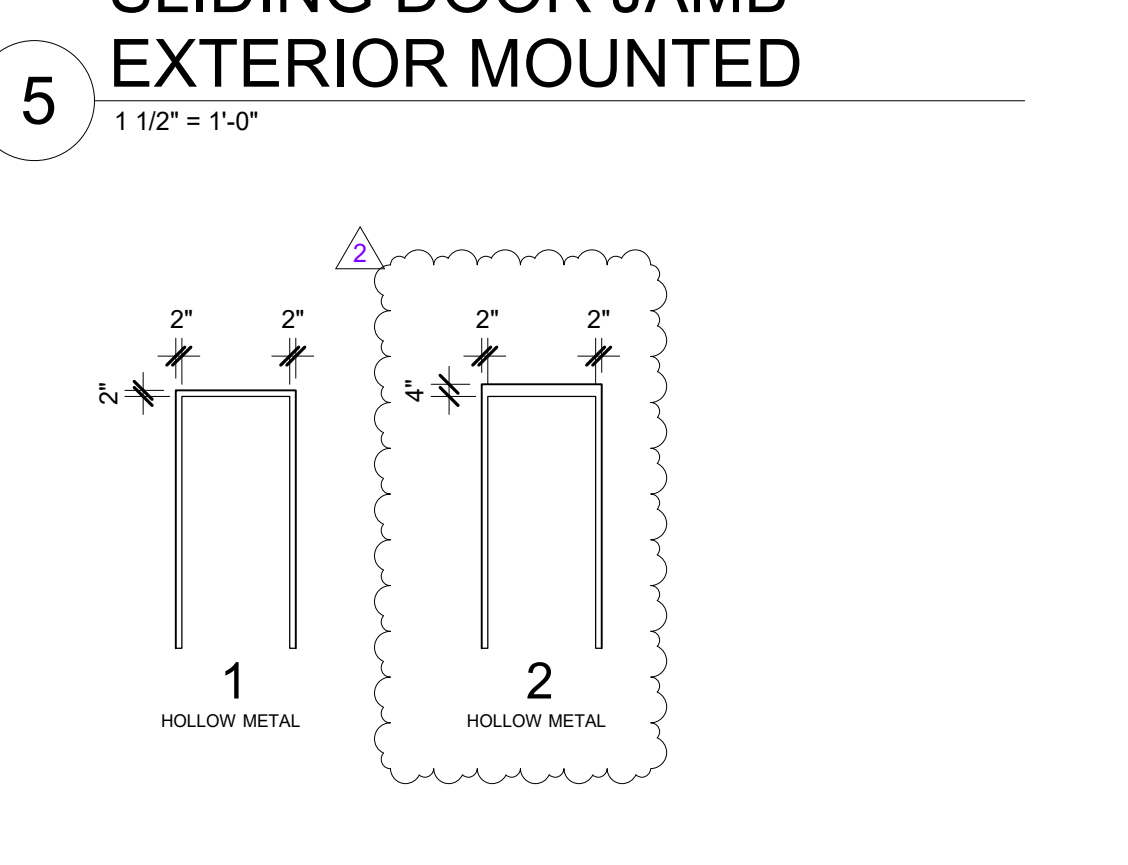
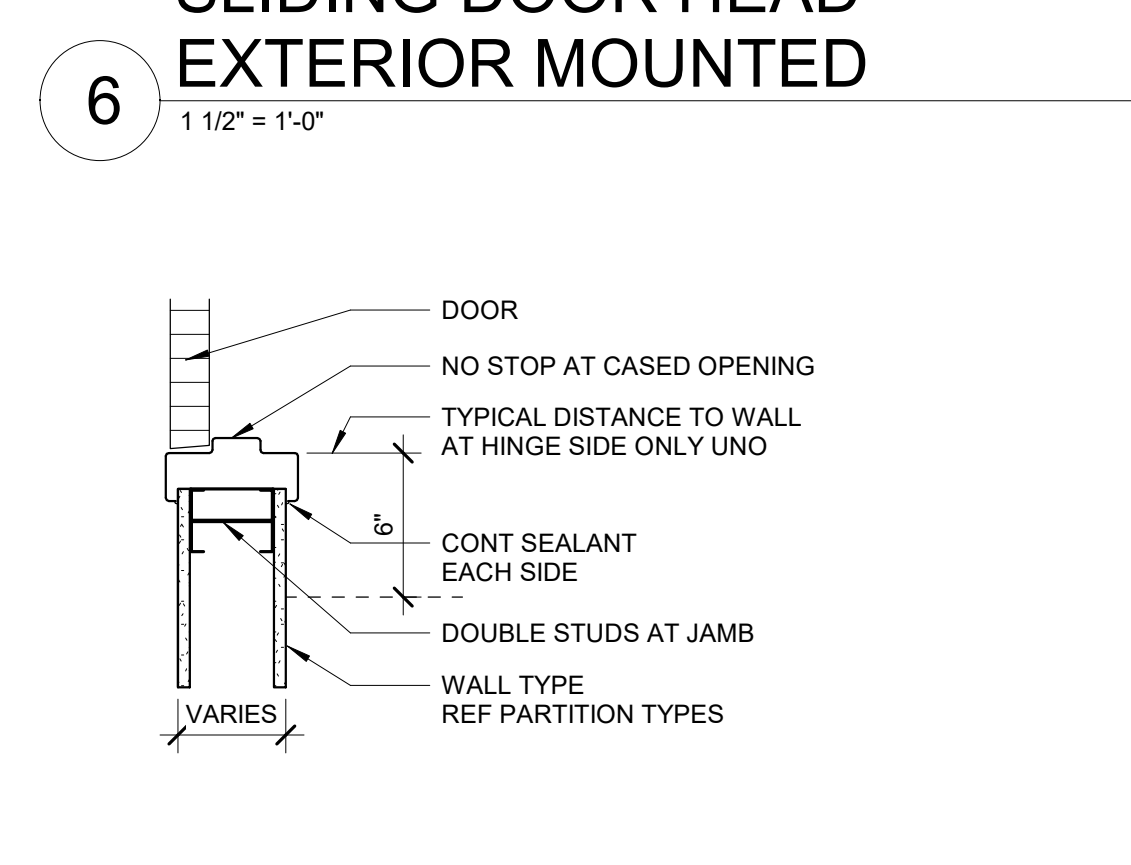
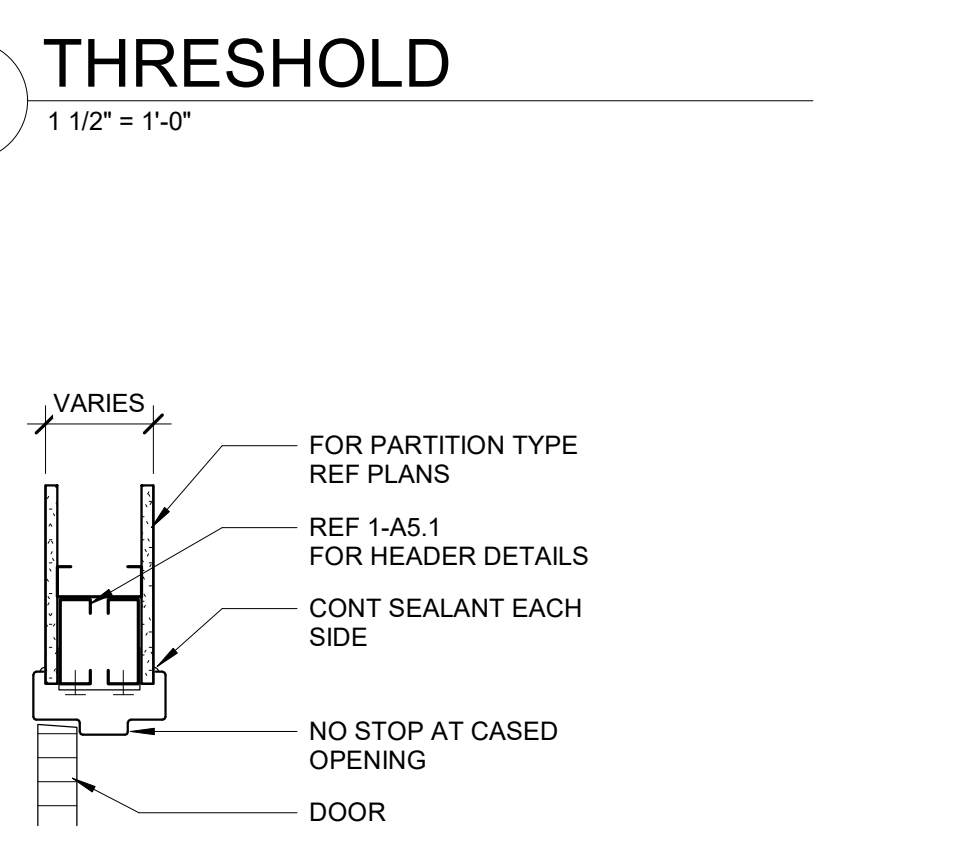
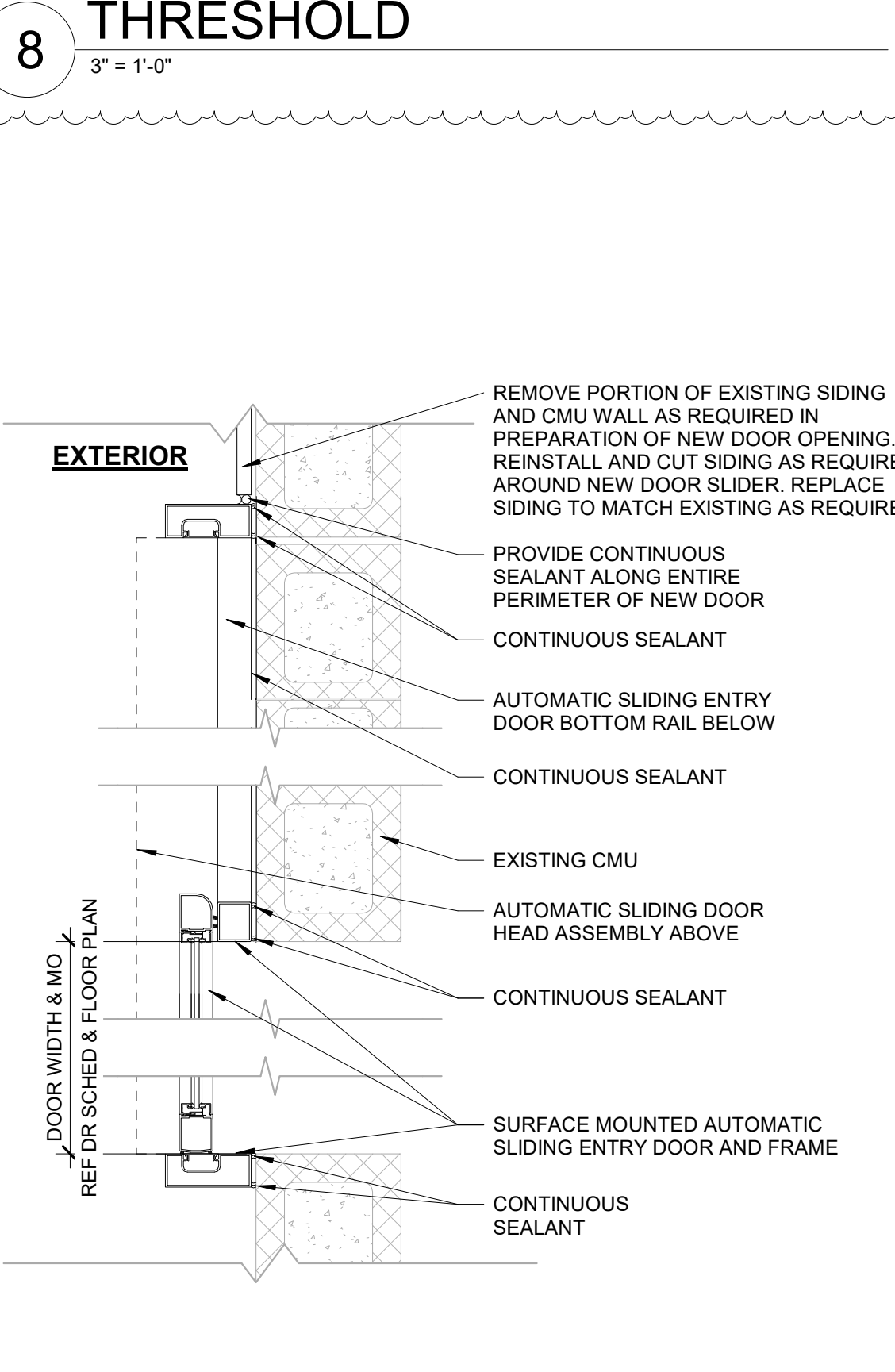
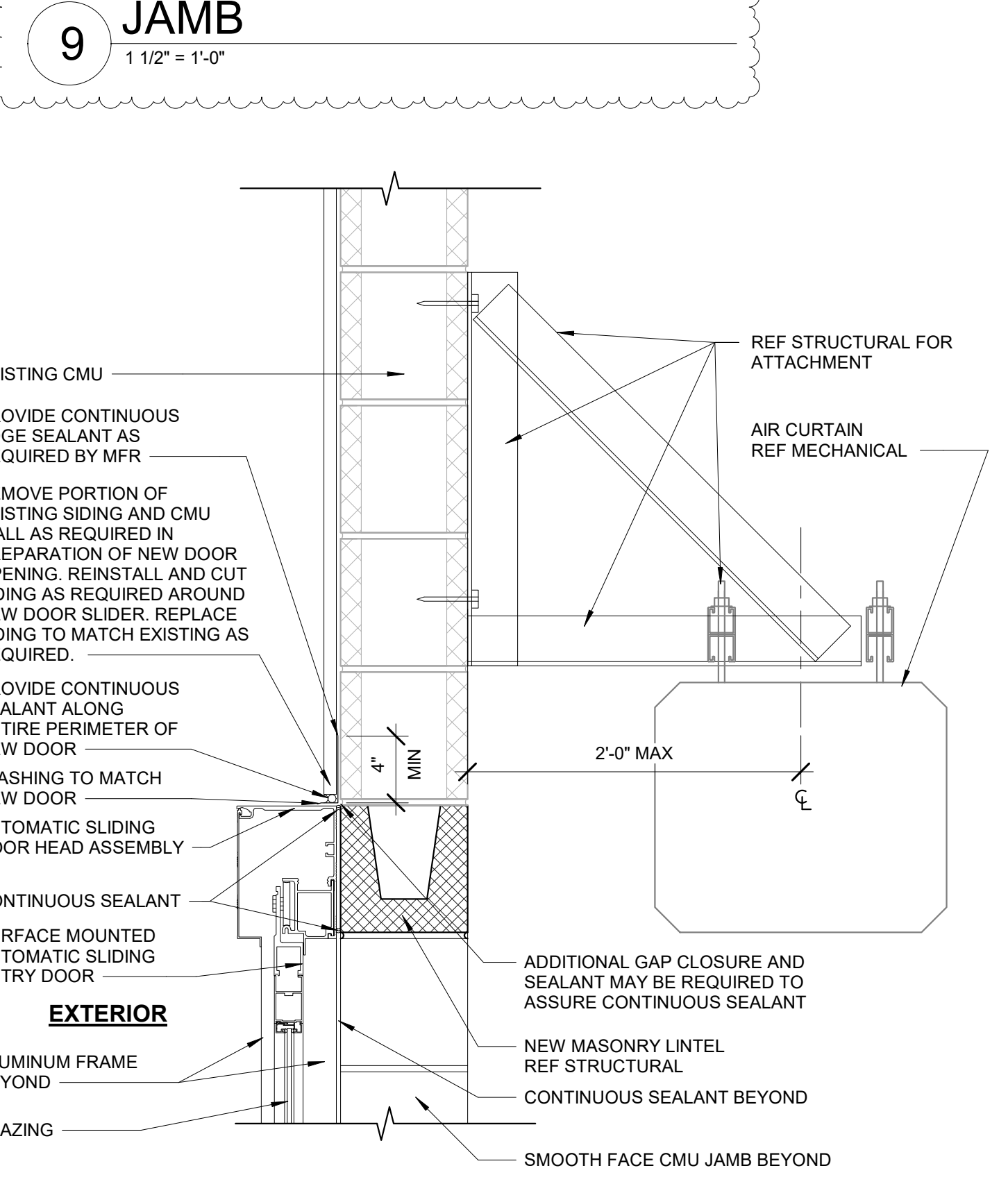
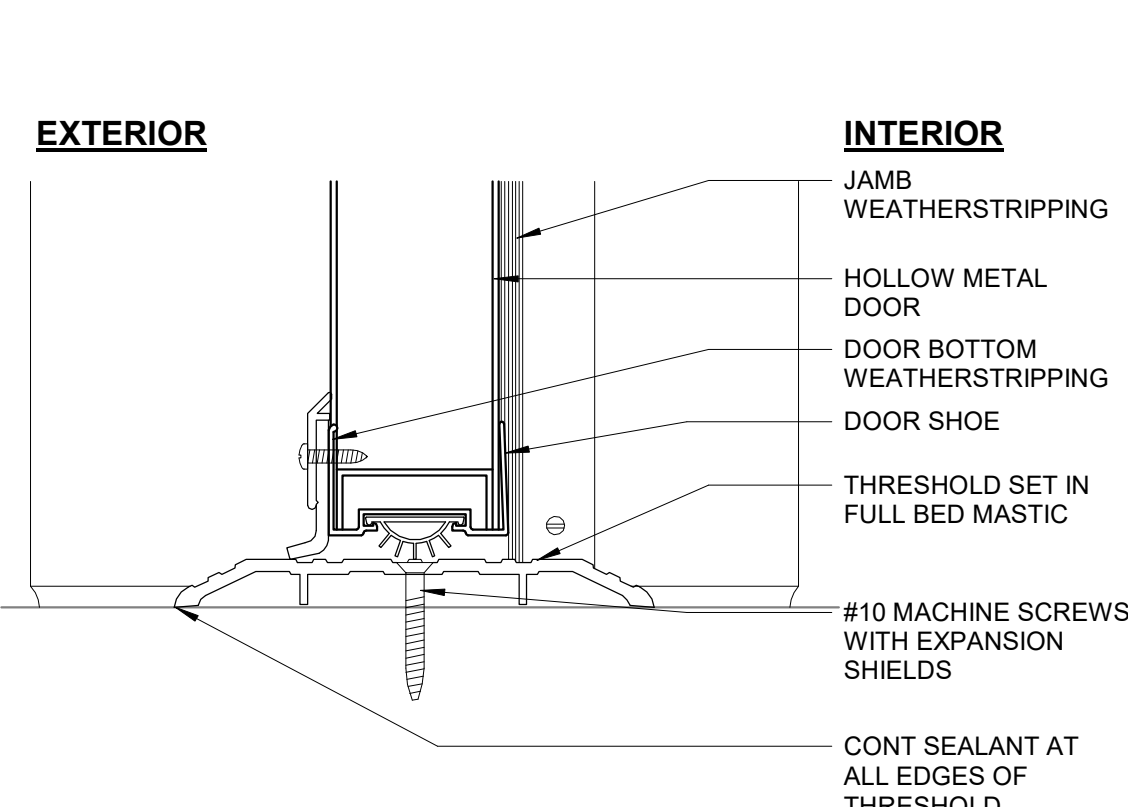
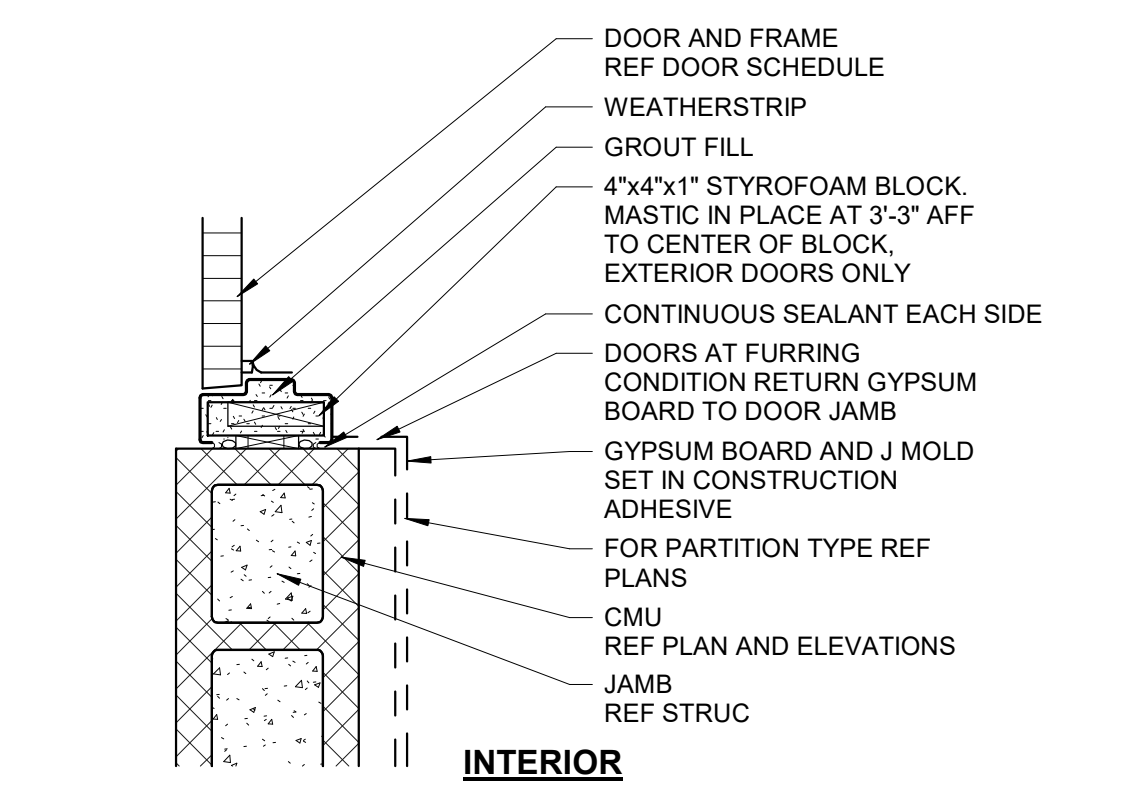
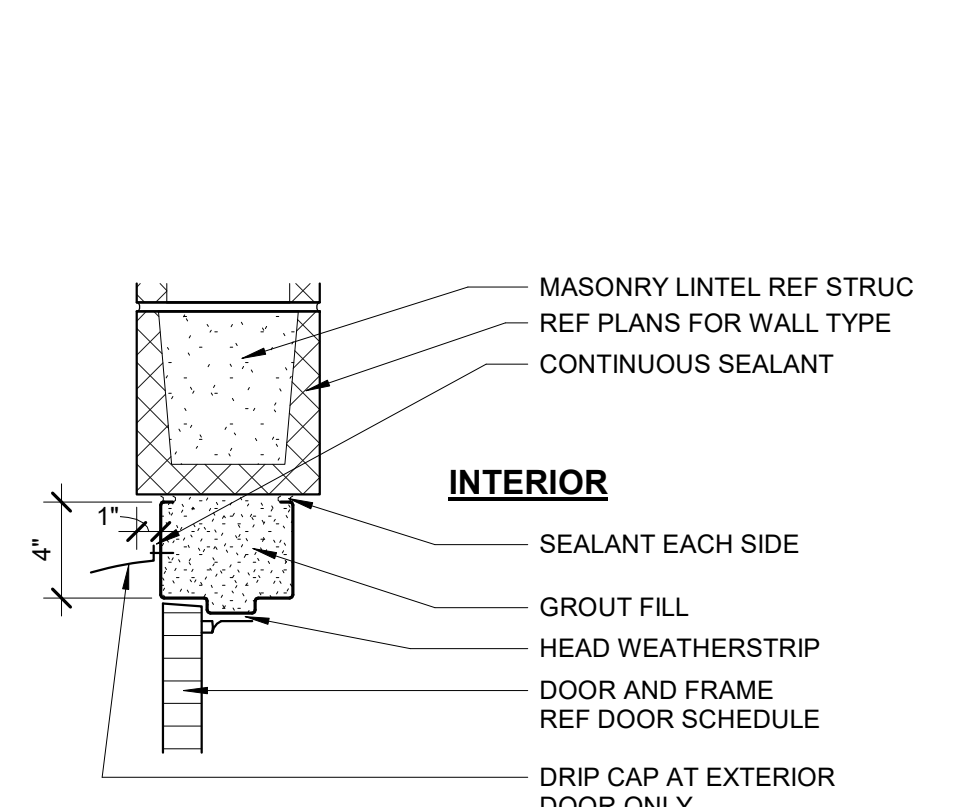
MATERIAL KEY

MARK	DESCRIPTION
ACRYL	ACRYLIC
AL	ALUMINUM LINK
ALUM	ALUMINUM
CL	CHAIN LINK
HDPE	RECYCLED HDPE (PLASTIC)
HM-STL	HOLLOW METAL - STEEL
OM	ORNAMENTAL METAL
PLAST	PLASTIC
STL	STEEL
STL-P	STEEL PIPE
STL-BP	STEEL BENT PLATE
TEMP	TEMPERED

- ### DOOR SCHEDULE NOTES
- BUTTS OR HINGES
 - ALARM OR EXIT DEVICE
 - LATCH OR LOCK SET
 - PUSH AND/OR PULL
 - INSTALL AUTOMATIC CLOSER
 - REMOVE DOOR FROM FRAME AS NEEDED
 - ARMOR PLATE AND/OR KICK PLATE
 - STOP, HOLDER, OR ELECTROMAGNETIC DOOR HOLDER
 - THRESHOLD
 - INSTALL CONTINUOUS GEARED HINGE
 - DOOR COORDINATOR
 - ELECTROMAGNETIC LOCK
 - LOCK GUARD
 - ONE-WAY VIEWER
 - INSTALL 5'x30" WINDOW IN DOOR
 - INSTALL FLEXIBLE STRIP CURTAIN
 - INSTALL SECTIONAL DOOR TRACK RETURN AT MAXIMUM HEIGHT AND AS CLOSE TO ROOF STRUCTURE AS ALLOWABLE BY MANUFACTURER
 - FULLY GASKETED FOR NEUTRALIZATION
 - PROVIDE 1" CLEARANCE BETWEEN EDGE OF STRIKE SIDE OF DOOR AND ADJACENT CASEWORK
 - COORDINATE INSTALLATION OF SIGNAGE WITH DOOR MANUFACTURER; 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND, TEXT TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"
 - REMOVE EXISTING DOOR AND HARDWARE; EXISTING FRAME TO REMAIN, INSTALL HINGE FILLER PLATE AND STRIKE FILLER PLATE IN HOLLOW METAL FRAME
 - FLEXIBLE TRAFFIC DOOR COLOR TO BE BLACK, PAINT DOOR FRAME P36, DO NOT PAINT STAINLESS STEEL FRAMES
 - INSTALL HINGE FILLER PLATE PRIOR TO INSTALLATION OF CONTINUOUS HINGE
 - PROVIDE VENDOR WITH FIELD VERIFIED DIMENSION OF CLEAR WIDTH AFTER REFRIGERATED CASES HAVE BEEN INSTALLED, DOOR COLOR TO BE BLACK
 - SHIELD ON DOOR TO BE STRIPPED, CLEANED, AND REFINISHED
 - SIGNAGE; PROVIDE 1" HIGH LETTERS IN CONTRASTING COLORS TO BACKGROUND, TEXT TO READ "IN EMERGENCY PUSH TO OPEN"
 - DOOR SHALL BE OWNER PROVIDED, GC INSTALLED, REF SPECS
 - DOOR TO BE FACTORY FINISH, DO NOT PAINT
 - NOT USED
 - COILING SHUTTER FURNISHED BY MODULAR PANEL MANUFACTURER, GC INSTALLED ON MODULAR WALLS
 - PRE-INSTALLED FULL FROST BY MODULAR PANEL MANUFACTURER, 3M FILM FASARA MILKY MILKY SAN MARINO (S12MAMM), 12" CLEAR BAND AT TOP AND BOTTOM
 - PRE-INSTALLED FROST BY MODULAR PANEL MANUFACTURER, 3M FILM FASARA MILKY MILKY SAN MARINO (S12MAMM), 12" CLEAR BAND AT TOP AND BOTTOM
 - DOOR FRAMES AND DOORS ARE PRE-FINISHED BY MODULAR PANEL MANUFACTURER, FRAMES ARE PRE-FINISHED IN PRE-INSTALLED IN PRE-MANUFACTURED WALL, GC TO INSTALL OWNER FURNISHED DOOR SLABS
 - CONTAINER AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
 - DOOR TO BE FACTORY FINISH BLACK COLOR, DO NOT PAINT
 - 32" MIN CLEAR WORTH OF PASSAGEWAY AFTER INSTALLATION
 - NOT USED
 - PRE-FINISHED DOOR AND HARDWARE FURNISHED AND INSTALLED BY VENDOR
 - DOOR AND HARDWARE FURNISHED, INSTALLED, AND PAINTED BY GC
 - AUTOMATIC OPENER INSTALLED BY VENDOR
 - CARD READER AND STAND ALONE ALARM INSTALLED BY VENDOR
 - INSTALL STOCKROOM LOCK
 - DOOR BY IFB MANUFACTURER
 - IFB AND DOOR MANUFACTURERS TO COORDINATE INSTALLATION OF DOORS
 - NOMINAL SIZE FOR HEIGHTS AND WIDTHS ARE DETERMINED BY THE PACKAGE HEIGHT AND WIDTH FROM DOOR VENDOR
 - GC TO PURCHASE AND INSTALL FILM PURCHASE FROM NGS, FULL FROST - PRODUCT # NGS-HSR-FF
 - GC TO PURCHASE AND INSTALL FILM PURCHASE FROM NGS, FULL FROST - PRODUCT # NGS-HSR-HF
 - GC TO PURCHASE AND INSTALL FILM PURCHASE FROM NGS, FULL FROST - PRODUCT # NGS-HSR-FS
 - GC TO PURCHASE AND COORDINATE INSTALLATION OF SECURITY FILM FROM NGS, FULL FROST WITH 1" CLEAR BORDER - PRODUCT # NGS-WRK-FRCB-G1-S
 - GC TO PURCHASE AND COORDINATE INSTALLATION OF SECURITY FILM FROM NGS, HALF FROST - PRODUCT # NGS-HSR-HFS
 - AUTOMATIC OPENING DOOR, SCHEDULED DOOR SIZES ARE FRAME OUTSIDE DIMENSIONS
 - AUTOMATIC CLOSING DEVICE AND HOLD OPEN MECHANISM

FINISH KEY

MARK	FINISH	COLOR	DESC
ACT1	ACOUSTICAL CEILING TILE	WHITE	24"x48"
ACT2	ACOUSTICAL CEILING TILE	WHITE	24"x48" VINYL FACED NON-PERFORATED
ACT3	ACOUSTICAL CEILING TILE	WHITE	24"x48"
ACT4	ACOUSTICAL CEILING TILE	WHITE	24"x48"
ACTG	ACOUSTICAL CEILING GRID	WHITE	
B6	PLASTIC BASE	BLACK	6"x14"
B9	PLASTIC BASE	BLACK	4"x14"
B10	PLASTIC BASE OUTSIDE CORNER	BLACK	
C1	CUSHION BACK TILE CARPET	WALNUT	
CC	CONCRETE CURB		
CT2	ENTRY TILE	RED	12" x 24" x 3/8"
CT43	PORCELAIN WALL TILE	BEIGE	12" x 12" x 3/8"
CT44	PORCELAIN FLOOR TILE	GRAY	12" x 12" x 3/8"
CT45	WALL TILE	WHITE	4" x 8" x 3/8"
CT47	WALL TILE	BLUE	4" x 8" x 3/8"
CT48	FLOOR TILE	TAUPE GRADIENT	12" x 24" x 3/8"
CT48A	COVE BASE	TAUPE GRADIENT	6" x 12" x 3/8"
D85	DURA-TUFF BASE	BLACK	5"
DB10	DURA-TUFF BASE	BLACK	10"
ETR	EXISTING TO REMAIN		
FRP1	FIBERGLASS REINFORCED PLASTIC	WHITE	FRP WALL PANEL
FRP2	FIBERGLASS REINFORCED PLASTIC	BEIGE	FRP WALL PANEL
FRP5	FIBERGLASS REINFORCED PLASTIC	ALMOND	FRP WALL PANEL
G1	GROUT	DARK GRAY	
G2	GROUT	DARK GRAY	
G3	GROUT	LIGHT TAN	
G4	GROUT	GRAY	
G7	GROUT	BROWN	
HRC1	HEAT RESISTANT COATING	TO MATCH COPPER BROWN BY BERRIDGE	
HRC4	HEAT RESISTANT COATING	MATCH SW#7019 "GAUNTLET GRAY"	
ICC	INTERGRAL COLORED CONCRETE	BROWN	
LV12P	PLANK FLOORING	LIGHT GRAY	
P3	PAINT	"LOYAL BLUE" #6510	
P5	PAINT	"SAFETY YELLOW" OSHA STANDARD	
P6	PAINT	"PURE WHITE" # 7005	
P14	PAINT	"GOLDENROD" # 6677	
P16	PAINT	"SOFTWARE" #7074	
P21	PAINT	"SAFETY RED" #4081	
P33	PAINT	"DOVER WHITE" #6385	
P38	PAINT	"DOMINO" #6989	
P40	PAINT	"GARDENIA" #6665	
P49	PAINT	"GALINTLET GRAY" #7019	
P76	PAINT	"MEDIUM WALMART BLUE" #076	
P76U	PAINT	"MEDIUM WALMART BLUE" #076 (URETHANE)	
P81	PAINT	"TRICORN BLACK" #6258	
P83	PAINT	"COBBLE BROWN" #6082	
P83	PAINT	"TAMARIND" #7538	
P84	PAINT	"EXTERIOR DROMEDARY CAMEL" #7694 (EXT)	
P100	PAINT	"NOTABLE HUE" #6521	
P102	PAINT	"BEACH HOUSE" #7518	
P107	PAINT	"STRAW HARVEST" #7698	
P112	PAINT	"BUTTERFIELD" #6676	
P124	PAINT	"HEADWALK" #7922	
P126	PAINT	"KNOCKOUT ORANGE" #6885	
P126U	PAINT	"KNOCKOUT ORANGE" #6885 (URETHANE)	
P131	PAINT	"WHITE FLOUR" #7102	
P134	PAINT	"REPOSE GRAY" #7015	
P135	PAINT	"DORIAN GRAY" #7017	
P140	PAINT	"SNOWBOUND" #7004	
P159	PAINT	"CASA BLANCA" #7571	
P162	PAINT	"PEPPER CORN" #7674	
P163	PAINT	"TURQUISH" #6539	
P164	PAINT	"ESSENTIAL GRAY" #6002	
PF4	LEAD-COTE	METALLIC	
PL4	PLASTIC LAMINATE	MAPLE	
PL6	PLASTIC LAMINATE	LIGHT TAN	
PL15	PLASTIC LAMINATE	BROWN	
PL20	PLASTIC LAMINATE	TAN	
PL28	PLASTIC LAMINATE	ALOE	
PL30	PLASTIC LAMINATE	"STEEL MESH" WILSONART 4879	
PL31	PLASTIC LAMINATE	"GREY" WILSONART 1500-60	
PS1	PROTECTIVE SURFACE	WALMART MED BLUE IMPACT SPECIALTIES	
PS4	PROTECTIVE SURFACE	"GLOWING EMBER" IMPACT SPECIALTIES	
PS5	PROTECTIVE SURFACE	"FRESH LINE" IMPACT SPECIALTIES	
PS6	PROTECTIVE SURFACE	YELLOW	
PS7	PROTECTIVE SURFACE	"GRAY PATTERN"	
PVC1	PVC PLANK FLOORING	WOODGRAIN	
QT3	QUARRY TILE	GRAY	6"x6" ABRASIVE
QT31	QUARRY TILE	RED	6"x6" ABRASIVE
SCB1	SANITARY COVE BASE	RED	8" H ANTIMICROBIAL PLASTIC FOR QT
SCB2	SANITARY COVE BASE	GRAY	8" H ANTIMICROBIAL PLASTIC FOR QT
SCB4	SANITARY COVE BASE	RED	8" H ANTIMICROBIAL PLASTIC
SCB5	SANITARY COVE BASE	GRAY	8" H ANTIMICROBIAL PLASTIC
SS	STAINLESS STEEL		
SS1	SOLID SURFACE		
TC	TEXTURED CONCRETE		
VCT9	VINYL COMPOSITION TILE	WHITE	12"x12"x1/8"
VCT11	VINYL COMPOSITION TILE	BEIGE	12"x12"x1/8"
VCT12	VINYL COMPOSITION TILE	TAN	12"x12"x1/8"
WB	2x8 WOOD BASE		
WB10	2x10 WOOD BASE		
WG	PLASTIC WALL GUARD	BLACK OR GRAY	



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Walmart

WEST LINN, OREGON
19133 WILLIAMETTE DRIVE
STORE NO. 059941211

PROJECT NO. 2023.0078
PROTO. 40
JOB NUMBER.

ISSUE BLOCK

NO.	DATE	DESCRIPTION
2	11/28/23	PR #2

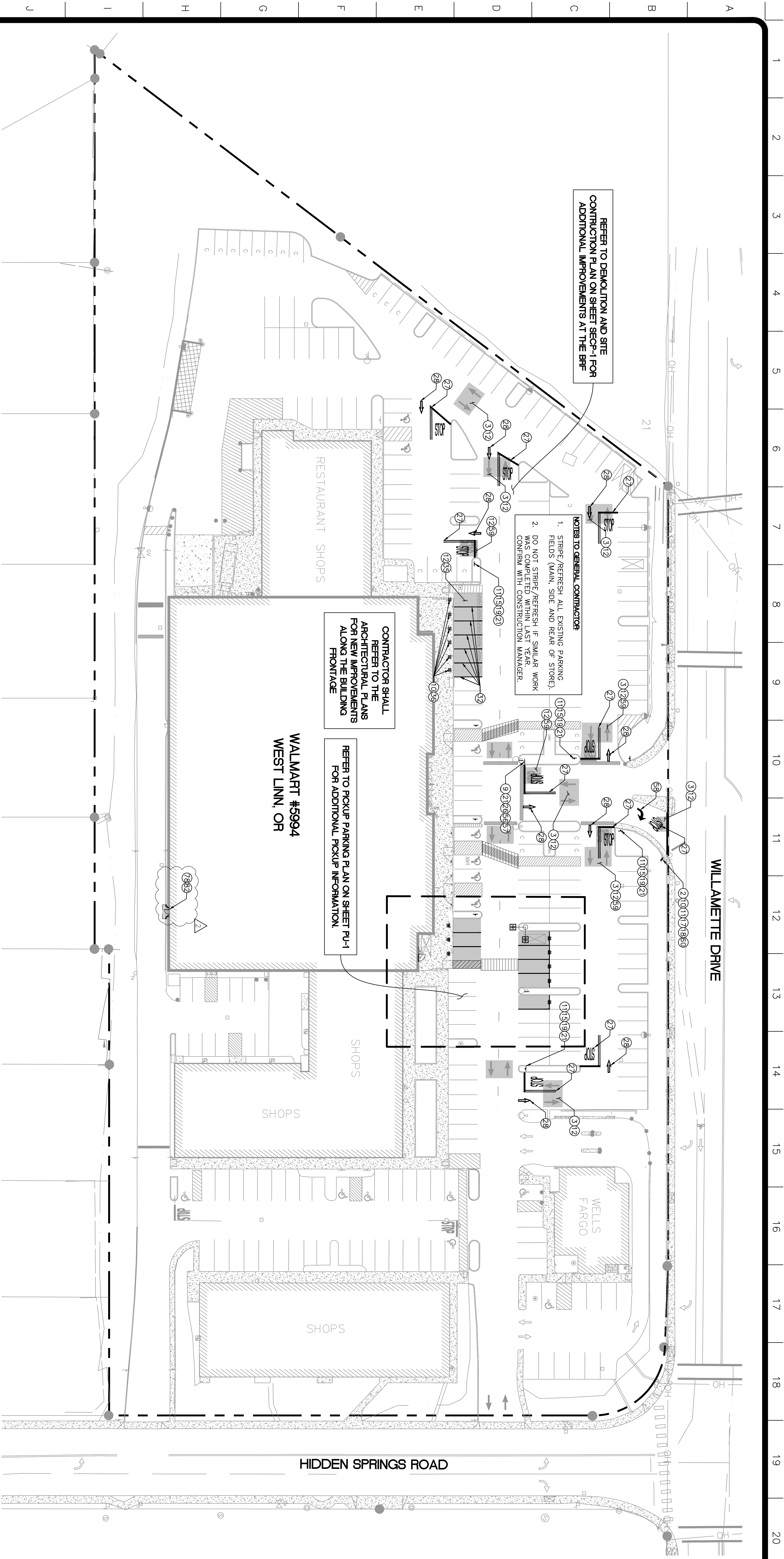
CHECKED BY: NJ
DRAWN BY: JS
PROTO: 40
PROTO CYCLE: 03/31/2023
DOCUMENT DATE: 07/10/23



DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

DOOR SCHEDULE AND FINISHES

SHEET: **A8**



REFER TO DEMOLITION AND SITE CONSTRUCTION PLAN ON SHEET SSS-1 FOR ADDITIONAL IMPROVEMENTS AT THE BFF.

NOTES TO GENERAL CONTRACTOR
 1. STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDE AND REAR OF STORE).
 2. DO NOT STRIPE/REFRESH IF SIMILAR WORK CONTROL WITH CONSTRUCTION MANAGER.

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR NEW IMPROVEMENTS ALONG THE BUILDING FRONTAGE

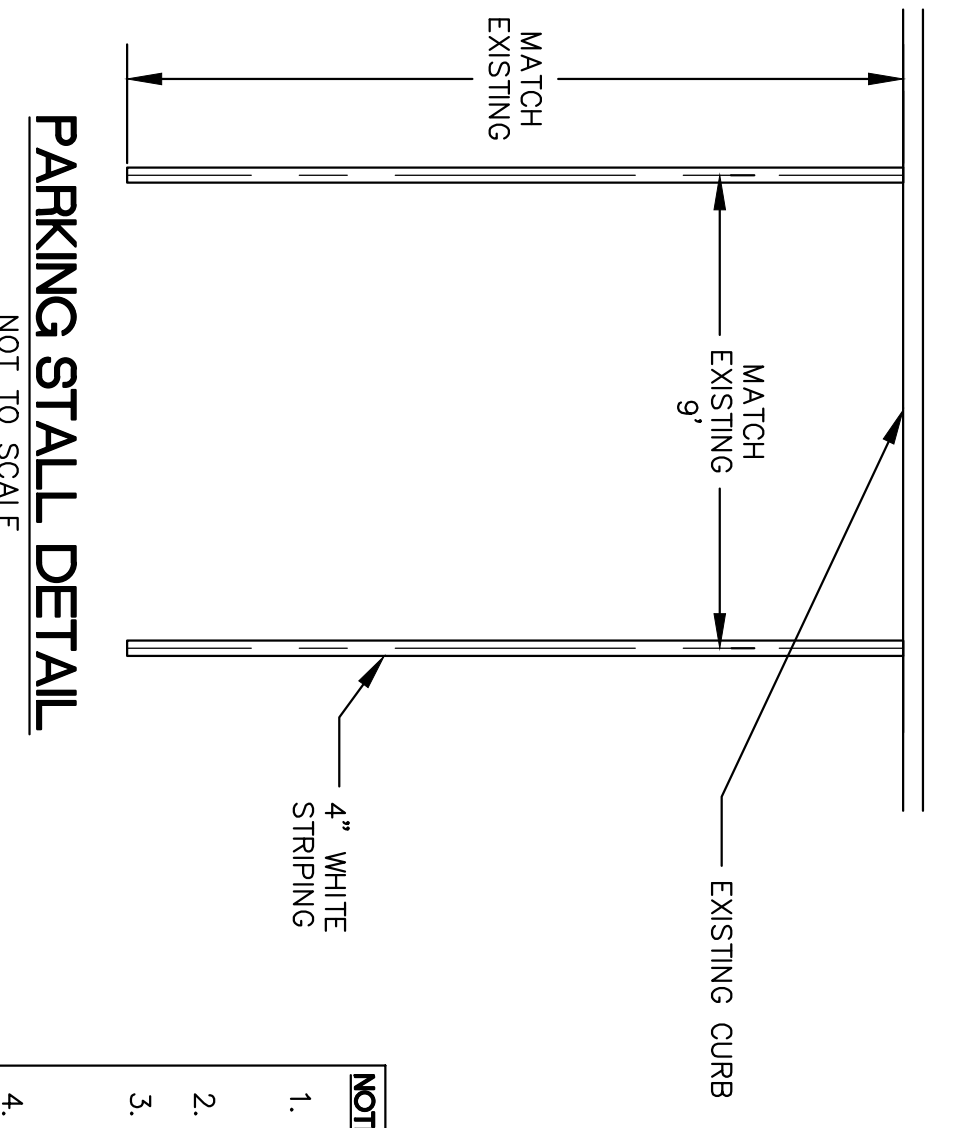
REFER TO PICKUP PARKING PLAN ON SHEET PU-1 FOR ADDITIONAL PICKUP INFORMATION

SITE CONSTRUCTION NOTES

- 1) EXISTING STOP SIGN TO BE REMOVED.
- 2) EXISTING ARROW PAVERS MARKINGS TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 3) EXISTING SIGN POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
- 4) EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS. IF SIGN POST IS LOCATED IN CONCRETE SIDEWALK, CONTRACTOR TO REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE EXISTING SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
- 5) EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
- 6) LIMITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS ON SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
- 7) INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLAED PER DETAILS ON SECP/SSM DETAILS SHEET.
- 8) REMOVE AND/OR TRIM EXISTING LANDSCAPING LIMITED TO THE AREA OF NEW SIGN POST. NO TREES SHALL BE REMOVED. EXISTING IRRIGATION TO BE PROTECTED IN PLACE. IF DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW IRRIGATION TO MATCH EXISTING CONDITIONS.
- 9) INSTALL "CROSS TRAFFIC" PLAQUE PER DETAILS ON SECP/SSM DETAILS SHEET.
- 10) IF PROPOSED SIGN(S) CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
- 11) PAINT STOP PAVEMENT MARKINGS WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE ALLEYS AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
- 12) PAINT OPEN ARROW PAVEMENT MARKINGS PER DETAILS ON SECP/SSM DETAILS SHEET.
- 13) PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.
- 14) EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 15) REMOVE EXISTING "TRUCKUP" SIGNAGE.
- 16) EXISTING STOP SIGN TO BE REMOVED AND SALVAGED.
- 17) REINSTALL SALVAGED STOP SIGN.
- 18) PAINT SOLID ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 19) EXISTING STOP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 20) INSTALL "X" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
- 21) PROPOSED SIGN(S) CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
- 22) PAINT STOP PAVEMENT MARKINGS WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE ALLEYS AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
- 23) PAINT OPEN ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 24) PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.
- 25) EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 26) REMOVE EXISTING "TRUCKUP" SIGNAGE.
- 27) EXISTING STOP SIGN TO BE REMOVED AND SALVAGED.
- 28) REINSTALL SALVAGED STOP SIGN.
- 29) PAINT SOLID ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 30) EXISTING STOP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 31) INSTALL "X" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
- 32) PROPOSED SIGN(S) CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
- 33) PAINT STOP PAVEMENT MARKINGS WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE ALLEYS AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
- 34) PAINT OPEN ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 35) PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.

GENERAL CONSTRUCTION NOTES

- THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENVIRONMENT.
1. NASSLAND ENGINEERING WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, REQUIREMENTS, SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. ALL PROPOSED CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY NASSLAND ENGINEERING.
 2. CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.
 3. WORK PERFORMED WITHOUT THE BENEFIT OF TESTING AND/OR INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.
 4. THE CONTRACTOR SHALL REMOVE AND REPLACE TO THE SURFACE IMPROVEMENTS WITH IMPROVEMENTS EQUAL OR SUPERIOR.
 5. THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED FROM THE CITY OF WEST LINN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND STRUCTURES NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.
 6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE SURROUNDING AREA OF CONSTRUCTION TO BE REMOVED OR UNDERGROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.



- NOTES TO CONTRACTOR**
1. DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 2. ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
 3. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO BEGINNING ANY WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL FROM THE STORE MANAGER FOR THE PHASING PLAN. THE PHASING PLAN SHALL SHOW THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.
 4. CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONTROL THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
 5. THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
 6. ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
 7. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
 8. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFF (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT DETAIL PROVIDED. REMOVE SIGNAGE FROM BFF. COMPLETE THE EXISTING STRIPING AND PAVEMENT MARKINGS TO MATCH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.
 9. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFF SHALL BE INSTALLED ON A SINGLE POST WITH BOLLAED.

SCALE: 1" = 30'

NOTE TO CONTRACTOR
 CONTRACTOR SHALL ENSURE THAT ALL REMOVED STRIPING FOLLOWS PROPER METHODS FOR STRIPING STRIPING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.

NOTE TO CONTRACTOR
 CONTRACTOR SHALL FIELD MEASURE EXISTING STRIPING LINES TO BE REMOVED AND REPAVED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SALE, RELOCATION OF THE OWNER OR ENGINEER.

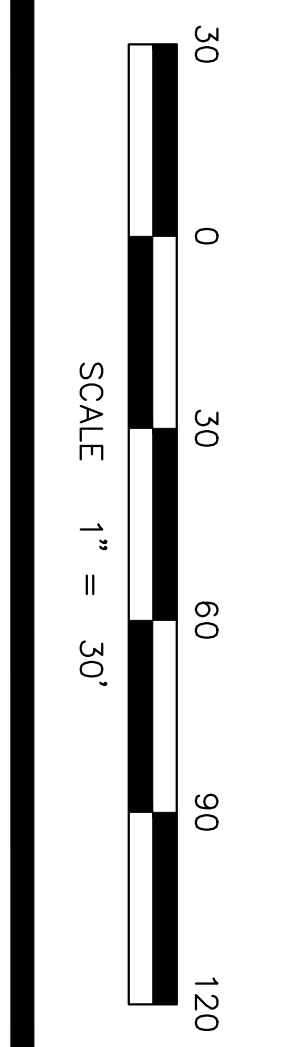
NOTE TO CONTRACTOR
 CONTRACTOR SHALL APPLY SEAL COAT AT ALL LOCATIONS WHERE STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. DO NOT APPLY SEAL COAT TO CONCRETE.

RIGHT OF WAY/LOT LINE NOTE
 RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO FIELD SURVEY WAS PERFORMED FOR THIS PROJECT.

DOCUMENTS THAT DO NOT HAVE THE ENGINEER'S SEAL AND SIGNATURE SHALL BE REJECTED FOR CONSTRUCTION.

PLAN DATE IDENTIFIER

11/28/2023	BY: [Signature]
11/28/2023	BY: [Signature]



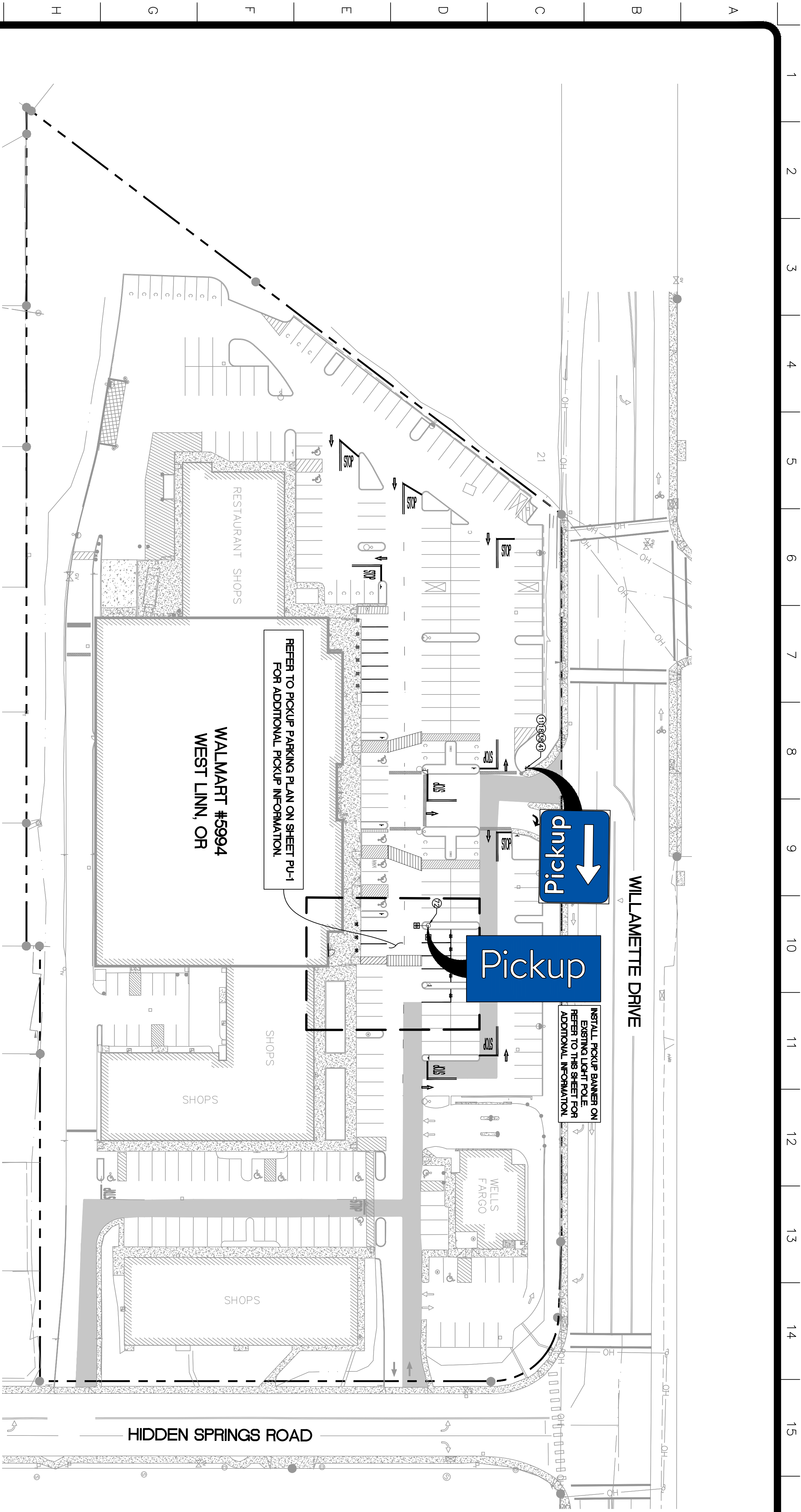
STOP SIGNS AND MARKINGS PLAN

DATE	11/28/2023
BY	[Signature]
CHECKED	[Signature]
DATE	11/28/2023
SCALE	AS SHOWN ON PLAN
VALUES	
JOB NO.	323255.1
SHEET	

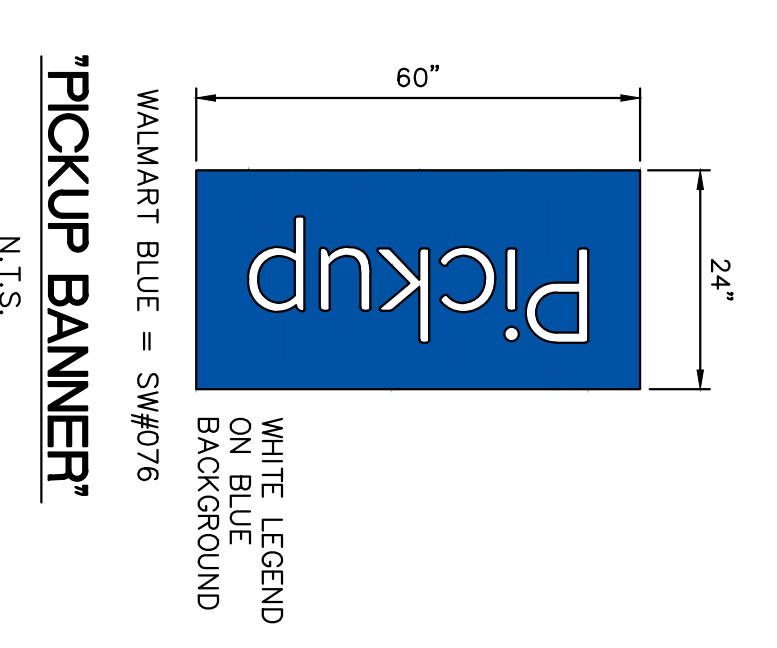
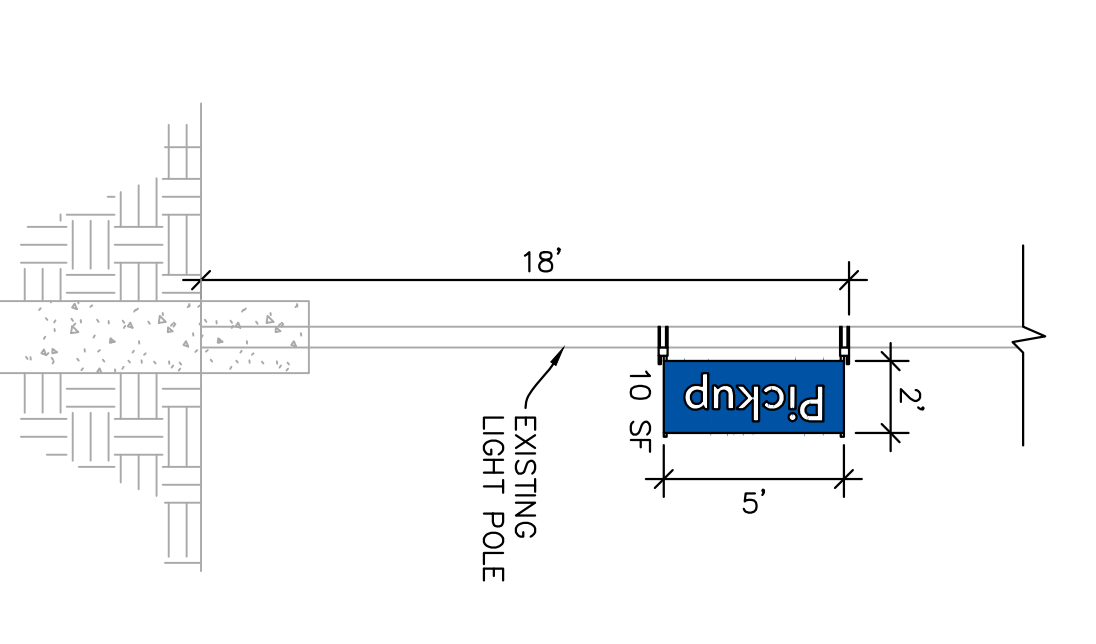
WALMART NEIGHBORHOOD MARKET #5994-211
 19133 WILLAMETTE DRIVE, WEST LINN, OR 97068
 WAL-MART STORES, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716

Nasland
 910 Main Street, Ste. 314 T (208) 918-4859
 Boise, ID 83702 nasland.com
 Civil Engineering Consulting Land Planning

ISSUE BLOCK	
FIG#2	11/28/23



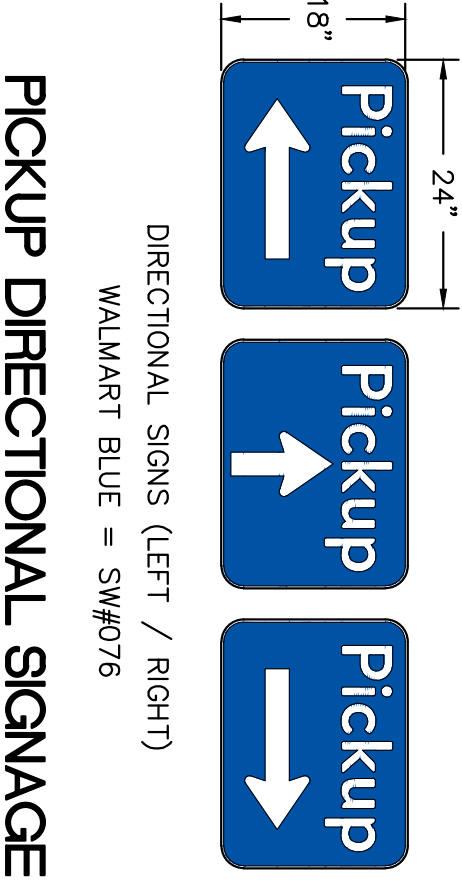
- SITE CONSTRUCTION NOTES**
- EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
 - REMOVE AND/OR TRIM EXISTING LANDSCAPING LIMITED TO THE AREA OF NEW SIGN POST. NO TREES SHALL BE REMOVED UNLESS SPECIFICALLY NOTED ON THIS SHEET.
 - CONTRACTOR SHALL INSTALL NEW IRRIGATION TO MATCH EXISTING CONDITIONS.
 - INSTALL PICKUP SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAIL ON THIS SHEET.
 - INSTALL PICKUP SIGNAGE PER DETAILS ON THIS SHEET.
 - INSTALL NEW LIGHT POLE. LIGHT POLE BASE, FIXTURE HEAD AND ELECTRICAL CONNECTIONS PER ELECTRICAL AND STRUCTURAL PLANS. CONTRACTOR SHALL PAINT THE LIGHT POLE BASE CONCRETE PER DETAIL ON SEC07/SW1 DETAILS SHEET.



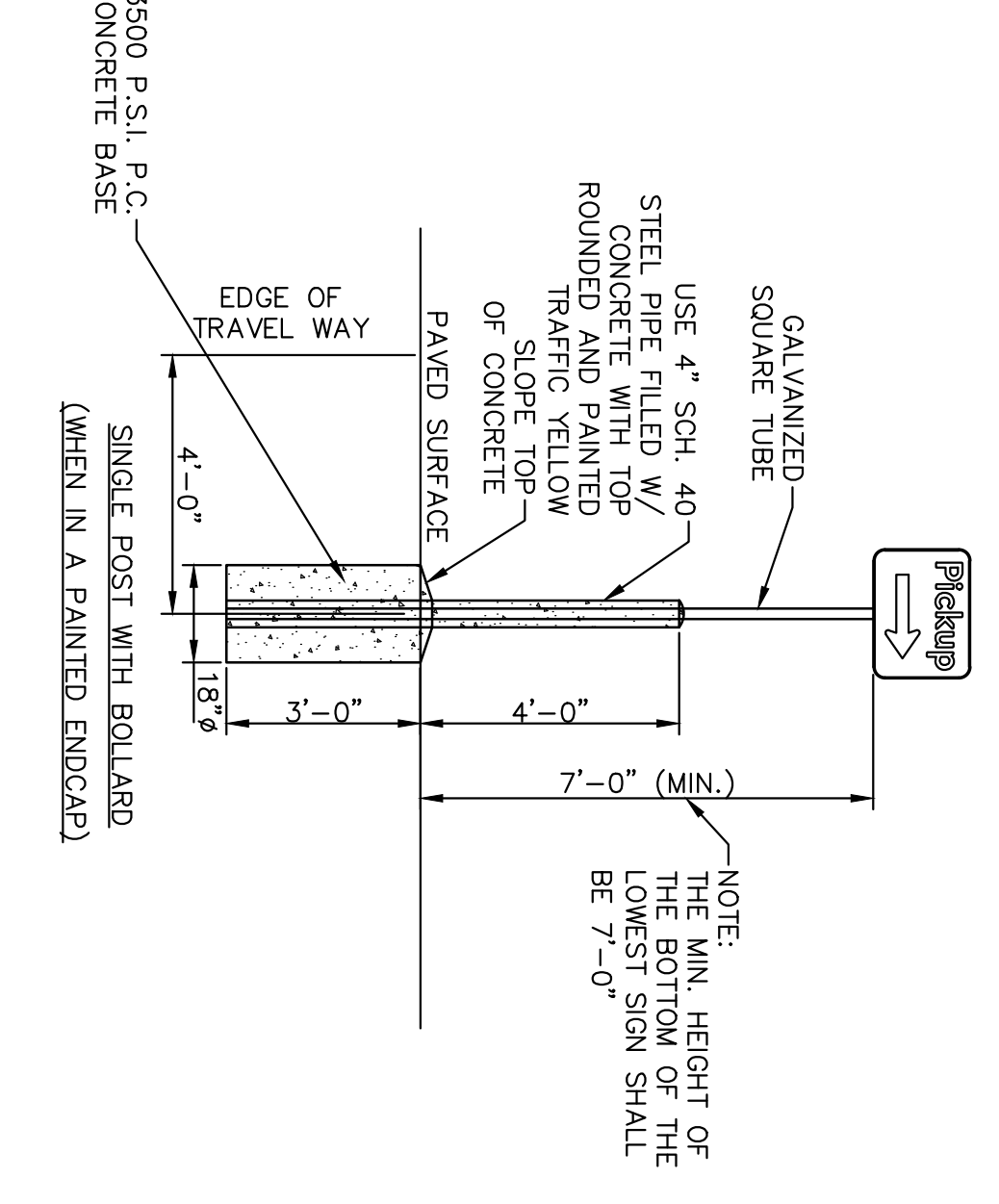
PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY	MOUNTING TYPE
PICKUP LEFT	18 X 24	1	1 PROPOSED POST W/O BOLLARD

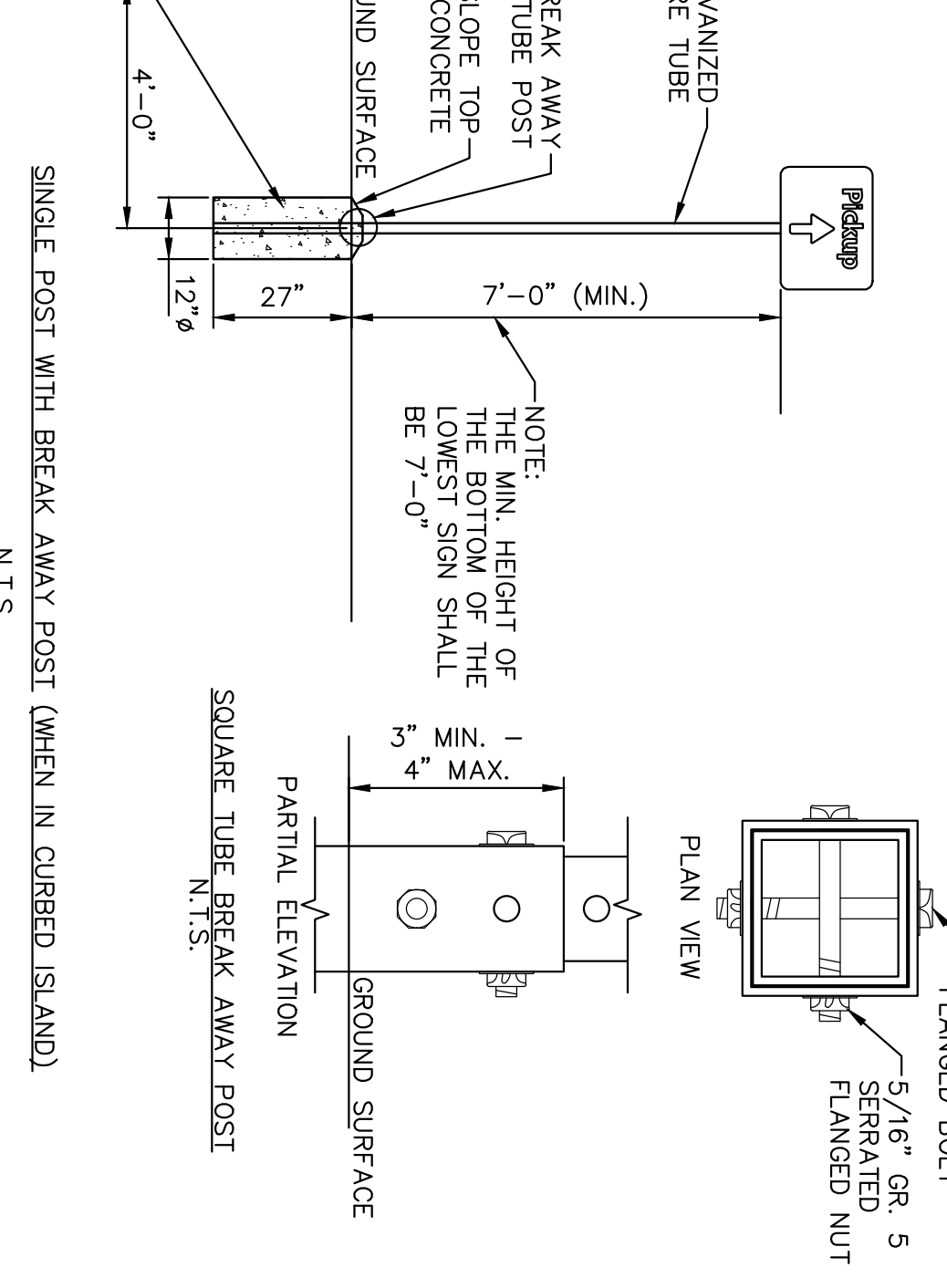
NOTE:
 ALL PICKUP AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ON SIDE AS NOTED IN DIVISION 35. CONTRACTOR SHALL BE SENT VIA EMAIL TO CETHY THOMAS (cathy.thomas@walmart.com) AND BRAND KEMNER (brand.kemner@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



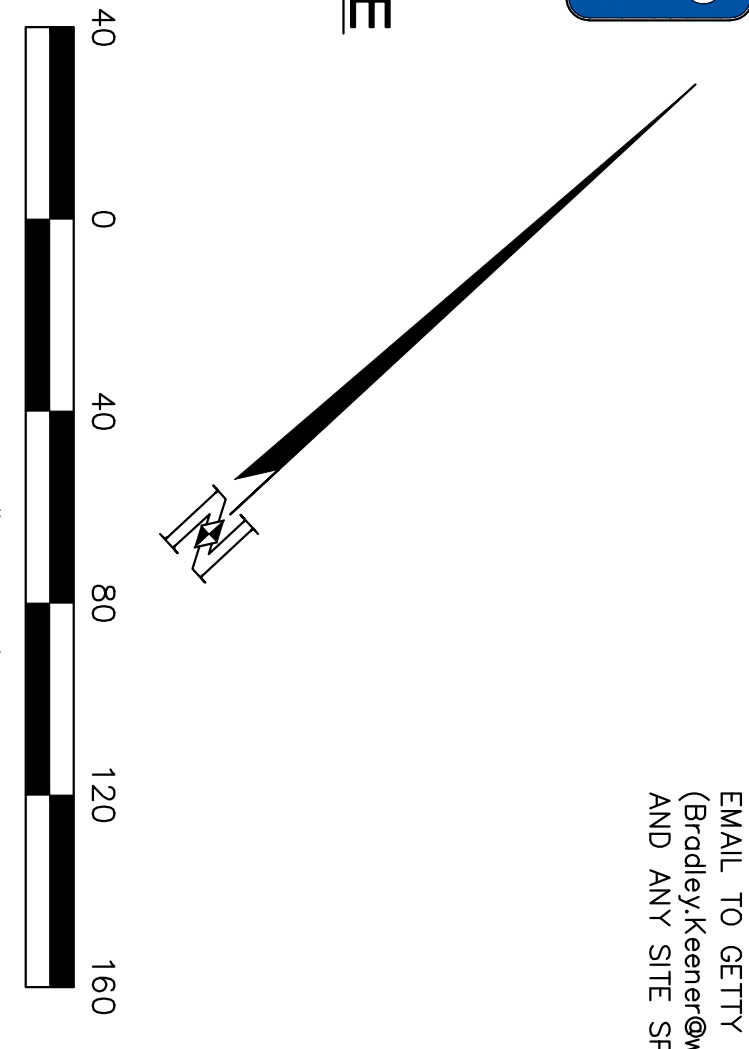
LEGEND AND ABBREVIATIONS
 PATH OF TRAVEL FOR PICKUP CUSTOMER (FROM RIGHT-OF-WAY TO THROUGH ENTRANCE)



- NOTES FOR SINGLE POST WITH BOLLARD:**
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL AND STATE SPECIFICATIONS AND MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - GALVANIZED SQUARE TUBE
- POST TUBES - 2"x2" 12ga
 POST TUBE SHALL MEET ASTM A1011 GRADE 50.
 POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
- ANCHOR TUBE - 2-1/4"x2-1/4" 12ga
 ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
 HEAVY DUTY ANCHOR TUBE SHALL BE HOT DIP GALVANIZED PER ASTM A123.
 STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
 THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



- NOTES FOR SINGLE POST WITH BREAK AWAY POST:**
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL AND STATE SPECIFICATIONS AND MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - GALVANIZED SQUARE TUBE
- POST TUBES - 2"x2" 12ga
 POST TUBE SHALL MEET ASTM A1011 GRADE 50.
 POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
- ANCHOR TUBE - 2-1/4"x2-1/4" 12ga
 ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
 HEAVY DUTY ANCHOR TUBE SHALL BE HOT DIP GALVANIZED PER ASTM A123.
 STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.
 THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



PICKUP DIRECTIONAL SIGNAGE PLAN

DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER'S SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION

PLAN DATE IDENTIFIER

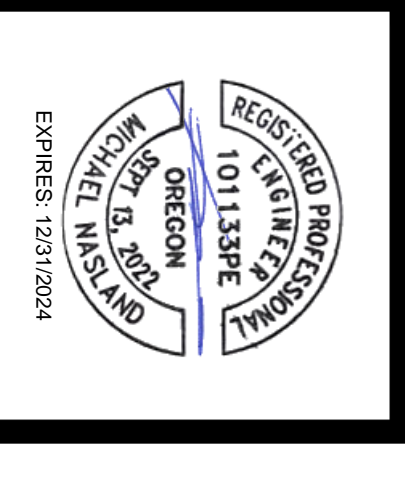
DATE	BY	CHKD
07/06/2023	BT	BT

DRAWING

DRAWN	BT
CHECKED	BT
DATE	AS SHOWN ON PLAN
SCALE	AS SHOWN ON PLAN
SHEETS	323/553
JOB NO.	323/553
SHEET	PU-2



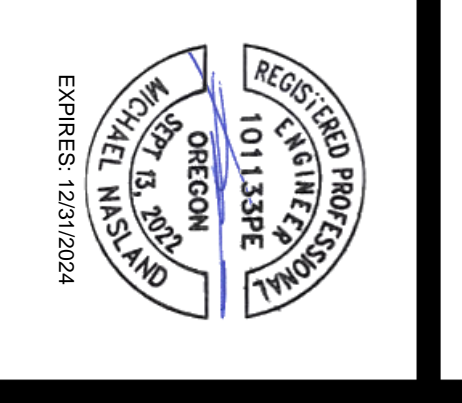
WALMART NEIGHBORHOOD MARKET #5994-211
 19133 WILLAMETTE DRIVE, WEST LINN, OR 97068
 WAL-MART STORES, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



Nasland
 910 Main Street, Ste. 314 T (208) 918-4859
 Boise, ID 83702 nasland.com
 Civil Engineering Consulting Land Planning

ISSUE BLOCK

Nasland
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 Boise, ID 83702
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CSS-1

DRAWN	
CHKD	
DATE	
AS SHOWN ON PLAN	
SCALE	
VARS	
JOB NO.	323255.1
SHEET	

TRAFFIC SIGNS AND SIGNALS SPECIFICATION

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Traffic control signs
 - Related Requirements
- 1.2 REFERENCES**
- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation unless designated as follows:
- ASTM International (ASTM):
 - ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated, Welded and Seamless
 - ASTM C94 - Ready Mix Concrete
 - ASTM D4956 - Retroreflective Sheeting for Traffic Control
 - US Department of Transportation, Federal Highway Administration:
 - Manual on Uniform Traffic Control Devices (MUTCD)
- PART 2 - PRODUCTS**
- 2.1 SIGNS**
- A. Conform to US Department of Transportation MUTCD, Sign classification, type, size, and color shall be as shown on the drawings
- B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.
- 2.2 POSTS**
- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
- B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.
- 2.3 CONCRETE**
- A. Mix concrete and deliver in accordance with ASTM C94.
- B. Design mix to produce nominal weight concrete consisting of Portland cement, aggregate, water, reducing admixture, air, entraining admixture, and retarding admixture.
- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
 - Slump Range: 1 to 3 inches at time of placement
 - Air Entrainment: 5 to 8 percent
- PART 3 - EXECUTION**
- 3.1 PREPARATION**
- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.
- 3.2 INSTALLATION**
- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
- B. Install posts of the type and at locations shown on the Drawings
- D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.
- END OF SECTION**

PAVEMENT MARKINGS SPECIFICATION

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Painting and marking of pavements, curbs, and guard posts (bollards).
- 1.2 REFERENCES**
- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- American Association of State Highway and Transportation (AASHTO):
 - AASHTO M247 - Glass Bead, Used in Traffic Paint
 - AASHTO M248 - Resin Mixed White and Yellow Traffic Paints
 - Master Painter's Institute (MPI)
 - MPI 97 - Traffic Marking Paint, Latex
 - MPI 97 - Traffic Marking Paint, Latex
 - ASTM International (ASTM):
 - ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges
 - Federal Specifications (FS):
 - FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
 - FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
 - FS TT-P-1952 - Paint, Traffic, And Airfield Marking, Waterborne
- 1.3 PROJECT CONDITIONS**
- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.
- PART 2 - PRODUCTS**
- 2.1 MATERIALS**
- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.
- B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
- C. Solvent Borne Paint: Paints shall conform to FS A-A-2886 and have MPI 32 approval. Paint shall be non-bleeding, quick-drying, and alkyl-Perbenzo base paint suitable for traffic bearing surface and be mixed in accordance with manufacturer's instructions before application for colors Yellow, Yellow-Green, Green, and White.
- D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.
- PART 3 - EXECUTION**
- 3.1 EXAMINATION**
- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.
- 3.2 PREPARATION**
- A. Sweep and clean surface to eliminate loose material and dirt.
- B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.
- 3.3 CLEANING EXISTING PAVEMENT MARKINGS**
- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not mending or combining or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.
- 3.4 APPLICATION**
- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7.5 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk, curbs and crosswalks, use straightedge to ensure uniform, clean and straight stripe.
- B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
- C. Following items shall be painted with colors noted below:
- Pedestrian Crosswalks: White
 - Exterior Sidewalk Cuts and Guard Posts: Yellow
 - Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail)
 - Fire Lanes: Red or per local code.
 - Lane Stripping where separating traffic moving in opposite directions: Yellow
 - Lane Stripping where separating traffic moving in the same direction: White.
 - ADA Symbols: Blue or per local code.
 - ADA parking space markings as shown on the drawings.
 - Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
 - Associate Parking Area: White, unless otherwise noted on Construction Drawings.
 - Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.
- 3.5 FIELD QUALITY CONTROL**
- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.
- 3.6 CLEANING**
- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.
- END OF SECTION**

SITE DEMOLITION SPECIFICATION

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Demolition of structures, paving, and utilities.
 - Patching and filling voids created as a result of removals or demolition.
- 1.2 REGULATORY REQUIREMENTS**
- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these specifications, that pertain to Safety Compliance, Environmental Compliance, and Worker Verification. Obtain all necessary permits and licenses from the appropriate regulatory agencies, including the local health department, and obtain required permits and licenses from the appropriate regulatory agencies, including the local health department.
- B. Notify affected utility companies before starting work and comply with their requirements.
- C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- D. If hazards, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.
- 1.3 PROJECT CONDITIONS**
- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
- B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.
- PART 2 - PRODUCTS**
- 2.1 FILL MATERIALS**
- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- 2.2 CONCRETE**
- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce nominal weight concrete consisting of Portland cement, aggregate, water, reducing admixture, air, entraining admixture, and retarding admixture.
- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
 - Slump Range: 1 to 3 inches at time of placement
 - Air Entrainment: 5 to 8 percent
- PART 3 - EXECUTION**
- 3.1 PREPARATION**
- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.
- D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.
- F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, intrude upon, or limit access to their property. Coordinate notice with Owner.
- 3.2 GENERAL DEMOLITION REQUIREMENTS**
- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
- B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.
- C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.
- D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.
- E. Comply with governing regulations pertaining to environmental protection.
- F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.
- 3.3 DEMOLITION**
- A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.
- B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
- C. Fill or remove piping and appurtenances as shown.
- D. Demolish concrete and masonry in small sections. Break up concrete slabs, on grade that are 2-foot or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-foot of proposed subgrade.
- 3.4 PATCHING**
- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be patched.
- B. Pavement patches shall be paved with minimum of concrete, broom finished and flush with adjacent grades.
- 3.5 FILLING VOIDS**
- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- B. Areas to be filled shall be free of standing water, frost, frozen or unstable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D608 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
- D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.
- 3.6 DISPOSAL OF DEMOLISHED MATERIALS**
- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on site or off-site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.
- END OF SECTION**

PLAN DATE IDENTIFIER

DATE OF LAST CHANGE TO THIS PLAN	06/21/2024	BY	BR
DATE OF THIS PLAN	07/06/2023	BY	BR

SPECIFICATIONS SHEET

DOCUMENTS THAT DO NOT APPLY TO THIS PROJECT SHALL BE DELETED FROM THE ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE VALID FOR CONSTRUCTION

SEAL COAT SPECIFICATION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.
- B. Related Requirements:
 1. Site Demolition Specification
 2. Pavement Markings Specification
 3. Traffic Signs and Signals Specification

1.2 REFERENCES

- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
 - B. ASTM International (ASTM)

- 1. ASTM C 136 - Method of Sieve Analysis of Fine and Course Aggregate
- 2. ASTM D 217 - Method for Cone Penetration of Lubricating Grease
- 3. ASTM D 244 - Test Methods for Emulsified Asphalts
- 4. ASTM D 562 - Method for Consistency of Fractions Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer
- 5. ASTM D 977 - Emulsified Asphalt
- 6. ASTM D 2397 - Cationic Emulsified Asphalt
- 7. ASTM D 2042 - Method for Solubility of Asphalt Materials in Trichloroethylene
- 8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal
- 9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

1.3 ADMINISTRATIVE REQUIREMENTS

- A. Pre-Installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job foreman.
 1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.
 2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:
 - a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).
 - b. Review proposed sources of materials.
 - c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If crack sealing is needed (refer to section 2.4.C below) or other areas of pavement distress are noted during tour, submit crack sealing RFI to project engineer for review.
 - d. Review requirements for protecting paving work, including restriction and reduction of traffic during installation and curing period.
 - e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.
 - f. Review paving requirements (drawings, specifications, and other contract documents).
 - g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.
 - h. Review health and safety precautions relating to handling and placement of seal coat.

1.4 QUALITY ASSURANCE

- A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

1.5 SITE CONDITIONS

- A. Weather Limitations: Apply seal coat only under the following weather conditions:
 1. The atmospheric temperature is between 50 and 90°F and is expected to remain above 50°F for 24 hours.
 2. Pavement temperature is above 55°F.
 3. Surface is dry and no moisture is expected within 24 hours.
 4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.
- B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.
- B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a pH not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.
- C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.
- D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50°F.
- E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.
- F. Crack Sealant: Crack sealants shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

2.2 COMPOSITION

- A. Composition: Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 - Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile ^a	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

^a Weigh 10 g of homogeneous product into a previously tared, small omnium can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.3 EQUIPMENT

- A. Distributors: Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.
- B. Spray Nozzles: Nozzles shall be free from clogs and debris and set at the same angle.
- C. Mixing Equipment: The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the material without segregation.
- D. Spreading Equipment: Spreading equipment shall be a mechanical type square-edge brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assist uniform spread. There shall be a lateral control device and a flexible strike box capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept tight against the surface to be paved.
- E. Clean up equipment shall be provided for cleaning up any spillage of seal coat. The equipment shall be used with a different material.
- F. Hand Sprayers or Brush Application: Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.
- G. Calibration: Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.4 PREPARATION

- A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site Demolition.
- B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.
 1. Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.
 2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.
- C. Longitudinal and transverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetation matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be cleared thoroughly before applying the seal coat.
- E. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, stormdrains, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.
- F. Coordinate joints of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Areas of seal coat application operations shall be marked with traffic cones and application limits to avoid trucking onto adjacent areas. Protection of finished seal coat shall be provided by the contractor.
- G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.5 APPLICATION

- A. Apply seal coat at a total rate (undiluted) of 0.17gal./SY.
- B. Dumping pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.
- C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.
- D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.
- E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.
- F. The finished surface shall present a uniform texture with no streaks.
- G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.
- H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

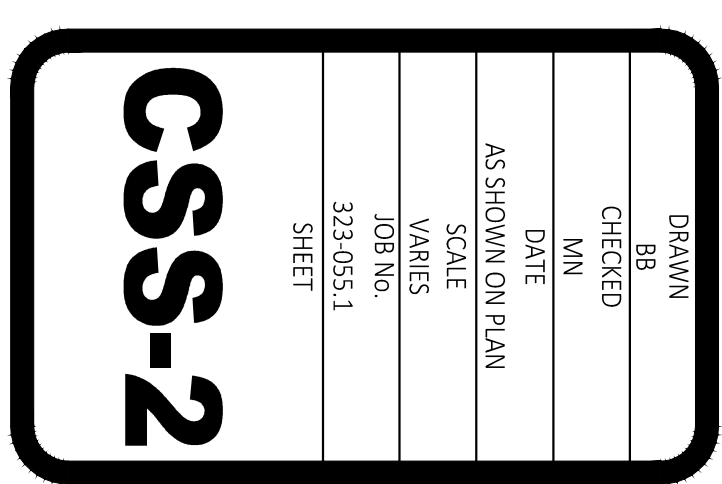
END OF SECTION

PLAN DATE IDENTIFIER
 DATE OF LAST CHANGE TO THIS PLAN
 06/27/2023 BY: 88
 07/06/2023

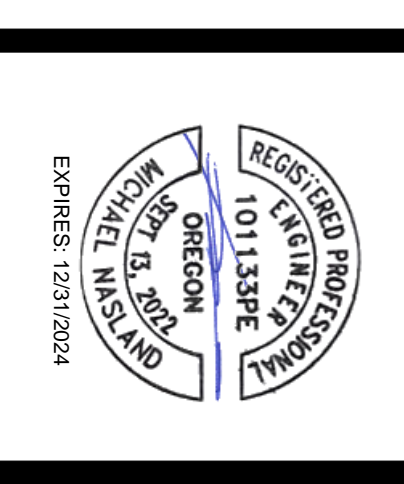
SPECIFICATIONS SHEET 2

DOCUMENTS THAT DO NOT
 HAVE A REVISION NUMBER
 AND SIGNATURE SHALL BE
 CONSIDERED AS NOT
 PART OF THE CONSTRUCTION

DRAWN	RB
CHECKED	RB
DATE	
AS SHOWN ON PLAN	
SCALE	
VARIABLES	
JOB NO.	323055.1
SHEET	



WALMART NEIGHBORHOOD MARKET #5994-211
 19133 WILLAMETTE DRIVE, WEST LINN, OR 97068
 WAL-MART STORES, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



Nasland
 910 Main Street, Ste. 314 T (208) 918-4859
 Boise, ID 83702 nasland.com
 Civil Engineering Consulting Land Planning

ISSUE BLOCK									
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PD-2 COMPLETENESS LETTER



CITY OF West Linn

January 19, 2024

Heather Edmiston
Permit Coordinator
PB2 Architecture + Engineering
2809 Ajax Avenue Suite 100
Rogers, Arkansas 72758

Subject: DR-23-11 Completeness Determination

Dear Applicant:

The application for a Class I Design Review at 19133 Willamette Drive, submitted on December 22, 2023, is deemed complete. The City has up to 120 days to review and decide the application, with a final decision by May 17, 2024.

Please be aware that the determination of a complete application is not an approval of your application. The Completeness Determination means that you have provided the necessary information to review the application.

A Public Notice will be mailed to property owners within 300 feet of the property, the neighborhood association, and relevant agencies. The Notice provides a 14-day public comment period and identifies the earliest date the decision may be made. The City will review and respond to all comments about the project and prepare findings as to whether the application meets the approval criteria of the applicable Community Development Code sections.

The decision for this application will be made by the Planning Manager.

Please contact me at 503-742-6058, or by email at jfloyd@westlinnoregon.gov if you have any questions about the process.

Sincerely,

John Floyd
Senior Planner

PD-3 AFFADAVIT AND NOTICE PACKET

**AFFIDAVIT OF NOTICE
PLANNING MANAGER DECISION**

We, the undersigned, certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **DR-23-11** Applicant's Name: **PB2 Architecture & Engineering**
 Development Address: **19133 Willamette Drive**
 Planning Manager Decision no earlier than: **2/15/24**

MAILED NOTICE

Notice of Upcoming Planning Manager Decision was mailed at least 14 days before the decision, per Section 99.080 of the CDC to:

Heather Edminston, applicant representative	2/1/24	<i>Lynn Schroder</i>
ROIC Robinwood LLC, property owner	2/1/24	<i>Lynn Schroder</i>
Property owners within 300ft of the site perimeter	2/1/24	<i>Lynn Schroder</i>
Robinwood Neighborhood Association	2/1/24	<i>Lynn Schroder</i>

EMAILED NOTICE

Notice of Upcoming Planning Manager Decision was emailed at least 14 days before the decision to:

Robinwood Neighborhood Association	1/31/24	<i>Lynn Schroder</i>
Heather Edminston, applicant	1/31/24	<i>Lynn Schroder</i>

WEBSITE

Notice of Upcoming Planning Manager Decision was posted on the City's website at least 14 days before the decision.

1/31/24	<i>Lynn Schroder</i>
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SIGN

A sign for Upcoming Planning Manager Decision was posted on the property at least 10 days before the decision, per Section 99.080 of the CDC.

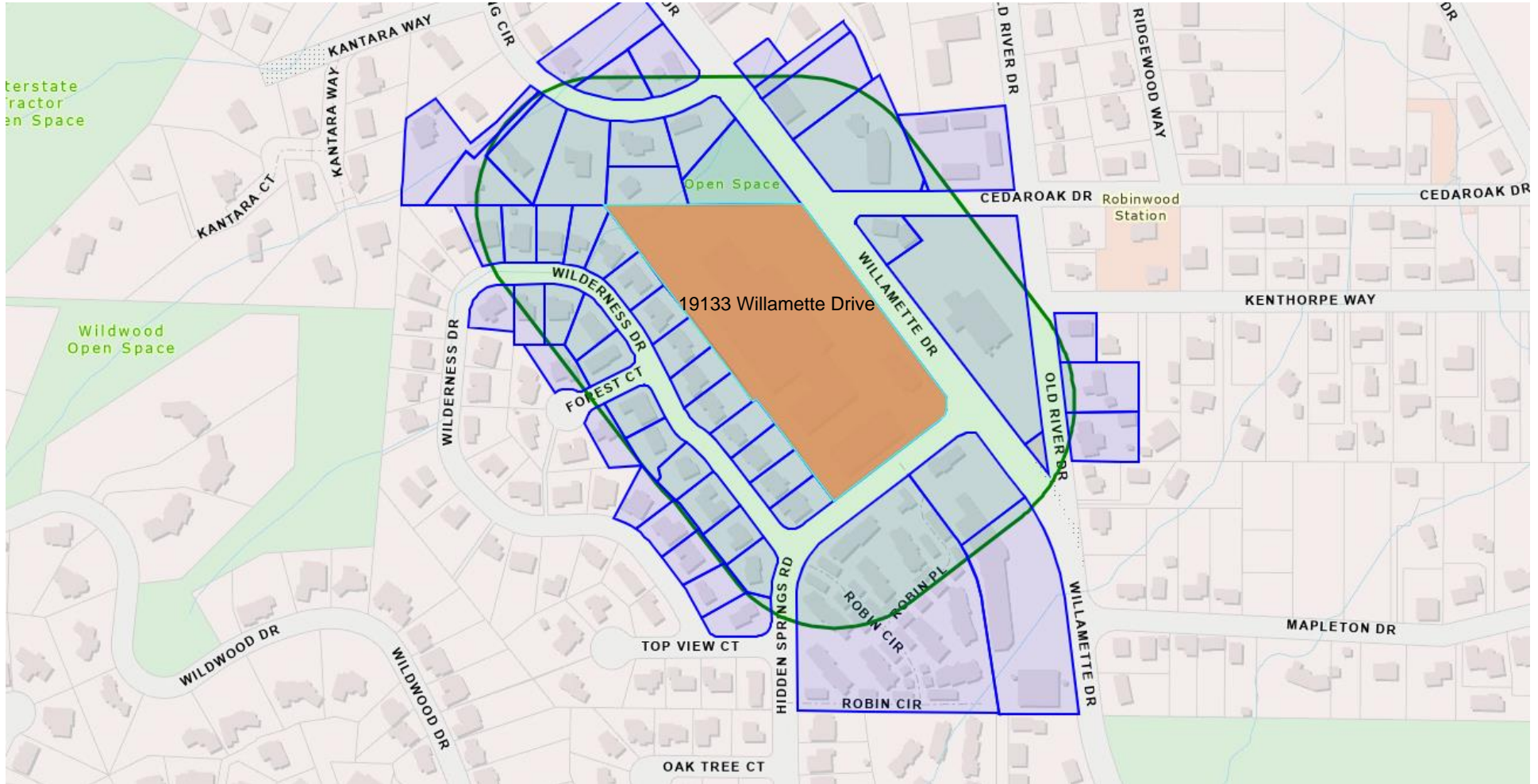
2/5/24	<i>John Floyd</i>
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FINAL DECISION

Notice of Final Decision was mailed to the applicant, all parties with standing, and posted on the City's website, per Section 99.040 of the CDC.

4/18/2024	<i>Lynn Schroder</i>
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DR-23-11 - Properties within 300 feet of 19133 Willamette Drive



**CITY OF WEST LINN
NOTICE OF UPCOMING PLANNING MANAGER DECISION
FILE NO. DR-23-11**

The West Linn Planning Manager is considering Class I Design Review at 19133 Willamette Drive (Walmart). The applicant is requesting approval for to add two new exterior doors and make minor alterations to the striping of the parking lot to facilitate grocery pickup.

The Planning Manager will decide the application based on criteria in Chapters 19, 46, 55, and 99 of the Community Development Code (CDC). The CDC approval criteria are available for review on the City website <http://www.westlinnoregon.gov/cdc> or at City Hall and the City Library.

The application is posted on the City's website, <https://westlinnoregon.gov/projects>. The application, all documents or evidence relied upon by the applicant and applicable criteria are available for inspection at City Hall at no cost. Copies may be obtained at reasonable cost.

A public hearing will not be held for this decision. **Anyone wishing to submit comments for consideration must submit all material before 4:00 p.m. on February 15, 2024 to jfloyd@westlinnoregon.gov or mail them to City Hall. All comments must be received by the deadline.**

It is important to submit all testimony in response to this notice. All comments submitted for consideration of this application should relate specifically to the applicable criteria. Failure to raise an issue in a hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes appeal to the Oregon Land Use Board of Appeals based on that issue (CDC Section 99.090).

The final decision will be posted on the website and available at City Hall. Persons with party status may appeal the decision by submitting an appeal application to the Planning Department within 14 days of mailing the notice of the final decision pursuant to CDC [99.240](#).

For additional information, please contact John Floyd, Senior Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, 503-742-6058.

Scan this QR Code to go to Project Web Page:

