

## DEVELOPMENT REVIEW APPLICATION

**For Office Use Only**

STAFF CONTACT <b>John Floyd</b>	PROJECT NO(S). <b>DR-23-11</b>	PRE-APPLICATION NO. <b>PA-23-24</b>
NON-REFUNDABLE FEE(S) <b>\$2,800</b>	REFUNDABLE DEPOSIT(S)	TOTAL <b>\$2,800</b>

**Type of Review** (Please check all that apply):

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX)               | <input type="checkbox"/> Final Plat (FP)                        | <input type="checkbox"/> Subdivision (SUB)                               |
| <input type="checkbox"/> Appeal (AP)                    | <input type="checkbox"/> Flood Management Area (FMA)            | <input type="checkbox"/> Temporary Uses (MISC)                           |
| <input type="checkbox"/> CDC Amendment (CDC)            | <input type="checkbox"/> Historic Review (HDR)                  | <input type="checkbox"/> Time Extension (EXT)                            |
| <input type="checkbox"/> Code Interpretation (MISC)     | <input type="checkbox"/> Lot Line Adjustment (LLA)              | <input type="checkbox"/> Right of Way Vacation (VAC)                     |
| <input type="checkbox"/> Conditional Use (CUP)          | <input type="checkbox"/> Minor Partition (MIP)                  | <input type="checkbox"/> Variance (VAR)                                  |
| <input type="checkbox"/> Design Review (DR)             | <input type="checkbox"/> Modification of Approval (MOD)         | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC)  | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)    |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD)         | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)      |
| <input type="checkbox"/> Extension of Approval (EXT)    | <input type="checkbox"/> Street Vacation                        | <input type="checkbox"/> Zone Change (ZC)                                |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

**Site Location/Address:**

Assessor's Map No.:

Tax Lot(s):

Total Land Area:

**Brief Description of Proposal:**

**Applicant Name\*:**

Address:  
City State Zip:

Phone:  
Email:

**Owner Name (required):**

Address:  
City State Zip:

Phone:  
Email:

**Consultant Name:**

Address:  
City State Zip:

Phone:  
Email:

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. **\*The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.



Applicant's signature

Date



Owner's signature **(required)**

Date

# DEVELOPMENT REVIEW CHECKLIST

The application form and supporting materials should be submitted electronically through <https://westlinnoregon.gov/planning/submit-land-use-application> as one (1) .pdf file. To create a single PDF file, go to [Adobe Acrobat Free Merge PDF](#) online tool. [Other free Acrobat PDF tools](#) like converting a file to PDF or reducing the file size are available on the Adobe website.

Supporting reports may be uploaded separately through this web form *if* the file size is too large. The separate submissions should be numbered (i.e., Submittal 1 of 2) and noted under transmittal contents. All plan set files MUST be flattened and reduced.

Submission requirement to upload through the web form:

- .pdf format.
- Individual file size no larger than 128 MB.
- Do not attach 'zip' files. Our server will reject all 'zip' files.
- Reduce and flatten all plan sets BEFORE uploading plan sets. The raster/vector settings should be optimized for printing.

A complete application must include the following:

- Development Review Application. Original signatures from all owners must be on the application form. **Do NOT use DocuSign.**
- A **project narrative** outlining the project's scope in detail, including the changes to the site, structure, landscaping, parking, land use, and lot consolidations.
- Complete written responses to identified approval criteria in the [Community Development Code \(CDC\)](#).
- A Service Provider Letter from Tualatin Valley Fire and Rescue - <https://www.tvfr.com/399/Service-Provider-Permit> Please contact Jason Arn at [jason.arn@tvfr.com](mailto:jason.arn@tvfr.com) with any questions about TVF&R requirements.
- Vicinity Map showing the site within the City.
- Site Plan drawn to scale showing the:
  - Taxlot and address of the project,
  - Area of the site (acres or square feet),
  - Zoning and Neighborhood Association,
  - Location and dimensions of existing and proposed buildings, structures,
  - Location of existing and proposed on-site driveways and off-street parking,
  - Configuration and dimensions of all existing and proposed lots and tracts, including a proposed park, open space, and or drainage tracts or easements,
  - Location and width of existing and proposed easement for access, drainage, etc., and
  - Location of existing and proposed trees and other proposed landscaping.
  - Location of existing public and private utilities, easements, and 100-year floodplain,
  - Sensitive areas, including the location of on-site wetlands and riparian areas,
  - Location of existing off-site driveways across the street,
  - If applicable, internal circulation system, name, and location of existing and proposed roadways and roadway easements (private and public), and
  - Location and width of existing and proposed on-site pedestrian and bicycle facilities on-site.
- If applicable, a Utility Plan and Landscape plan, drawn to scale.
- If applicable, Building elevation drawings with exterior elevations for every side of each structure, height including building materials and floor levels, drawn to scale.
- If required, documentation of any required meeting with the respective City-recognized neighborhood association per CDC [99.038](#).
- Any other materials identified by city staff at the pre-application meeting.

For applications that the Planning Commission decides, the applicant or applicant's representative should present their proposal to the PC at the public hearing.



2809 Ajax Avenue Suite 100  
Rogers, Arkansas 72758  
Phone: 479.636.3545

December 15, 2023

City of West Linn  
Planning Department  
22500 Salamo Rd.  
West Linn, OR 97068  
Class I Design Review  
File #: PA-23-24

John Floyd, Senior Planner  
jfloyd@westlinnoregon.gov  
PH: 503-656-3535

Subject: Class I Design Review for (2) new exterior doors and minor revisions to parking lot pavement markings and signage.

RE: Walmart #5994 Remodel  
19133 Willamette Dr  
West Linn, OR 97068  
Plan Review 2

Zoning: General Commercial  
Tax Lot Information: 21E23AD06101

**DESIGN REVIEW – CLASS 1 NARRATIVE  
WALMART #5994 REMODEL**

**SCOPE OF WORK:**

The proposed scope of work includes the addition of 2 new exterior doors. A single HMSTL exit door will be added to the rear breakroom, to allow for direct safety egress out of the building for associates. A single surface mounted slider door will be added to the front façade of the building at the new Pickup Storage for direct associate access. All exterior materials and finishes will remain, paint color updates have been approved in the city's building review.

**COMMUNITY DEVELOPMENT CODE APPROVAL STANDARDS - CLASS I DESIGN REVIEW:**

- Chapter 19: General Commercial
  - o 19.090 Other Applicable Development Standards (Chapters 34, 35, 38, 41, 42, 44, 46, 48, 52, 54)

1. Chapter 19 CDC General Commercial.

**Response:** The proposed scope of work includes revised Grocery Pickup parking arrangement striping, including new parking lot signage within existing parking lot area.

2. Chapter 34 CDC, Accessory Structures, Accessory Dwelling Units, and Accessory Uses.

**Response:** The proposed scope of work does not include any new accessory use, accessory dwelling units, or new noise-producing equipment.

3. Chapter 35 CDC, Temporary Structures and Uses.

**Response:** The proposed new scope of work does not include temporary structure or use per planning definition of temporary storage containers being exempt as temporary structure/use. The General Contractor shall use trailers, temporary storage containers and staging areas for proposed remodel in conjunction with Walmart Specification 01500 Temporary Facilities and Controls.

4. Chapter 38 CDC, Additional Yard Area Required; Exceptions to Yard Requirements; Storage in Yards; Projection into Yards.

**Response:** The proposed scope of work does not include any modifications for a new building structure, street widening or right-of-way or residential work. All temporary storage containers and staging areas will be located within the property line.

5. Chapter 41 CDC, Building Height, Structures on Steep Lots, Exceptions.

**Response:** The proposed scope of work will not change the building height or new structures.

6. Chapter 42 CDC, Clear Vision Areas.

**Response:** The proposed scope of work does not include any new construction that would impact the existing maintained clear vision areas on the property.

7. Chapter 44 CDC, Fences.

**Response:** The proposed new scope of work does not include any new fencing, walls, retaining wall or landscaping. The existing building will maintain adequate clear vision areas.

8. Chapter 46 CDC, Off-Street Parking, Loading and Reservoir Areas.

**Response:** The proposed new scope of work does not include construction of new parking, loading or reservoir areas. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area.

- a. 46.030 Submittal Requirements. Acknowledged, Class I Design Review required per Pre-Application Conference Meeting Summary Notes dated 11/16/23.
- b. 46.040 Approval Standards. Acknowledged.
- c. 46.060 Storage in Parking and Loading Areas Prohibited. Acknowledged. The Owner and General Contractor shall be informed of this requirement.
- d. 46.150 Design and Improvement Standards. Acknowledged, the proposed revised Grocery Pickup parking, loading and circulation design complies.

9. Chapter 48 CDC, Access, Egress and Circulation.

**Response:** The proposed new scope of work does not include construction of new parcels, lot, structure, or residential use. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area. The proposed revised Grocery Pickup parking, loading and circulation design complies with Section 48.040 CDC.

10. Chapter 52 CDC, Signs.

**Response:** Sign permit procedures are acknowledged. The proposed scope of work includes revised Grocery Pickup parking arrangement striping, including new parking lot signage within existing parking lot area.

11. Chapter 54 CDC, Landscaping.

**Response:** The proposed new scope of work does not include new landscaping. Existing landscaping will continue to be maintained per Section 54.060 CDC.

- Chapter 42: Clear Vision

- 1. Chapter 42 CDC, Clear Vision Areas.

- Response:** The proposed scope of work does not include any new construction that would impact the existing maintained clear vision areas on the property.

- Chapter 46: Off-Street Parking, Loading, and Reservoir Areas

- o 46.150 Design and Standards

- 1. Chapter 46 CDC Off-Street Parking, Loading, and Reservoir Areas

- Response:** Acknowledged, the proposed revised Grocery Pickup parking, loading and circulation design complies.

- Chapter 54: Landscaping

- 1. Chapter 54 CDC Landscaping

- Response:** The proposed new scope of work does not include new landscaping. Existing landscaping will continue to be maintained per Section 54.060 CDC.

- Chapter 55: Design Review

- o 55.070 Submittal Requirements
  - o 55.090 Approval Standards – Class I Design Review
  - o 55.100(B)(5) and (6)
  - o 55.110 Site Analysis
  - o 55.120 Site Plan
  - o 55.140 Architectural Drawings

- 1. Chapter 55 CDC Design Review

- Response:**

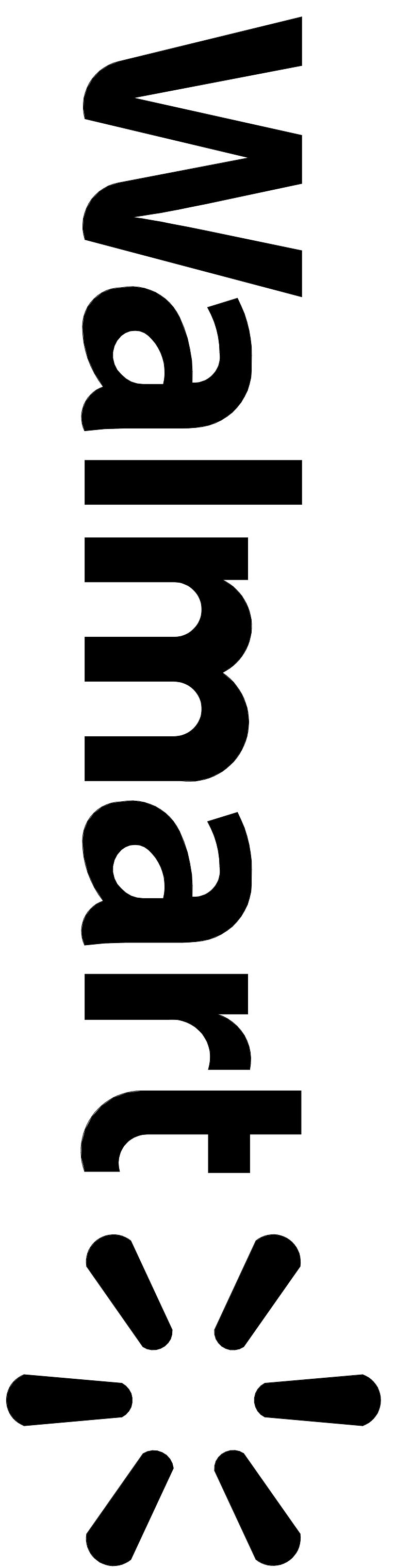
- a. 55.070 Class 1 Design Review has been determined per Pre-Application Conference Meeting Summary Notes dated 11/16/23. See enclosed documents for Class 1 Design Review.
    - b. 55.090 Approval Standards – Class 1 Design Review. Acknowledged.
    - c. 55.100(B)(5) remains unaffected with the scope of work included in this project. 55.100(B)(6) remains unaffected with the scope of work included in this project.
    - d. 55.110 Site Analysis. N/A. The scope of work included in this project is an existing developed site.

- e. 55.120 Site Plan. The scope of work included in this project is an existing developed site. The proposed scope of work includes revised Grocery Pickup parking arrangement striping within existing parking lot area.
- f. 55.140 Architectural Drawings. Acknowledged. See enclosed documents for Class 1 Design Review.

- Chapter 99: Procedures for Decision Making: Quasi-Judicial

- 1. Chapter 99 CDC, Procedures for Decision Making: Quasi-Judicial

**Response:** Procedures acknowledged; we are understood to meet all requirements at this time.



WEST LINN, OREGON  
STORE NO.: 05994.211

REMODEL

EXISTING SQ. FT.: 39,662  
REMODELED SQ. FT.: 4,443

PROTO CYCLE: 03/31/2023  
DATE: 07/10/23  
PROTO: 40

DRAWING INDEX

GENERAL: COVER SHEET, RESPONSIBILITY MATRIX, REVISIONS, SCHEDULES, ALLOWANCES, ARCHITECTURAL: SITE PLAN, ENLARGED DEMO PLANS, FLOOR FINISH PLAN, EXTERIOR WALL PREVENTION ELEVATION, ROOF PLAN, ELEVATIONS AND DETAILS, ENLARGED RESTROOM PLANS AND DETAILS, RESTROOM FINISH PLANS AND DETAILS, RESTROOM SCHEDULES, BEARROOM PLANS AND DETAILS, MODULAR PHARMACY SECTIONS AND DETAILS, PHARMACY EQUIPMENT ON REFERENCE ONLY, PHARMACY FINISH PLANS AND DETAILS, TEMPORARY PHARMACY, STRUCTURAL: PLAN GENERAL NOTES AND DETAILS, ROOF FRAMING PLAN AND DETAILS, FIRE PROTECTION: FIRE SPRINKLER DETAIL PLAN, FIRE SPRINKLER SCHEDULE, PLUMBING/MECHANICAL: MECHANICAL AND PLUMBING PLAN, ENLARGED HVAC MECHANICAL PLANS AND SCHEDULES, BUILDING CODES SUMMARY, NAME OF PROJECT, STREET ADDRESS, PROPOSED USE, OCCUPANCY, BUILDING CODE, MECHANICAL CODE, PLUMBING CODE, FIRE PROTECTION CODE, ACCESSIBILITY CODE, COORS, M - MERCHANTILE WHOLESALE OR RETAIL STORE (MAIN USE), S-1 - STORAGE AREA, RECEIVING AND STOCKROOMS (MAX USE), A2 - ASSEMBLY USE, BREAKROOM (ACCESSORY USE), B - BUSINESS NON FOOD TENANT (ACCESSORY USE), TYPE OF CONSTRUCTION, V8 UNPROTECTED (SPRINKLERED), ALLOWABLE AREA, THE WORK AS DEFINED FOR THIS PROJECT IS LIMITED IN SCOPE. NO ADDITIONAL SQUARE FOOTAGE IS BEING ADDED AND NO CHANGE IN THE EXISTING BUILDING IS BEING SPRINKLERED AND ALL CURRENT MEANS OF EGRESS FROM THE BUILDING WILL REMAIN. FIRE PROTECTION, BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND IS SURROUNDED ON ALL SIDES BY 60 FEET MINIMUM OF PERMANENT OPEN SPACE. UNLIMITED AREA CRITERIA IS APPLICABLE. CIVIL, ARCHITECTURAL: WALLACE DESIGN COLLECTIVE PC, 2889 ALAX AVENUE SUITE 300, COVINGTON, MISSOURI 65228, TELSAAN, 900 CIRCLE PARKWAY, SUITE 680, ATLANTA, GEORGIA 30339, MECHANICAL/ELECTRICAL/PLUMBING: DC ENGINEERING, 440 EAST CORPORATE DRIVE, SUITE 103, MERRIDAN, OHIO 43042, REFRIGERATION: DC ENGINEERING, 440 EAST CORPORATE DRIVE, SUITE 103, MERRIDAN, OHIO 43042, STRUCTURAL PACKING: JOHNSTON BURKHOLDER ASSOCIATES, 3301 CENTRAL STREET, KANSAS CITY, MISSOURI 64105, BUILDING REVIEW: CITY OF WEST LINN BUILDING DIVISION, 22260 SALVAD ROAD, WEST LINN, OR 97088, FIRE REVIEW: TUALATIN VALLEY FIRE AND RESCUE, 11945 SOUTHVIEW 70TH AVENUE, TUALATIN, OR 97137, ELECTRICAL REVIEW: CLACKAMAS COUNTY BUILDING CODES, 199 BEAVERCREEK ROAD, OREGON CITY, OR 97045, HEALTH REVIEW: OREGON DEPARTMENT OF AGRICULTURE, 625 CAPITOL STREET NORTHEAST, SALEM, OR 97301, STORE ADDRESS: WALMART STORE NO. 05994.211, 19133 WILLIAMETTE DRIVE, WEST LINN, OREGON

GENERAL SCOPE OF WORK: SALES FLOOR REMODEL REMOVE REFRIGERATED EQUIPMENT, ADD REFRIGERATED CASES, REPAIR AND REPLACE FLOOR FINISHES, RESTROOMS, REFRIGERATION CASES, SIGNAGE, INSTALL REPLACE EXTERIOR SIGNS, EXTERIOR SURFACES CLEAN, PREP AND PAINT, FINISHES, ACCESSORIES AND FINISHES, REFRIGERATION CASES, NEW PLUMBING, CUSTOMER CHECK OUT AREA, REVISE LOCATION OF ENTRY VESTIBULE, CLEAN, FINISHES, NEW FINISHES, BREAK ROOM, REMODEL, INSTALL FIXTURES, NEW FINISHES, UP, RELOCATE EXISTING OPERATIONS TO SALES FLOOR, WAREHOUSE PICKUP Z. 0 AND ADD DIGITAL DISPLAYS, REMOVE EXISTING PICKUP AREA, FINISHES, NEW FINISHES, NEW FINISHES, ADD DIGITAL DISPLAYS, GENERAL NOTES: BUILDING IS FULLY SPRINKLERED AS REQUIRED BY APPLICABLE CODES. ALL WORK SHALL BE APPROVED BY AUTHORITY HAVING JURISDICTION FIRE AND ALL APPROVALS PRIOR TO FABRICATION OR INSTALLATION, OWNER OR HAS IN READY PROPOSED AUTHORITY HAVING JURISDICTION WILL APPROVE FINISHES AND ACCESSORIES, NEW PLUMBING, WALKMART'S ALAM CENTRAL'S ENGINEERING TEAM HAS CONTACTED THE AUTHORITY HAVING JURISDICTION AND STAFF FROM THE NATIONAL PUBLISHED CODES AND STANDARDS A REPRESENTATIVE WILL REVIEW WITH NIPA 10 AND LOCAL REQUIREMENTS THAT DIFFER FROM THE NATIONAL PUBLISHED CODES AND STANDARDS. A DIRECTLY TO THE AUTHORITY HAVING JURISDICTION. QUESTIONS SHOULD BE DIRECTED TO: 1.800.526.9924. THE MAXIMUM STORAGE HEIGHT IS TWELVE FEET. REINSTALL ALL PRE-ENGINEERED IMMEDIATELY MONITORING SURFACE. REFER TO GENERAL CONTRACTOR PERMIT AND INSTALLER CERTIFICATION (GCRN) REPORT ON OWNER'S DOCUMENT # BELTEN VARSITE.

CHECKED BY: NJ  
DRAWN BY: JS  
PROTO: 40  
PROTO CYCLE: 03/31/2023  
DOCUMENT DATE: 07/10/23

ISSUE BLOCK  
2 | 11/20/23 | FR 42

REMODEL  
JOB NUMBER: 2023.0078 PROTO: 40

WEST LINN, OREGON  
19133 WILLIAMETTE DRIVE  
STORE NO 05994.211

STIPULATION FOR REUSE  
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2889 Alax Avenue, Suite 300  
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Phone: 617.283.2342  
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William Douglas Harty  
Professional Engineer  
License No. 002714

pb2  
Architecture  
+engineering

DOCUMENTS THAT DO NOT HAVE THE ARCHITECT'S SEAL OR SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

COVER SHEET

SHEET: C1



**SITE SHEET NOTES**

1. PREP AND PAINT ALL EXTERIOR LIGHT POLE BASES AND ALL BOLLARDS.
2. POWER WASH SIDEWALK AT FRONT OF BUILDING AND ONLINE PICKUP DELIVERY.
3. FILL RECESSED CONCRETE AT FENCE AND SHADE CLOTH CORE DRILLED POST BASES WITH REPAIR MORTAR SYSTEM, REF SPECS

**KEYNOTES**

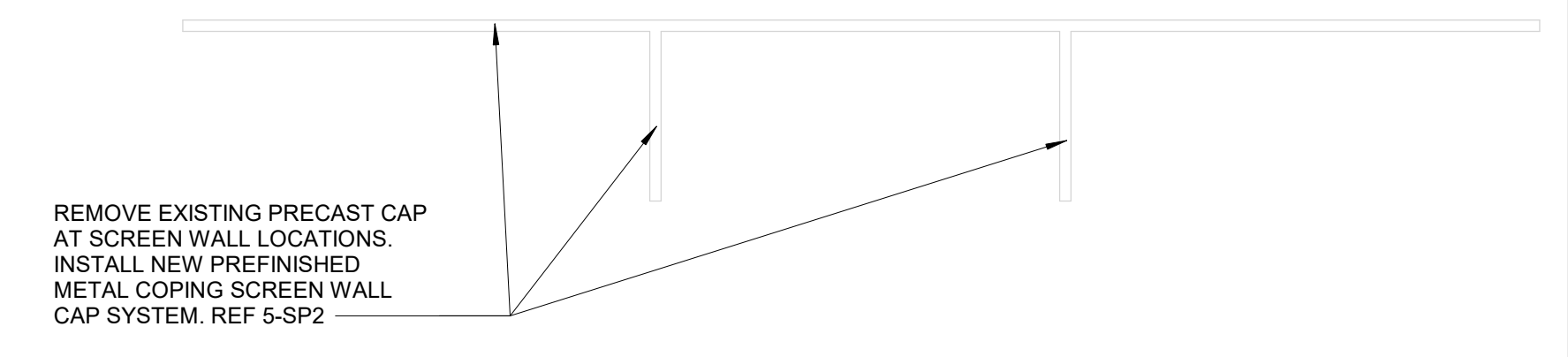
- 3.09 FILL RECESSED CONCRETE AT FENCE AND SHADE CLOTH CORE DRILLED POST BASES WITH REPAIR MORTAR SYSTEM, REF SPECS



2809 Alka Avenue Suite 100  
 Rogers Arkansas 72758  
 Phone: 479.634.3545  
 Fax: 479.634.1209

Architect of Record  
 William Douglas Hurley  
 Oregon License No. 463.4631  
 Firm Registration No. 07971AF

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ARCHITECTURAL FINISH FLOOR = 100.00'  
 NOTE  
 FINISH FLOOR ELEVATION AT ALL EXTERIOR DOORS = 100.00'  
 UNLESS NOTED OTHERWISE

REFER TO SPEC SECTION 01500 FOR DETAILS AND REQUIREMENTS FOR STORMWATER POLLUTION CONTROLS AND SITE STORAGE OF MATERIALS AND EQUIPMENT. DEVIATION(S) FROM DETAILS SHOWN MUST BE SUBMITTED FOR APPROVAL IN ACCORDANCE WITH SPEC SECTION 01330.

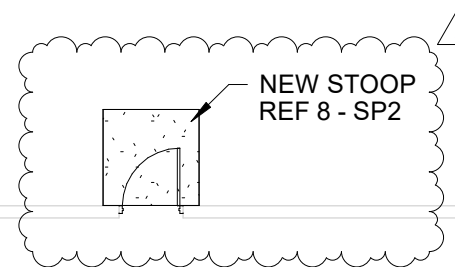
PATCH AND REPAIR CONCRETE, STAMPED CONCRETE, PATTERNED CONCRETE AND ASPHALTIC PAVING TO MATCH ADJACENT EXISTING MATERIALS WHERE BOLLARDS ARE ADDED. MATCH EXISTING COLOR AND FINISHES. MATCH EXISTING SLOPES REF SP2 FOR FLATWORK REPLACEMENT.

EXISTING CANOPY COLUMNS TO REMAIN. FIX AND REPAIR AS REQUIRED, TYP

REPLACE JOINT FILLER MATERIAL AT MAIN ENTRANCE. AREA TO BE REPLACED FROM PAVING TO STORE ENTRANCE BY WIDTH OF VESTIBULE. REF SHEET SA1 FOR BID ALLOWANCE.

REPLACE DAMAGED AND/OR INSTALL OWNER FURNISHED CART CORRAL. COORDINATE SCOPE WITH STORE SETUP. REF SHEET SA1 FOR BID ALLOWANCE.

ADJACENT TENANT



4 SP2

2 SP2

3.09

Walmart  
 WEST LINN, OREGON  
 19133 WILLIAMETTE DRIVE  
 STORE NO. 05994211  
 2023.0078 | PHOTO: 40

ISSUE BLOCK	DATE	DESCRIPTION
2	11/28/23	PR #2

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PROTO:	40
PROTO CYCLE:	03/31/2023
DOCUMENT DATE:	07/10/23



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**SITE PLAN**



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**Walmart**

WEST LINN, OREGON  
19133 WILLIAMETTE DRIVE  
STORE NO. 05994211

JOB NUMBER: 2023.0078 | PHOTO: 40

REMODEL

ISSUE BLOCK

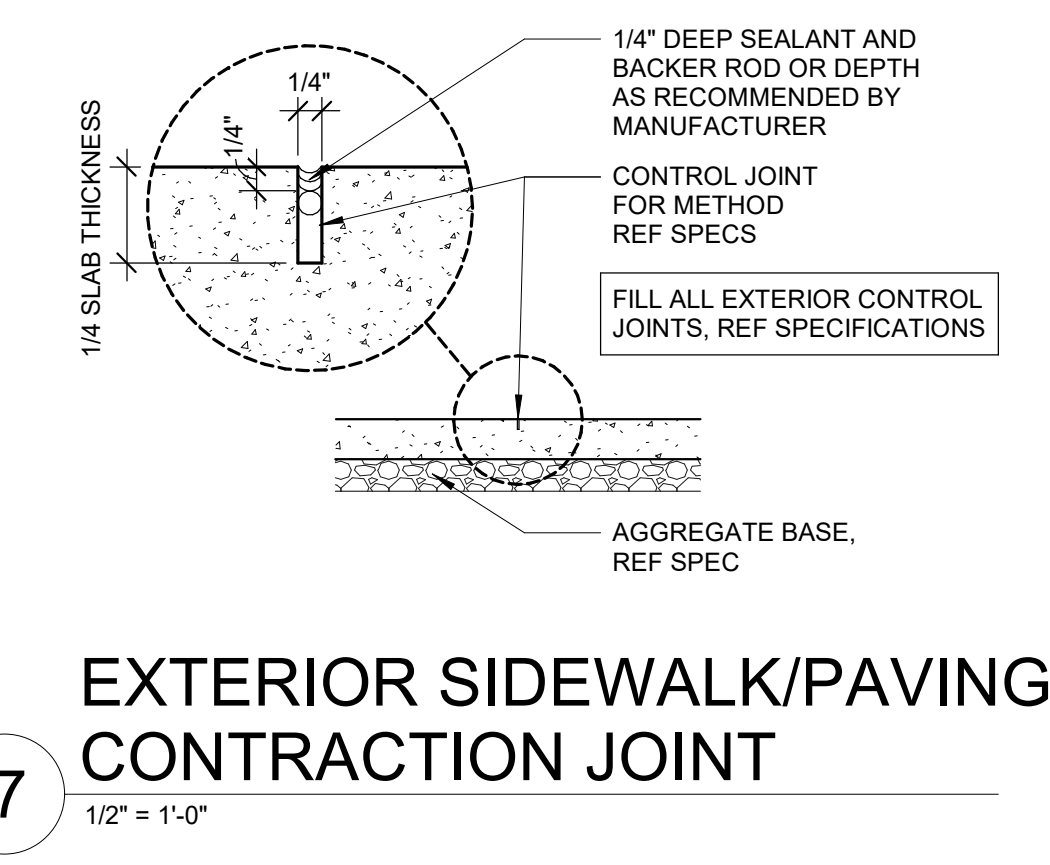
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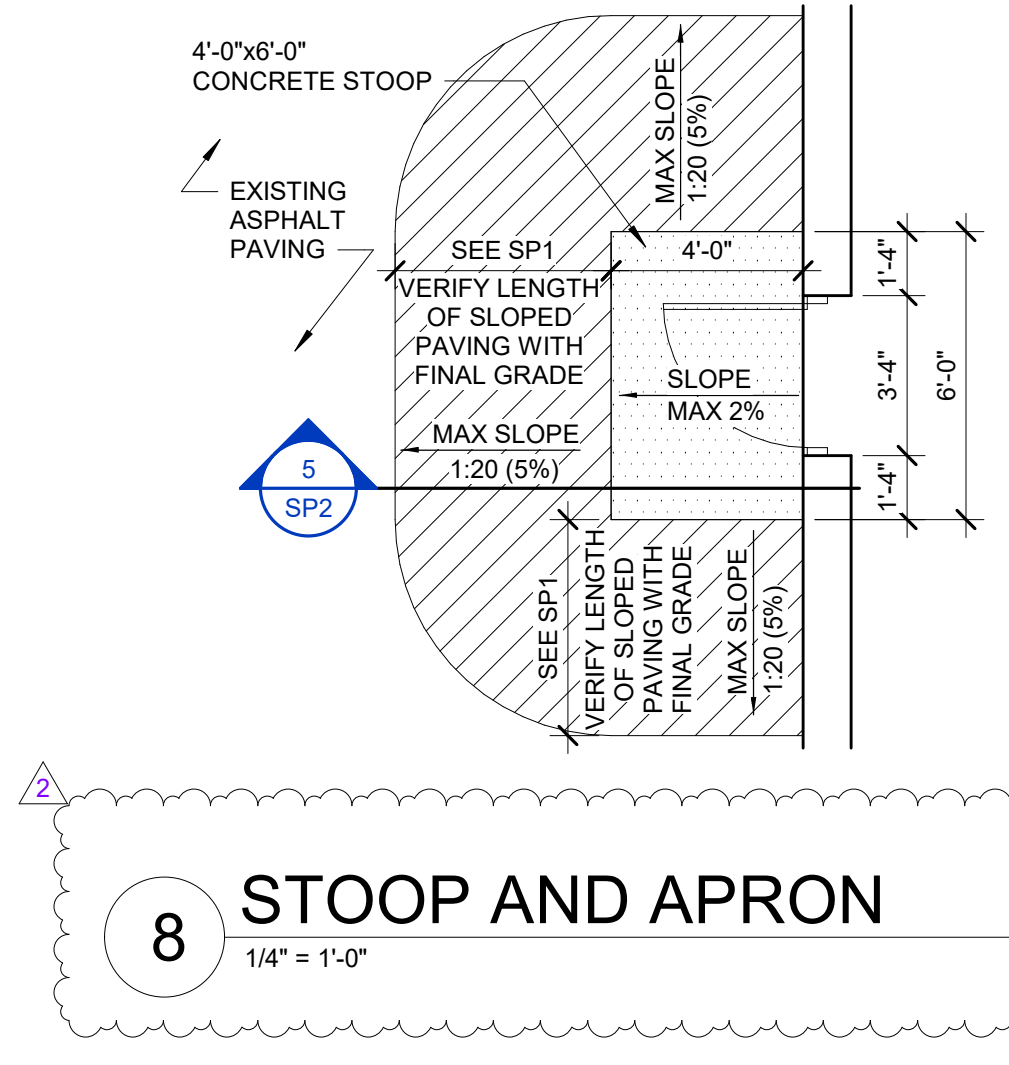


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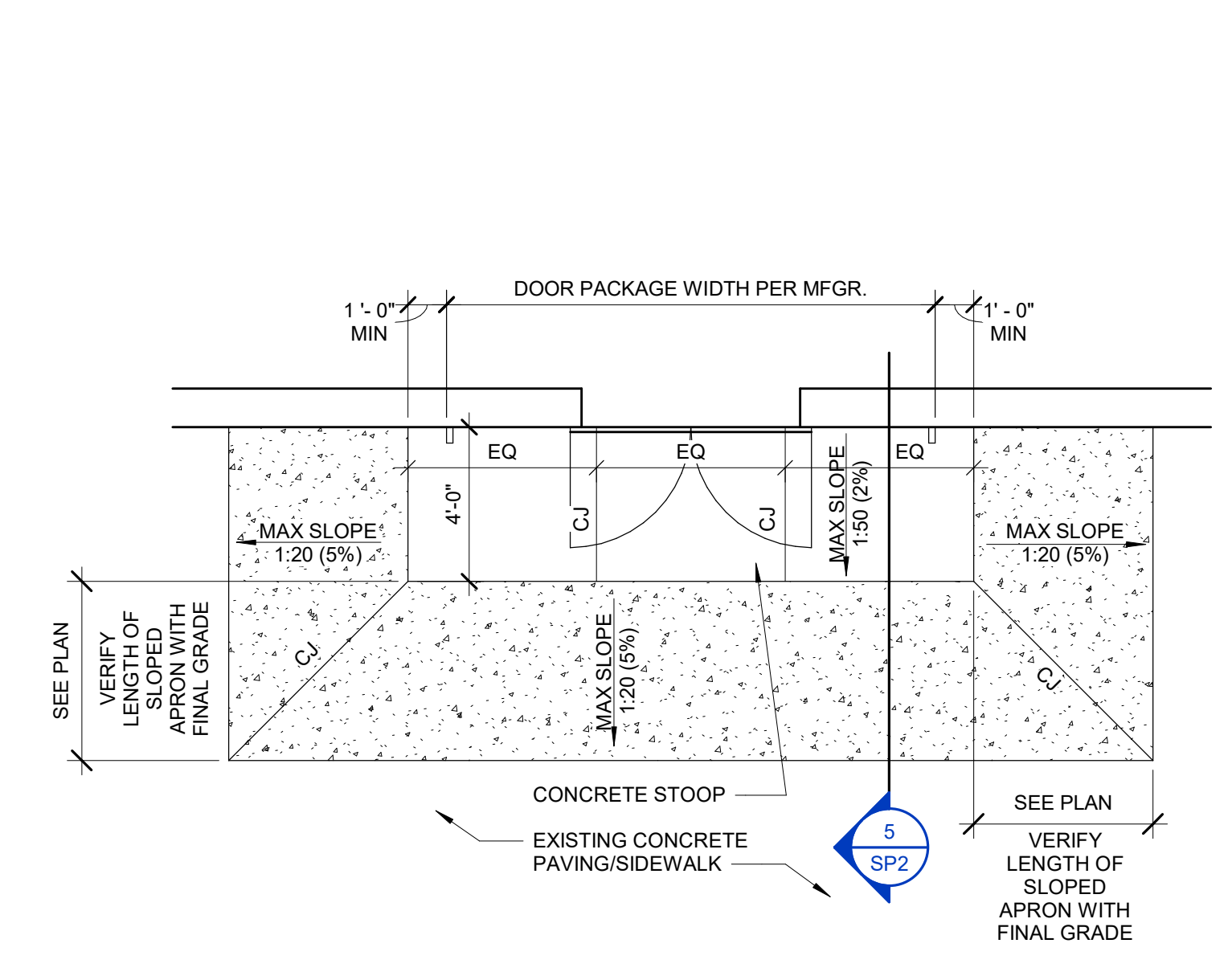
**SITE DETAILS**



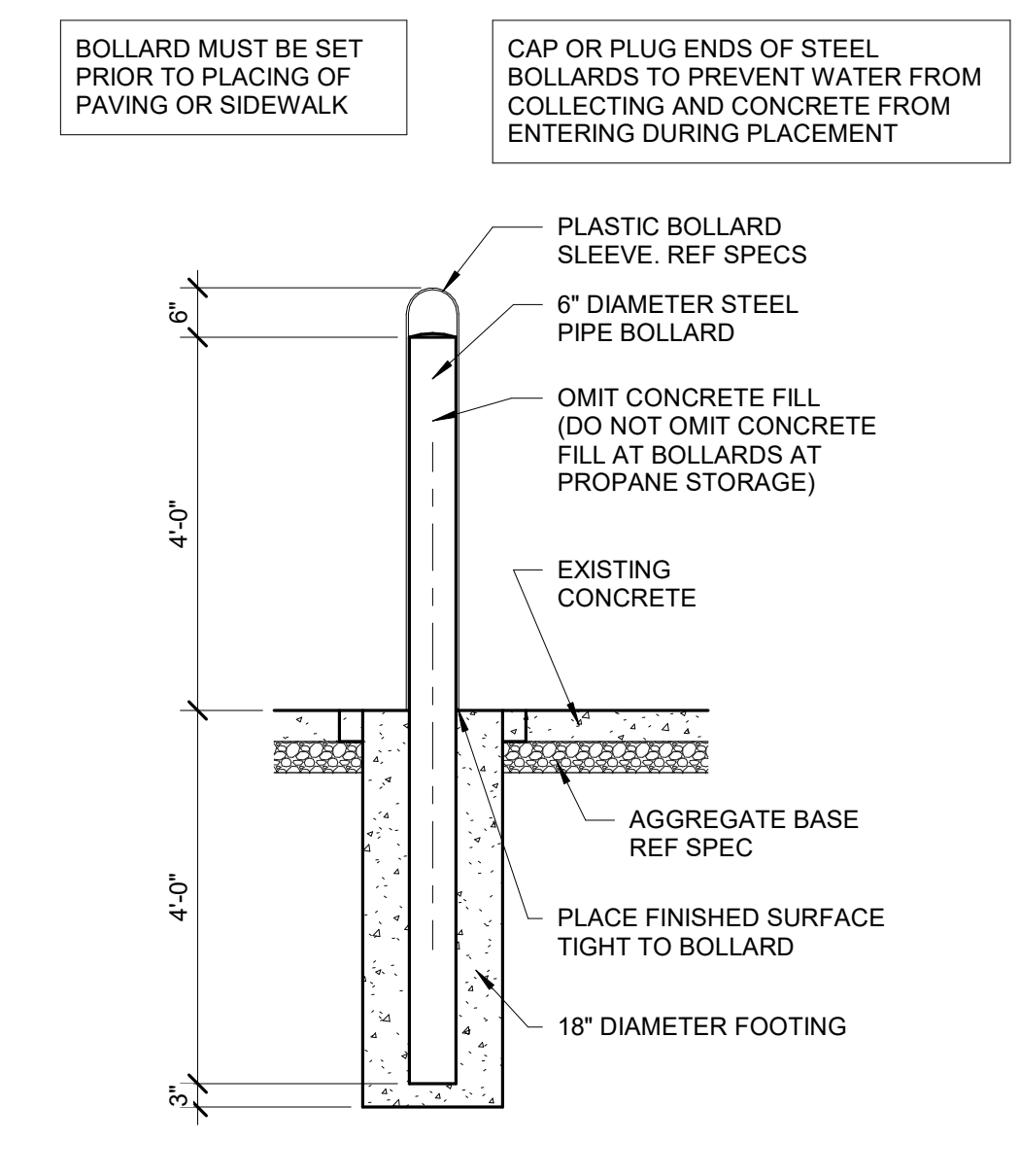
**7** EXTERIOR SIDEWALK/PAVING CONTRACTION JOINT  
1/2" = 1'-0"



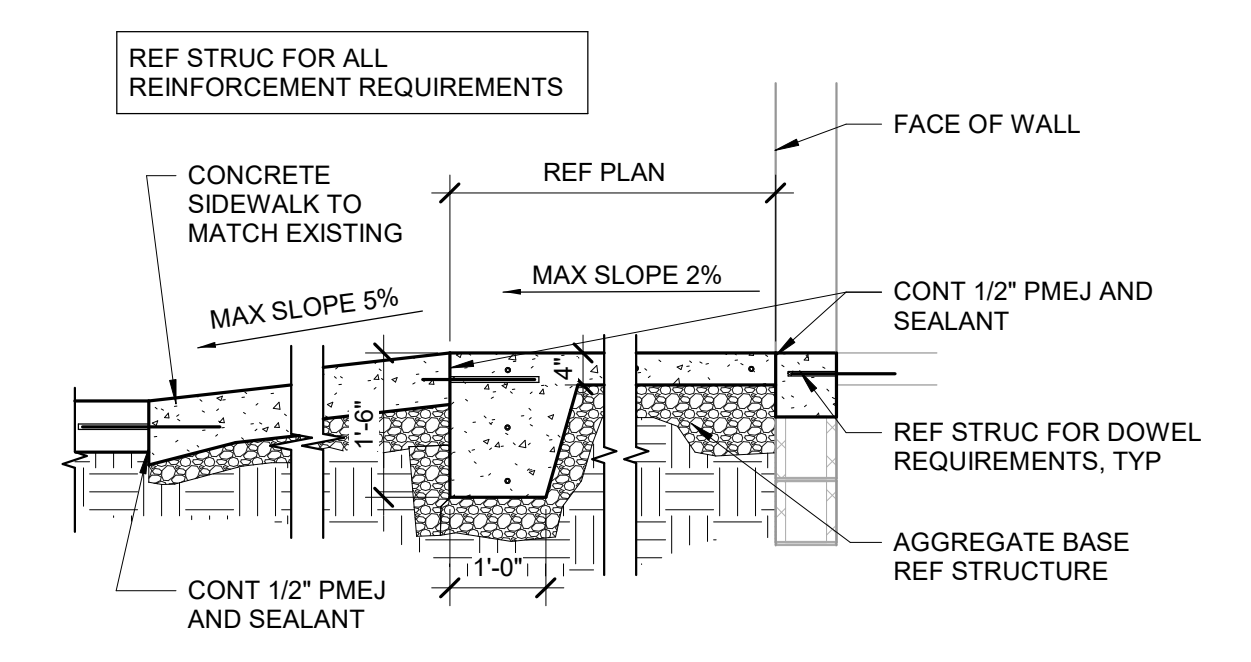
**8** STOOP AND APRON  
1/4" = 1'-0"



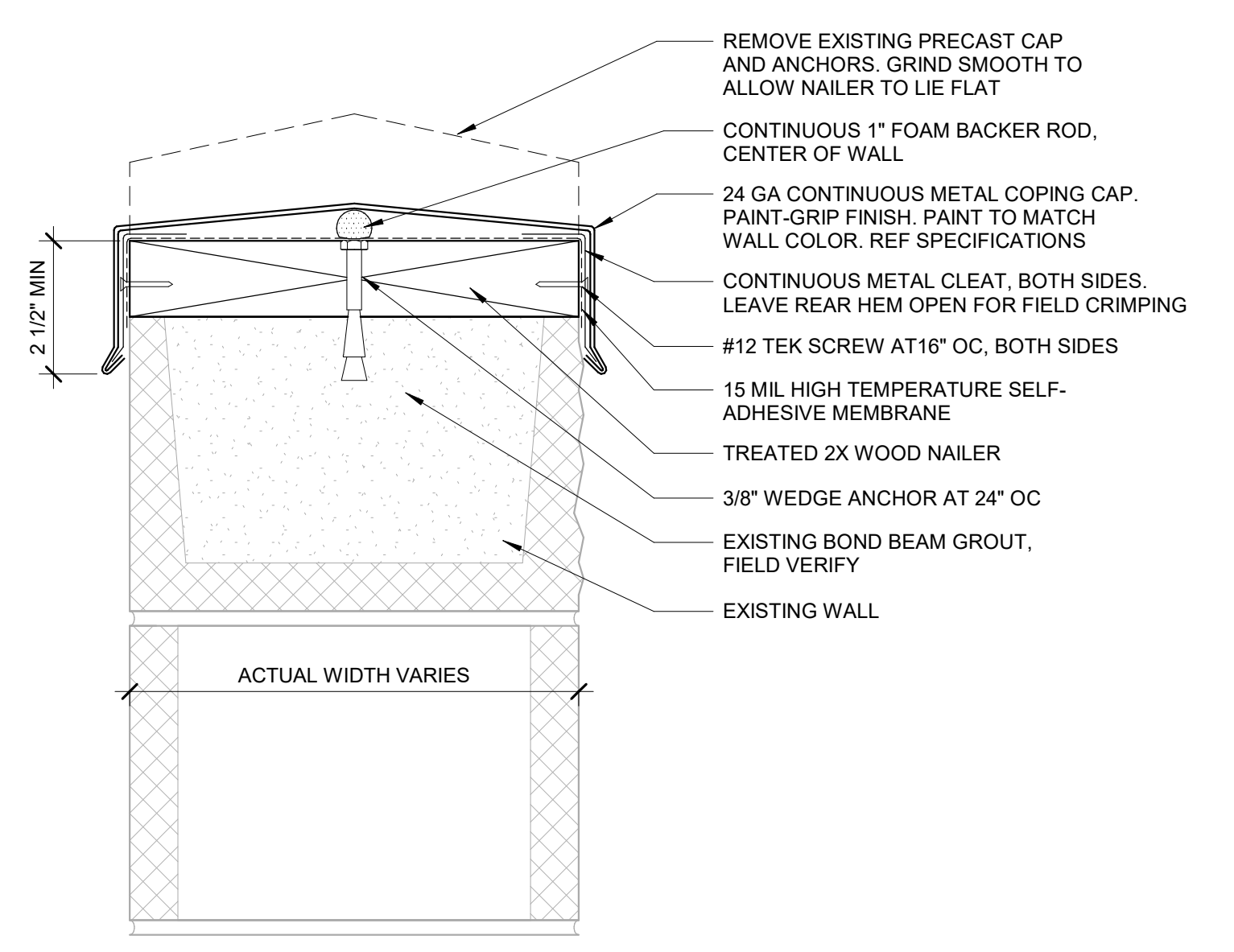
**4** STOOP AND APRON  
1/4" = 1'-0"



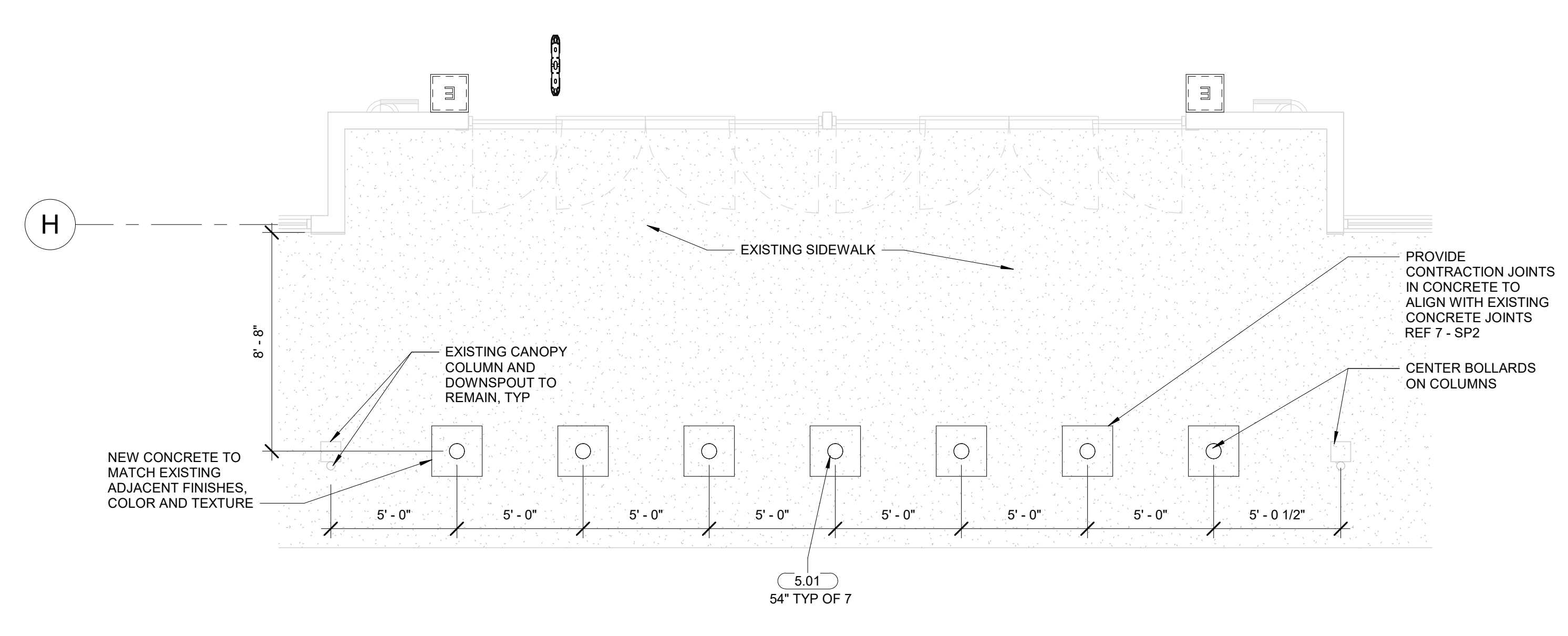
**3** BOLLARD  
1/2" = 1'-0"



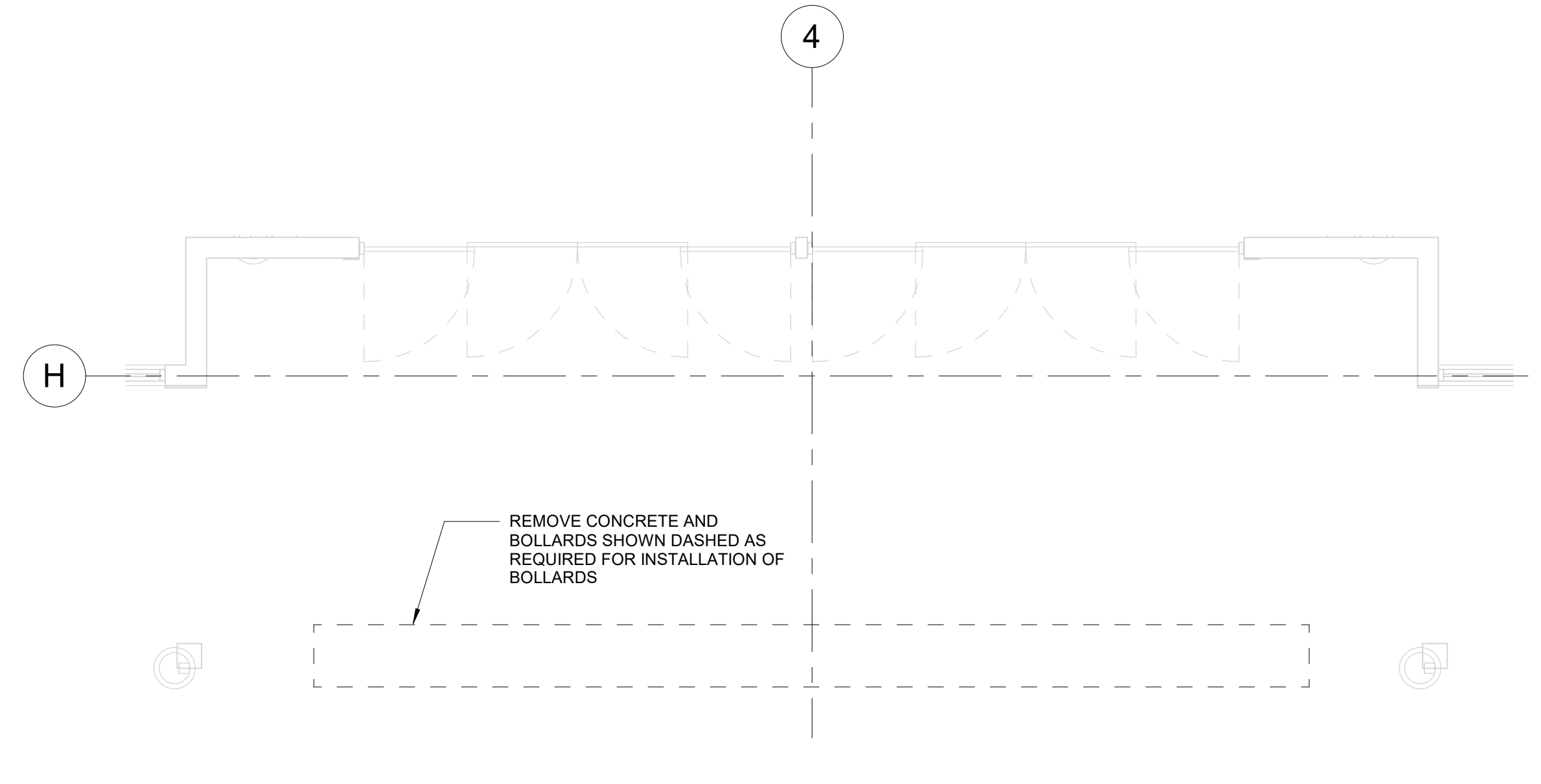
**5** CONCRETE STOOP  
1/2" = 1'-0"



**6** SCREEN WALL CAP  
3" = 1'-0"



**2** ENTRY PLAN  
1/4" = 1'-0"



**1** ENTRY DEMO PLAN  
1/4" = 1'-0"

C:\Users\jason.sowell\PIA\Documents\05994\_ West\_Linn\_OR\_40\_ARCH\_V22\_1808.sowells\WYNSF.rvt

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ISSUE BLOCK	
2	11/28/23 PR #2

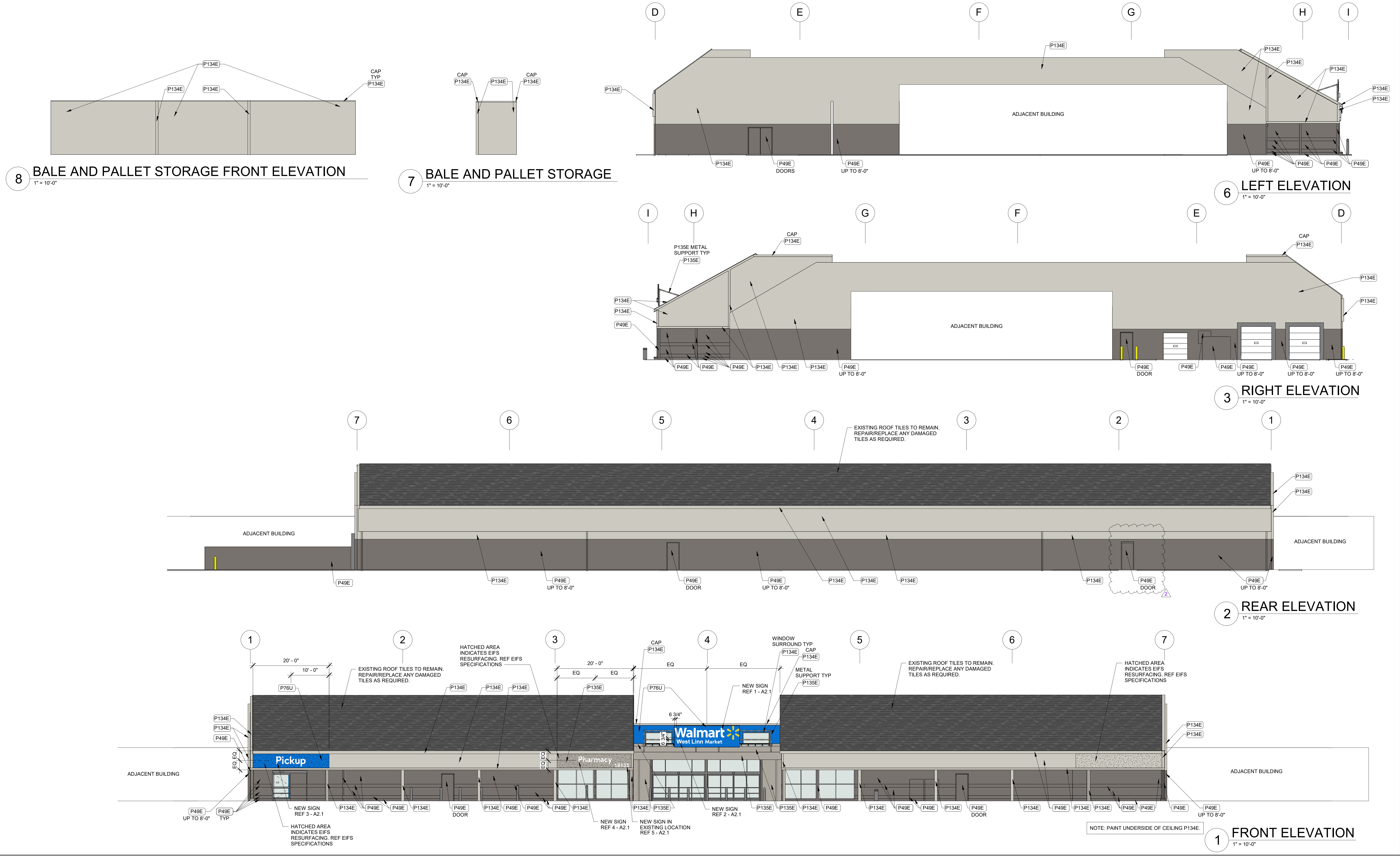
CHECKED BY:	TB
DRAWN BY:	JM
PROTO:	40
PROTO CYCLE:	03/31/2023
DOCUMENT DATE:	07/10/23



DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION.

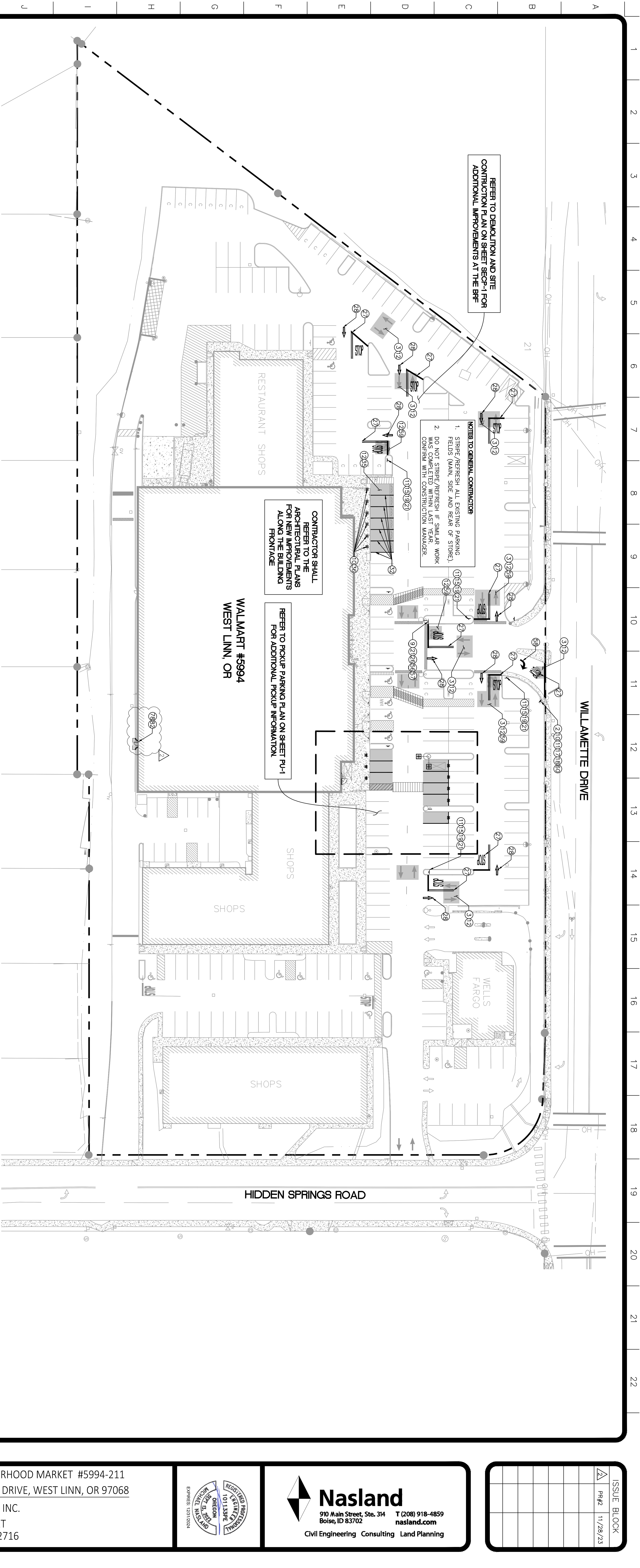
EXTERIOR ELEVATIONS

DEMOLITION NOTES		COLOR LEGEND		SHEET NOTES	
1.	NOT USED.	P#	COLOR NAME	1.	DOOR HOODS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO
2.	REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.	P5E	SAFETY YELLOW OSHA STANDARD	2.	IF THERE ARE TWO COLORS AT WALL ADJACENT TO DOOR AND FRAME, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME
<p>CONTRACTOR: REFER TO SHEET A2.2 FOR WALL PREPARATION REQUIREMENTS BEFORE PAINTING.</p>		P21E	SAFETY RED	3.	PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL
		P33E	CREAM	4.	REMOVE PAINT OVERSPRAY FROM LENSES
		P36E	BLACK	5.	DO NOT PAINT WINDOW FRAMES OR STOREFRONT DOOR FRAMES
		P49E	DARK GRAY	6.	PAINT ANY ROOFTOP GAS PIPING (P3E)
		P76U	WALMART BLUE (URETHANE-LIKE)	7.	WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDING
		P134E	LIGHT GRAY	8.	DO NOT PAINT METER OR VALVES
		P135E	MEDIUM GRAY	9.	NOT USED.
		P162E	BLACK GRAY	10.	NOT USED.
				11.	DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL



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REFER TO DEMOLITION AND SITE CONSTRUCTION PLAN ON SHEET SSS-1 FOR ADDITIONAL IMPROVEMENTS AT THE BFF.

NOTES TO GENERAL CONTRACTOR  
 1. STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDE AND REAR OF STORE).  
 2. DO NOT STRIPE/REFRESH IF SIMILAR WORK CONTROL WITH CONSTRUCTION MANAGER.

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR NEW IMPROVEMENTS ALONG THE BUILDING FRONTAGE

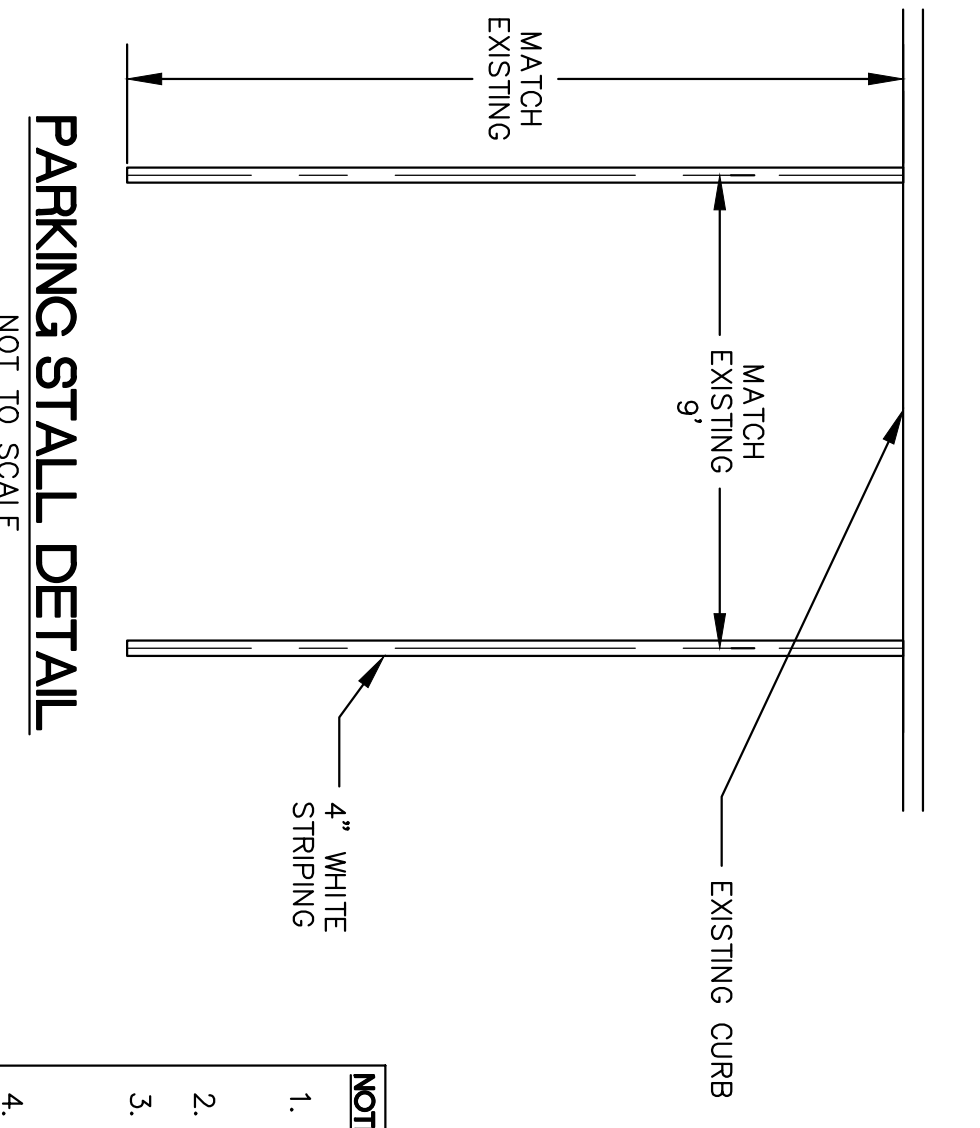
REFER TO PICKUP PARKING PLAN ON SHEET PU-1 FOR ADDITIONAL PICKUP INFORMATION

**SITE CONSTRUCTION NOTES**

- 1) EXISTING STOP SIGN TO BE REMOVED.
- 2) EXISTING ARROW PAVERS TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 3) EXISTING SIGN POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
- 4) EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS. IF SIGN POST IS LOCATED IN CONCRETE SIDEWALK, CONTRACTOR TO REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE EXISTING SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
- 5) EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
- 6) LIMITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS ON SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
- 7) INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
- 8) INSTALL DOUBLE POST WITH BREAK AWAY POSTS SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
- 9) REMOVE AND/OR TRIM EXISTING LANDSCAPING LIMITED TO THE AREA OF NEW SIGN POST. NO TREES SHALL BE REMOVED. EXISTING IRRIGATION TO BE PROTECTED IN PLACE. IF DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW IRRIGATION TO MATCH EXISTING CONDITIONS.
- 10) INSTALL "CROSS TRAFFIC" PLAQUE PER DETAILS ON SECP/SSM DETAILS SHEET.
- 11) IF PROPOSED SIGN(S) CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
- 12) PAINT STOP PAVEMENT MARKING WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET. DOUBLE YELLOW CENTERLINES ONLY FOR TWO-WAY DRIVE ALLEYS AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
- 13) PAINT OPEN ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 14) PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.
- 15) EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 16) REMOVE EXISTING "TRUCKUP" SIGNAGE.
- 17) EXISTING STOP SIGN TO BE REMOVED AND SALVAGED.
- 18) REINSTALL SALVAGED STOP SIGN.
- 19) PAINT SOLID ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- 20) EXISTING STOP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- 21) INSTALL "X" STOP SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
- 22) PROPOSED DOOR, REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- 23) REMOVE AND REFACE EXISTING CURB AND PAVEMENT FOR INSTALLATION OF PROPOSED DOOR. REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.

**GENERAL CONSTRUCTION NOTES**

- THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENVIRONMENT.
1. NASSLAND ENGINEERING WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. THE CONTRACTOR SHALL VERIFY ALL REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. ALL PROPOSED CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY NASSLAND ENGINEERING.
  2. CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING ALL UTILITIES AND ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ENGINEER HARBORLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SALE, NEGOTIATION OF THE OWNER OR ENGINEER.
  3. WORK PERFORMED WITHOUT THE BENEFIT OF TESTING AND/OR INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ENGINEER HARBORLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SALE, NEGOTIATION OF THE OWNER OR ENGINEER.
  4. THE CONTRACTOR SHALL REMOVE AND REFACE TO THE SURFACE IMPROVEMENTS WITH IMPROVEMENTS EQUAL OR SUPERIOR.
  5. THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE FIELD VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL ATTENTION IS CALLED TO THE POSSIBLE EXISTENCE OF OTHER UTILITY FACILITIES OR STRUCTURES NOT KNOWN OR IN A LOCATION DIFFERENT FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ANY OTHER EXISTING FACILITIES OR STRUCTURES THAT MAY NOT BE SHOWN.
  6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE SURROUNDING AREA OF CONSTRUCTION TO BE PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINDING THE ACTUAL LOCATIONS ARE IN CONFLICT WITH THE PROPOSED WORK.



- NOTES TO CONTRACTOR**
1. DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
  2. ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
  3. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO BEGINNING ANY WORK. THIS PHASING PLAN SHALL SHOW THE SEQUENCE OF WORK, THE DURATION OF LINE CLOSURES, EMERGENCY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  4. CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONTROL THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
  5. THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
  6. ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
  7. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
  8. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFF (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT DETAIL PROVIDED. REMOVE SIGNAGE FROM BFF. COMPLETE THE EXISTING STRIPING AND PAVEMENT MARKINGS TO MATCH EXISTING CONDITIONS. CONTRACTOR SHALL REFACE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  9. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFF SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SCALE: 1" = 30'

**NOTE TO CONTRACTOR**  
 CONTRACTOR SHALL ENSURE THAT ALL REMOVED STRIPING FOLLOWS PROPER METHODS FOR STRIPING STRIPING FOLLOWS PROPER METHODS FOR STRIPING STRIPING FOLLOWS PROPER METHODS FOR STRIPING PAVEMENT MARKING SPECIFICATIONS ON SHEET CSS-1.

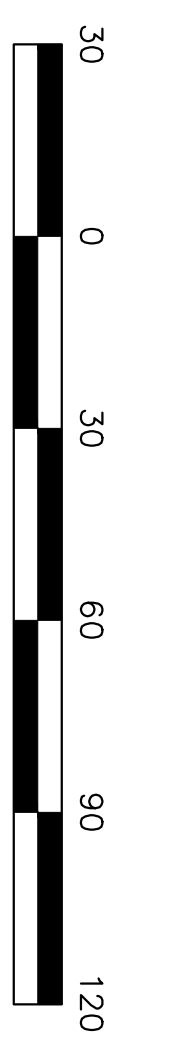
**NOTE TO CONTRACTOR**  
 CONTRACTOR SHALL FIELD MEASURE EXISTING STRIPING LINE BE REMOVED AND REFACE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT TO CONCRETE UNLESS OTHERWISE CALLED ON THE PLANS).

**NOTE TO CONTRACTOR**  
 CONTRACTOR SHALL APPLY SEAL COAT AT ALL LOCATIONS WHERE STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. DO NOT APPLY SEAL COAT TO CONCRETE.

**RIGHT OF WAY/LOT LINE NOTE**  
 RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO FIELD VERIFICATION WAS PERFORMED FOR THIS PROJECT. NO WAS PERFORMED FOR THIS PROJECT.

DOCUMENTS THAT DO NOT HAVE AN ENGINEER'S SEAL AND SIGNATURE SHALL BE VOID FOR CONSTRUCTION.

**STOP SIGNS AND MARKINGS PLAN**



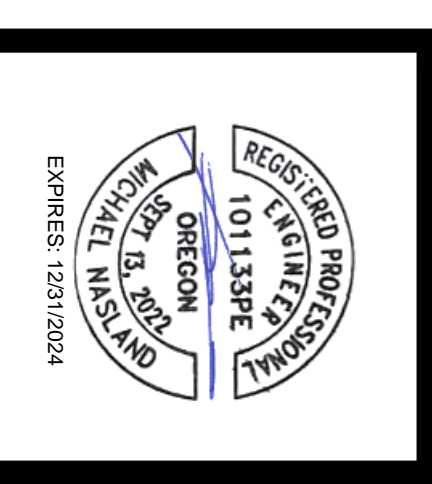
**PLAN DATE IDENTIFIER**

DATE	BY
11/28/2023	BR
11/28/2023	SSM

**SSM-1**

SCALE	AS SHOWN ON PLAN
DATE	11/28/2023
JOB NO.	323255.1
SHEET	

WALMART NEIGHBORHOOD MARKET #5994-211  
 19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



910 Main Street, Ste. 314  
 Boise, ID 83702  
 T (208) 918-4859  
 nasland.com  
 Civil Engineering Consulting Land Planning

**ISSUE BLOCK**

Rev#	11/28/23
Issue	

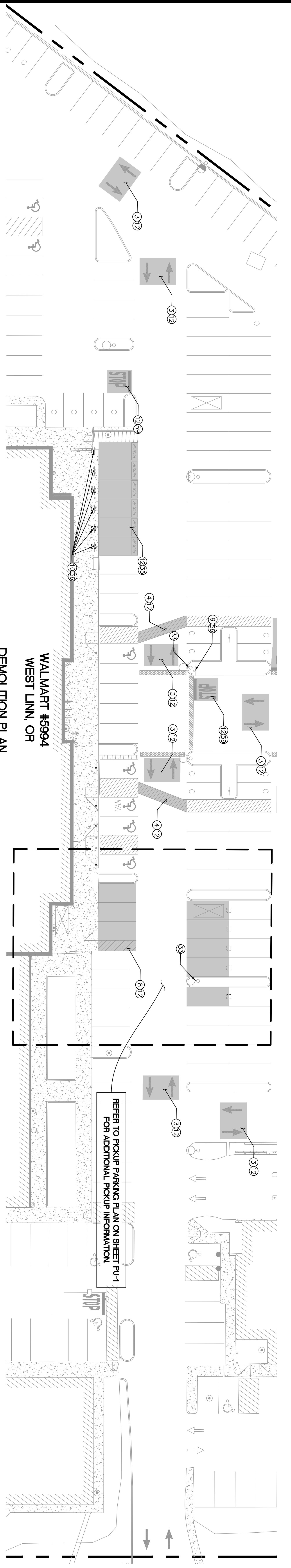


WALMART NEIGHBORHOOD MARKET #5994-211  
19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
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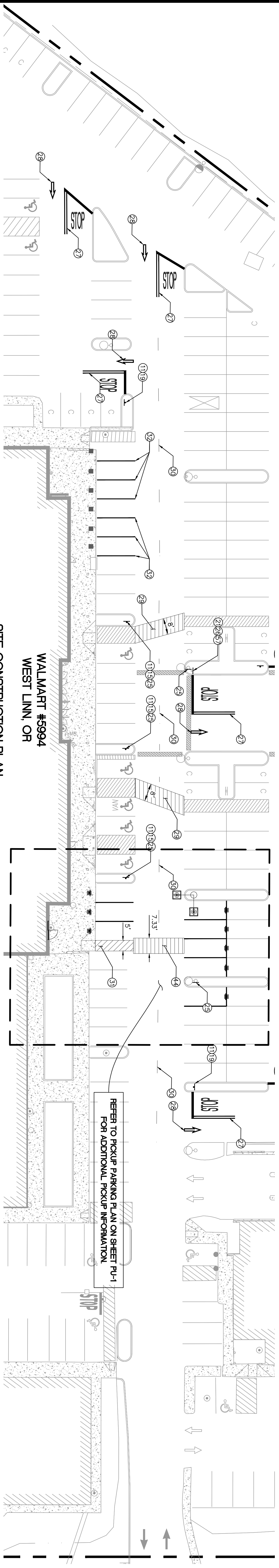


DRAWN	RB
CHECKED	
DATE	
SCALE	AS SHOWN ON PLAN
VANES	
JOB NO.	332355.1
SHEET	

REGULATORS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED UNAUTHORIZED FOR CONSTRUCTION



**WALMART #5994  
WEST LINN, OR**  
DEMOLITION PLAN  
SCALE: 1" = 20'



**WALMART #5994  
WEST LINN, OR**  
SITE CONSTRUCTION PLAN  
SCALE: 1" = 20'

**SITE CONSTRUCTION NOTES**

- EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- EXISTING CROSSWALK STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- EXISTING PARKING STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE SIGN POST. CONTRACTOR SHALL REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
- EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION AS PROPOSED.
- LIMITS OF SEAL COAT: APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
- INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
- INSTALL 30"x30" STOP SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
- INSTALL "CROSS TRAFFIC" PLAQUE PER DETAILS ON SECP/SSM DETAILS SHEET.
- INSTALL NEW "STOP FOR PEDESTRIANS" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
- IF PROPOSED SIGNS CANNOT BE INSTALLED AT A HEIGHT OF 7' FROM BOTTOM OF SIGN TO FINISHED SURFACE, CONTRACTOR SHALL EXTEND THE EXISTING POST PER DETAIL ON SECP/SSM DETAILS SHEET.
- PAINT STOP PAVEMENT MARKING WITH STOP BAR PER DETAILS ON SECP/SSM DETAILS SHEET.
- PAINT OPEN ARROW PAVEMENT MARKING WITH STOP BAR AS ILLUSTRATED ON SECP/SSM DETAILS SHEET.
- PAINT OPEN ARROW PAVEMENT MARKING PER DETAILS ON SECP/SSM DETAILS SHEET.
- PAINT CROSSWALK MARKINGS — 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1) 8" WHITE STRIPING PERPENDICULAR ON BOTH ENDS (UNLESS NOTED OTHERWISE). SEE SITE PLAN FOR DIMENSIONS AND DETAIL ON SECP/SSM DETAILS SHEET FOR ADDITIONAL INFORMATION.
- PAINT 4" TRAFFIC YELLOW CENTERLINE STRIPES 6" LONG WITH 18" GAPS.
- PAINT 4" TRAFFIC WHITE STRIPING 2'-0" O.C. (TYP.) AT 45° OR COLOR AS SPECIFIED BY LOCAL CODES.
- PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SS-1.
- EXISTING LIGHT POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
- REMOVE EXISTING "PICKUP" SIGNAGE.
- PAINT 7"-4" PICKUP CROSSWALK MARKING PER DETAIL ON SECP/SSM DETAILS SHEET.
- EXISTING STOP SIGN TO BE REMOVED AND SALVAGED.
- REINSTALL SALVAGED STOP SIGN.
- EXISTING STOP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.

REFER TO PICKUP PARKING PLAN ON SHEET PU-1 FOR ADDITIONAL PICKUP INFORMATION.

REFER TO PICKUP PARKING PLAN ON SHEET PU-1 FOR ADDITIONAL PICKUP INFORMATION.

**NOTES TO CONTRACTOR**

- DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
- ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO BEGINNING ANY CONSTRUCTION. THIS PHASING PLAN SHOULD PROVIDE FOR TRAFFIC, TRUCKS, AND PEDESTRIAN TRAFFIC CONTROL.
- CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONTAIN THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
- THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
- ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT ALL EXISTING MARKINGS SEE SIGNAGE REMOVAL DETAIL FOR COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

**NOTE TO CONTRACTOR**

CONTRACTOR SHALL ENSURE THAT ALL REMOVED STRIPING FOLLOWS PROPER METHODS FOR STRIPING PAVEMENT MARKING SPECIFICATIONS ON SHEET CSS-1.

**NOTE TO CONTRACTOR**

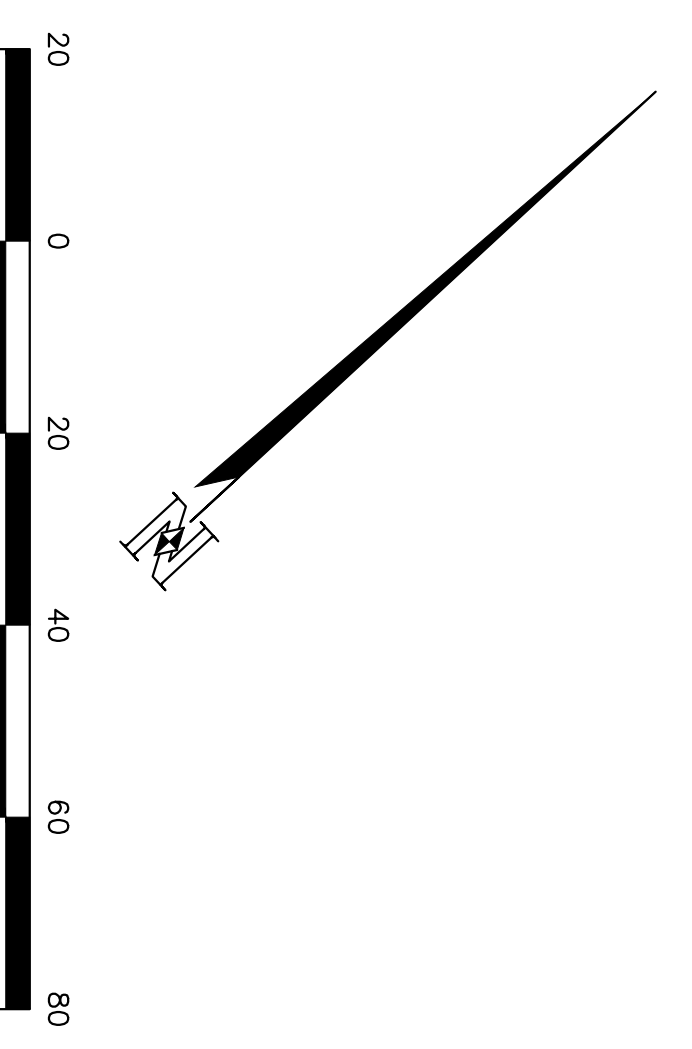
CONTRACTOR SHALL FIELD MEASURE EXISTING STRIPING LIMITS TO DETERMINE EXACT PICKUP SIDING, BE NOT LIMITED TO THE END OF PARKING SIDING, ETC. UNLESS OTHERWISE CALLED ON THE PLANS.

**NOTE TO CONTRACTOR**

CONTRACTOR SHALL APPLY SEAL COAT AT ALL EXISTING AND NEW STRIPING LOCATIONS AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. DO NOT APPLY SEAL COAT TO CONCRETE.

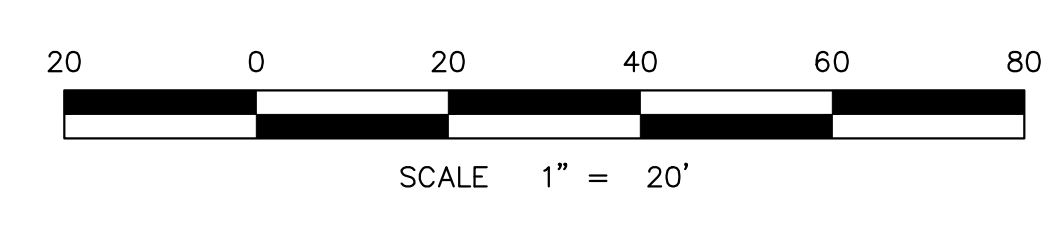
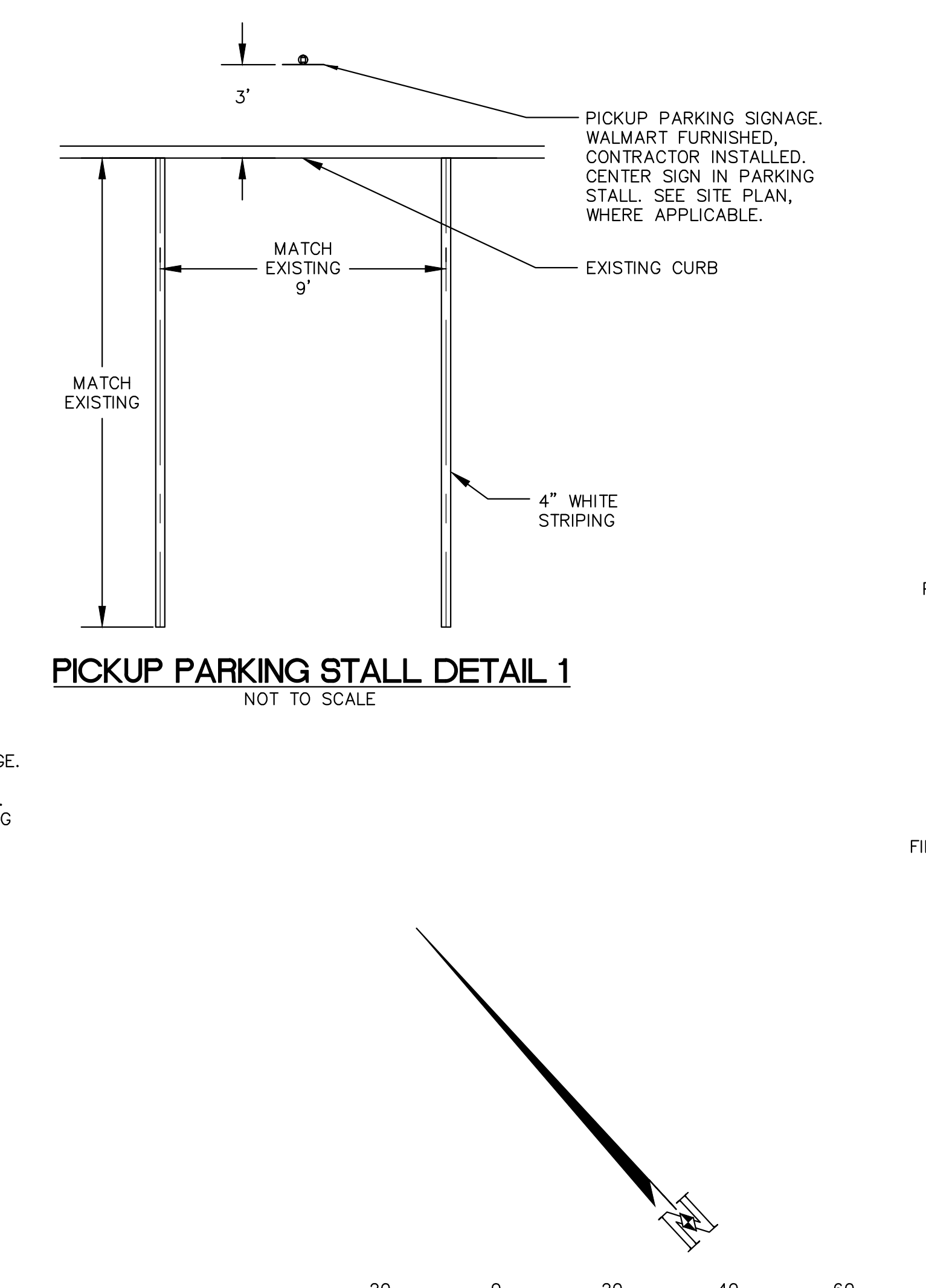
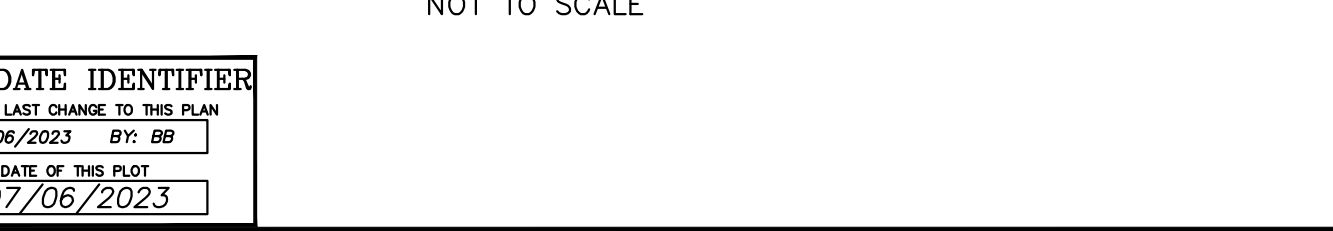
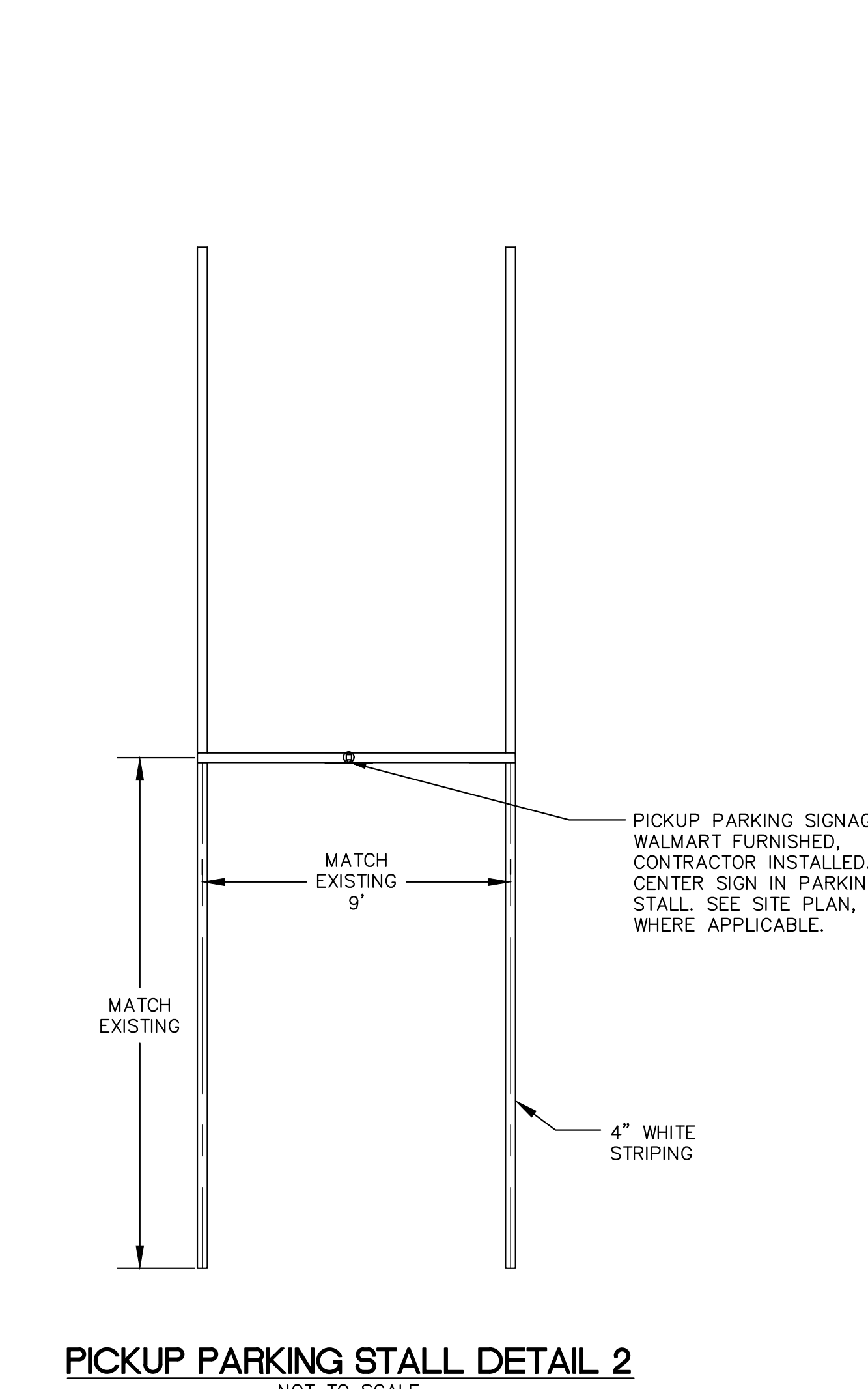
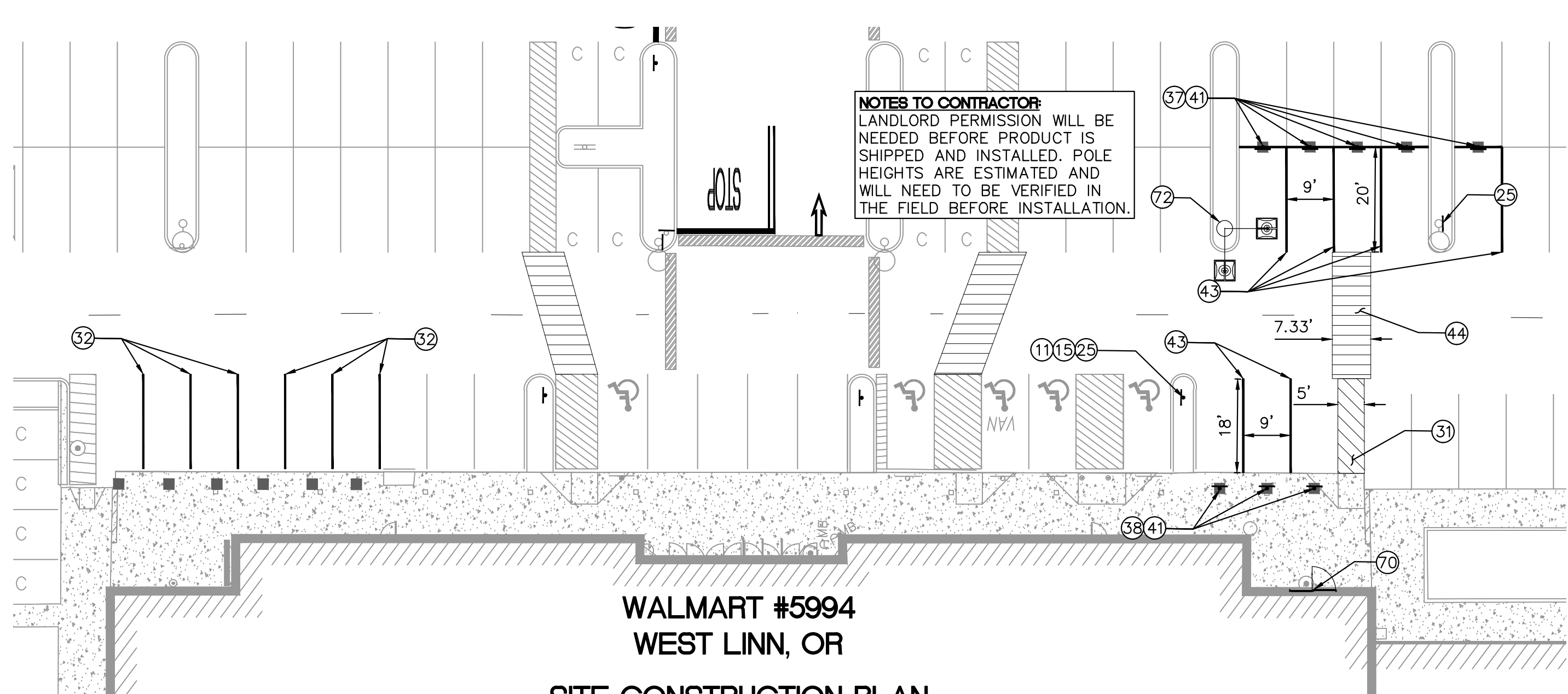
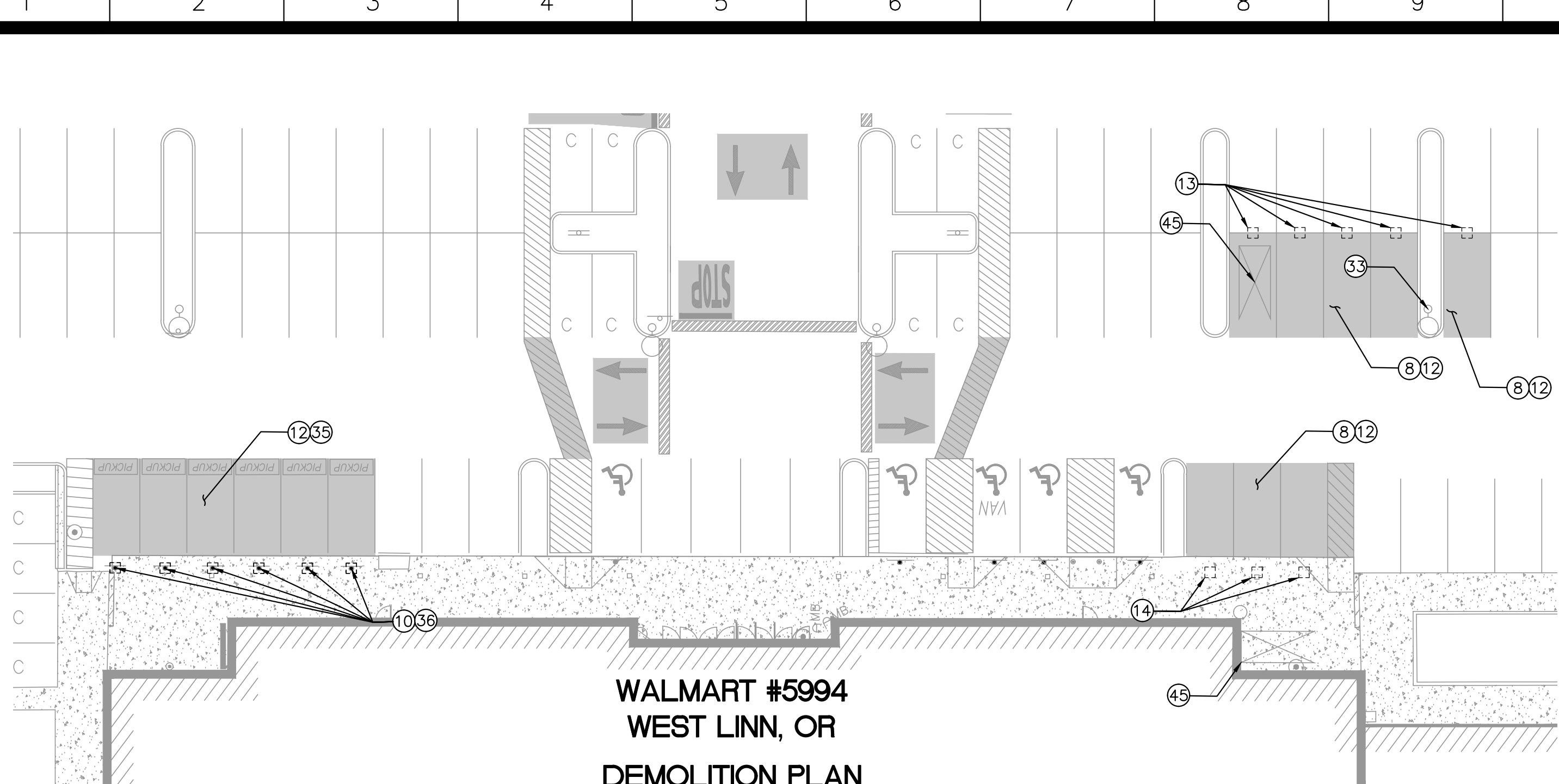
**RIGHT OF WAY/LOT LINE NOTE**

RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO FIELD VERIFICATION OF THE INFORMATION WAS PERFORMED FOR THIS PROJECT.



**DEMOLITION AND SITE CONSTRUCTION PLAN**

PLAN DATE IDENTIFIER  
DATE OF LAST CHANGE TO THIS PLAN  
06/26/2023 BT 08  
07/08/2023



**LEGEND**

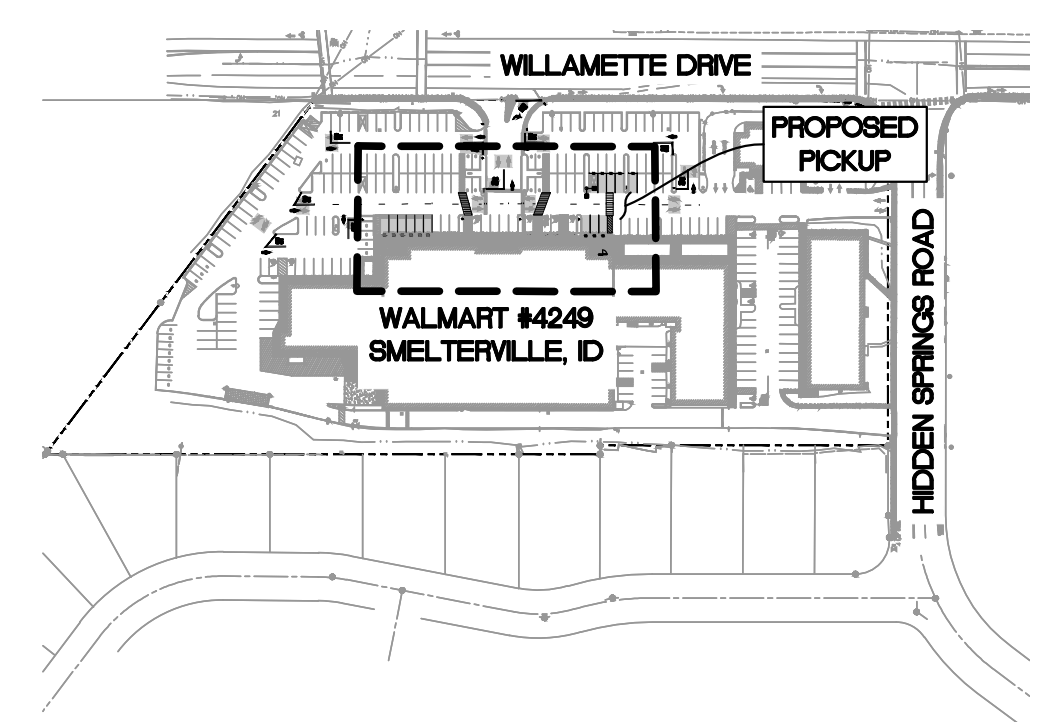
- SEALCOAT
- PROPOSED DOOR
- PAVEMENT INSTALLATION
- PROPOSED SIGN AND POST

**WALMART PARKING DATA - EXISTING**

- TOTAL BUILDING AREA: 39,795 S.F.
- TOTAL PARKING STALLS: 144 SPACES
- PARKING RATIO: 3.6/1000 S.F.

**WALMART PARKING DATA - PROPOSED**

- TOTAL BUILDING AREA: 39,795 S.F.
- TOTAL PARKING STALLS: 144 SPACES
- PARKING RATIO: 3.6/1000 S.F.



**KEY MAP**  
NOT TO SCALE

- SITE CONSTRUCTION NOTES**
- EXISTING PARKING STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
  - EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS. IF SIGN POST IS LOCATED IN CONCRETE SIDEWALK, CONTRACTOR TO REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
  - EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
  - LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
  - REMOVE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE CONCRETE BASE FOR THE PROPOSED SIGN POST.
  - REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE CONCRETE BASE FOR THE PROPOSED SIGN POST. NEW SIDEWALK, COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
  - INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
  - INSTALL NEW "STOP FOR PEDESTRIANS" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
  - PAINT 4" TRAFFIC WHITE STRIPING 2'-0" O.C. (TYP.) AT 45° OR COLOR AS SPECIFIED BY LOCAL CODES.
  - PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.
  - EXISTING LIGHT POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
  - EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
  - REMOVE EXISTING "PICKUP" SIGNAGE.
  - INSTALL PICKUP SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL ON THIS SHEET.
  - INSTALL PICKUP SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAIL ON THIS SHEET.
  - INSTALL PICKUP SIGNAGE PER DETAILS ON THIS SHEET.
  - PAINT 4" WHITE STRIPE. REFER TO PICKUP PARKING STALL DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.
  - PAINT 7'-4" PICKUP CROSSWALK MARKING PER DETAIL ON SECP/SSM DETAILS SHEET.
  - EXISTING CART TO CORRAL TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH STORE MANAGER FOR RELOCATION OF CART CORRAL.
  - PROPOSED DOOR, REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
  - INSTALL NEW LIGHT POLE, LIGHT POLE BASE, FIXTURE HEAD AND ELECTRICAL CONNECTIONS PER ELECTRICAL AND STRUCTURAL PLANS. CONTRACTOR SHALL PAINT THE LIGHT POLE BASE CONCRETE PER DETAIL ON SECP/SSM DETAILS SHEET.

**WALMART PARKING DATA - EXISTING**

- TOTAL BUILDING AREA: 39,795 S.F.
- TOTAL PARKING STALLS: 144 SPACES
- PARKING RATIO: 3.6/1000 S.F.

**WALMART PARKING DATA - PROPOSED**

- TOTAL BUILDING AREA: 39,795 S.F.
- TOTAL PARKING STALLS: 144 SPACES
- PARKING RATIO: 3.6/1000 S.F.

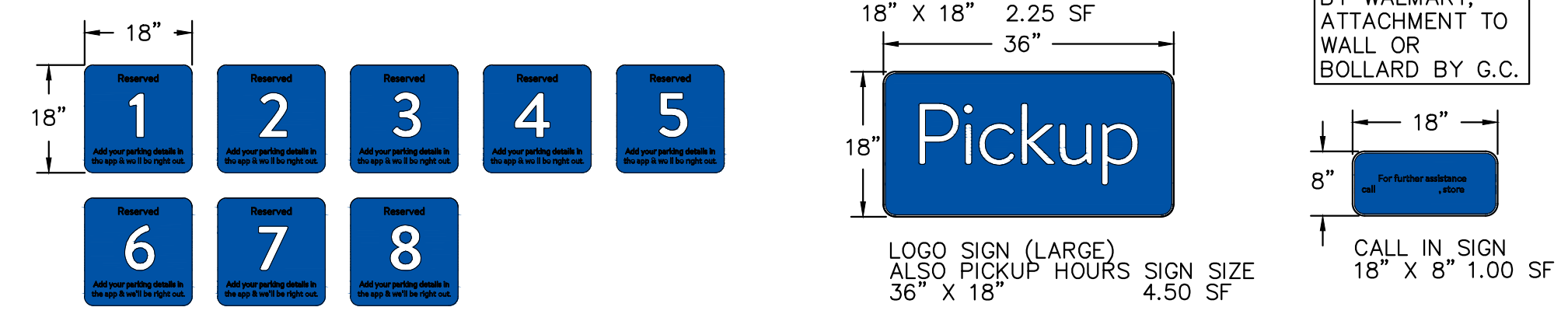
**NOTE:** EXISTING PARKING DATA TABLE (TOTAL BUILDING AREA AND PARKING STALLS) WAS BASED ON THE SIXTH AMENDMENT TO LEASE AGREEMENT BETWEEN ROBINWOOD SHOPPING CENTER, LLC AND WALMART DATED APRIL 1, 2011 AND THE RECORD SITE PLAN PREPARED BY PACLAND DATED 6/25/12. NASLAND ENGINEERING PERFORMED THEIR SITE VISIT ON 5/19/23 TO VERIFY THE PARKING COUNT.

**PICKUP EXTERIOR SIGN SCHEDULE**

DESCRIPTION	DIMENSIONS	QUANTITY	MOUNTING TYPE
STALL DESIGNATION	18" X 18"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS
CALL IN PHONE NUMBER	18" X 8"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS
VERTICAL PICKUP LOGO	36" X 18"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS

CALL IN # FOR "PHONE NUMBER" AND "TEMPORARY" SIGNS 971-284-9179

**NOTE:** ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Brad.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



**PICKUP PARKING SIGNAGE**  
N.T.S.

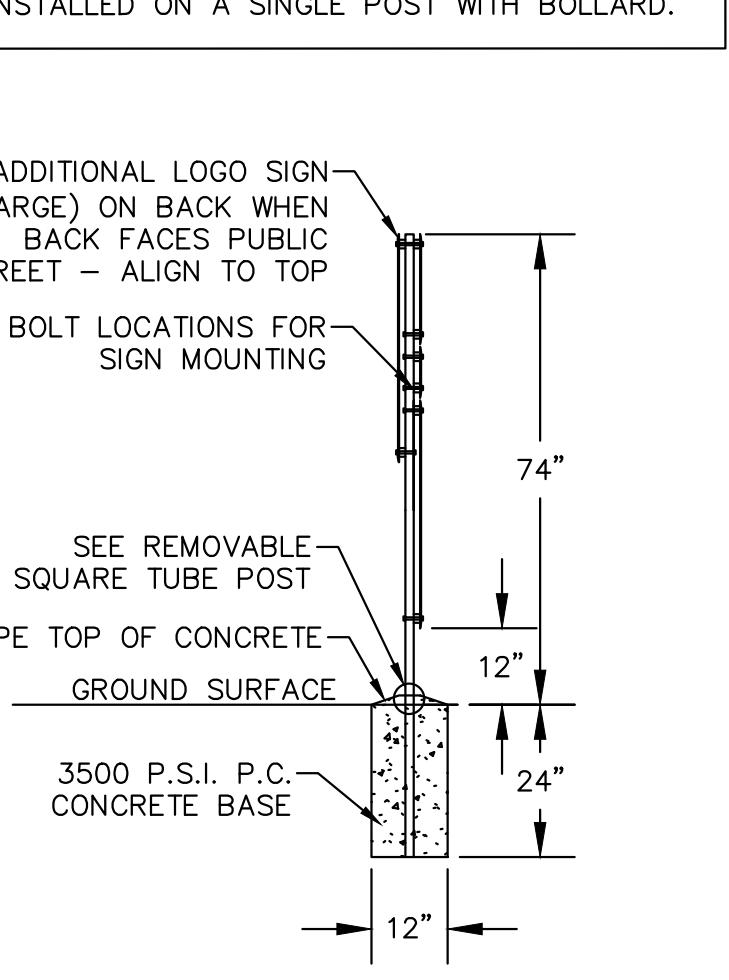
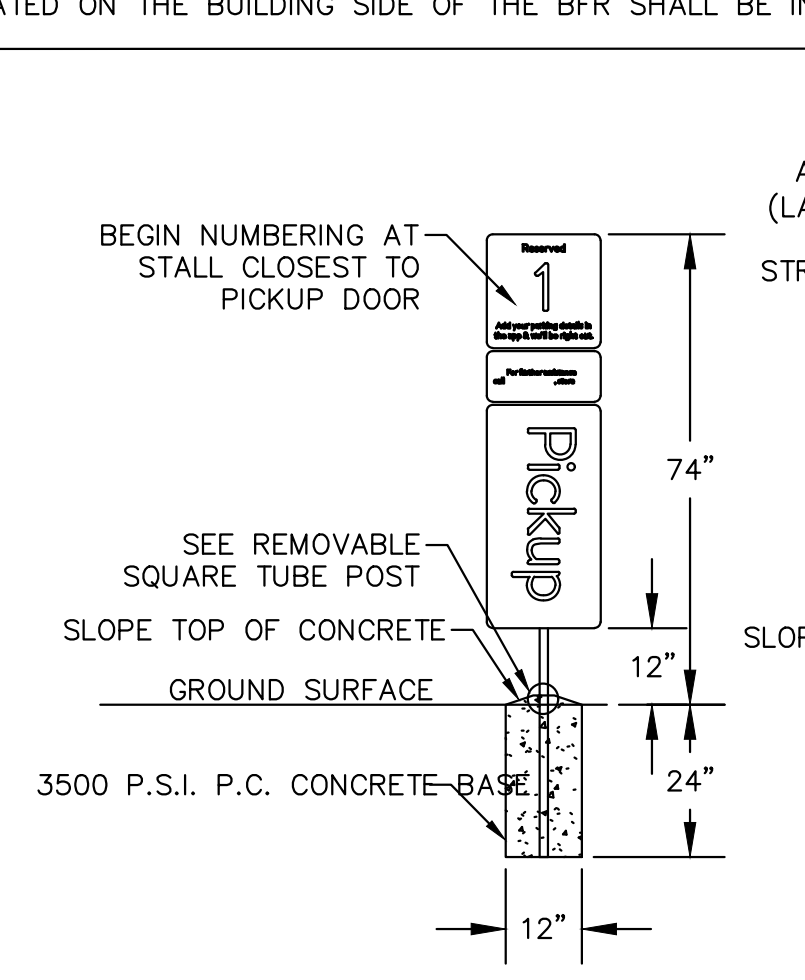
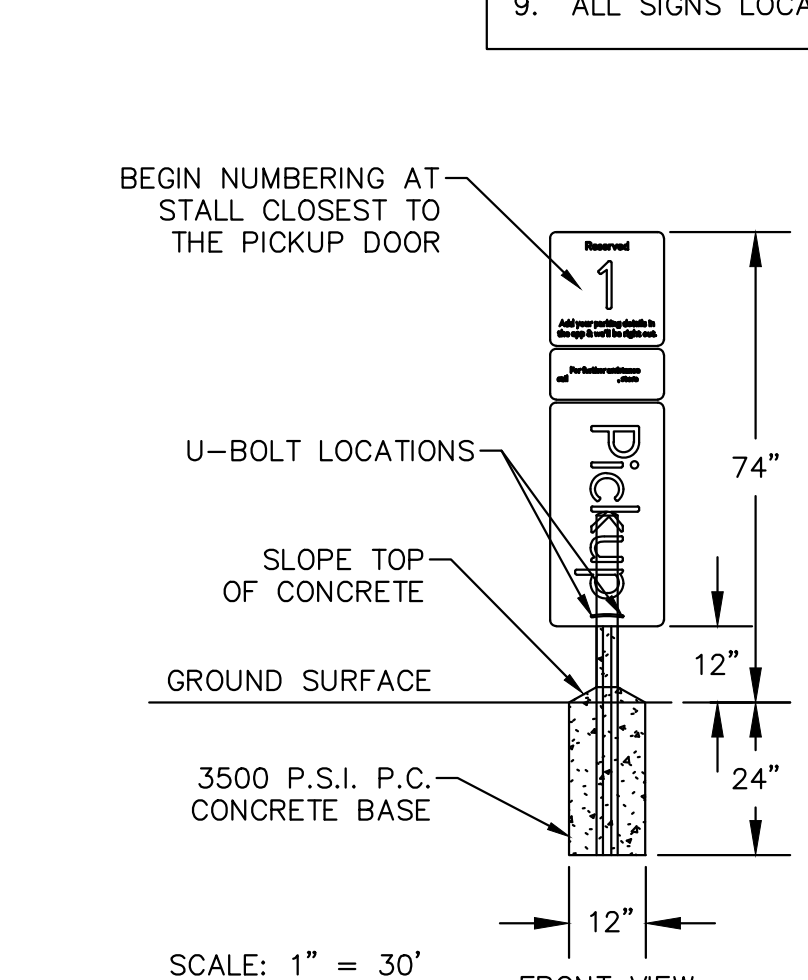
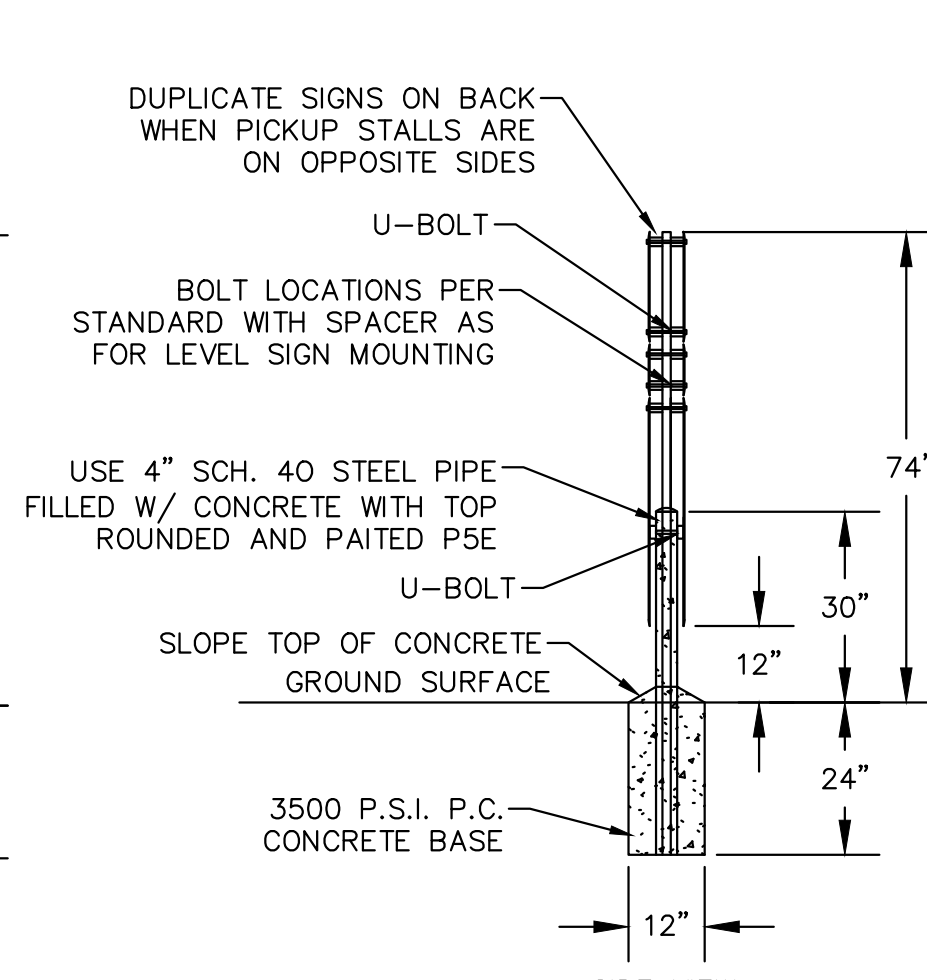
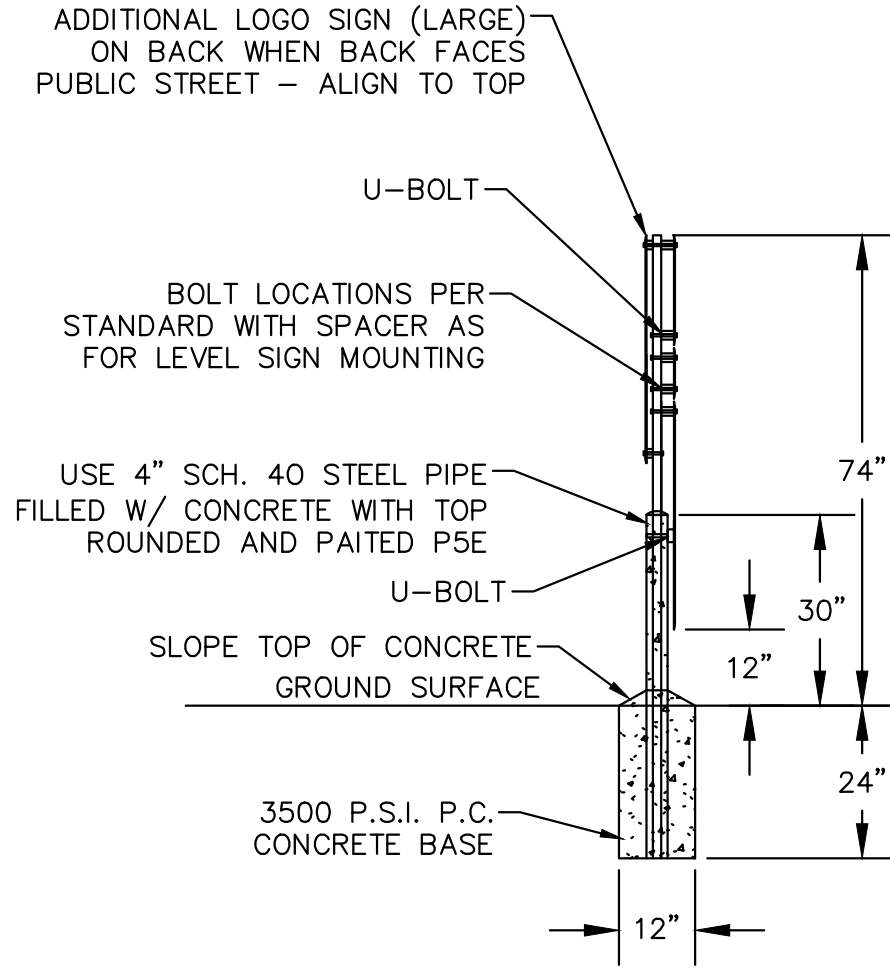
**NOTE TO CONTRACTOR:**  
CONTRACTOR SHALL ENSURE THAT ALL REMOVED STRIPING FOLLOWS PROPER METHODS FOR STRIPING REMOVAL AS DESCRIBED IN SECTION 3.3 OF THE PAVEMENT MARKING SPECIFICATIONS ON SHEET CSS-1.

**NOTE TO CONTRACTOR:**  
CONTRACTOR SHALL FIELD MEASURE EXISTING STRIPING TO BE REMOVED AND REPLACED INCLUDING, BUT NOT LIMITED TO, CENTERLINES, PARKING STRIPING, ETC. UNLESS OTHERWISE CALLED ON THE PLANS.

**NOTE TO CONTRACTOR:**  
CONTRACTOR SHALL APPLY SEAL COAT AT ALL LOCATIONS WHERE EXISTING STRIPING IS REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. **DO NOT APPLY SEAL COAT TO CONCRETE.**

**RIGHT OF WAY/LOT LINE NOTE**  
RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO BOUNDARY SURVEY OR FIELD TOPOGRAPHIC SURVEY WAS PERFORMED FOR THIS PROJECT.

- NOTES TO CONTRACTOR:**
- DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
  - ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES, AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONFIRM THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
  - THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
  - ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
  - REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



**PROPOSED PICKUP PARKING SIGN MOUNTING AND BASE**  
N.T.S.

**PICKUP PARKING PLAN**

**PLAN DATE IDENTIFIER**

DATE OF LAST CHANGE TO THIS PLAN	07/06/2023	BY	07
DATE OF THIS PLAN	07/06/2023	BY	07

**ISSUE BLOCK**

NO.	DESCRIPTION	DATE

**Nasland**  
REGISTERED PROFESSIONAL ENGINEER  
101133PE  
OREGON  
SEPT. 15, 2022  
MICHAEL NASLAND  
EXPIRES: 12/31/2024

970 Main Street, Ste. 314  
Boise, ID 83702  
T (208) 918-4859  
nasland.com  
Civil Engineering Consulting Land Planning

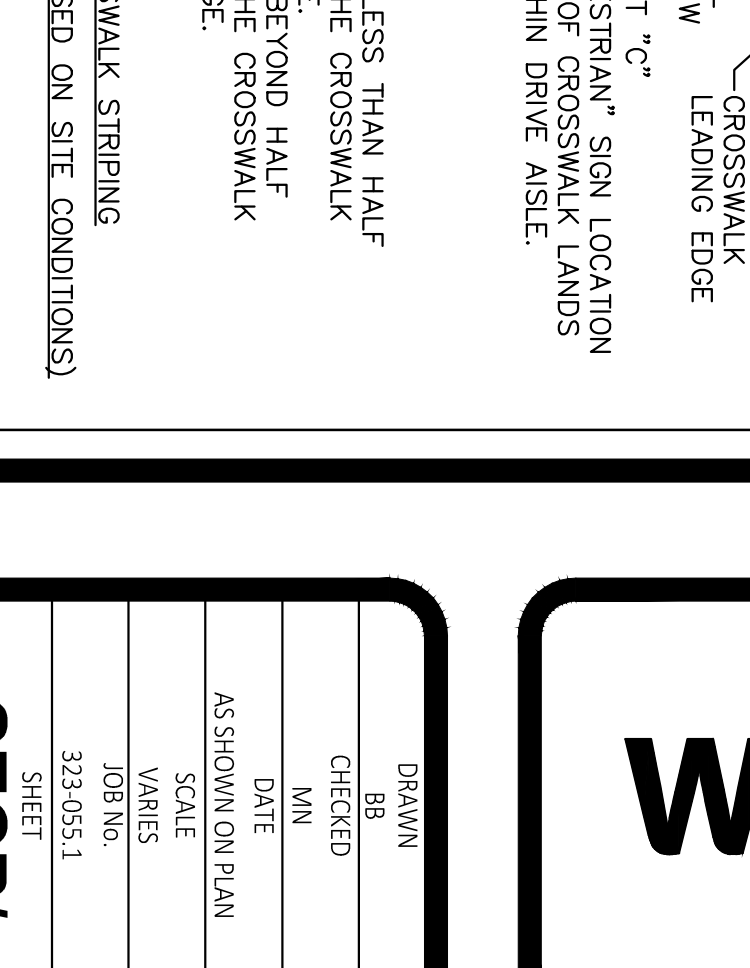
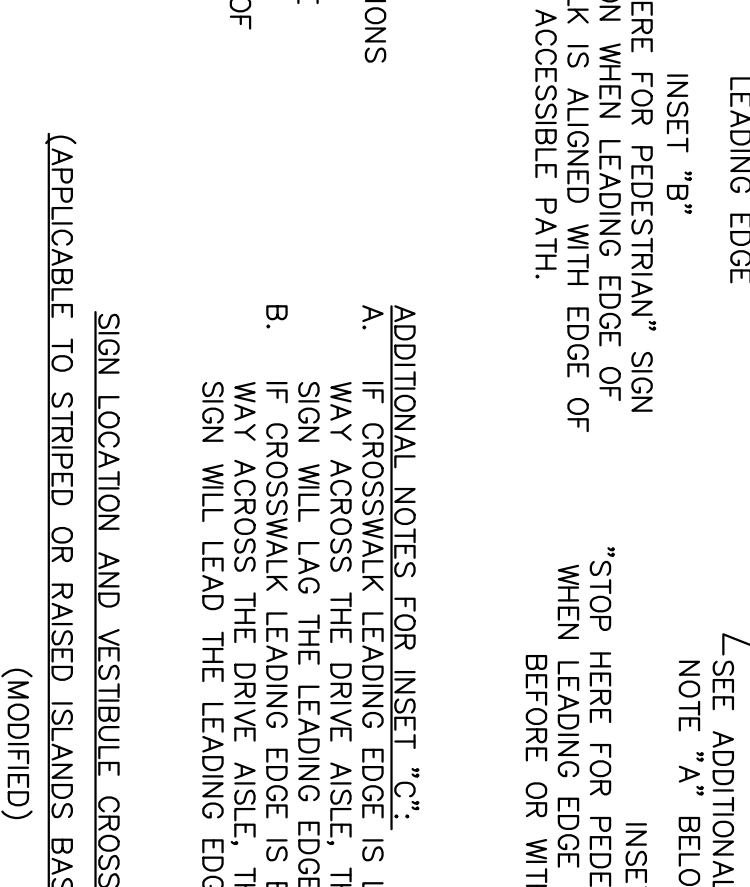
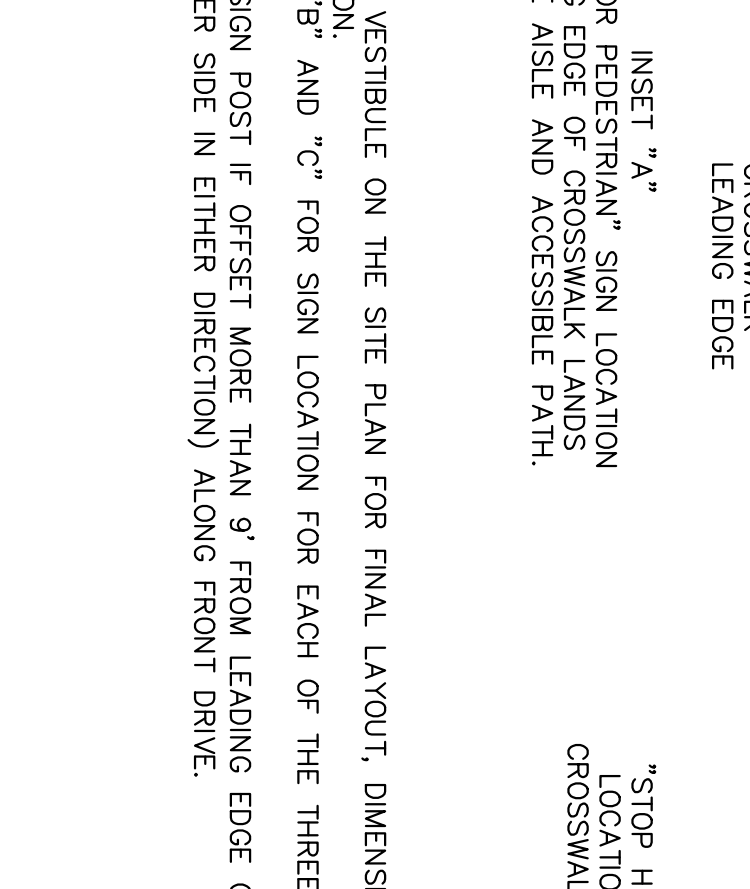
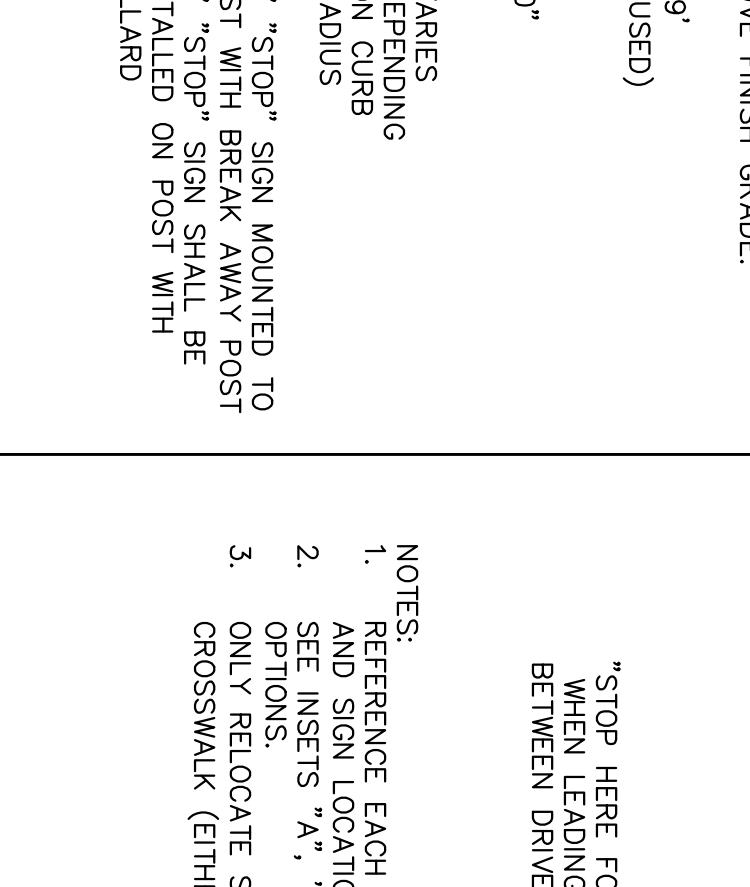
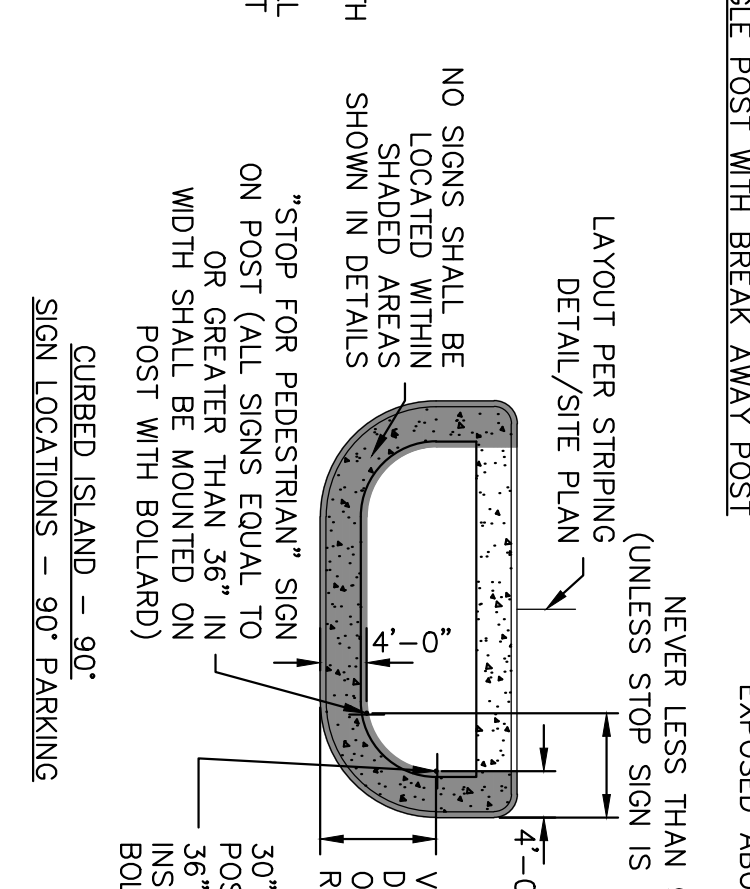
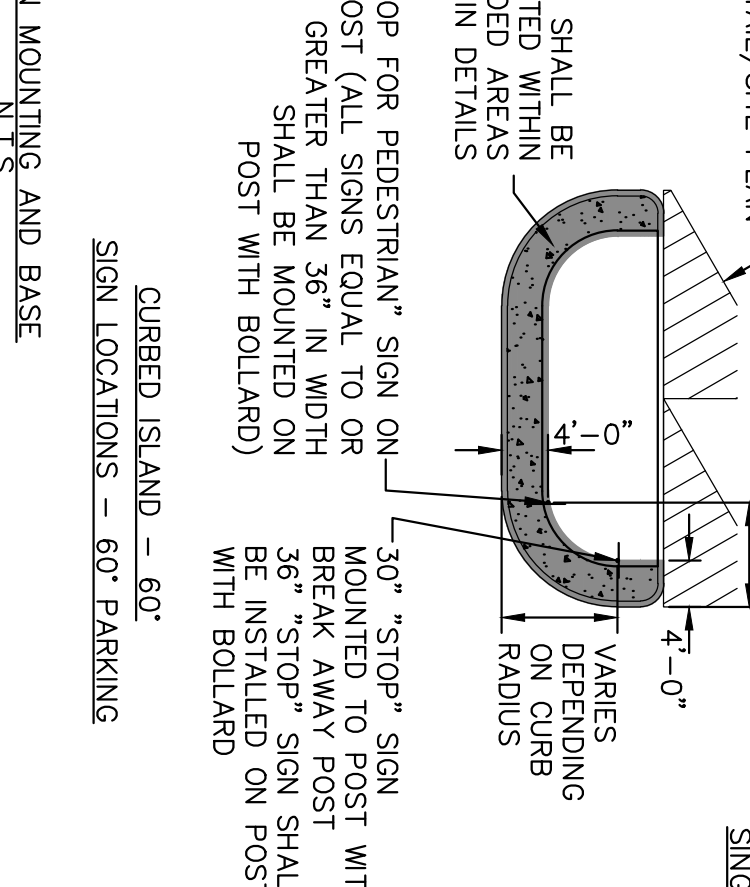
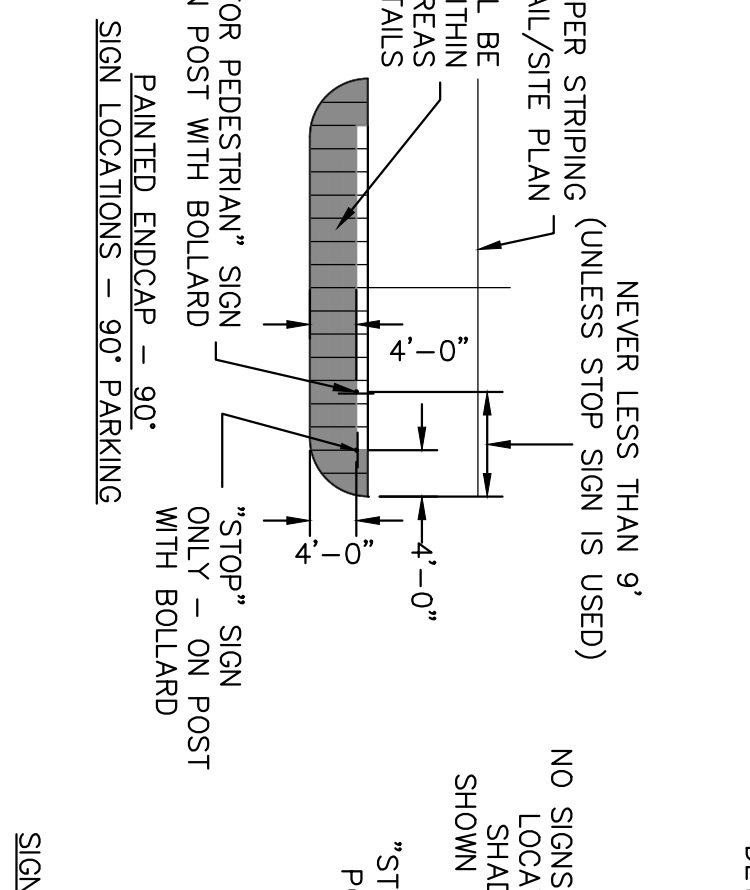
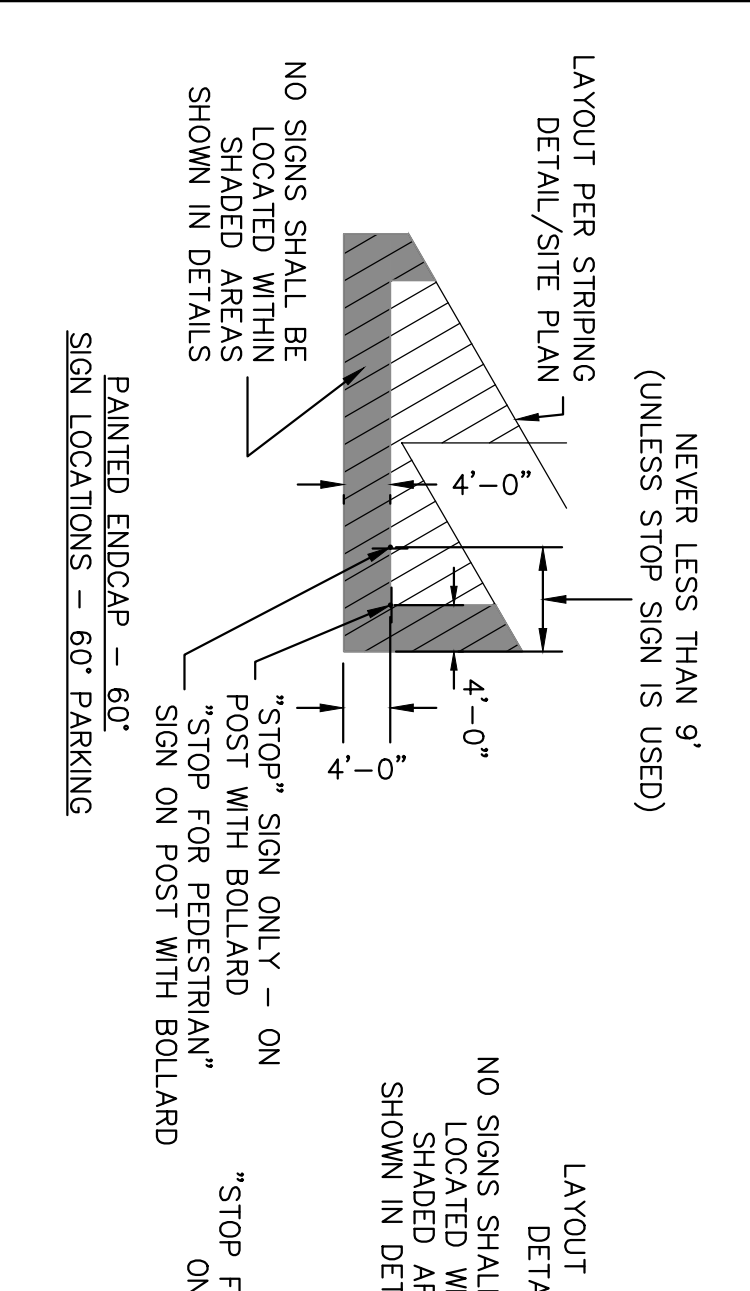
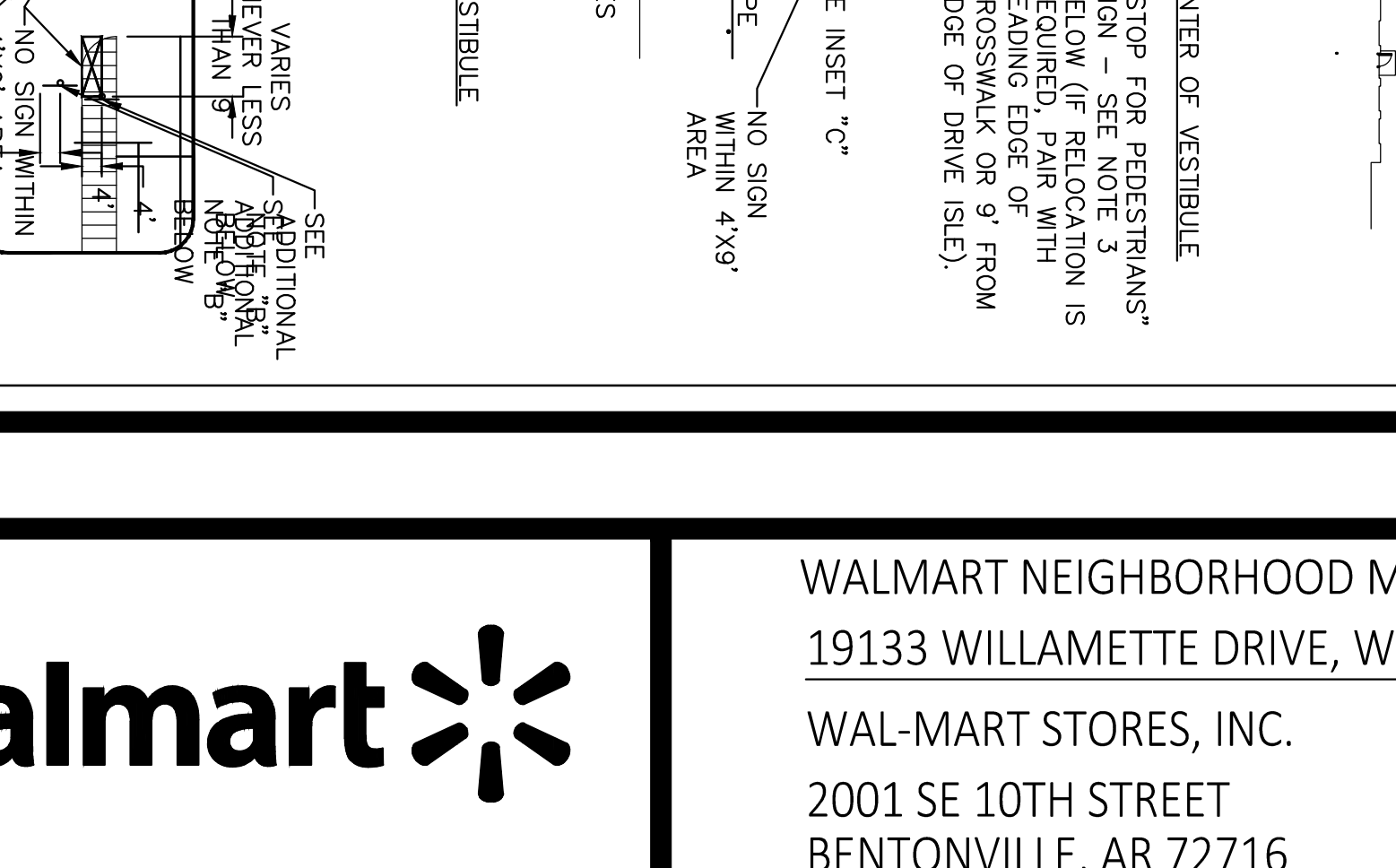
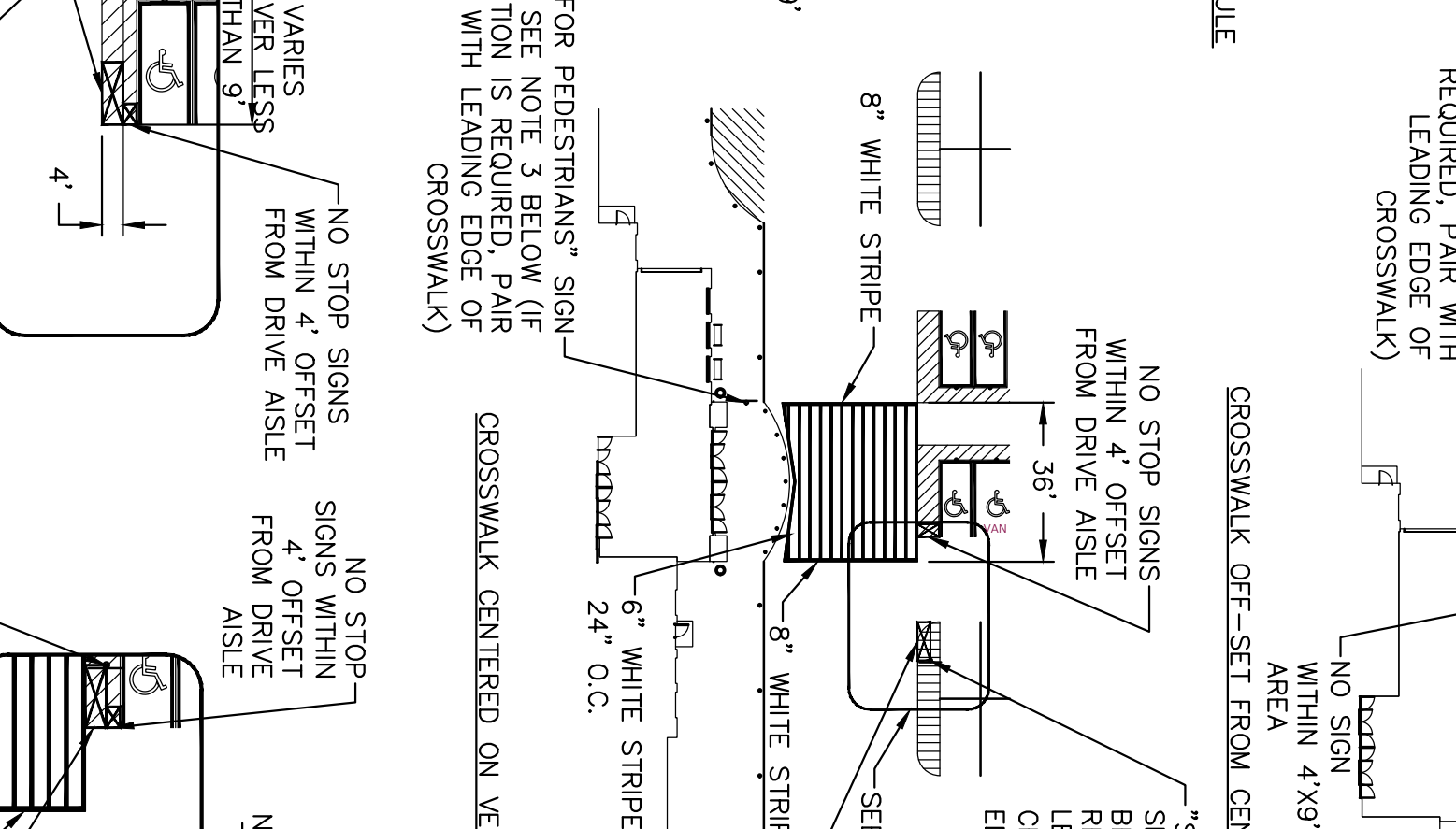
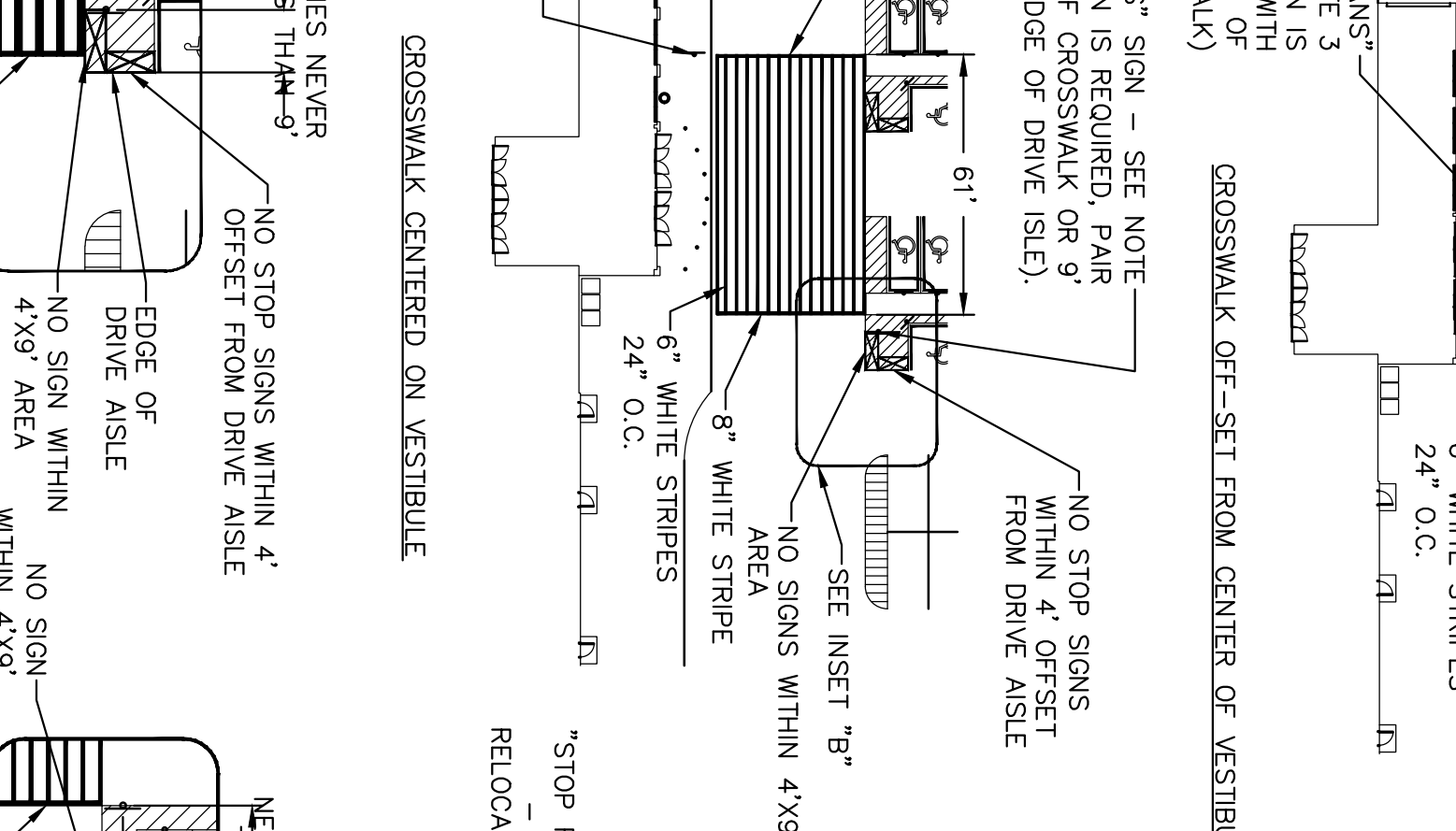
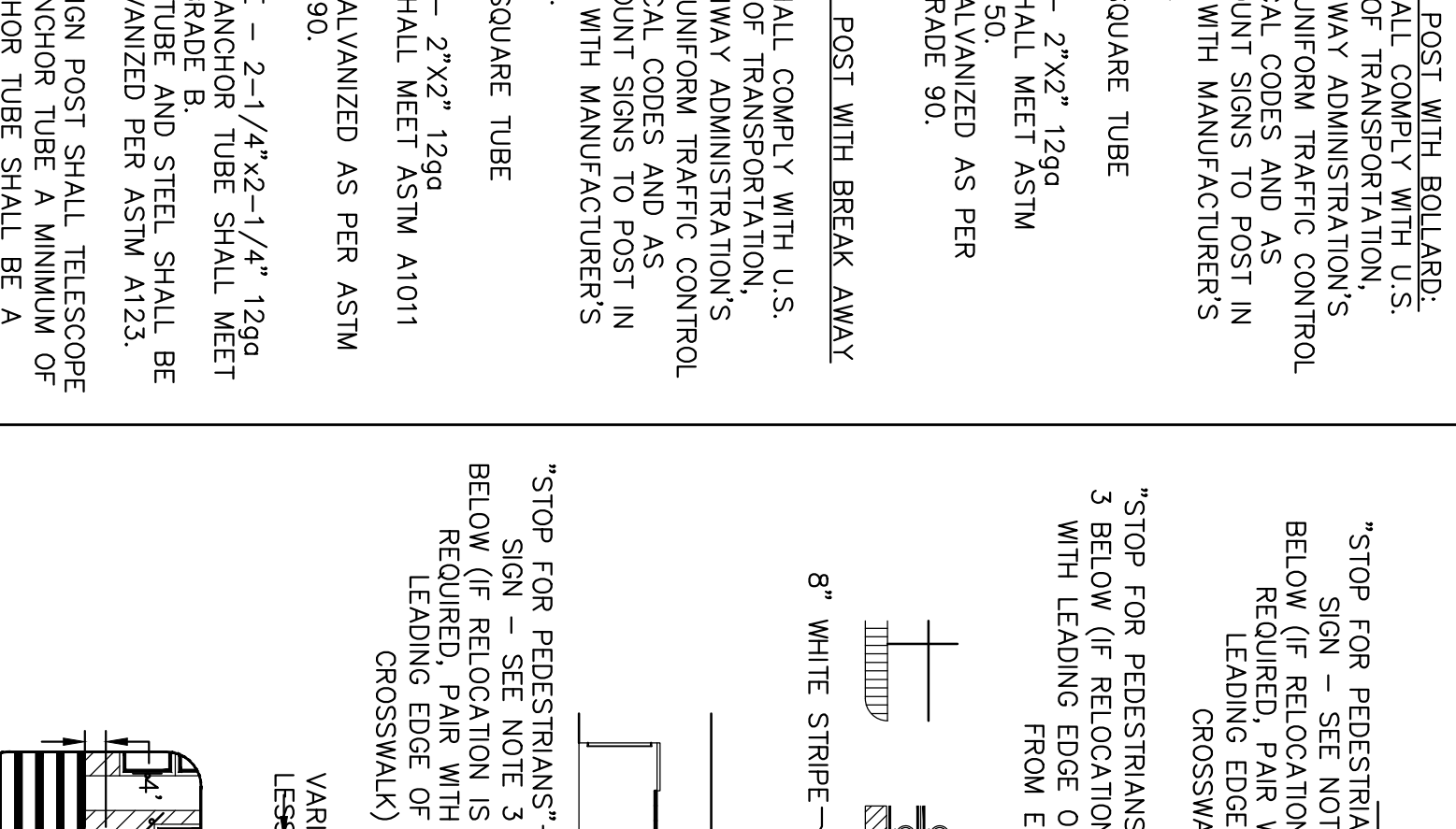
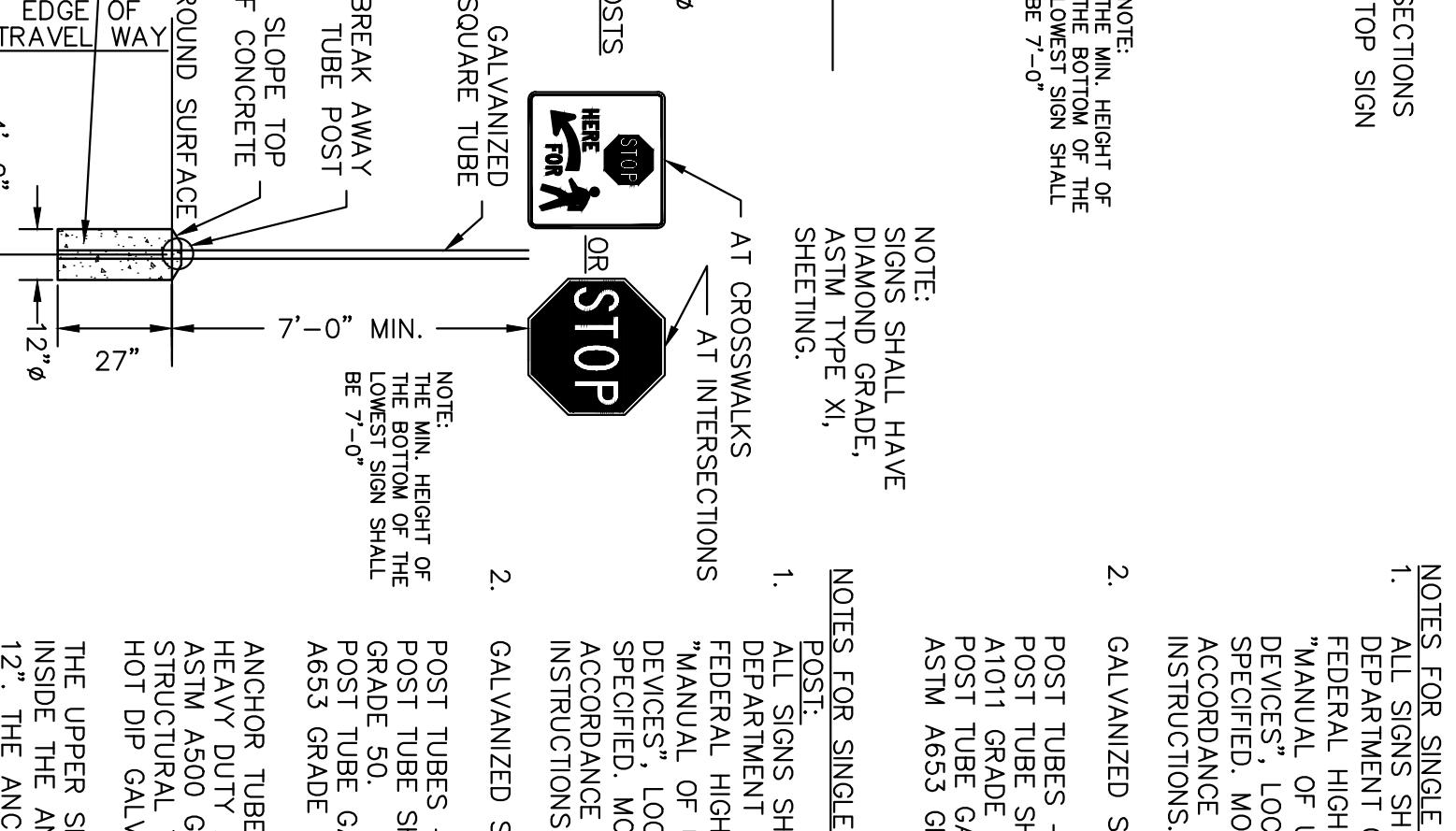
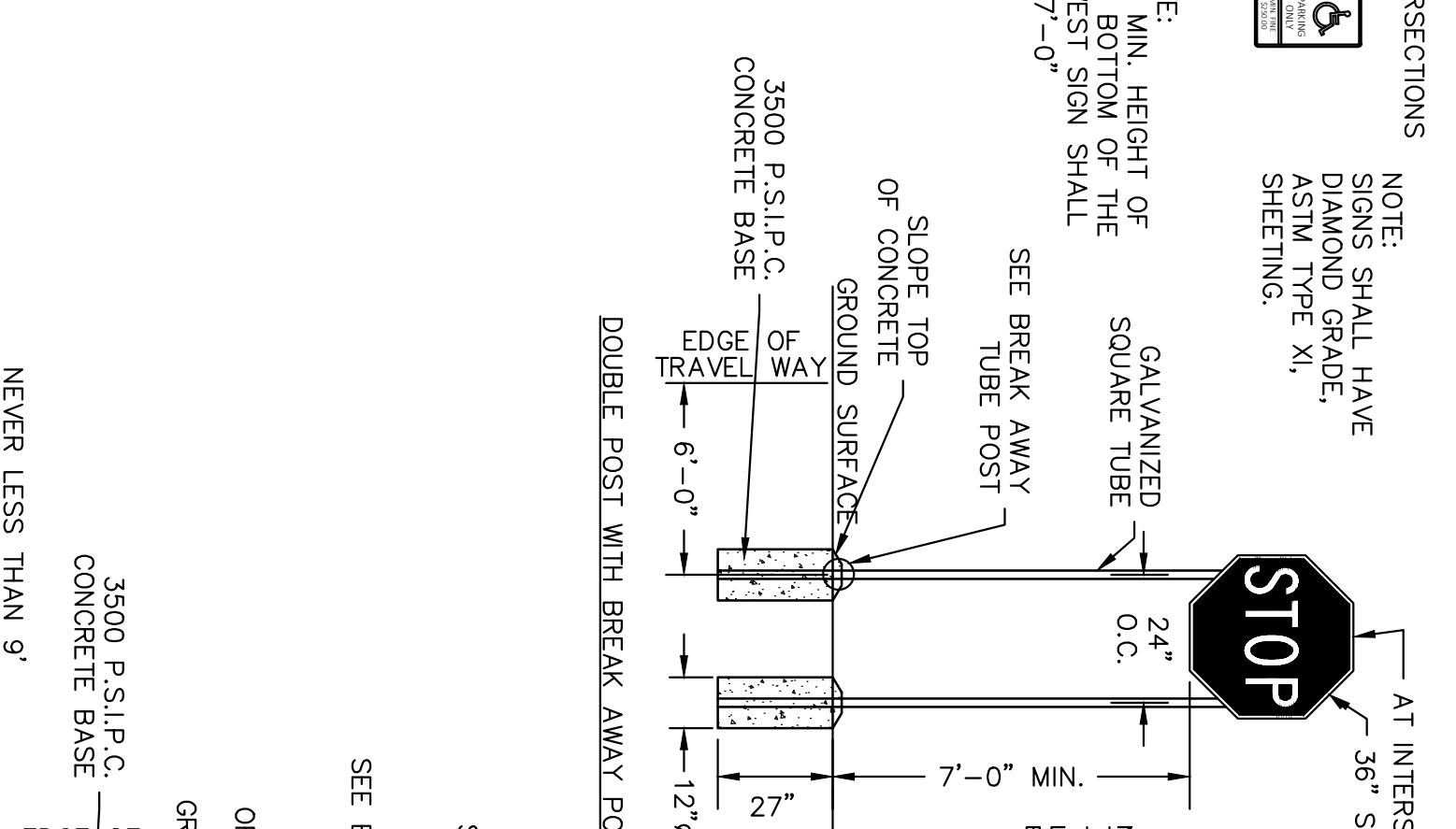
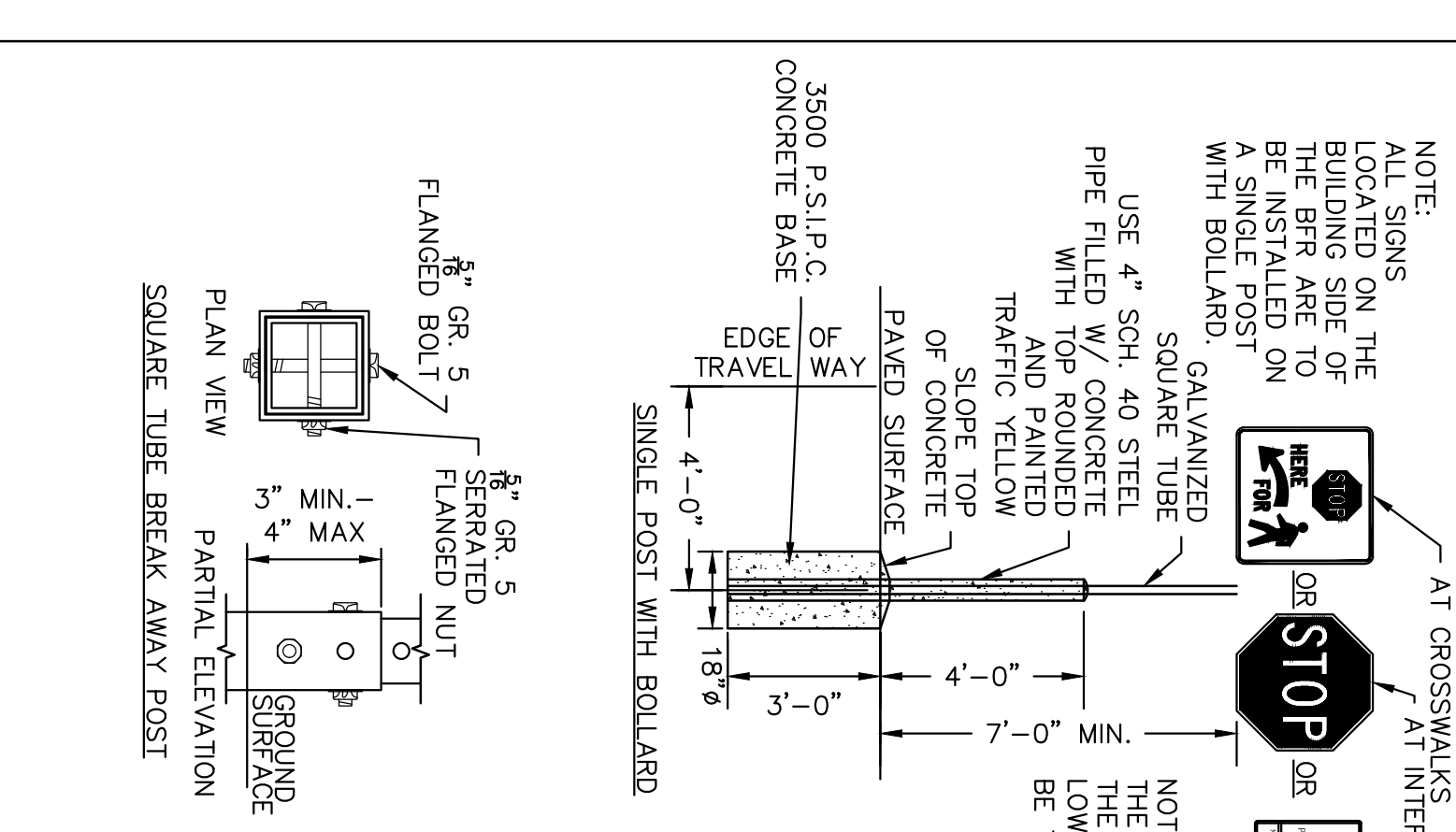
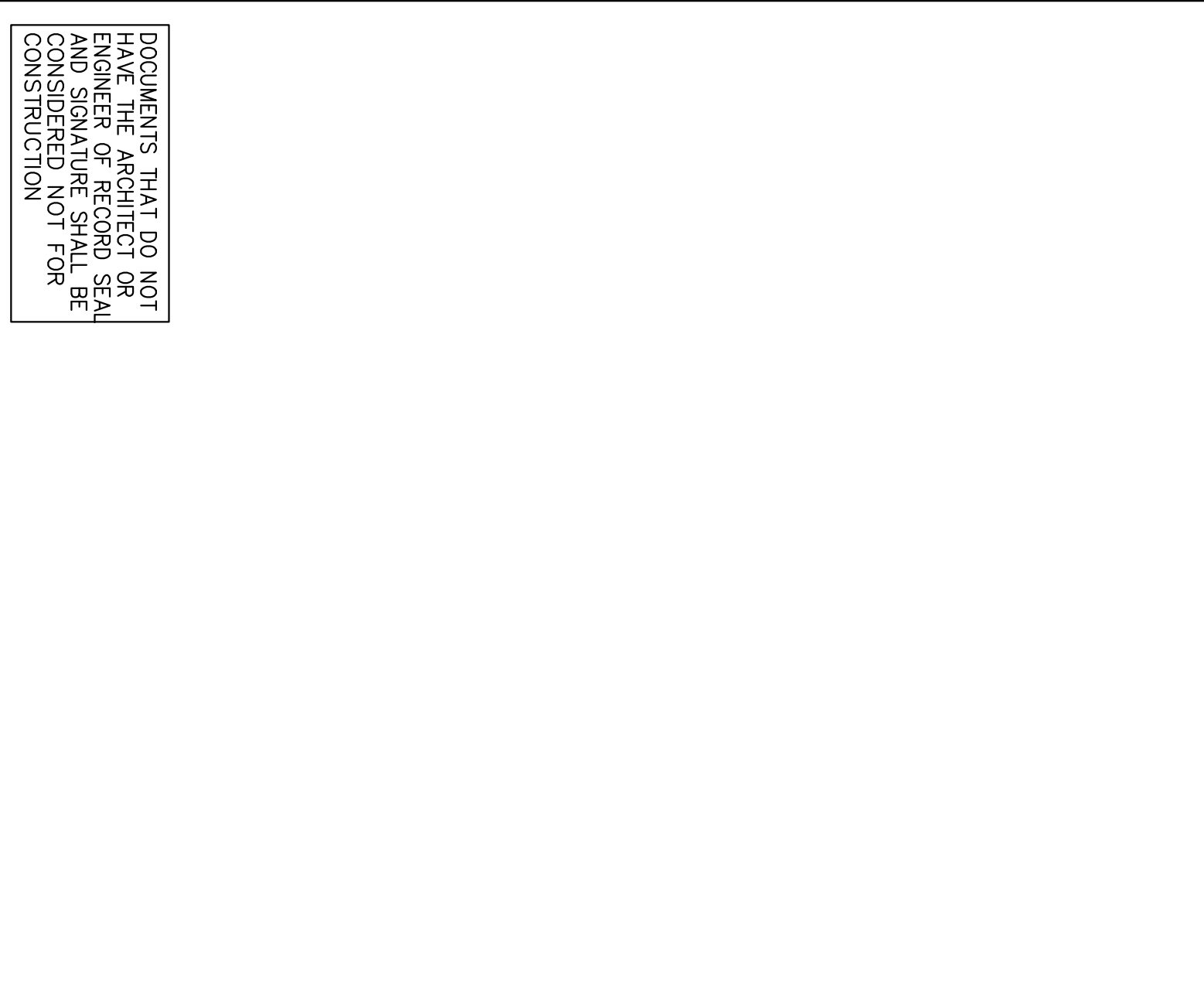
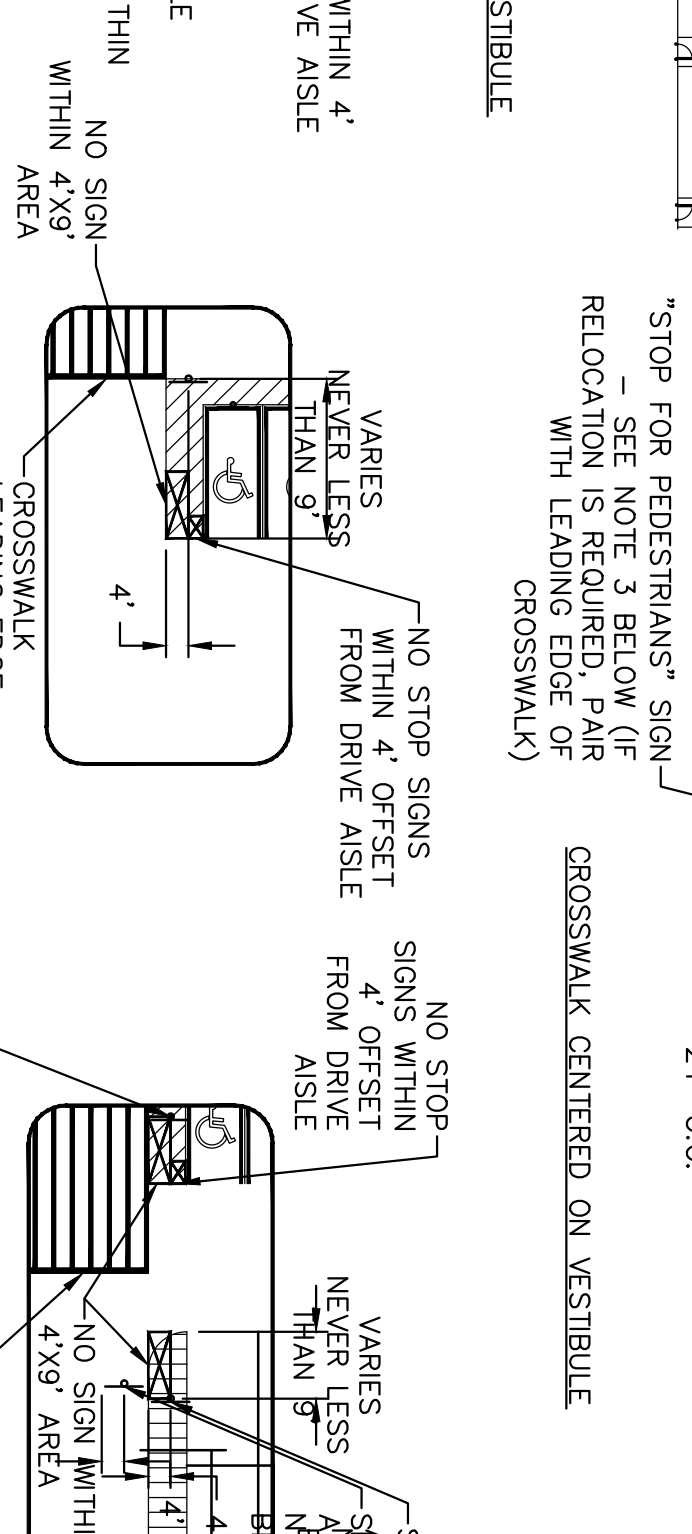
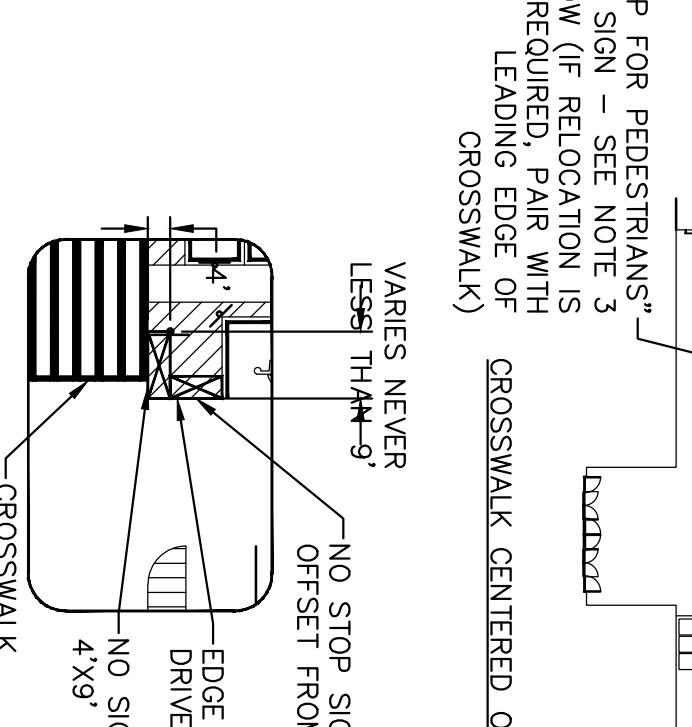
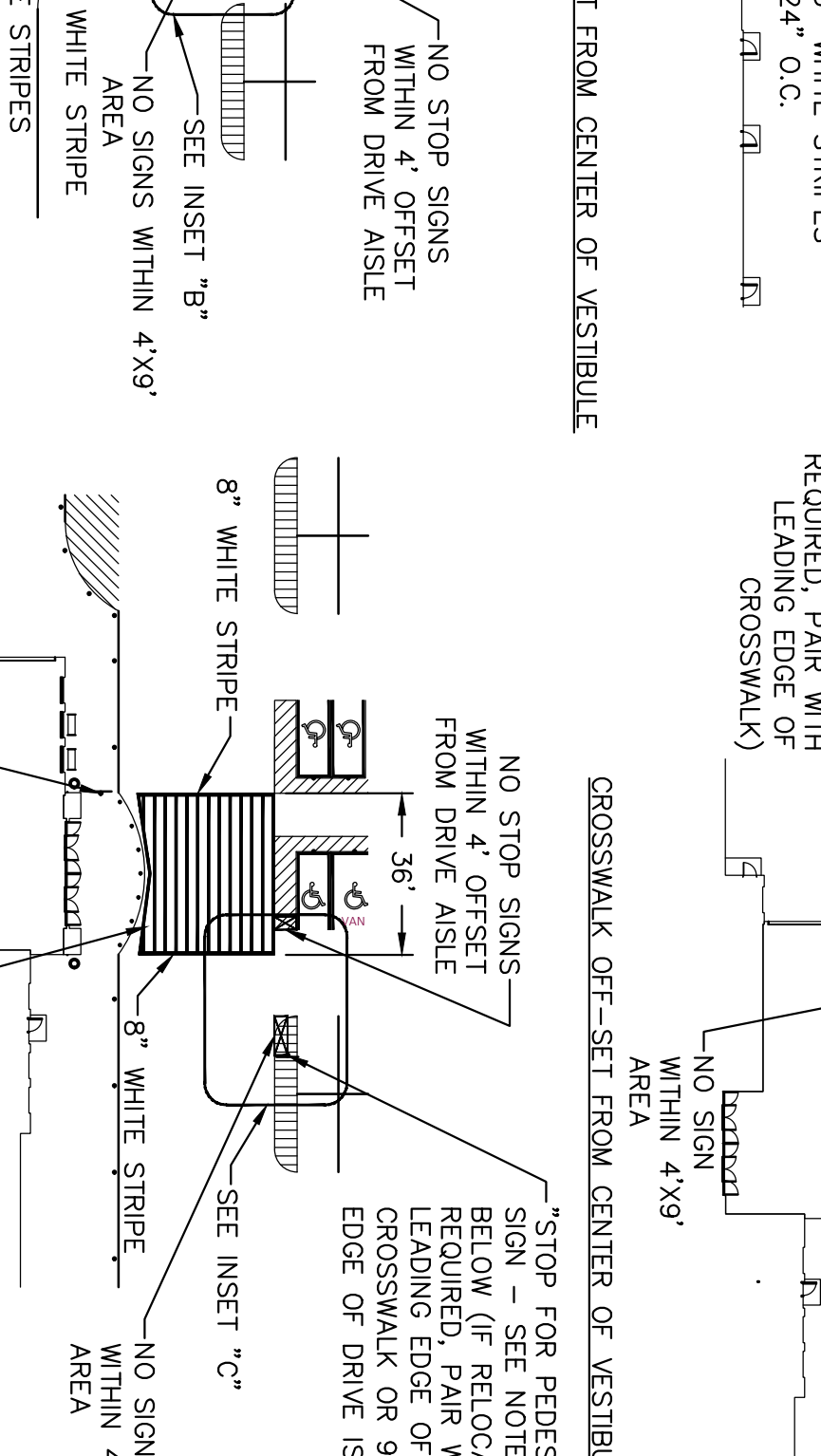
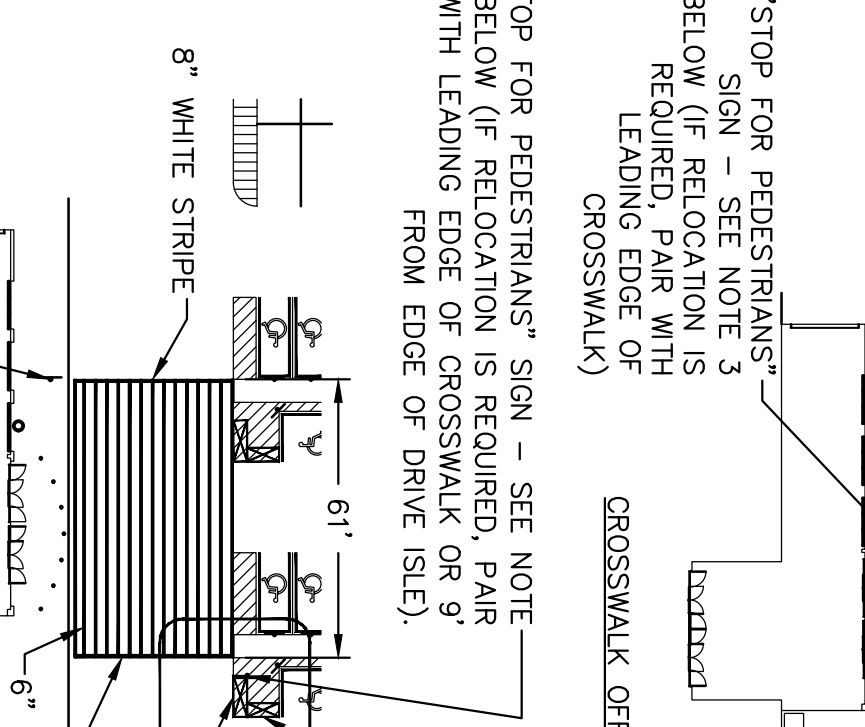
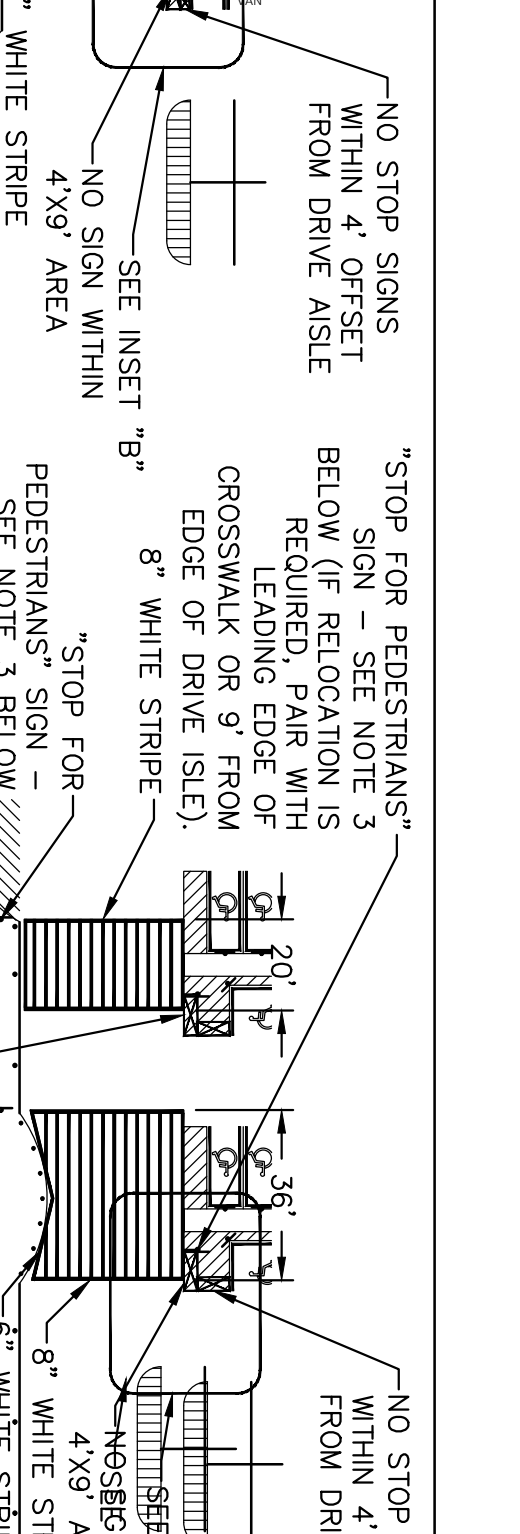
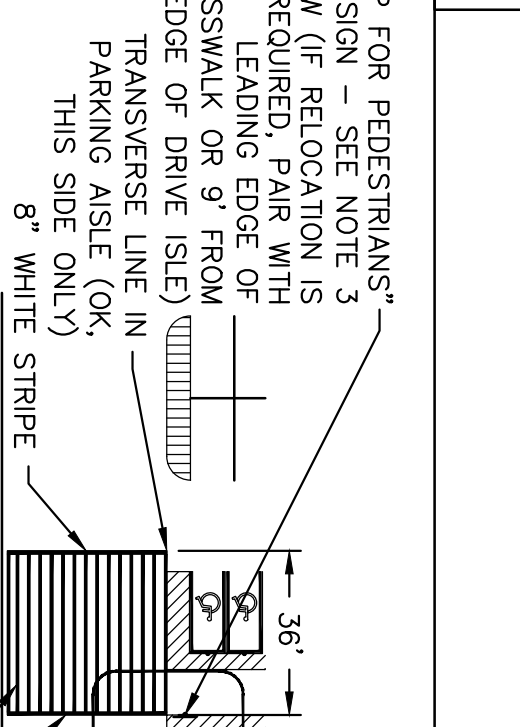
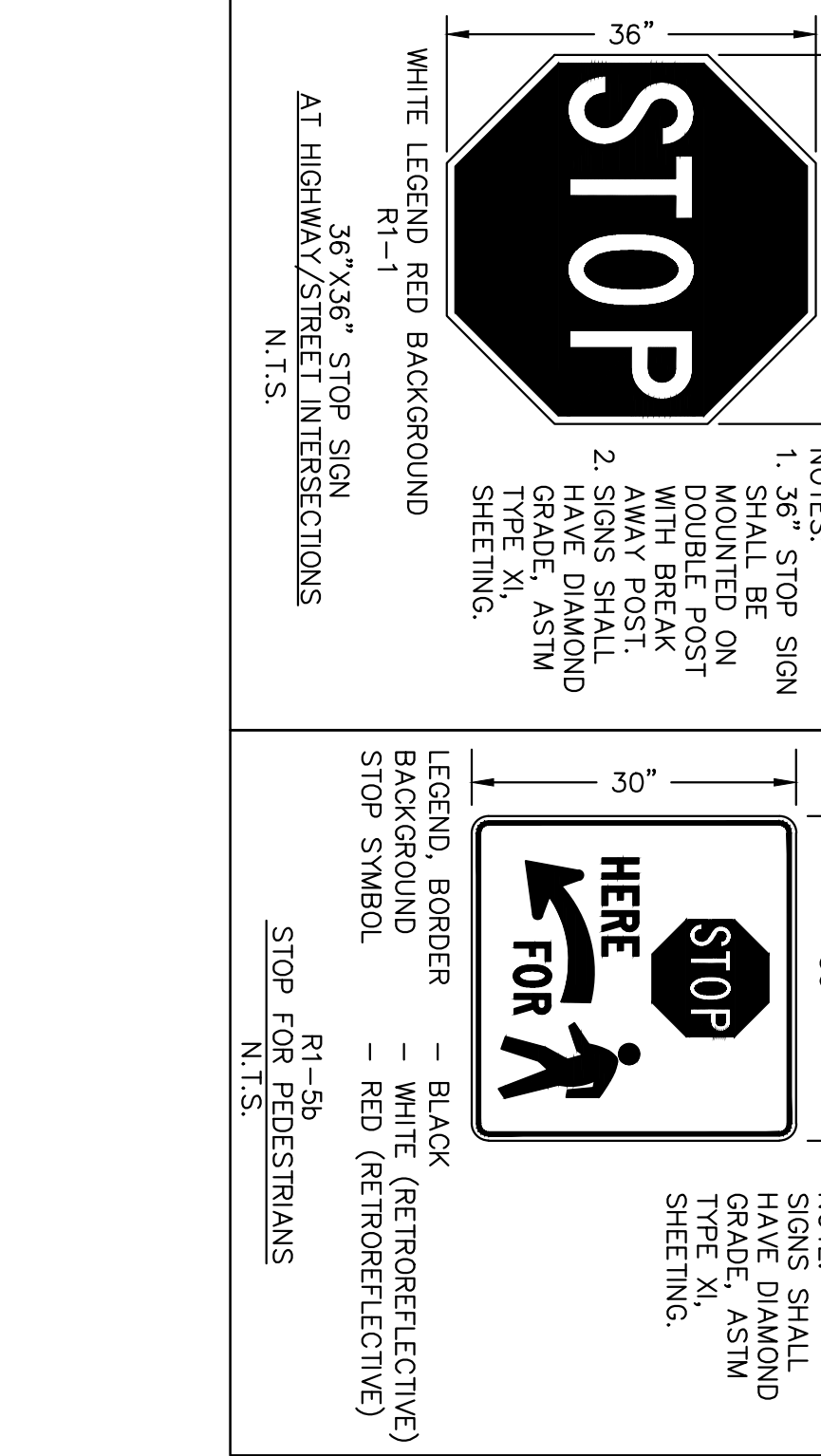
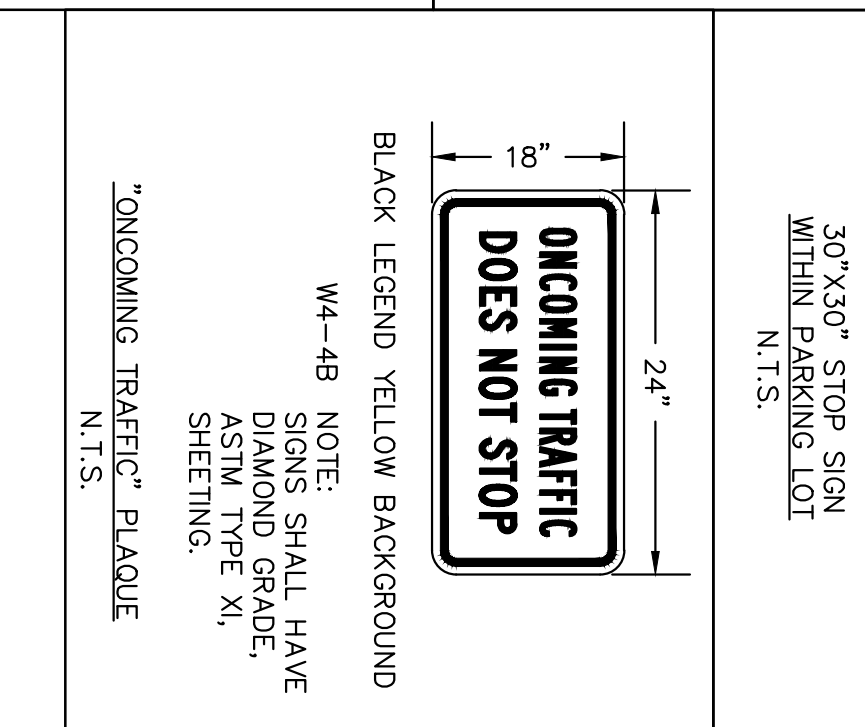
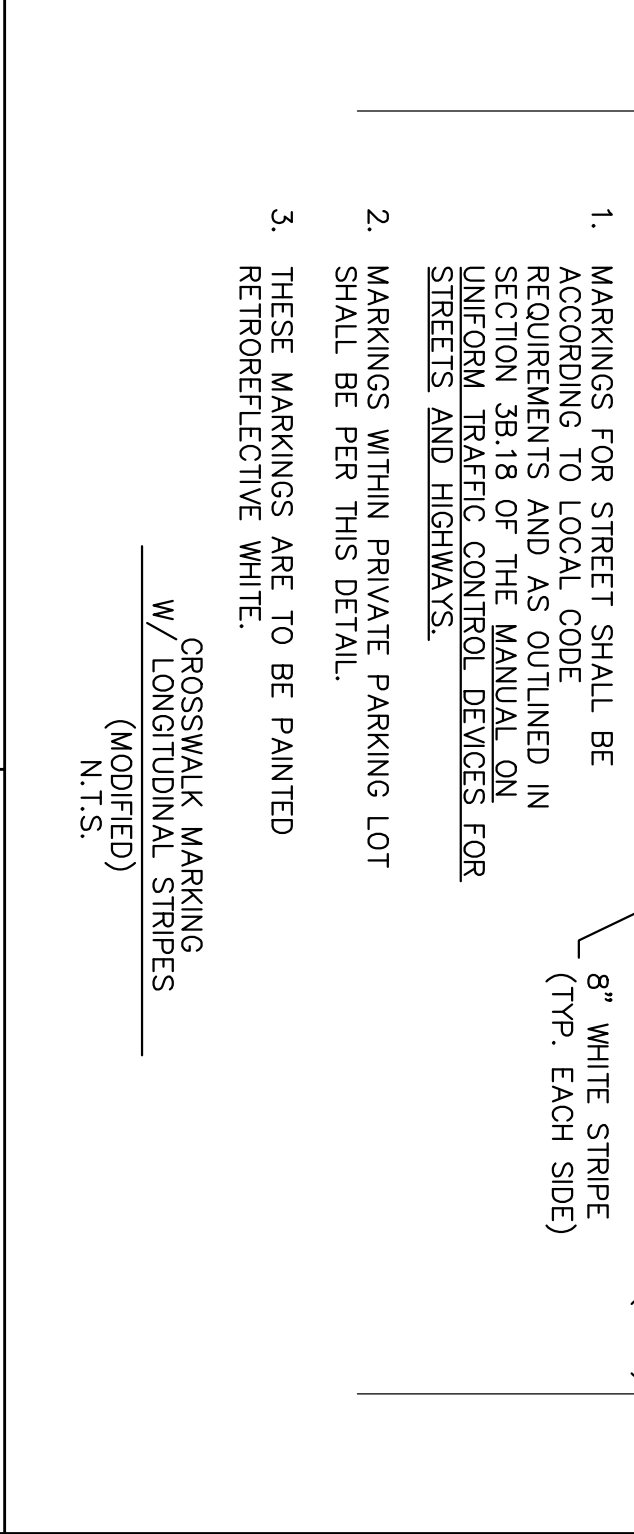
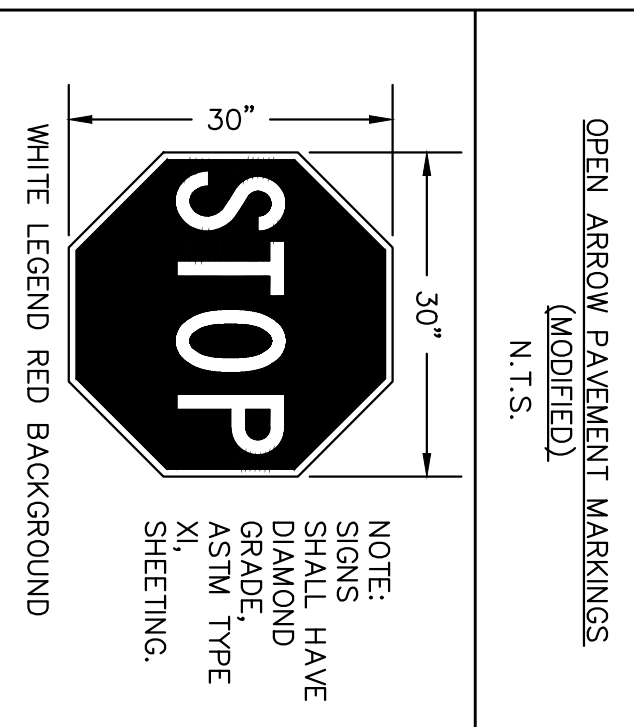
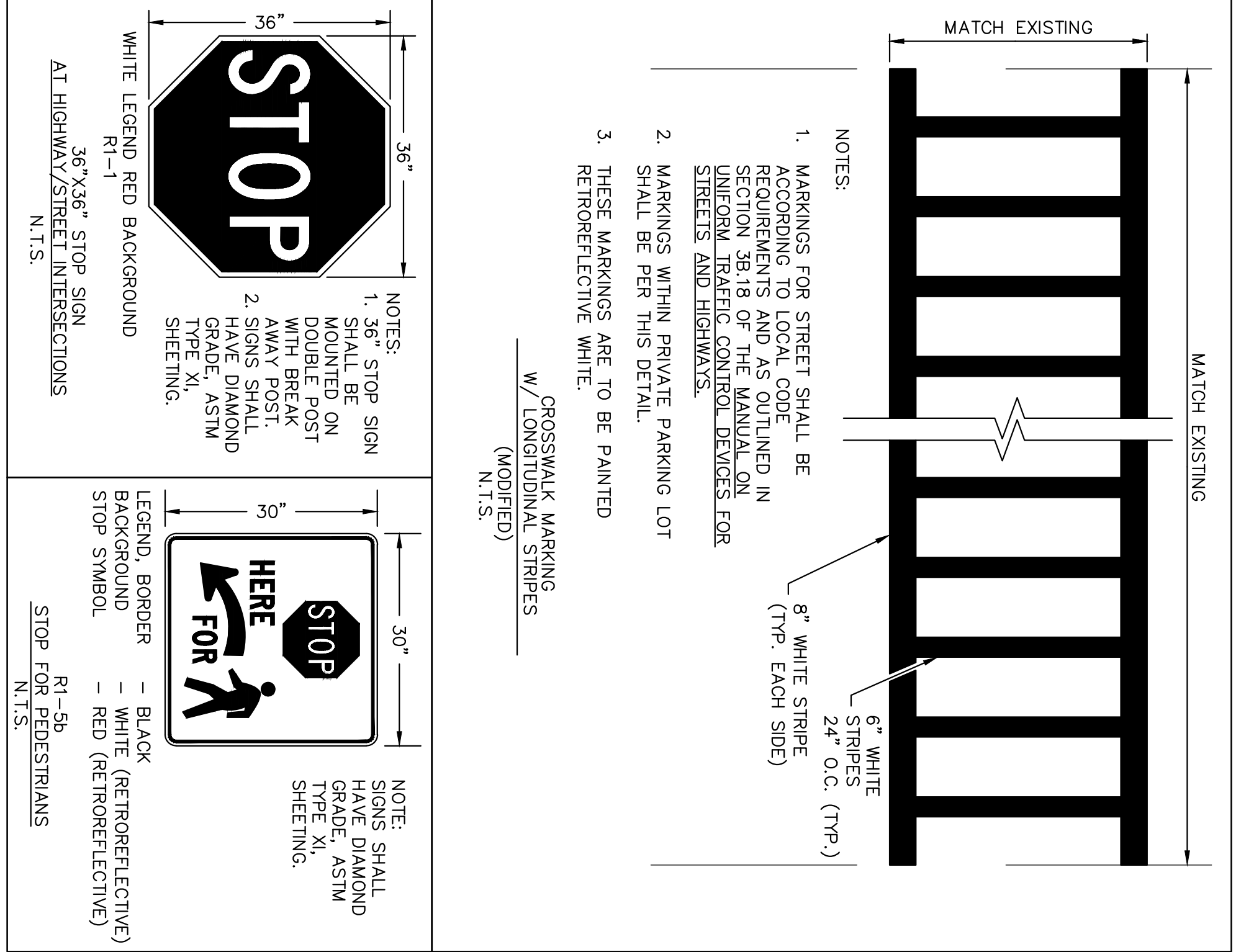
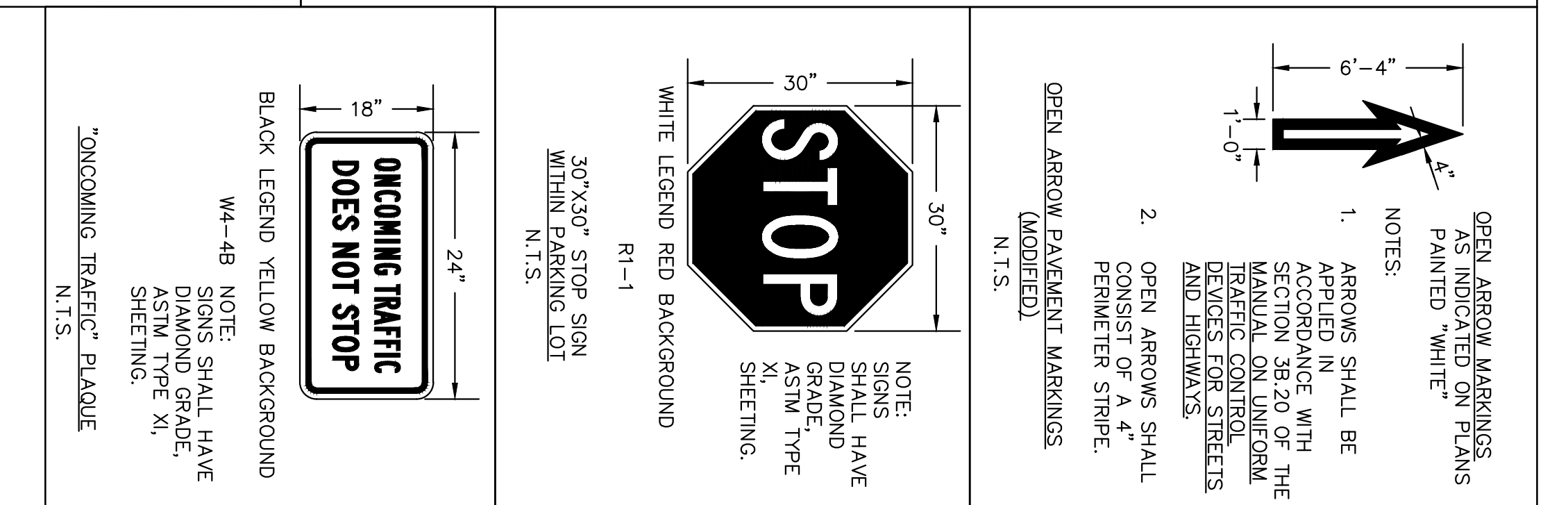
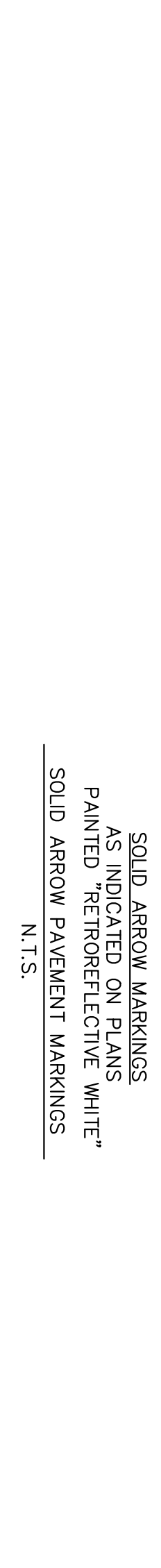
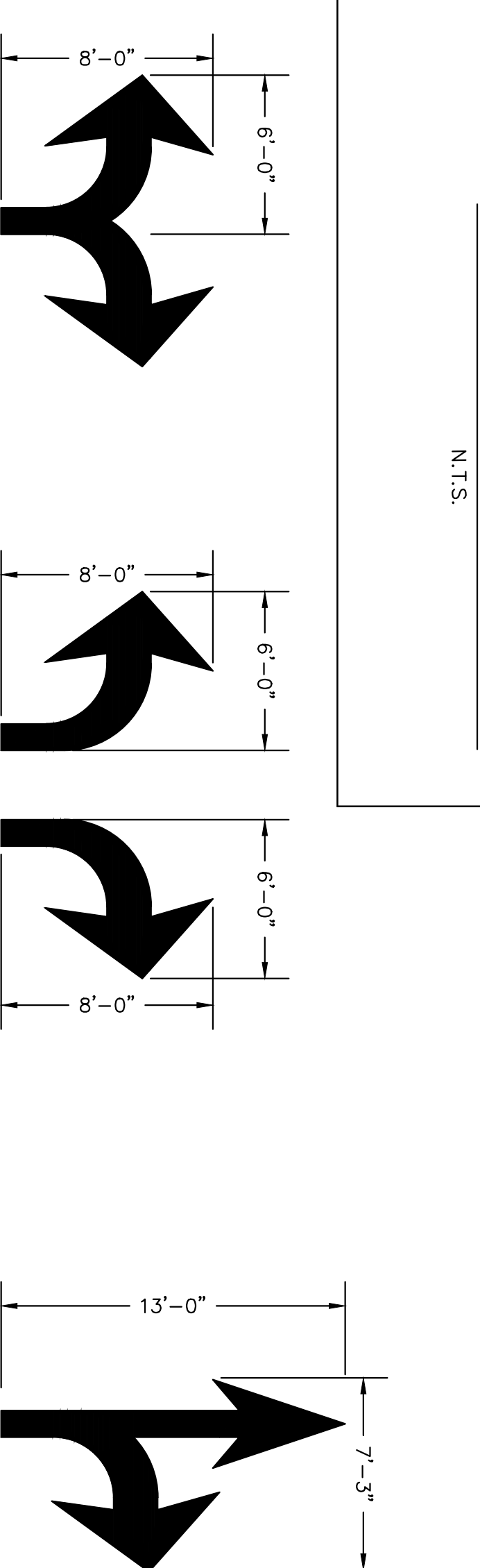
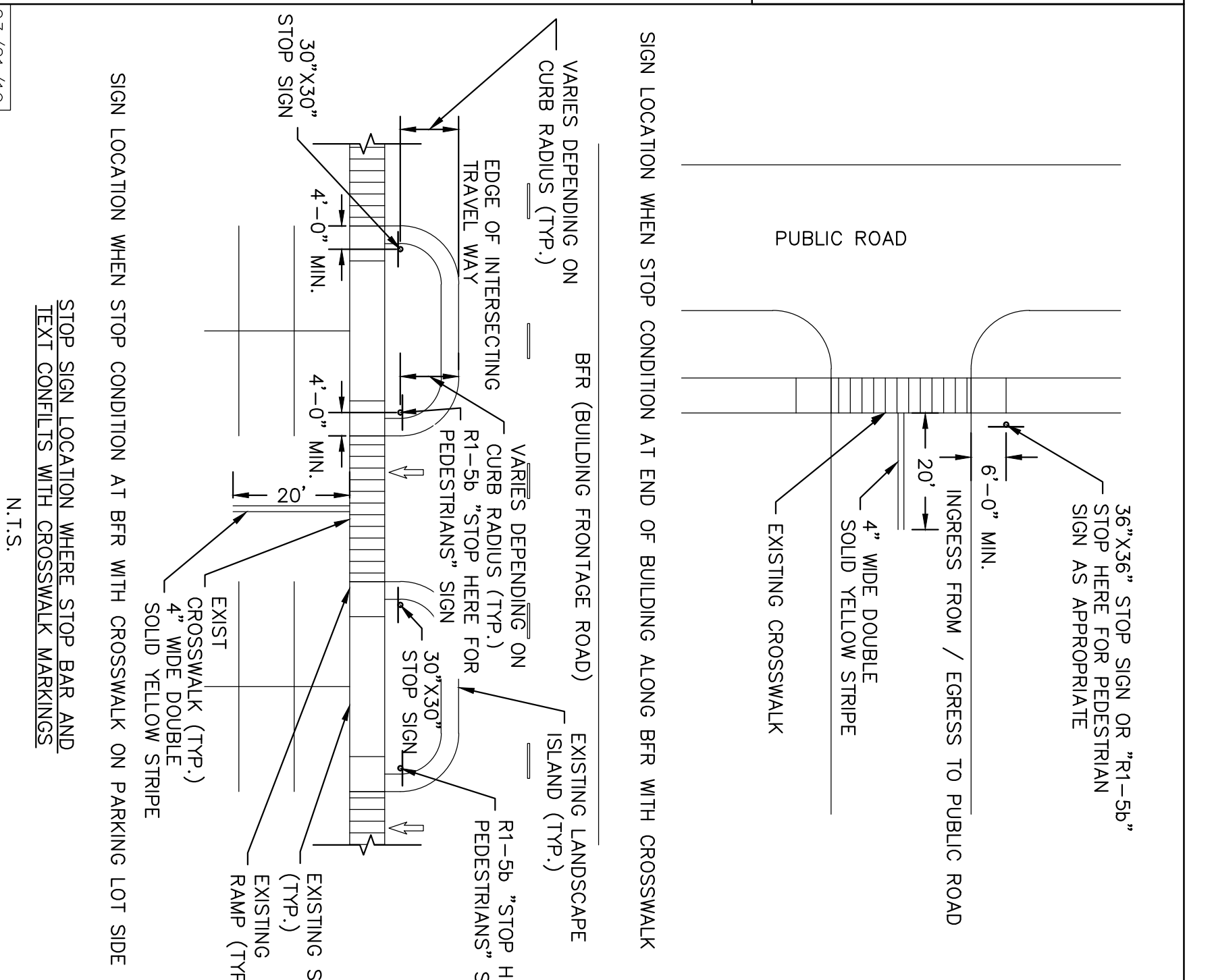
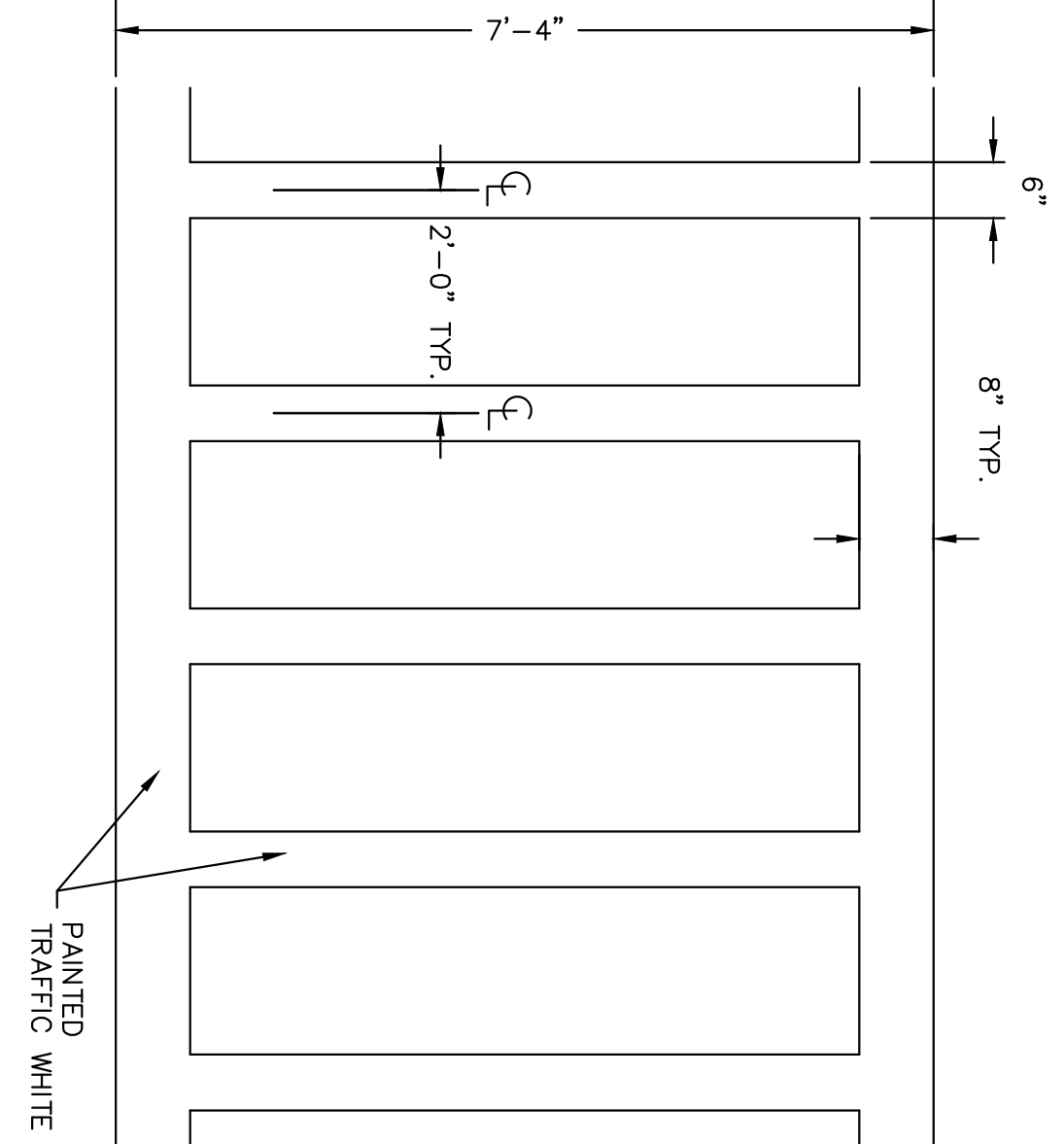
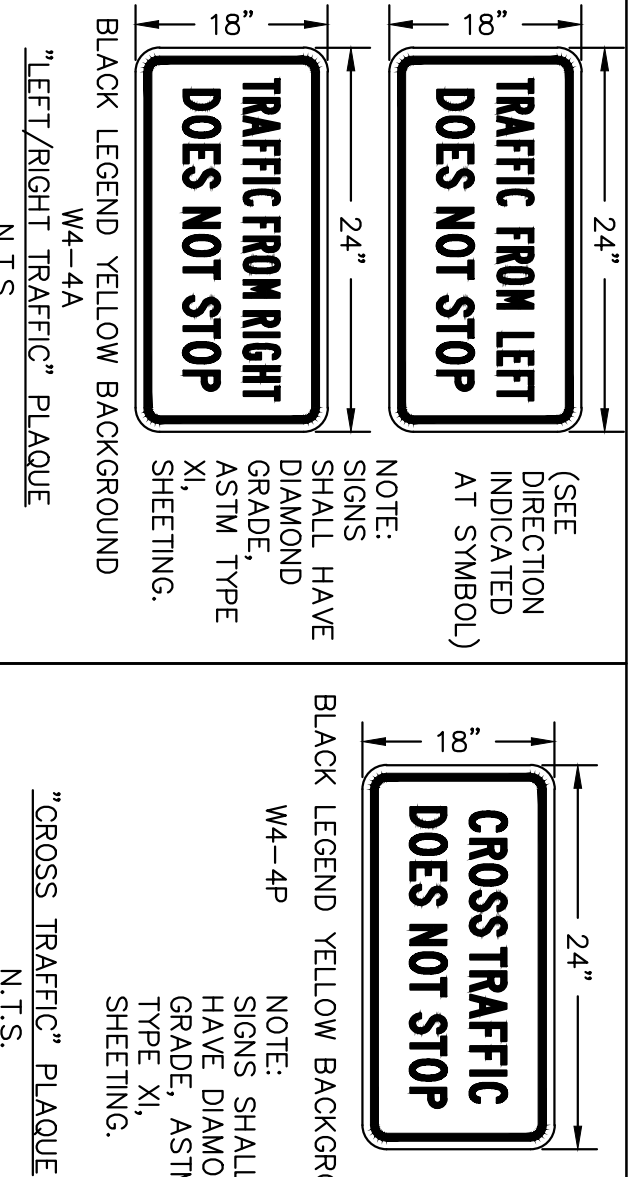
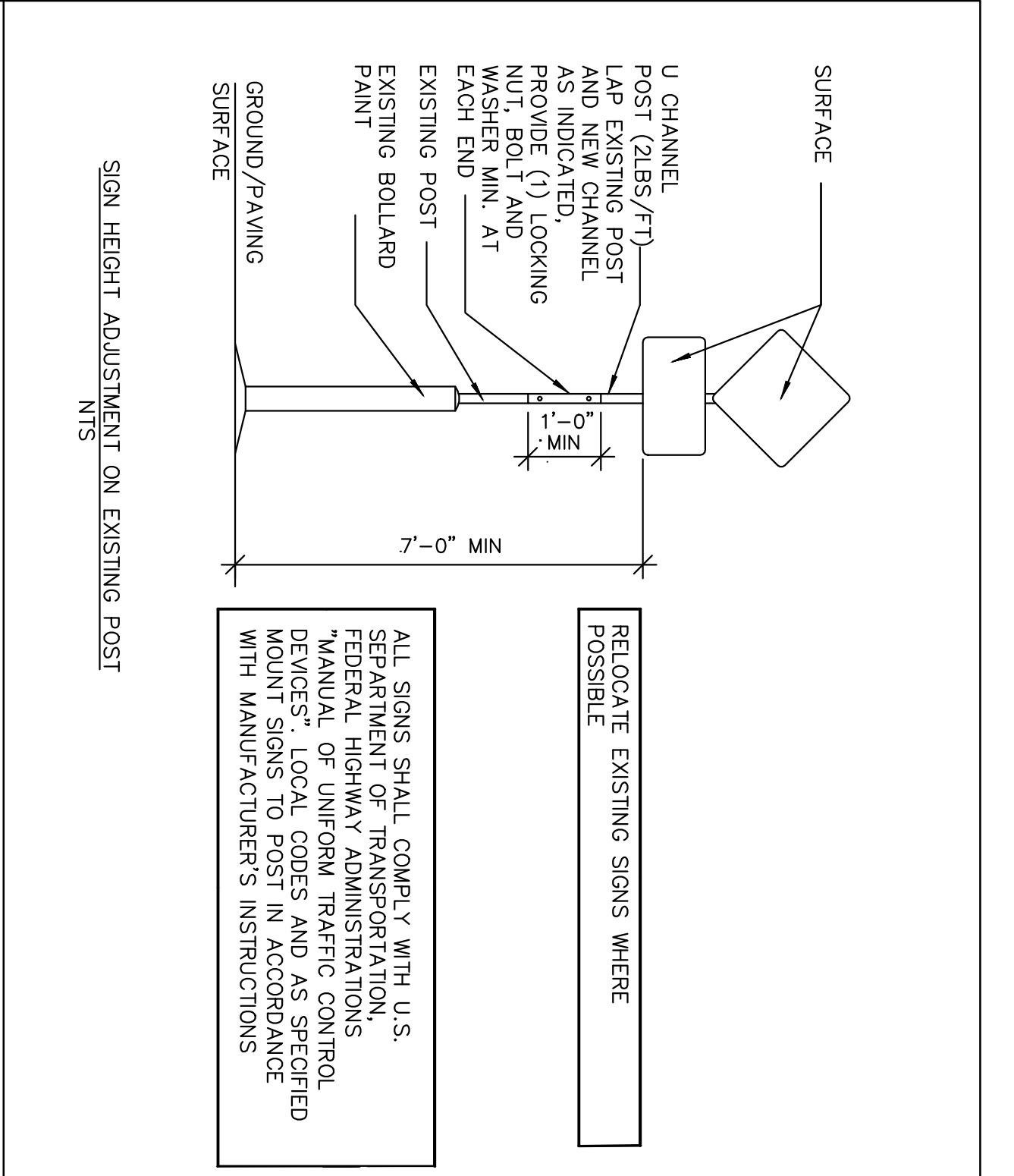
WALMART NEIGHBORHOOD MARKET #5994-211  
19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716

**Walmart**

DRAWN: BB  
CHECKED: MN  
DATE: AS SHOWN ON PLAN  
SCALE: VARIES  
JOB No.: 323-055.1  
SHEET:

**PU-1**





SECIP AND STOP SIGNS AND MARKINGS DETAIL SHEET

Walmart SSM DETAILS

Walmart Neighborhood Market #5994-211  
19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716

Professional Engineer  
Oregon License No. 101139E  
101139E  
WALMART STORES, INC. ENGINEER 12/01/2024

Nasland  
910 Main Street, Ste. 314  
Boise, ID 83702  
Civil Engineering Consulting Land Planning  
T (208) 918-4859  
nasland.com

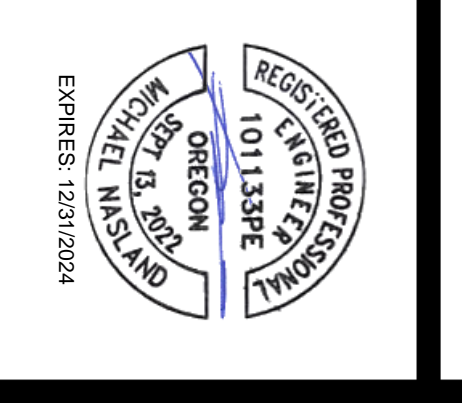
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**Nasland**  
 910 Main Street, Ste. 314  
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 nasland.com  
 Civil Engineering Consulting Land Planning



WALMART NEIGHBORHOOD MARKET #5994-211  
 19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
 WAL-MART STORES, INC.  
 2001 SE 10TH STREET  
 BENTONVILLE, AR 72716



**CSS-1**

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AS SHOWN ON PLAN	
SCALE	
VARIABLES	
JOB NO.	323255.1
SHEET	

**TRAFFIC SIGNS AND SIGNALS SPECIFICATION**

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Traffic control signs
  - Related Requirements
- 1.2 REFERENCES**
- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation unless designated as follows:
- ASTM International (ASTM):
    - ASTM A53 - Pipe, Steel, Black and Hot Dipped, Zinc Coated, Welded and Seamless
    - ASTM C94 - Ready Mix Concrete
    - ASTM D4956 - Retroreflective Sheeting for Traffic Control
  - US Department of Transportation, Federal Highway Administration:
    - Manual on Uniform Traffic Control Devices (MUTCD)
- PART 2 - PRODUCTS**
- 2.1 SIGNS**
- A. Conform to US Department of Transportation MUTCD, Sign classification, type, size, and color shall be as shown on the drawings
- B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.
- 2.2 POSTS**
- A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.
- B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.
- 2.3 CONCRETE**
- A. Mix concrete and deliver in accordance with ASTM C94.
- B. Design mix to produce nominal weight concrete consisting of Portland cement, aggregate, water, reducing admixture, air, entraining admixts, and plasticizer. Minimum air content shall be 5 percent, minimum at 28 days, unless otherwise indicated on the Drawings.
- Compressive Strength: 3,500 psi, minimum at time of placement
  - Slump Range: 1 to 3 inches at time of placement
  - Air Entrainment: 5 to 8 percent
- PART 3 - EXECUTION**
- 3.1 PREPARATION**
- A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.
- 3.2 INSTALLATION**
- A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.
- B. Design mix and cast concrete in place.
- C. Install posts of the type as shown on the drawing
- D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.
- END OF SECTION**

**PAVEMENT MARKINGS SPECIFICATION**

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Painting and marking of pavements, curbs, and guard posts (bollards).
- 1.2 REFERENCES**
- A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.
- American Association of State Highway and Transportation (AASHTO):
    - AASHTO M247 - Glass Bead, Used in Traffic Paint
    - AASHTO M248 - Resin-Mixed White and Yellow Traffic Paints
    - Master Painter's Institute (MPI)
    - MPI 97 - Traffic Marking Paint, Latex
    - MPI 97 - Traffic Marking Paint, Latex
  - ASTM International (ASTM):
    - ASTM D4414 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges
  - Federal Specifications (FS):
    - FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
    - FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
    - FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne
- 1.3 PROJECT CONDITIONS**
- A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.
- PART 2 - PRODUCTS**
- 2.1 MATERIALS**
- A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.
- B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.
- C. Solvent Borne Paint: Paints shall conform to FS A-A-2886 and have MPI 32 approval. Paint shall be non-bleeding, quick-drying, and alkyl-Perthane base paint suitable for traffic bearing surface and be mixed in accordance with manufacturer's instructions before application for colors Yellow, Yellow-Green, and White.
- D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.
- PART 3 - EXECUTION**
- 3.1 EXAMINATION**
- A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.
- 3.2 PREPARATION**
- A. Sweep and clean surface to eliminate loose material and dirt.
- B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.
- 3.3 CLEANING EXISTING PAVEMENT MARKINGS**
- A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not mangleable or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.
- 3.4 APPLICATION**
- A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7.5 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk, curbs and crosswalks, use straightedge to ensure uniform, clean and straight stripe.
- B. Install pavement markings according to manufacturer's recommended procedures for the specified material.
- C. Following items shall be painted with colors noted below:
- Pedestrian Crosswalks: White
  - Exterior Sidewalk Cuts and Guard Posts: Yellow
  - Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail)
  - Fire Lanes: Red or per local code.
  - Lane Stripping where separating traffic moving in opposite directions: Yellow
  - Lane Stripping where separating traffic moving in the same direction: White.
  - ADA Symbols: Blue or per local code.
  - ADA parking space markings as shown on the drawings.
  - Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
  - Associate Parking Area: White, unless otherwise noted on Construction Drawings.
  - Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.
- 3.5 FIELD QUALITY CONTROL**
- A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.
- 3.6 CLEANING**
- A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.
- END OF SECTION**

**SITE DEMOLITION SPECIFICATION**

- PART 1 - GENERAL**
- 1.1 SUMMARY**
- A. Section Includes:
- Demolition of structures, paving, and utilities.
  - Patching and filling voids created as a result of removals or demolition.
- 1.2 REGULATORY REQUIREMENTS**
- A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these specifications, that pertain to Safety Compliance, Environmental Compliance, and Worker Verification Laws, and general compliance. Obtain required permits and licenses from appropriate agencies, departments, and regulatory agencies, including but not limited to: local, state, and federal agencies.
- B. Notify affected utility companies before starting work and comply with their requirements.
- C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.
- 1.3 PROJECT CONDITIONS**
- A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.
- B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.
- PART 2 - PRODUCTS**
- 2.1 FILL MATERIALS**
- A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- 2.2 CONCRETE**
- A. Mix concrete and deliver in accordance with ASTM C 94.
- B. Design mix to produce nominal weight concrete consisting of Portland cement, aggregate, water, reducing admixture, air, entraining admixts, and plasticizer. Minimum air content shall be 5 percent, minimum at 28 days, unless otherwise indicated on the Drawings.
- Compressive Strength: 3,500 psi, minimum at time of placement
  - Slump Range: 1 to 3 inches at time of placement
  - Air Entrainment: 5 to 8 percent
- PART 3 - EXECUTION**
- 3.1 PREPARATION**
- A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.
- D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.
- F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, intringe upon, or limit access to their property. Coordinate notice with Owner.
- 3.2 GENERAL DEMOLITION REQUIREMENTS**
- A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.
- B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.
- C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.
- D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.
- E. Comply with governing regulations pertaining to environmental protection.
- F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.
- 3.3 DEMOLITION**
- A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.
- B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.
- C. Fill or remove piping and appurtenances as shown.
- D. Demolish concrete and masonry in small sections. Break up concrete slabs, on grade that are 2-foot or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-foot of proposed subgrade.
- 3.4 PATCHING**
- A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.
- B. Pavement patches shall be paved with minimum of concrete, broom finished and flush with adjacent grades.
- 3.5 FILLING VOIDS**
- A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.
- B. Areas to be filled shall be free of standing water, frost, frozen or unstable material, trash, and debris prior to fill placement.
- C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D608 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.
- D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.
- 3.6 DISPOSAL OF DEMOLISHED MATERIALS**
- A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.
- B. No burning of any material, debris, or trash on site or off site will be allowed.
- C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.
- END OF SECTION**

PLAN DATE IDENTIFIER	
DATE LAST CHANGED TO THIS PLAN	
DATE OF THIS SHEET	06/21/2023
DATE OF THIS SHEET	07/06/2023

**SPECIFICATIONS SHEET**

DOCUMENTS THAT DO NOT APPLY TO THIS PROJECT SHALL BE REMOVED FROM THE RECORD SEAL AND SIGNATURE SHALL BE VALID FOR CONSTRUCTION

