

**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: June 12, 2022

FILE NO.: DR-23-03

REQUEST: Approval of a Class I Design Review at 1673 10th St. West Linn

PLANNER: John Floyd, Associate Planner

Planning Manager DSW

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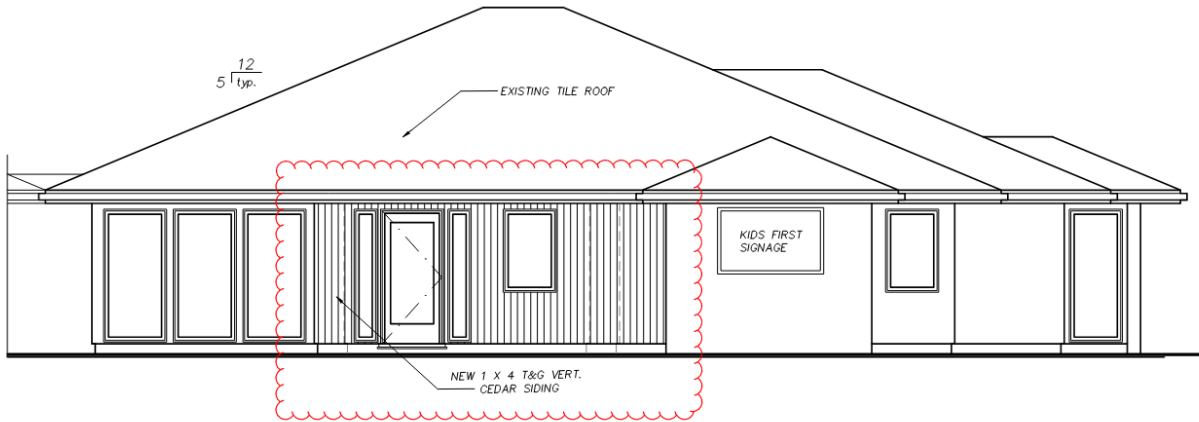
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GENERAL INFORMATION

- OWNER/APPLICANT:** Riad Alharithi
2314 Falcon Drive
West Linn, OR 97068
- SITE LOCATION:** 1673 10th Street
- SITE SIZE:** 13,622 Square feet per Clackamas County Assessor
- LEGAL DESCRIPTION:** Assessor's Map 22E31BA Tax Lot 01100
- COMP PLAN DESIGNATION:** Commercial
- ZONING:** GC, General Commercial
- APPROVAL CRITERIA:** Community Development Code (CDC) Chapter 19: General Commercial; Chapter 55 – Design Review; Chapter 99: Procedures for Decision Making: Quasi-Judicial.
- 120-DAY RULE:** The application became complete on May 12, 2023. The 120-day period ends September 9, 2023.
- PUBLIC NOTICE:** Notice was mailed to property owners within 300 feet of the subject property and to the Willamette Neighborhood Association on May 15, 2023. A sign was placed on the property on May 15, 2023. The notice was also posted on the City's website on May 15, 2023. Therefore, public notice requirements of CDC Chapter 99 have been met.

BACKGROUND

The applicant is requesting approval to enclose a recessed doorway that will enclose approximately 48 square feet of an existing 3,250 square foot office building at 1673 10th Street. The project area is entirely under an existing roofline, and is related to the reconfiguration of interior space as part of a tenant improvement.



NORTH-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PUBLIC COMMENT

No public comment was received on the application.

DECISION

The Community Development Director (designee) approves this application (DR-23-03), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Plans, Elevations, and Narrative.** The project shall conform to the plans, elevations, and narrative submitted in Exhibit PD-1 and obtain all necessary building permits.

The provisions of the Community Development Code Chapter 99 have been met.



John Floyd, Associate Planner

June 14, 2023

Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of the mailing date. The appeal fee is \$400. The appeal must be filed by an individual who has established standing by submitting comments before the decision date. Approval will lapse 3 years from the effective approval date if the final plat is not recorded.

Mailed this 15th Day of June, 2023.

Therefore, the 14-day appeal period ends at 5 p.m. on June 29th, 2023.

ADDENDUM
APPROVAL CRITERIA AND FINDINGS
DR-23-03

This decision adopts the findings for approval contained within the applicant’s submittal, with the following exceptions and additions:

I. CHAPTER 19, GENERAL COMMERCIAL, GC

19.030 PERMITTED USES

The following uses are allowed in this zone under prescribed conditions:

(...)

19. Medical and dental services.

(...)

Staff Finding 1: The proposal is to expand the internal size of the building by approximately 48 square feet to accommodate a new medical clinic, a permitted use in the district. Therefore, this standard is met.

II. CHAPTER 55, DESIGN REVIEW

55.020 CLASSES OF DESIGN REVIEW

A. Class I Design Review. The following are subject to Class I Design Review:

[...]

3. Addition or reduction of less than five percent of total square footage of a commercial, office, public, multi-family, or industrial building.

[...]

Staff Finding 2: The proposal is to increase total square footage of the building by approximately 1.5% (48 square feet / 3,250 square feet = 1.5%). Therefore, a Class I Design Review is required.

55.090 APPROVAL STANDARDS – CLASS I DESIGN REVIEW

The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:

A. The provisions of the following sections shall be met:

1. CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment, shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.

2. CDC 55.100(B)(5) and (6), architecture, et al., shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.

3. Pursuant to CDC 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.

4. The design standards or requirements identified in the base zone shall apply.

B. An application may be approved only if adequate public facilities will be available to provide service to the property at the time of occupancy.

C. The Planning Director shall determine the applicability of the approval criteria in subsection A of this section.

Staff Finding 3: The project site is substantially developed and involves the minor expansion of an existing recessed door area under the existing roof canopy. The affected area does not contain any trees or other significant vegetation (Exhibit PD-1). Therefore, the standards of CDC 55.100(B)(1) through (4) do not apply. The project does involve exterior changes to the building, therefore the standards of CDC 55.100(B)(5) and (6) apply to this application. The building is existing and the proposed changes do not affect the type or intensity of public facilities required for the use or structure. As detailed in this report, these standards will be met.

55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW

[...]

B. Relationship to the natural and physical environment.

[...]

5. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

Staff Finding 4: The project affects the western façade of the existing structure and faces an internal pathway, an existing parking lot, and 10th Street beyond that which remain unaffected by the project. The nearest opposing structure is approximately 150 feet to the west and the proposed work is subject to building permit review to ensure fire & life safety. Therefore, the enclosure of the recessed doorway is not expected to affect the adequacy of light and air circulation, or adequacy of fire protection. This standard is met.

6. Architecture.

a. The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing of surrounding buildings in the proposed structure. The materials and colors shall be complementary to the surrounding buildings.

b. While there has been discussion in Chapter 24 CDC about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that “step down” or “step up” from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

c. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.

d. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (i.e., their size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, and visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally. The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the “height and width” ratio referenced in this section.

e. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities.

One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot-long building elevation shall have at least 60 feet (60 percent of 100 feet) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation.

f. Variations in depth and roof line are encouraged for all elevations.

To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief.

g. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings.

h. The vision statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.

i. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four-foot-wide pedestrian accessway must be maintained per Chapter 53 CDC, Sidewalk Use.

Staff Finding 5: The project is to enclose an existing recessed doorway and make the area flush with the western façade. The affected area will include a new entry door with adjoining vertical windows by the door, and a new window to the south of the new door. Proposed siding is new vertical groove cedar siding to match existing. These changes do not affect the architectural style, roof form, building scale and massing, or the rhythm of windows. The changes do not create a contrasting architectural style, affect the human scale of the building, or affect the front elevation of the structure. No change is being made to the microclimate or the safety and attractiveness of the pedestrian environment as a result of the changes. Therefore, the Architecture standards do not apply.

VII. CHAPTER 99, PROCEDURES FOR DECISION MAKING: QUASI-JUDICIAL

99.030 APPLICATION PROCESS: WHO MAY APPLY, PRE-APPLICATION CONFERENCE, REQUIREMENTS, REFUSAL OF APPLICATION, FEES

[...]

B. Pre-application conferences.

1. Subject to subsection (B)(4) of this section, a pre-application conference is required for, but not limited to, each of the following applications:

[...]

e. Design review (Class I and Class II);

[...]

4. The Planning Director may waive the requirement for a pre-application conference for any application if they determine that such a conference is not warranted. Upon making such a determination, the Planning Director shall provide written notification (i.e., e-mail or letter) to the Planning Commission and applicable neighborhood association.

[...]

Staff Finding 6: The Planning Director waived the requirement for a pre-application conference on April 27th. Written notification was provided by email to the Planning Commission and Willamette Neighborhood Association. A copy of this email is included in Exhibit PD-1. This standard is met.

99.080 NOTICE

Notice shall be given in the following ways:

[...]

B. Class B Notice. Notice of a proposed action on a development application pursuant to CDC 99.060 shall be given by the Director in the following manner:

1. At least 14 days prior to the decision date, a notice shall be sent by mail to:

a. The applicant or their agent;

b. The affected recognized neighborhood association or citizens advisory committee; and

c. All property owners of record within 300 feet of the site perimeter;

2. At least 10 days prior to the earliest date that the approval authority can take action on the application, the applicant shall place a sign, provided by the Community Development Department, on the subject property in plain view. The sign shall state, "This property is the subject of a land use decision," with the type of use or request indicated.

3. The Director shall cause an affidavit of mailing of notice and posting of notice to be filed and made part of the administrative record.

[...]

Staff Finding 7: Class I Historic Design Review and Class I Design Review applications are subject to Type B Notice. As required, mailed notice was provided on May 15, 2023, to all required parties including the neighborhood association and all property owners within 300 feet, and a sign posted on site the project site on May 15, 2023. A copy of the affidavit is contained in Exhibit PD-3. Therefore, notice requirements were met.

PD-1 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT <b style="font-size: 1.2em;">John Floyd	PROJECT NO(S). DR-23-03	PRE-APPLICATION NO. <b style="font-size: 1.2em;">waived
NON-REFUNDABLE FEE(S) \$2,100	REFUNDABLE DEPOSIT(S)	TOTAL \$2,100

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Final Plat (FP) | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal (AP) | <input type="checkbox"/> Flood Management Area (FMA) | <input type="checkbox"/> Temporary Uses (MISC) |
| <input type="checkbox"/> CDC Amendment (CDC) | <input type="checkbox"/> Historic Review (HDR) | <input type="checkbox"/> Time Extension (EXT) |
| <input type="checkbox"/> Code Interpretation (MISC) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Right of Way Vacation (VAC) |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Minor Partition (MIP) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Modification of Approval (MOD) | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Tree Easement Vacation (MISC) | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Expediated Land Division (ELD) | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change (ZC) |

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address:	Assessor's Map No.:
	Tax Lot(s):
	Total Land Area:

Brief Description of Proposal:

Applicant Name*:	Phone:
Address:	Email:
City State Zip:	

Owner Name (required):	Phone:
Address:	Email:
City State Zip:	

Consultant Name:	Phone:
Address:	Email:
City State Zip:	

1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

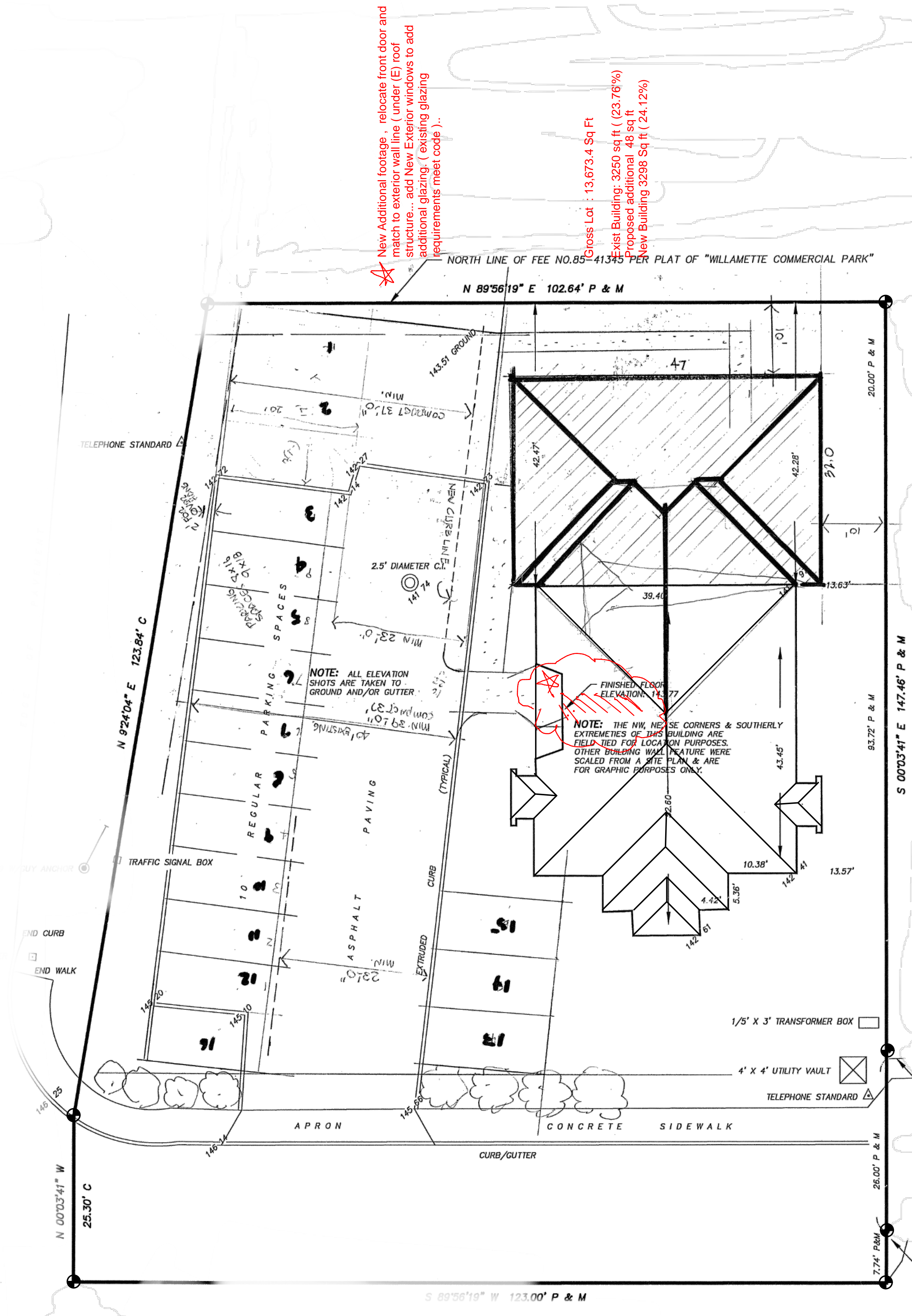
The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

Applicant's signature

Date

 Owner's signature (*required*)

Date



New Additional footage, relocate front door and match to exterior wall line (under E) roof structure, add New Exterior windows to add additional glazing. (existing glazing requirements meet code).

Gross Lot : 13,673.4 Sq Ft
 Existing Building: 3250 sq ft (23.76%)
 Proposed additional: 48 sq ft
 New Building 3298 Sq ft (24.12%)

NOTE:
 ALL GRADES SHOWN ARE APPROXIMATE.
 CONTRACTOR TO VERIFY ALL EXISTING
 AND FINISH GRADES.

PROPERTY ID : Tax LOT 21E35D 01002
 CITY OF WEST LINN
 CLACKAMAS COUNTY
 STATE OF OREGON

SITE PLAN
 SCALE: 1" = 50'-0"



DesignWorks LLC

Collaborative Professional Network
 A Design Experience
 Construction Bidding Service
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 info@designworks.desi
 4949 SW Macadam A
 Portland, Oregon 972

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY, AND ARE NOT TO BE REPRODUCED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECTURAL DESIGNER. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND REPORT ANY ERRORS OR OMISSIONS TO THIS OFFICE PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 COPYRIGHT © 2018

TITLE: SITE PLAN
 PROJECT: KIDS 1ST LLC OFFICE TENANT IMPROVEMENT
 OWNER: KIDS FIRST LLC

S

CONSULTANTS:

ARCHITECT-CODE / STRUCTURAL CALCS BY
DESIGN PROFESSIONAL PER SECTION 107

JE KRAUSE, ARCHITECT, P.C.
14911 S.E. 82nd DRIVE
CLACKAMAS, OREGON 97015
(503) 656-4111 / FAX (503) 656-6297

DESIGNER

IDESIGNWORKS LLC
18047 SW LOWER BOONES FERRY RD #308
TIGARD, OREGON 97224
503-708-6204

CONTRACTOR

TBD
CCB#TBD
XXX-XXX-XXXX

GENERAL NOTES:

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE CURRENT STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

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THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN.) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

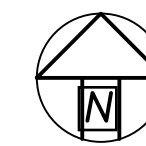
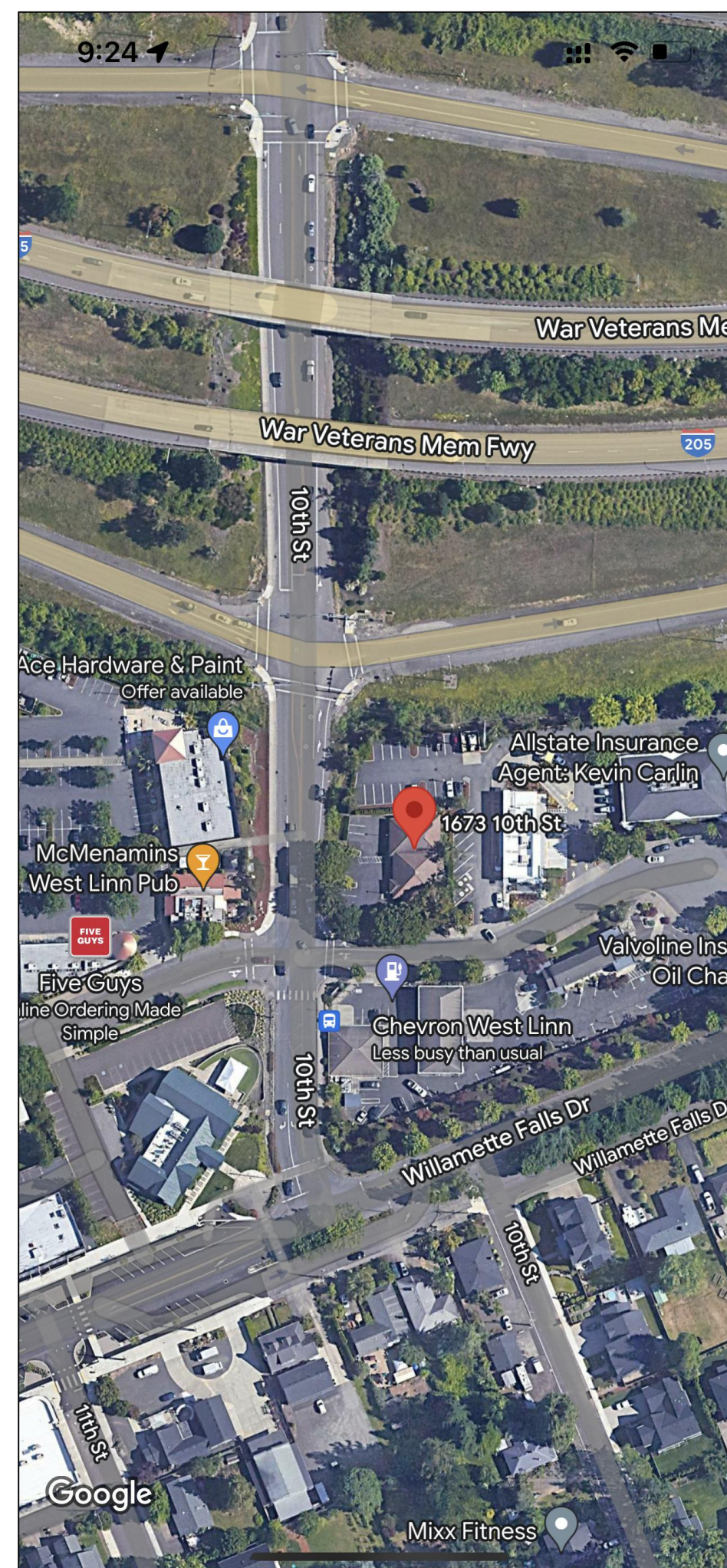
PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR MUST REVIEW SPECIFIC SITE CONDITIONS WITH THIS OFFICE BEFORE CONSTRUCTION.

KEY PLAN

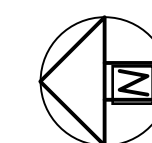
NTS



VICINITY MAP

NTS

ORIGINAL 1970



SCOPE OF WORK

REMODEL TENANT IMPROVMENT

DRAWING INDEX -

ARCHITECTURAL

- 0 COVER SHEET
- 1 EXTERIOR ELEVATIONS
- 2 EXTERIOR ELEVATIONS
- 3 MAIN FLOOR PLAN
- 3S MAIN FLOOR STRUCTURAL
- 4 FOUNDATION PLAN
- 4S FOUNDATION STRUCTURAL
- 5 ROOF PLAN
- 5S ROOF PLAN STRUCTURAL
- 6 DETAILS AND SPECIFICATIONS

PROJECT SUMMARY:

2019 OSSC / 2018 IBC

EXISTING PROPERTY ADDRESS:

1673 10TH STREET, WEST LINN OREGON

OCCUPANCY TYPE-----B BUSINESS GROUP (SEC 304)

CONSTRUCTION TYPE-----TYPE 5-B (TABLE 601) NS

ALLOWABLE AREA -----9,000 SQ. FT. (TABLE 506.2) 5B

ACTUAL AREA-----1,800-3,500 SQ. FT.

ALLOWABLE HEIGHT-----2 STORY / 40 FEET (TABLE 504.3 & 504.4)

ACTUAL HEIGHT-----19'-0"

EXIT -----1 REQUIRED

TRAVEL DISTANCE 100'-0" MAX (TABLE 1006.2.1)

PLUMBING FIXTURES ----- 10

FIRE RESISTANCE ----- 5B NON RATED / NON SPRINKLED

OCCUPANCY LOAD CALCS (TABLE 1004.5)

BUSINESS AREA 15,50,100,150 SQ FT. / OCCUPANT

SUBMITTAL DOCUMENTS PER SECTION 107...EXCEPTION 2.1 <4000 S.F. <20>

SPECIAL INSPECTION PER 170 4.2.3. (NONE REQUIRED)

BUILDING ENVELOPE REQUIREMENTS:

- ROOFS (attic or ceiling spaces) R-30
- WALLS ABOVE GRADE (Wood Framed) R-19- (OFFICE ONLY)
- FLOORS (Wood Joists) R-38
- FLOORS (Slab on Grage unheated) R-15 24"
- DOORS (METAL - swinging) U 0.20

SEPARATE PERMITS- (DEFERRED SUBMITTALS)

- ELECTRICAL
- PLUMBING
- MECHANICAL

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4949 SW Macadam Ave.
Portland, Oregon 97239

THESE PLANS ARE FOR THE PROVISION OF THE BUILDING CODE AND THE DESIGNER IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND BE RESPONSIBLE FOR ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.

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COVER SHEET

PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVMENT

OWNER: KIDS FIRST LLC

1673 10TH STREET
WEST LINN, OREGON 97068

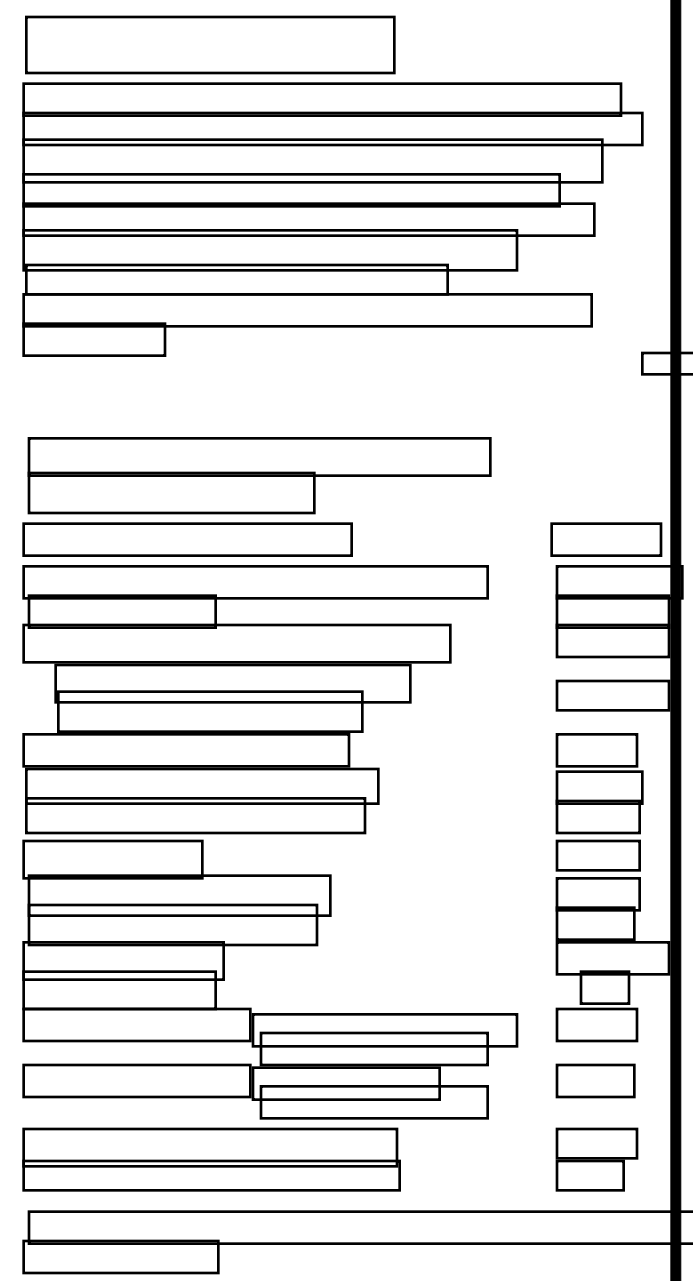
DATE: 12-26-2022

PROJECT NO.: 22-10020

REVISIONS: 2-10-2020

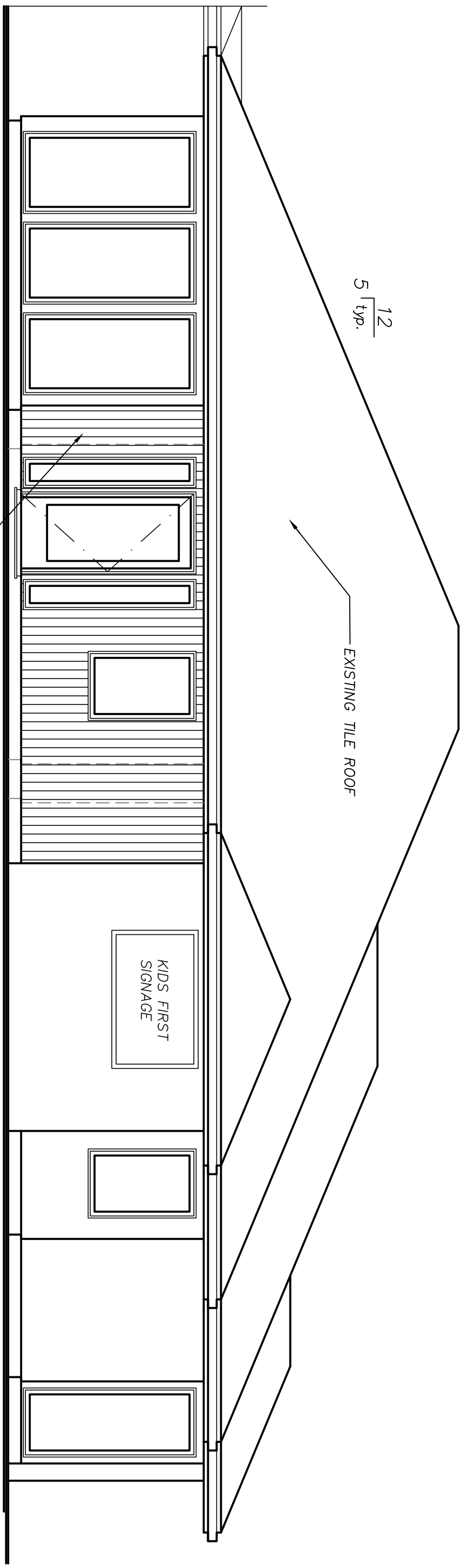
NO: 1

OF



NOTICE

ALL CONSTRUCTION TO COMPLY WITH THE 2017 EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE / 2015 INTERNATIONAL RESIDENTIAL CODE WITH THE OREGON AMENDMENTS AND OREGON RESIDENTIAL AMENDMENTS (SECTION 11). COORDINATE ALL APPLICABLE MODIFICATIONS TO THESE DRAWINGS AS REQUIRED



NORTH-SIDE ELEVATION

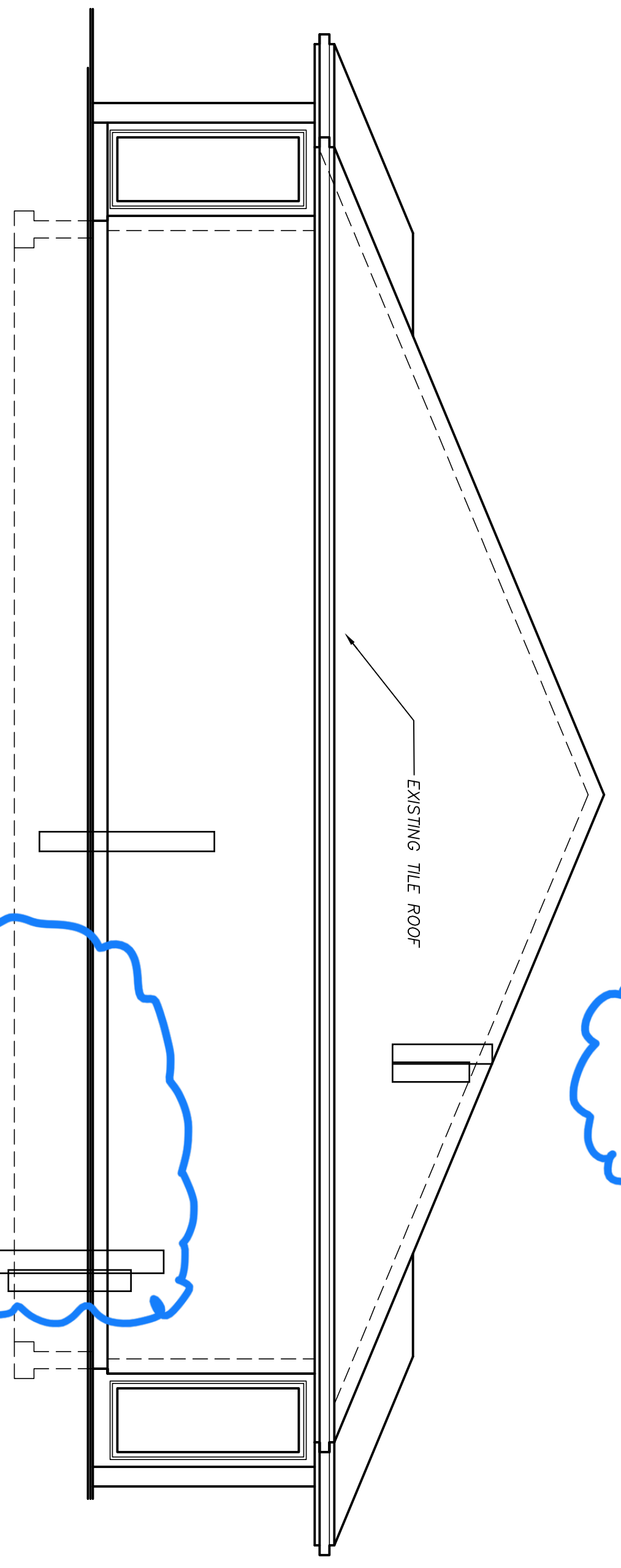
SCALE: 1/4" = 1'-0"

NOTE:

EXPAND ALL ELDERS 4 MIN. ST. 2'-0"
 EXPAND ALL ELDERS 4 MIN. ST. 2'-0"
 A 10'-0" HORIZONTAL RADIUS

NOTE:

ALL GRADES SHOWN ARE APPROXIMATE.
 CONTRACTOR SHALL VERIFY ALL EXISTING AND FINISH GRADES.



NORTH-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

PRESCRIPTIVE ENVELOPE REQUIREMENTS:

BUILDING COMPONENTS	VALUES
Maximum Allowable Window Area	No Limit
Window Glass	U=0.20
Driveway Glass from Main Entry	U=0.20
Entrance Door Entry Door (maximum 25 s.f.)	U=0.54
Exterior Wall Insulation	R-15
Underfloor Insulation 10"	R-30
Underfloor Insulation 8"	R-25
Floor Ceilings	R-49
Vaulted Ceilings 3'0"	R-25
Vaulted Ceilings 8"	R-21
Skylight Glass	U=0.60
Skylight Area	<2%
Basement Walls (that do not extend more than 24" above grade)	R-15
Basement Walls (that do not extend more than 24" above grade)	R-21
Slab Floor Edge Insulation	R-15
Forced Air Duct Insulation	R-8

Taken from Table M101.2 of the 2017 O.R.S.C.

DESIGNWORKS LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION SUPPLIED HEREON. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE EXISTING SITE CONDITIONS, DIMENSIONS, AND TO NOTIFY THE DESIGNER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.

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- " Collaborative Professional Network "
- " A Design Experience "
- " Construction Bidding Service "
- " Owner Representation Service "
- " Green Building Consulting Service "

THESE PLANS ARE FOR THE INFORMATION OF THE OWNER AND ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTURAL FIRM. THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ALL OTHER INFORMATION.

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TITLE: PROJECT: **KIDS FIRST LLC OFFICE TENANT IMPROVMENT** 1673 10TH STREET WEST LINN, OREGON 97068

OWNER: **KIDS FIRST LLC**

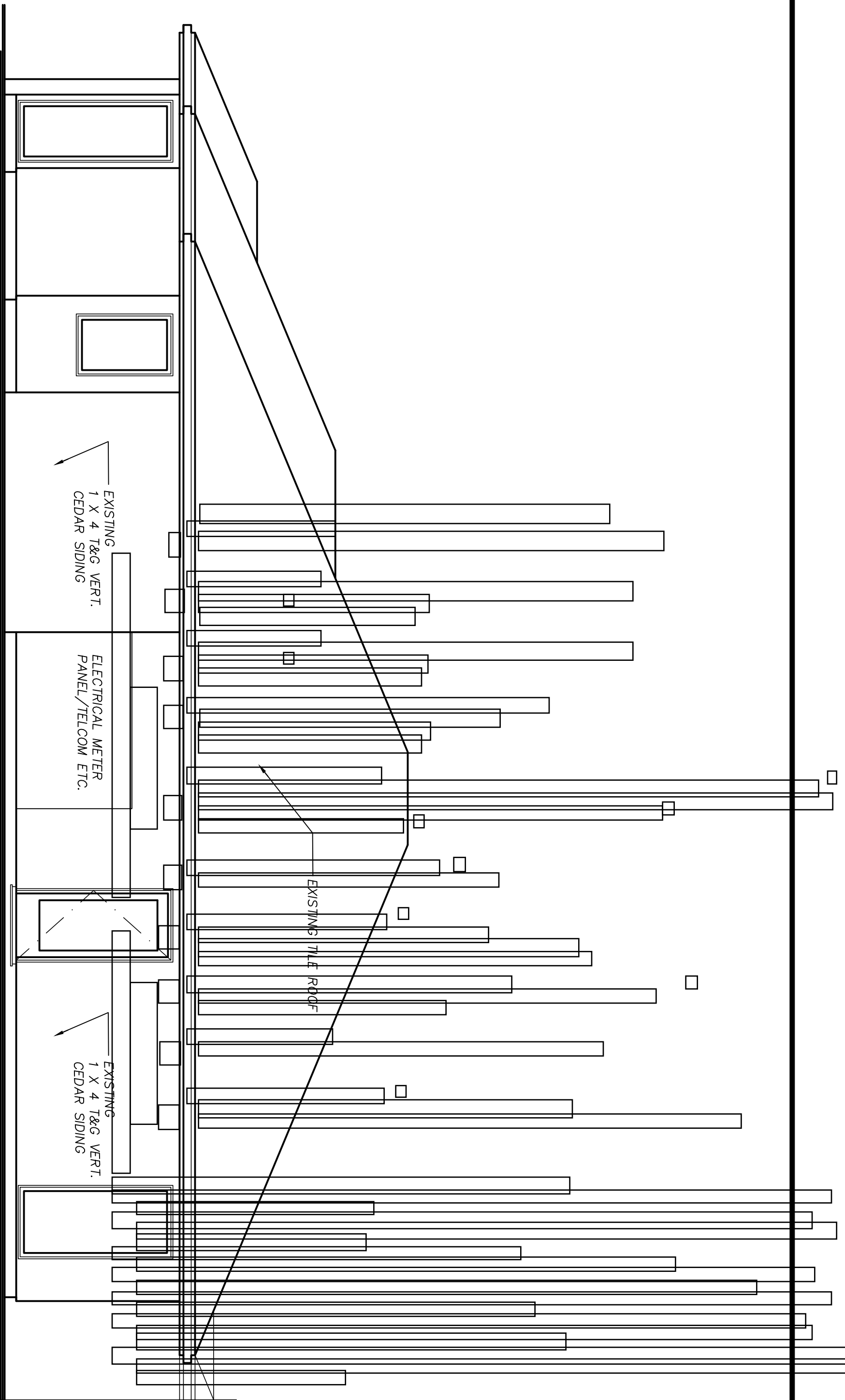
DATE: 12-26-2022

PROJECT NO.: 22-18020

REVISIONS: 2-10-2020

ND: 1

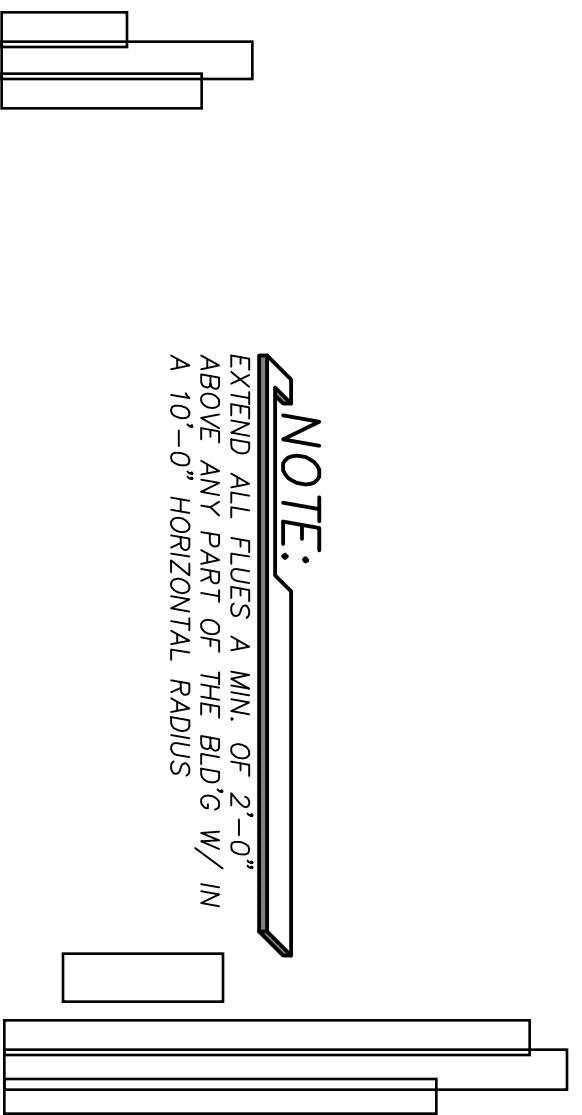
DF



EAST-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
EXTEND ALL FILLS A MIN. OF 2'-0"
ABOVE ANY PART OF THE BLDG W/IN
A 10'-0" HORIZONTAL RADIUS



SOUTH-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

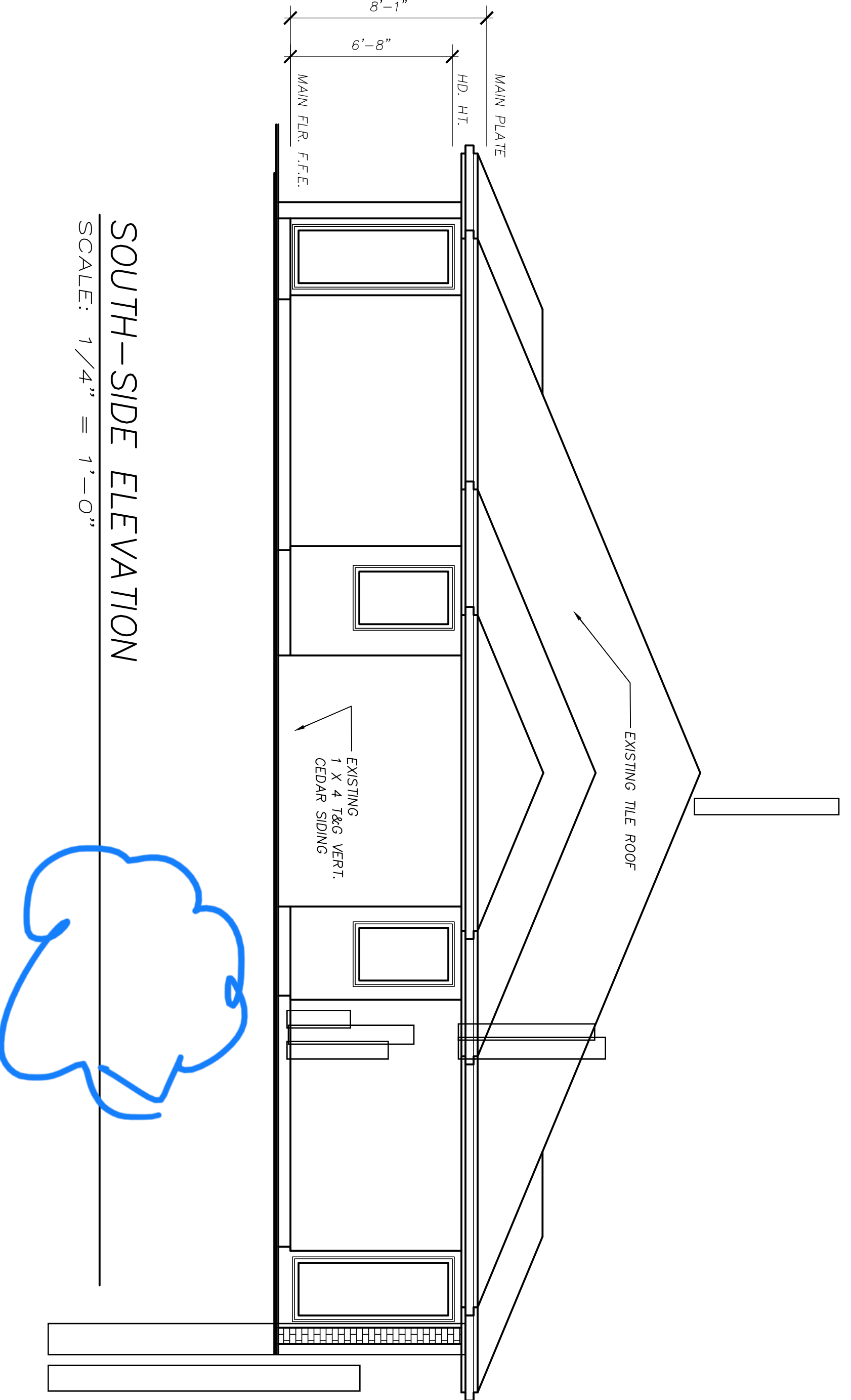


TABLE N101(2) - ADDITIONAL MEASURES

CONSERVATION MEASURE (SELECT ONE)		ENVELOPE ENHANCEMENT MEASURE (SELECT ONE)	
1	UPGRADED FEATURES	1	HIGH EFFICIENCY WALLS - U-0.045/R-21 CAVITY INSULATION + R-5 CONTINUOUS
2	EXTERIOR WALLS - U-0.087/R-23 INTERMEDIATE OR R-21 ADVANCED WINDOWS - U-0.28 (AVERAGE UA)	2	UPGRADED FEATURES
3	EXTERIOR WALLS - U-0.055/R-23 INTERMEDIATE OR R-21 ADVANCED FLAT CEILING - U-0.017/R-60, AND FRAMED FLOOR - U-0.028 / R-38	3	UPGRADED FEATURES
4	SUPER INSULATED WINDOWS AND AILING OR FRAMED FLOOR WINDOWS - U-0.22 (TRIPLE PANE LOW-E) AND FLAT CEILING - U-0.017 / R-60 OR FRAMED FLOOR - U-0.028 / R-38	4	MANUALLY AIR SEALING OF ALL WALL COVERINGS AT TOP PLATE AND AIR SEALING CHECKLIST AND MECHANICAL WHOLE-BUILDING VENTILATION SYSTEM WITH RATES MEETING MIN903 OR ASHRAE 62.2, AND ALL DUCTS SEALED WITH MASTIC
5	AIR SEALING HOME AND DUCTS	5	HIGH EFFICIENCY THERMAL ENERGY UA ⁹
6	PROPOSED UA IS LOWER THAN THE CODE UA	6	HIGH EFFICIENCY WATER HEATER ⁶
A	HIGH EFFICIENCY HVAC SYSTEM ⁸	7	DUCTLESS HEAT PUMP
B	DUCTED HVAC SYSTEMS WITHIN CONDITIONED SPACE	8	DUCTLESS HEAT PUMP HSFP 100 IN PRIMARY ZONE OR DWELLING
C	DUCTLESS HEAT PUMP	9	ELECTRIC HEAT PUMP WATER HEATER TIER 1 NORTHERN CLIMATE SPECIFICATION PRODUCT

FOR SIZE 1 SQUARE FOOT = 0.093 W 2, 1" WATT PER SQUARE FOOT = 10.8 W/M².

a. ALL DUCT JOINTS AND SEALS SEALED WITH MASTIC/TAPE IS ONLY ALLOWED AT APPLIANCE OR EQUIPMENT CONNECTIONS (FOR BOWLING POWER ADMINISTRATION (BPA) OR OTHER SYSTEMS PROVIDED BY THE BOWLING POWER ADMINISTRATION (BPA)).

b. RESIDENTIAL WATER HEATERS LESS THAN 55 GALLON STORAGE VOLUME SHALL BE PERMITTED TO BE OUTSIDE THE CONDITIONED SPACE.

c. A TOTAL OF 5 PERCENT OF AN HVAC SYSTEM'S DUCTWORK SHALL BE PERMITTED TO BE OUTSIDE THE CONDITIONED SPACE.

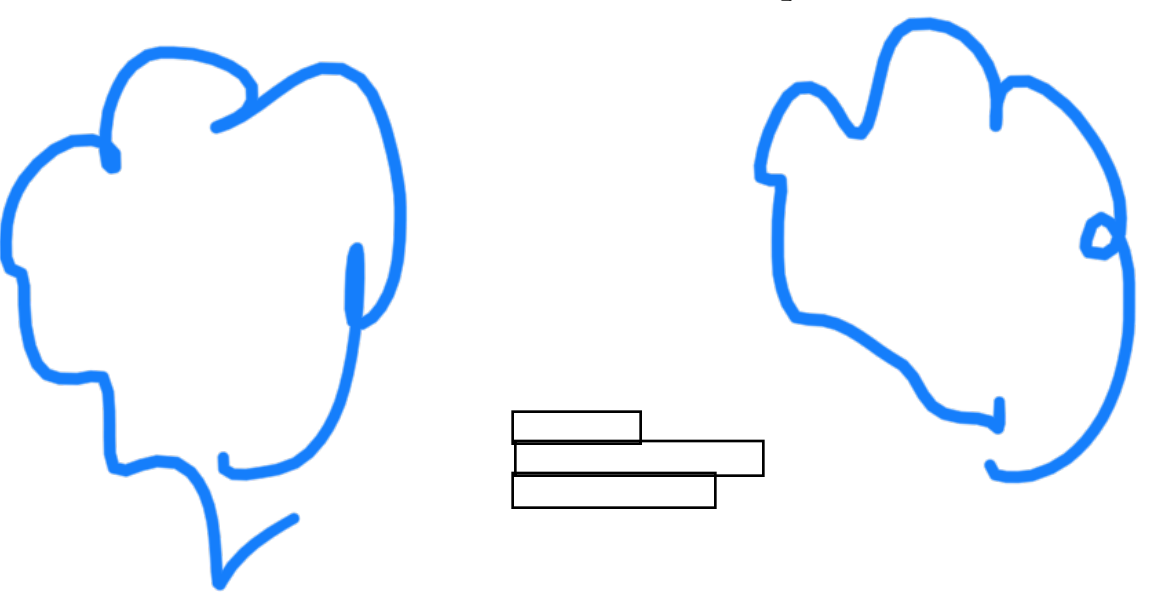
d. DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE SHALL BE PROTECTED AS REQUIRED BY THE LOCAL CODES.

e. ARE UNLESS VALUED AREA HAS U-FACTOR NO GREATER THAN U-0.028.

f. CEILING SEALING MATERIAL (EXAMPLE: EPS/STUCCO BOARD TO WOOD STUD FRAMING)

g. PERCENTAGE OF THE TOTAL VENTILATION WALL AREA MAY ADJUST THE CODE UA TO HAVE 15 PERCENT WITH PENETRATION LESS THAN 15 PERCENT OF THE TOTAL VENTILATION WALL AREA MAY ADJUST THE CODE UA TO HAVE 15 PERCENT OF THE WALL AREA AS PENETRATION.

NOTE:
ALL GRADES SHOWN ARE APPROXIMATE.
DIMENSIONS SHOWN ARE TO ALL EXISTING AND FINISH GRADES.



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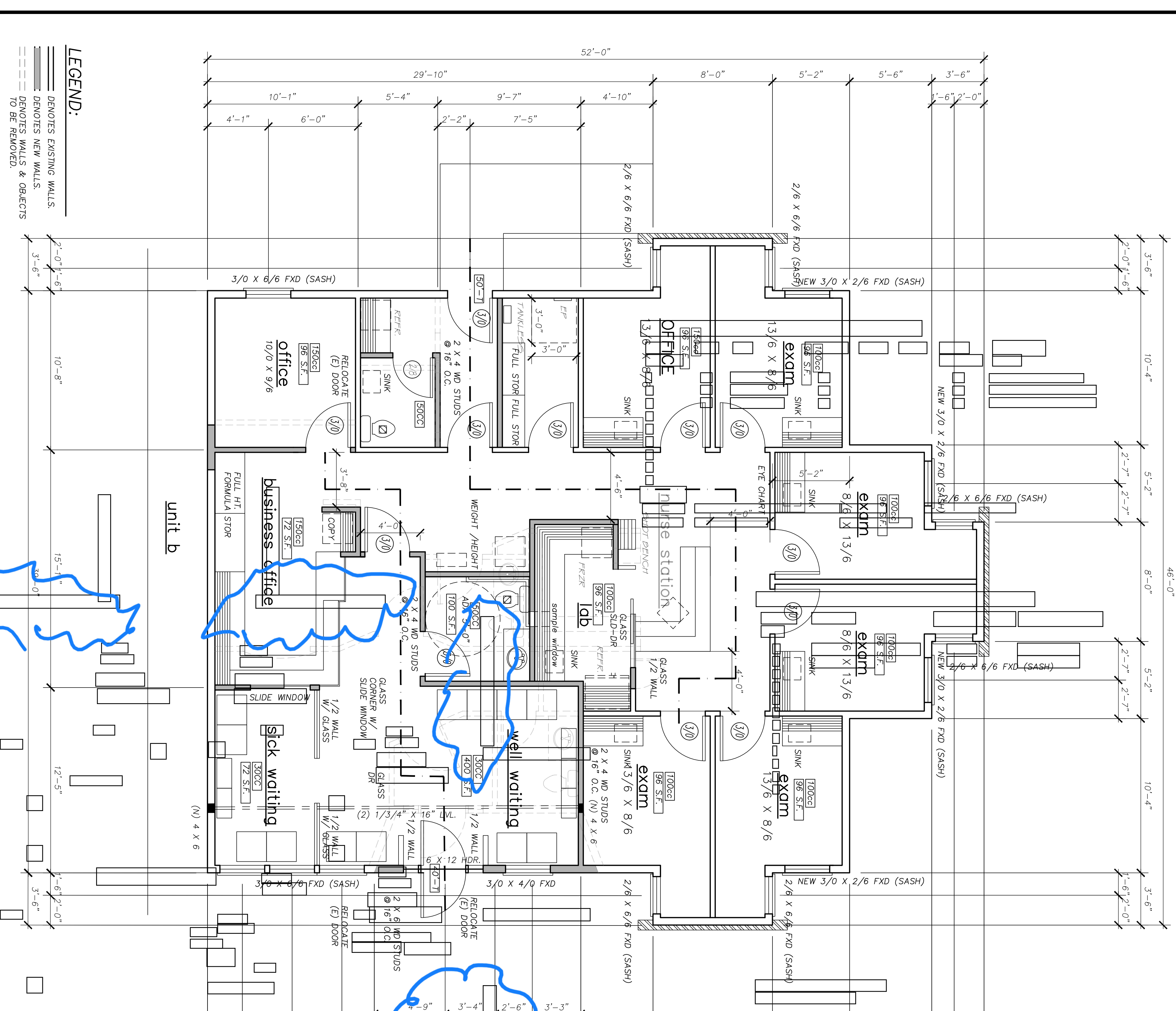
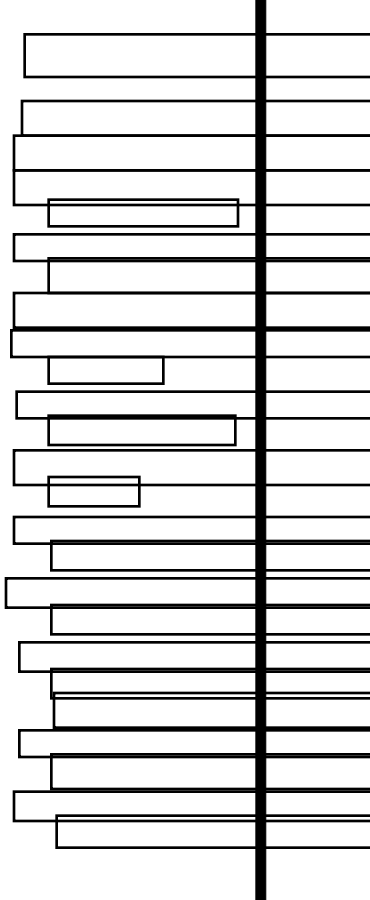
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TITLE:
EXTERIOR ELEVATIONS
PROJECT:
KIDS FIRST LLC OFFICE TENANT IMPROVMENT
OWNER:
KIDS FIRST LLC
1673 10TH STREET
WEST LINN, OREGON 97068

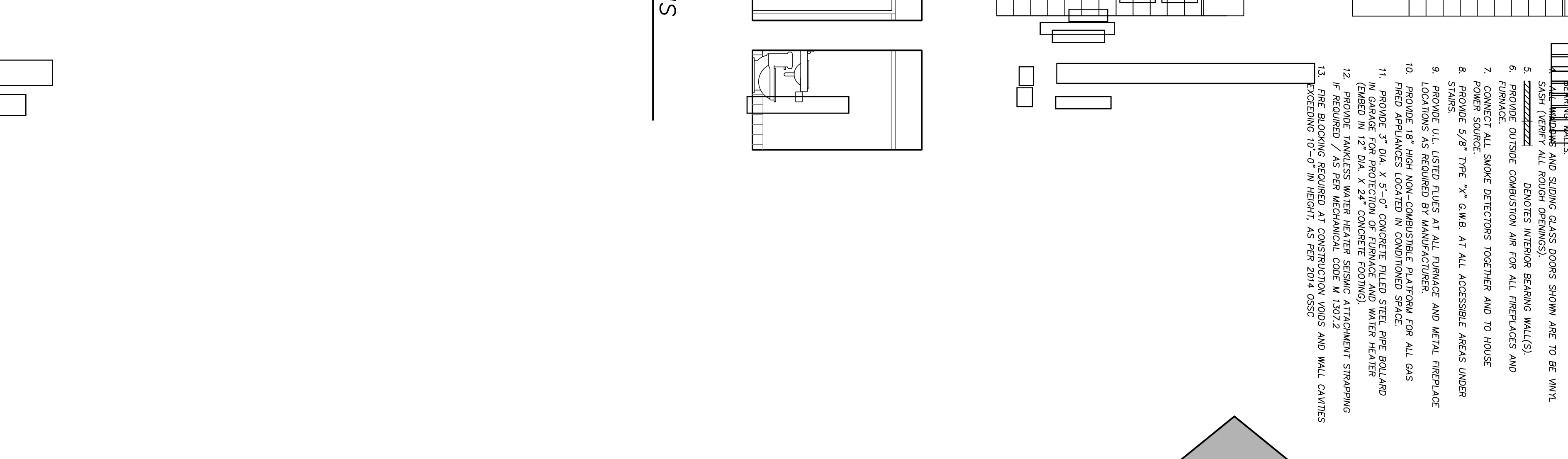
DATE:
12-26-2022
PROJECT NO.:
22-101
REVISIONS:

N.D.
OF
2



DOOR NUMBER	TYPE	SIZE	MATERIAL	GLASS FINISH	FRAME MATERIAL	REMARKS / NOTES
1	WD	3'-0" X 6'-6"	WD		WD	TRP INTERIOR DOOR OFFICE
2	WD	2'-10" X 6'-8"	WD		WD	TRP INTERIOR DOOR BATHROOM
3	WD	2'-4" X 8'-8"	WD		WD	TRP INTERIOR DOOR BATHROOM
4						
5						
6						
7						
8						
9						

WINDOW NUMBER	TYPE	FRAME TYPE	FRAME SIZE (WxH)	STYLE / OPERATION	REMARKS / NOTES
A	OFFICE / PLAM WINDOW (SASH)	EXISTING		VERTILY W/ MANUF	
B	RECEPTION GLASS	EXISTING		VERTILY W/ MANUF	
C					
D					
E					
F					
G					
H					
I					
J					
K					
L					



GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS AT 16" O.C. (TRP UNO.)
- ALL INTERIOR WALLS TO BE 2 X 4 STUDS AT 16" O.C. (TRP UNO.)
- ASSUME A MINIMUM OF (2) 2 X 4 STUDS AS BEAM SUPPORTS AT EXTERIOR WALLS.
- ALL WALLS AND SLIDING GLASS DOORS SHOW ARE TO BE VINYL.
- DO NOT REMOVE ALL ROOMS OR ENCLOSURE BEARING WALLS.
- VERIFY ALL ROOMS INTERIOR BEARING WALLS.
- PROVIDE OUTSIDE COMBUSTION AIR FOR ALL FIREPLACES AND FINANCE.
- CONNECT ALL SMOKE DETECTORS TOGETHER AND TO HOUSE POWER SOURCE.
- PROVIDE 5/8" TYPE "X" G.W.B. AT ALL ACCESSIBLE AREAS UNDER STAIRS.
- PROVIDE ALL LISTED PLUGS AT ALL FINANCE AND METAL FINERLAGE LOCATIONS AS REQUIRED BY MANUFACTURER.
- PROVIDE 18" HIGH NON-COMBUSTIBLE PLATFORM FOR ALL GAS FINANCE AS REQUIRED BY MANUFACTURER.
- PROVIDE 3" DIA. X 5'-0" CONCRETE FILLED STEEL PIPE ROLLER IN GARAGE FOR PROTECTION OF FINANCE AND WATER HEATER (EASED IN 12 DIA. X 24 CONCRETE FOOTING).
- ATTACHMENT STRAPPING 12" RECORDED "S" PER MECHANICAL CODE M 13072
- FIRE BLOCKING REQUIRED AT CONSTRUCTION VOIDS AND WALL CAVITIES EXCEEDING 10'-0" IN HEIGHT, AS PER 2014 OSSC.

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LEGEND:

- DENOTES EXISTING WALLS
- == DENOTES NEW WALLS
- DENOTES WALLS & OBJECTS TO BE REMOVED.

MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE - MAIN FLOOR

DOOR SCHEDULE - MAIN FLOOR

WATER CLOSET DETAIL

LAVATORY CLEARANCES

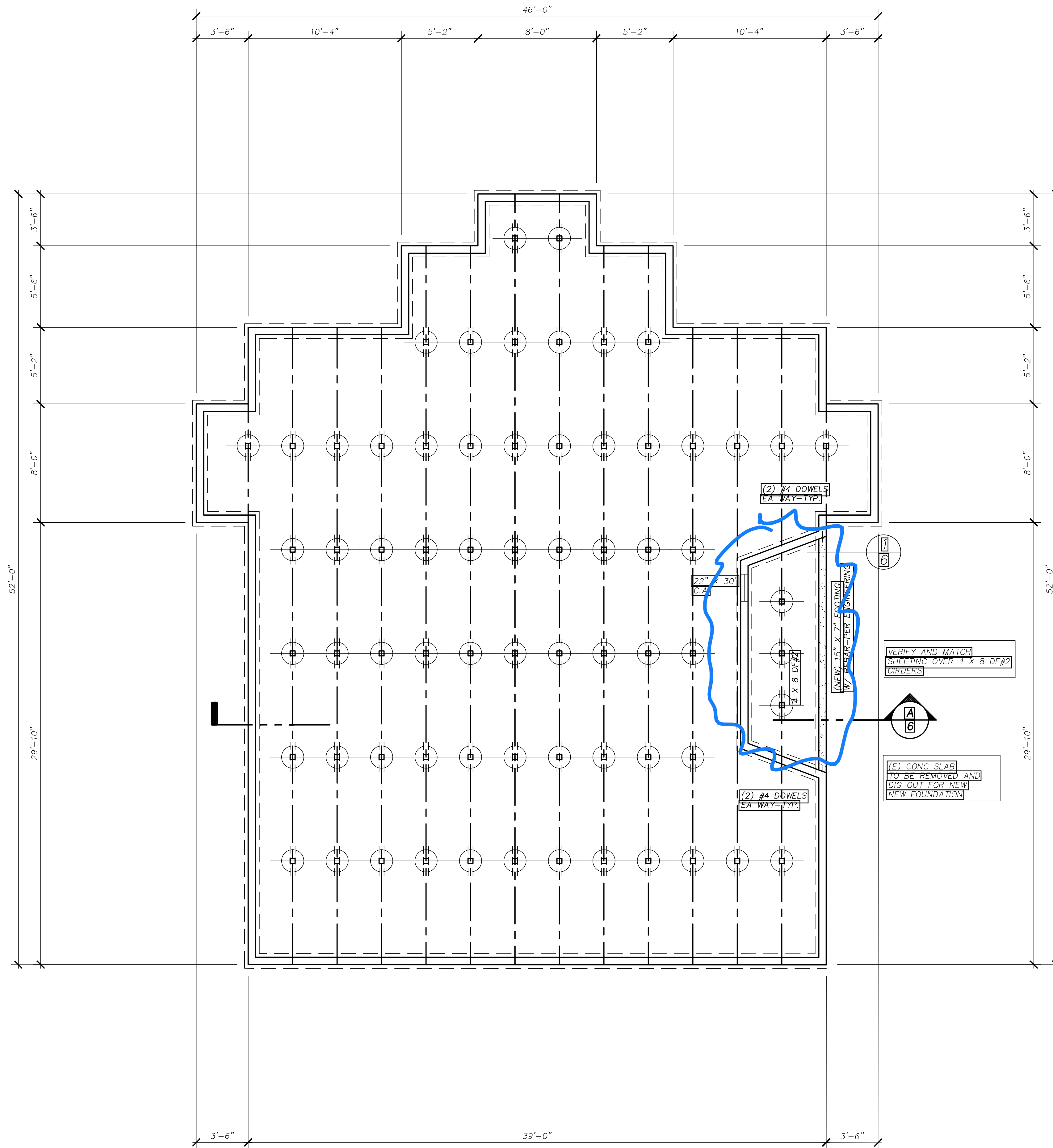
MEN / WOMEN LAVATORY ELEVATIONS

GENERAL NOTES:

PROJECT INFORMATION:

TITLE: MAIN FLOOR PLAN
 PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVMENT
 OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
 PROJECT NO.: 22-101
 REVISIONS:



CONCRETE FOOTINGS			
(SOIL PRESSURE= 1500 psf)			
	L X	W X	THICKNESS
12	12	12	6
14	14	14	7
16	16	16	8
18	18	18	9
20	20	20	10
22	22	22	11
24	24	24	12
26	26	26	13
28	28	28	14
30	30	30	15
32	32	32	*
34	34	34	*
36	36	36	*
38	38	38	*
40	40	40	*
42	42	42	*
44	44	44	*
46	46	46	*
48	48	48	*
12	12	IN. DIA.	6
16	16	IN. DIA.	8
18	18	IN. DIA.	9
20	20	IN. DIA.	10
24	24	IN. DIA.	12
30	30	IN. DIA.	15
*	16" THK. FTG. REINFORCED	W/ #4 @ 12" O.C. EA. WAY	

- FOUNDATION NOTES:**
- CONTRACTOR TO EXCAVATE AS TO MAINTAIN 18" MIN. GROUND TO GIRDER CLEARANCE
 - COVER ENTIRE GROUND AREA OF CRAWLSPACE W/ 6 MIL. "VISQUEEN", EXTEND A MIN. OF 1'-0" UP FOUNDATION WALL
 - GIRDERS TO HAVE 3" MIN. BEARING ON ASPHALT COMPOSITE SHINGLE W/ 1/2" AIR SPACE AT ENDS AND SIDES OF GIRDER AND FOUNDATION WALL
 - FOUNDATION VENTS TO 16" X 8" W/ #4 MESH CORR. RESIST. SCREEN (CLOSABLE) REQUIRED
 - PROVIDE 18" X 24" CRAWLSPACE ACCESS AS PER 2014 OSSC (22" X 30" RECOMMENDED)
 - PROVIDE CRAWLSPACE DRAIN AS PER 2014 OSSC
 - MIN. REBAR PER CODE, 1-#4 TOP & BOTTOM (CONT.) W/ #4 @ 48" O.C. VERT. STANDARD FOOTING. (TYP.) W/ LAPS PER R404.1.3.3.75
 - MINIMUM 3" X 3" X 1/4" PLATE WASHERS ON FULL LENGTH OF BRACED WALL LINES PER 2014 OSSC
 - PROVIDE RADON MITIGATION PER APPENDIX F 2014 OSSC IN COUNTIES AS REQUIRED PER CODE

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

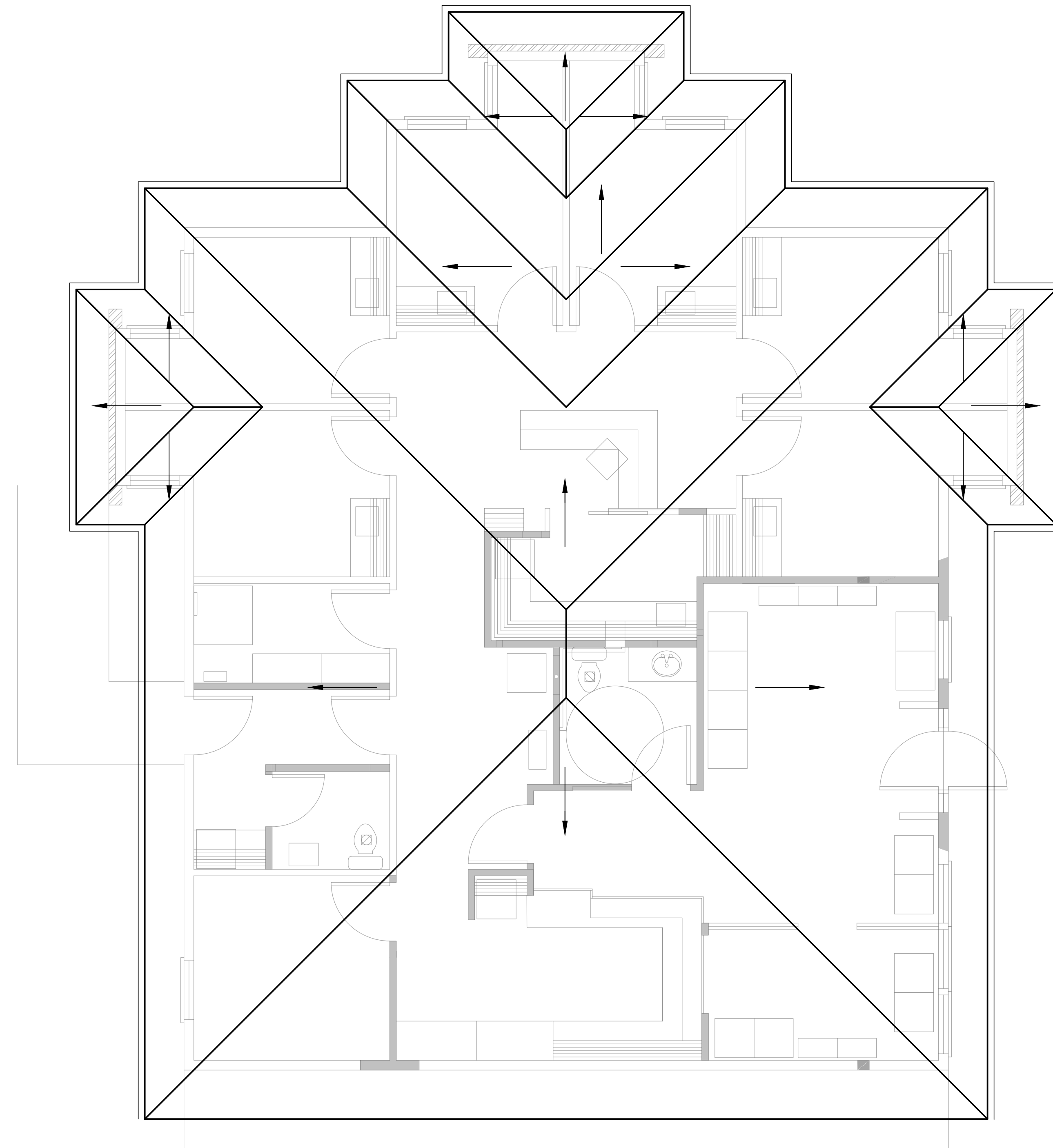
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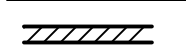
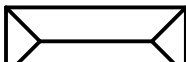
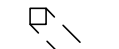
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FOUNDATION PLAN
 PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
 OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
 PROJECT NO.: 22-101
 REVISIONS:



ROOF FRAMING LEGEND (TILE)

-  BEARING WALL BELOW
-  ALL HIP, VALLEYS AND RIDGES TO BE 2 X UNLESS NOTED OTHERWISE
- 1 2 X 8 RAFTERS @ 24" O.C. (11'-0" MAXIMUM SPAN)
- 2 2 X 8 RAFTERS @ 12" O.C. (15'-7" MAXIMUM SPAN)
- 3 2 X 10 RAFTERS @ 24" O.C. (13'-6" MAXIMUM SPAN)
- 4 2 X 12 RAFTERS @ 24" O.C. (17'-6" MAXIMUM SPAN)
- 5 - - - - 2X PURLINS @ 24" O.C. @ 45° MAX. FROM VERTICAL, SUPPORT FROM BEARING TO RAFTERS
- 6 OVERFRAME W/ 2 X 8 RAFTERS @ 24" O.C.
- 7  POST UP FROM BEARING POINT BELOW
- 8 AT ALL VAULTED 2 X 8 CEILINGS, USE 2 X 4 FURRING BELOW FOR INSULATION, REQ'MTS.
- 9 MANUF. TRUSSES @ 24" O.C.
- 10 MANUF. "SCISSOR" TRUSSES @ 24" O.C.
- 11 MANUF. "STUB" TRUSSES @ 24" O.C.
- 12 MANUF. "ATTIC" TRUSSES
- 13 EXISTING ROOF SYSTEM

ROOF PLAN NOTES:

- 1. ALL OVERHANGS TO BE 24" (TYP. U.N.O.) MATCH EXISTING. VERIFY.
- 2. ALL RAKES TO BE 18" (TYP. U.N.O.) MATCH EXISTING. VERIFY.
- 3. ROOFING TO BE CONC. TILE ROOF SHINGLES. MATCH EXISTING. VERIFY.
- 4. ROOF VENTS TO BE 50 SQ. IN. EA. (REQUIRED) MATCH EXISTING. VERIFY.
- 5. ALL ROOF SLOPES TO BE 14:12 PITCH (TYP. U.N.O.) MATCH EXISTING. VERIFY.

NOTE
VERIFY EXISTING TILE MANUF FOR AND REPAIRS OR SEALING - SEE CONTRACTOR

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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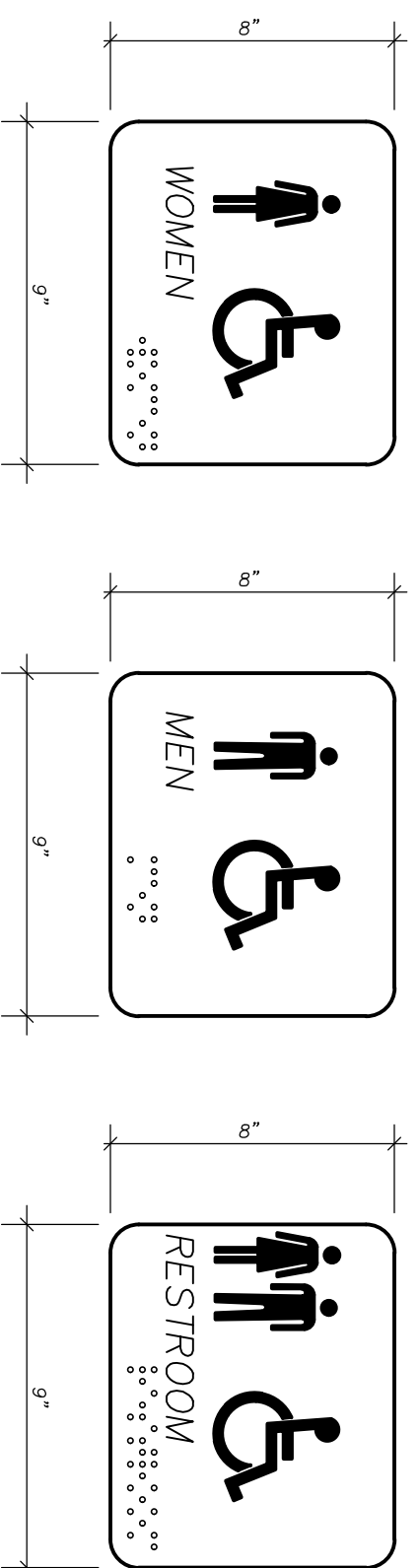
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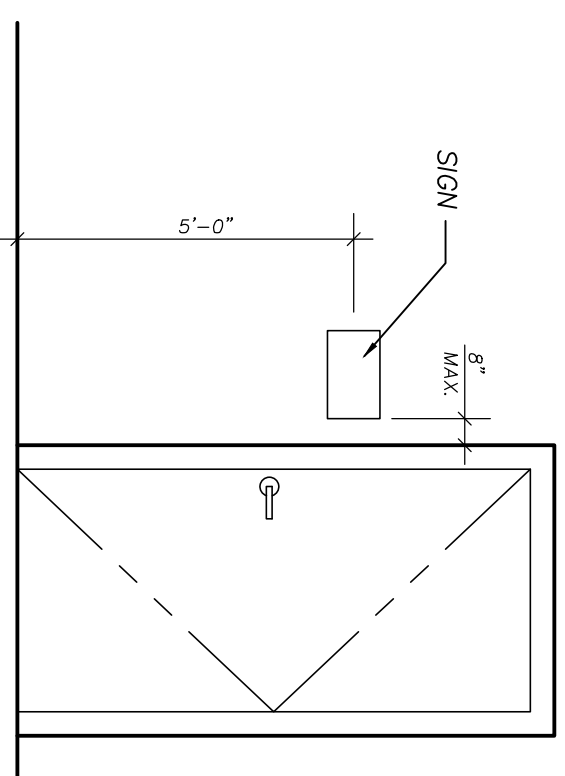
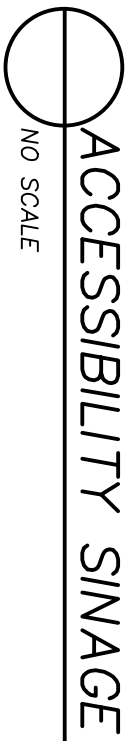
ROOF FRAMING PLAN
 PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVEMENT
 OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
 PROJECT NO.: 22-101
 REVISIONS:

NO: 5
 OF



ACCESSIBILITY SIGNAGE
 PROVIDE (1) SIGN PER TOILET COMPLIING W/ ADA LOCAL CODE.
 SIGNS TO HAVE RAISED AND BRILLE CHARACTERS AND PICTORIAL
 SYMBOLS. ACCESSIBILITY MOUNT 5'-0" TO CENTERLINE AT 7.5" SIGN
 SIZE 8"x9"



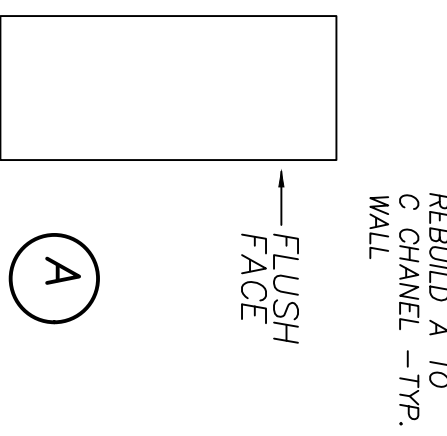
NOTE:
 FINISH MATERIALS @ INT. WALLS &
 C.L.C. SHALL NOT EXCEED OSSC TABLE 8A.B
 REGARDING FLAME SPREAD

DOOR SCHEDULE		CLOSER		WOOD FRAME		20 MIN. FIRE LABEL ASSEMBLY		TYPE (BELOW)		COMMENTS		1-HR FIRE LABEL ASSEMBLY REQ'D		NOTES	
#	SIZE	1 3/4" THK.	MATERIAL WOOD METAL	SOLID CORE	WOOD FRAME	20 MIN. FIRE LABEL ASSEMBLY	TYPE (BELOW)	COMMENTS	1-HR FIRE LABEL ASSEMBLY REQ'D	NOTES					
1	3/0 x 6/8	○	○	○	○	○	(A)	INTERIOR	○	BIRCH					

○ = MATERIAL TO BE USED

GENERAL NOTES

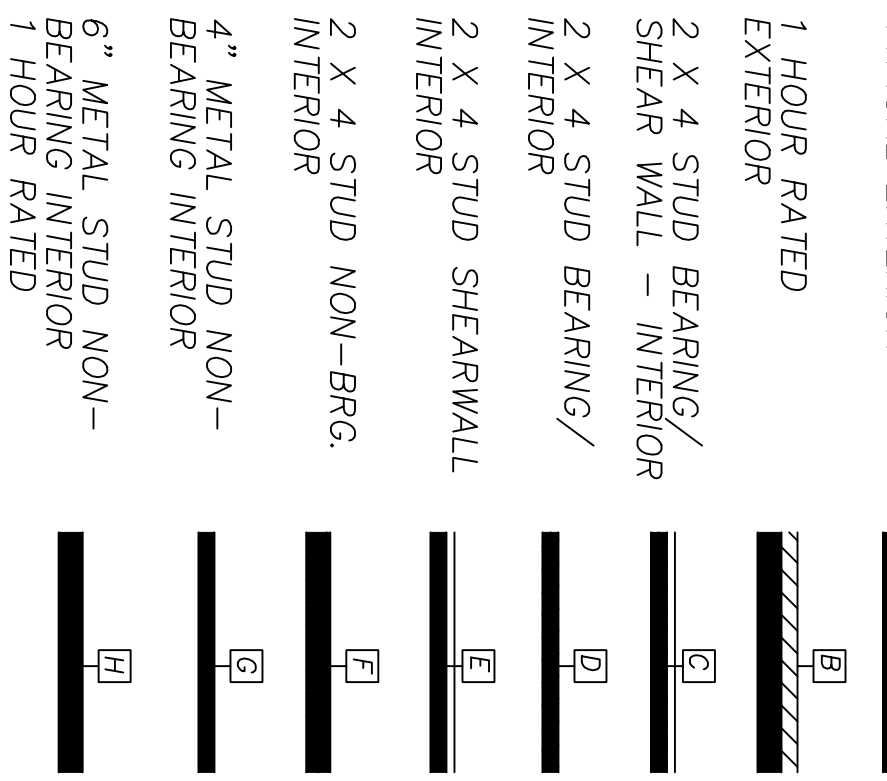
- 1) COORDINATE ALL PLUMBING, HVAC, SPRINKLER AND ELECTRICAL WORK PER CODE.
- 2) VERIFY SIGNAGE WITH TENANT.
- 3) ALL CABINET SPECS SIMILAR TO EXISTING
- 4) ALL INTERIOR FINISHING SIMILAR TO EXISTING
- 5) PROVIDE VENT PER CODE FOR EXHAUST FANS.



WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE	WALL SCHEDULE
2 X 4 INT SHEARWALL "A"	2 X 4 INT NON-BRG "F"	2 X 4 INT BRG / SHEARWALL	2 X 4 INT BRG "D"	2 X 4 INT SHEARWALL "E"
4" MASONRY VENEER TYPE 'X' 1" GYP. BD PER STRUCTURAL	1" GYP. BD TYPE 'X' 2 X 6 STUDS PER STRUCTURAL R-19 BATT INSUL.	1" GYP. BD TYPE 'X' 2 X 6 STUDS PER STRUCTURAL R-19 BATT INSUL.	1" GYP. BD TYPE 'X' 2 X 4 STUD	1" GYP. BD TYPE 'X' 2 X 4 STUD

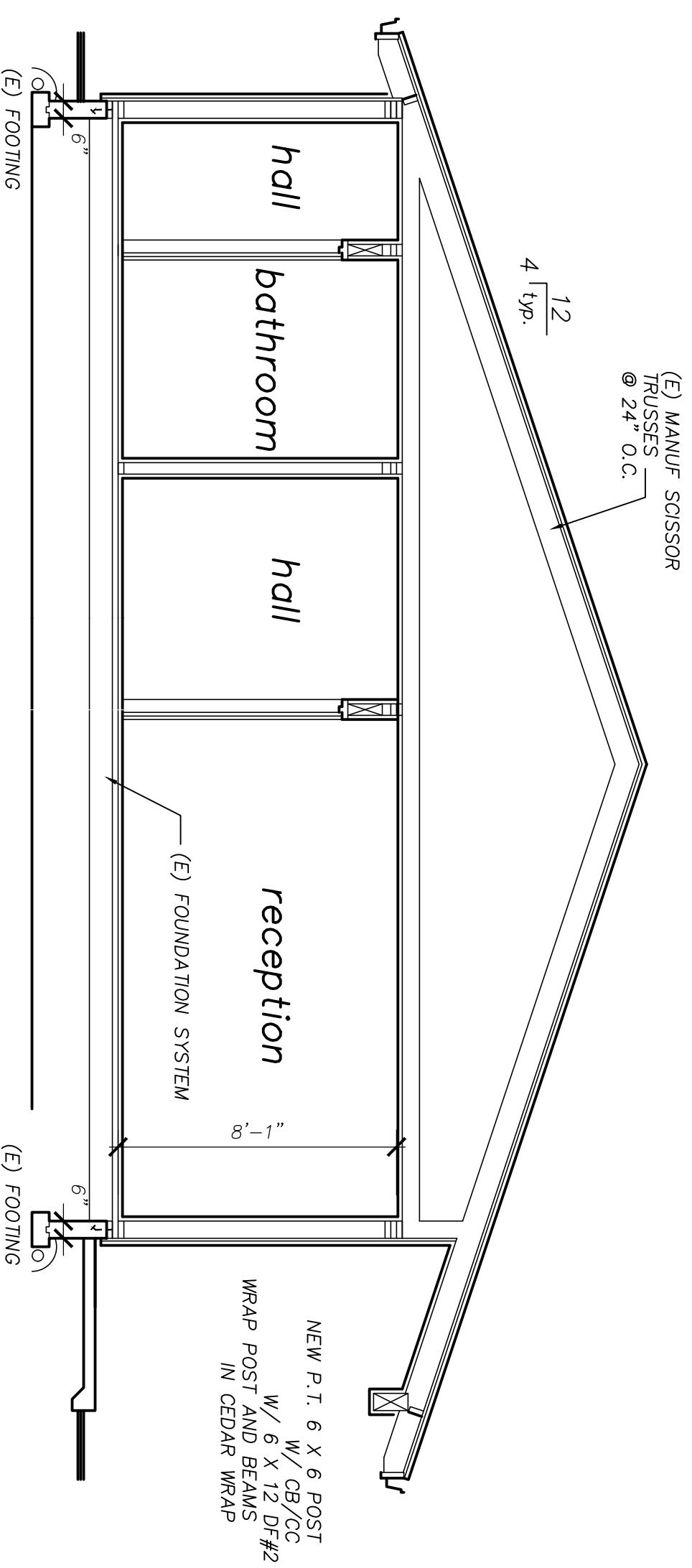
WALL LEGEND

TYPICAL EXTERIOR

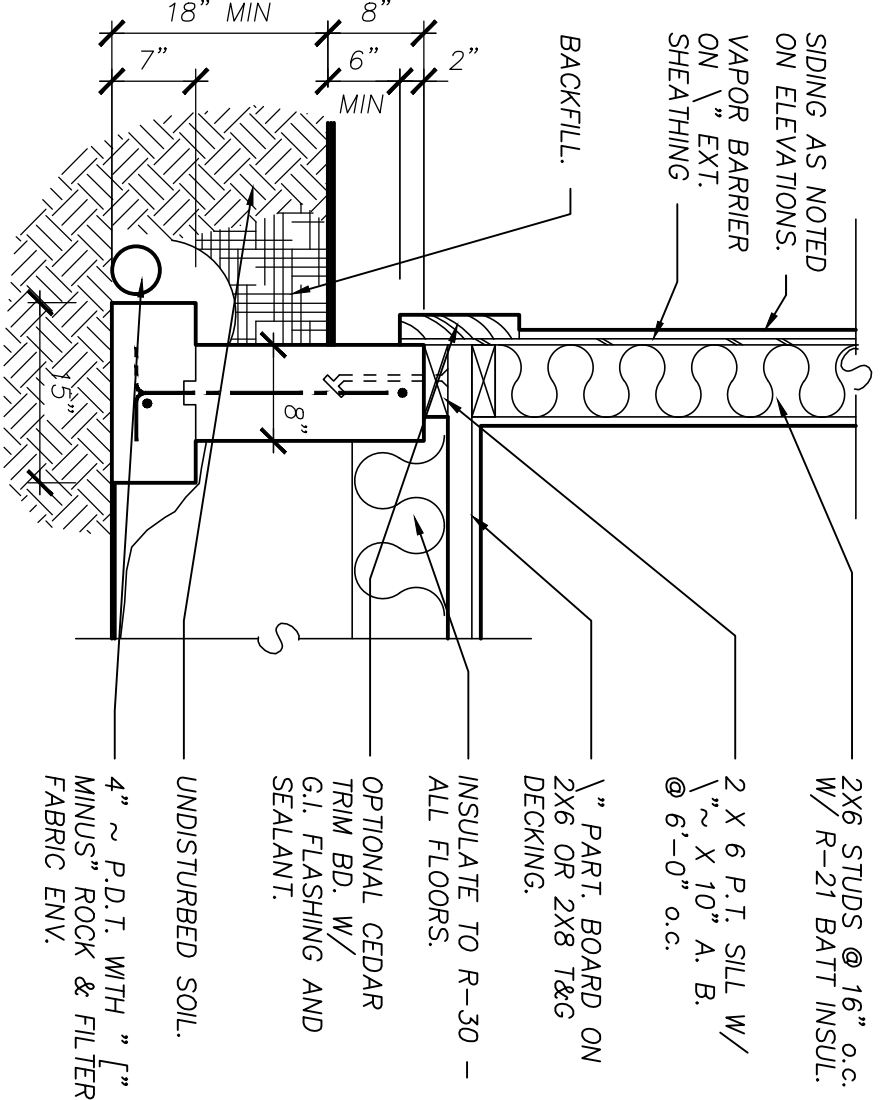


ELECTRICAL SYMBOL KEY

LIGHT FIXTURES	SWITCHES
RECESSED CAN LIGHT - INSULATED AREAS	SINGLE POLE SWITCH
RECESSED CAN LIGHT - INSULATED AREAS ON NON-INSULATED	THREE-WAY SWITCH
RECESSED CAN - EYEBALL	FOUR-WAY SWITCH
RECESSED CAN - EYEBALL - INSULATED AREAS ON NON-INSULATED	SWITCH W/ DIMMER
CEILING SURFACE MOUNT LIGHT	DUPLEX OUTLET
CEILING SURFACE MOUNT LIGHT - PULL CHORD	DUPLEX OUTLET 200 VOLT - RANGE/DRYER
WALL SURFACE MOUNT LIGHT	DIRECT WIRE CONNECTION
MISC. FIXTURES	TELEPHONE OUTLET
EXHAUST FAN	CABLE TELEVISION OUTLET
RECESSED CAN - EYEBALL	
SHOULDER DETECTOR	
SHOULDER DETECTOR - ALL FLOORS	



(A) BUILDING SECTION
 SCALE 1/4" = 1'-0"



(1) FOUNDATION DETAIL
 SCALE: 3/4" = 1'-0"

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TITLE: DETAILS AND SECTIONS
PROJECT: KIDS FIRST LLC OFFICE TENANT IMPROVMENT
OWNER: KIDS FIRST LLC
 1673 10TH STREET
 WEST LINN, OREGON 97068

DATE: 12-26-2022
PROJECT NO.: 02-18020
REVISIONS: 2-10-2020

ND: 5
DF:

Schroder, Lynn

From: Wyss, Darren
Sent: Thursday, April 27, 2023 5:17 PM
To: Wyss, Darren
Cc: Schroder, Lynn; Floyd, John; Williams, John
Subject: Waiving Pre-Application Conference Requirement

Greetings,

Under the authority prescribed by Community Development Code Chapter 99.030.B(4), I have waived the need for a pre-application conference for a Class I Design Review at 1673 10th Street. It was determined the limited impact of the project (enclosing 48 square feet of a recessed entryway), the fact the entry door will remain, the fact there will be no expansion of the building outside of the existing roofline, the fact there will be no impacts to parking, and the fact there is limited applicable criteria, made the pre-application conference unwarranted. The Planning File number for this proposal is DR-23-03. This email meets the requirement of written notification to the Planning Commission and applicable neighborhood association (Willamette NA) as outlined in Community Development Code Chapter 99.030.B(4). Please let me know if you have any questions. Thanks.

Darren Wyss
Planning Manager
Planning

[#6064](#)



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PD-2 COMPLETENESS LETTER



CITY OF
West Linn

May 12, 2023

Riad Alharithi
2314 Falcon Drive
West Linn, OR 97068

SUBJECT: Design Review at 1673 10th Street (DR-23-03)

Dear Mr. Alharithi,

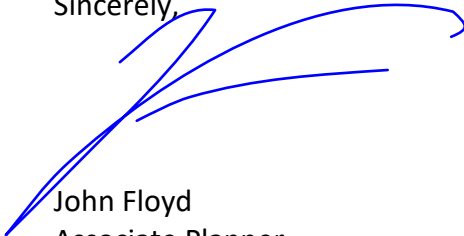
Your application submitted on May 12, 2023 has been deemed **complete**. The city has 120 days to exhaust all local review; that period ends September 9, 2023.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 20-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

Please contact me at 503-742-6058, or by email at jfloyd@westlinnoregon.gov if you have any questions or comments.

Sincerely,



John Floyd
Associate Planner

PD-3 AFFIDAVIT AND NOTICE PACKET

**CITY OF WEST LINN
NOTICE OF UPCOMING PLANNING MANAGER DECISION
FILE NO. DR-23-03**

The West Linn Planning Manager is considering a Class I Design Review to allow expansion of an existing commercial structure by approximately 48 square feet at 1673 10th Street in the City of West Linn.

The Planning Manager will decide the application based on criteria in Chapters 19, 55, and 99. of the Community Development Code (CDC). The CDC approval criteria are available for review on the City website <http://www.westlinnoregon.gov/cdc> or at City Hall and the City Library.

The application is posted on the City's website, <https://westlinnoregon.gov/planning/1673-10th-street-class-1-design-review-new-entryway>. The application, all documents or evidence relied upon by the applicant and applicable criteria are available for inspection at City Hall at no cost. Copies may be obtained at reasonable cost.

A public hearing will not be held for this decision. **Anyone wishing to submit comments for consideration must submit all material before 4:00 p.m. on May 30, 2023 to jfloyd@westlinnoregon.gov or mail them to City Hall at the address below. All comments must be received by the deadline.**

It is important to submit all testimony in response to this notice. All comments submitted for consideration of this application should relate specifically to the applicable criteria. Failure to raise an issue in a hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes appeal to the Oregon Land Use Board of Appeals based on that issue (CDC Section 99.090).

The final decision will be posted on the website and available at City Hall. Persons with party status may appeal the decision by submitting an appeal application to the Planning Department within 14 days of mailing the notice of the final decision pursuant to CDC [99.240](#).

For additional information, please contact John Floyd, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, 503-503-742-6058.

DR-23-03 – NOTIFIED PROPERTIES WITHIN 300 FEET OF 1673 10TH STREET





**NOTICE OF UPCOMING
PLANNING MANAGER DECISION**

**PROJECT # DR-23-03
MAIL: 05/15/23 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets and land use application notice, and to address the concerns of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.



**AFFIDAVIT OF NOTICE
PLANNING MANAGER DECISION**

We, the undersigned, certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **DR-23-03**

Applicant's Name: **Riad Alharithi**

Development Address: 1673 10th Street

Planning Manager Decision no earlier than after May 30, 2023

APPLICATION

The application was posted on the website at least 14 days before the decision.

5/15/23	<i>Lynn Schroder</i>
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MAILED NOTICE

Notice of Upcoming Planning Manager Decision was mailed at least 14 days before the decision, per Section 99.080 of the CDC to:

Nathan Krause, applicant representative	5/16/23	<i>Lynn Schroder</i>
Riad Alharithi, property owner	5/16/23	<i>Lynn Schroder</i>
Property owners within 300ft of the site perimeter	5/16/23	<i>Lynn Schroder</i>
ODOT	5/16/23	<i>Lynn Schroder</i>
Willamette Neighborhood Association	5/16/23	<i>Lynn Schroder</i>

WEBSITE

Notice was posted on the City's website at least 14 days before the decision.

5/15/23	<i>Lynn Schroder</i>
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SIGN

A sign was posted on the property at least 10 days before the decision, per Section 99.080 of the CDC.

5/15/23	<i>John Floyd</i>
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FINAL DECISION

Notice of Final Decision was mailed to the applicant, all parties with standing, and posted on the City's website, per Section 99.040 of the CDC.

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