

**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: August 7, 2023
FILE NO.: HDR-23-01
REQUEST: Approval of a Class I Historic Design Review at 1296 12th St
PLANNER: Ben Gardner, Assistant Planner

Planning Manager DSW

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GENERAL INFORMATION

APPLICANT: Bob Wroth - Robert Wroth Construction
2015 SE 51st Ave
Portland, OR 97215

OWNER: Jody Carson
1296 12th St
West Linn, OR 97068

SITE LOCATION: 1296 12th St

SITE SIZE: 26,627 square feet

LEGAL DESCRIPTION: Lot 31 of Willamette & Tualatin Tracts
Assessor's Map 31E02BD Tax Lot 2900

COMP PLAN DESIGNATION: Low-Density Residential

ZONING: R-10, Residential

APPROVAL CRITERIA: Community Development Code (CDC) Chapter 11: Residential, R-10;
Chapter 25: Overlay Zones – Historic District; Chapter 99: Procedures for
Decision Making: Quasi-Judicial.

120-DAY RULE: The application became complete on May 18, 2023. The 120-day period
ends September 14, 2023.

PUBLIC NOTICE: Notice was mailed to property owners within 300 feet of the subject
property and to all neighborhood associations on May 24, 2023. A sign
was placed on the property on May 24, 2023. The notice was also posted
on the City's website on May 24, 2023. Therefore, public notice
requirements of CDC Chapter 99 have been met.

BACKGROUND

The applicant seeks approval for a Class I Historic Design Review to alter an existing accessory structure located at 1296 12th St. It is a non-contributing historic structure built circa 1940 within both the Willamette Historic District and the Willamette Historic District National Register. The structure sits immediately West of the existing primary dwelling on an approximately 26,619 square foot lot.

In 2017, this accessory structure was approved via a Class II Historic Design Review (DR-17-07) to be rebuilt on its historic footprint with some modifications to align it with the character of the historic primary dwelling. Through this current application, the Applicant proposes to fill in an existing side door with matching siding and to add a new window to the rear of the structure that matches existing windows.



Side Facing façade – Door shown on right to be filled in with matching siding.



Rear Facing Façade – New window proposed to be located left of the door shown on the right.

Properties to the North and West are within the Historic District and zoned R-5 and R-10 respectively. Properties to the South and East are not within the Historic District and are zoned R-10.

Public comments:

No public comments were submitted.

DECISION

The Community Development Director (designee) approves this application (HDR-23-01), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Plans, Elevations, and Narrative.** The project shall conform to the plans, elevations, and narrative submitted in Exhibit PD-1.

The provisions of the Community Development Code Chapter 99 have been met.



Ben Gardner, Assistant Planner

August 7, 2023
Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of the mailing date. The appeal fee is \$400. The appeal must be filed by an individual who has established standing by submitting comments before the decision date. Approval will lapse 3 years from the effective approval date if the final plat is not recorded.

Mailed this 7th Day of August, 2023.

Therefore, the 14-day appeal period ends at 5 p.m. on August 21, 2023.

**ADDENDUM
APPROVAL CRITERIA AND FINDINGS
HDR-23-01**

This decision adopts the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

I. CHAPTER 11, RESIDENTIAL, R-10

11.030 PERMITTED USES

The following uses are permitted outright in this zoning district:

- 1. Single-family detached residential unit.*

...

13.040 ACCESSORY USES

Accessory uses are allowed in this zone as provided by Chapter 34 CDC.

Staff Finding 1: The proposal is to remove a door and add a window to an existing accessory structure associated with an existing single family detached residential unit. The criteria is met.

II. CHAPTER 25, HISTORIC RESOURCES

25.040 HISTORIC DESIGN REVIEW PROCESSES

Proposed changes to historic resources that are not exempted by subsection A of this section, Exemptions from historic design review, are subject to subsection B of this section, Class I historic design review, or subsection C of this section, Class II historic design review. Class I historic design review addresses significant changes that warrant staff review. Class II historic design review addresses major changes including additions and new construction, subject to Historic Review Board approval. The processes for conducting Class I and Class II historic design review are in Chapter 99 CDC.

...

B. Class I historic design review. The following are subject to Class I historic design review to determine their compliance with the applicable approval standards:

...

- 2. Facade alteration. Alteration of a facade when 100 square feet or less of the structure's facade is being altered;*

...

Staff Finding 2: Per applicant submittal Exhibit PD-1, the proposed changes are comprised of a new window 4 square feet in size as well as a door removal of approximately 26 square feet in size. Therefore, the total square footage of facade proposed to be altered is approximately 30 square feet. As this total is less than 100 square feet, this proposal is subject to a Class I Historic Design Review. The criteria is met.

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resource eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC 25.080.

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. *Retention of original exterior construction and overall structural integrity. The original exterior construction and structural integrity shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, windows and doors including their related functional and decorative features, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.*

Staff Finding 3: Staff adopts the Applicant findings for these criteria as contained in page 2 of Exhibit PD-1. The Applicant proposes to replace the door with matching siding and to install a window that matches existing windows. The criteria are met.

Applicant Response: “West-facing door will be replaced by siding matching the siding on the rest of the structure. New south-facing window will match the other windows on the structure in all respects.”

2. *Retention of exterior historic material. Removal or alteration of historic exterior materials and features shall be avoided during the construction of new additions or alterations. Deteriorated materials and architectural features shall be repaired rather than replaced, unless the material is beyond repair. In the event replacement of an existing feature is necessary, new materials shall match those of the original building in terms of composition, design, color, texture, and other visual features.*

Staff Finding 4: Staff adopts the Applicant findings for these criteria as contained in page 3 of Exhibit PD-1. The Applicant proposes to utilize materials that match existing materials. The existing materials are from 2018 (See DR-17-07) and emulate the historic character of the primary dwelling. The criteria are met.

Applicant Response: “Structure is 2018 construction and consists entirely of new materials matching historical styles. Proposed changes will similarly use new materials to match historical style.”

3. *Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.*

4. *Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.*

5. *Differentiate old from new. Alterations, additions, and related new construction shall be differentiated from the original buildings to avoid creating a false sense of history, and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property. Additions and alterations shall be done in accordance with the Secretary of the Interior's Standards for new exterior additions to historic buildings.*

Staff Finding 5: Staff adopts the Applicant findings for these criteria as contained in page 3 of Exhibit PD-1. The proposed alterations match the existing materials and features and will not create a false sense of historical development. Said alterations are compatible with the size, scale, proportion, and massing of the building. The criteria are met.

Applicant Response: “Proposed changes will not alter the existing structure's relation to a specific time period. Changes will utilize the same design and materials as the existing.”

6. *Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.*

Staff Finding 6: The proposed alterations, if removed, will not impair the form and integrity of the property and its context. The criteria is met.

7. *Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.*

8. *Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.*

9. *Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.*

Staff Finding 7: No additions, height alterations, roof alterations, or roof material changes are proposed. The criteria do not apply.

10. *Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding must be with building materials consistent with the original construction.*

11. *New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

Staff Finding 8: The Applicant proposes filling in one of the existing side doors with wood siding that matches the existing siding. The criteria are met.

12. *Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, half-round or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

Staff Finding 9: No gutter or downspout changes are proposed. The criteria do not apply.

13. *New windows. New windows shall be located on rear or secondary facades, unless required for a new use. New windows shall match the appearance and size of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with the original historic appearance and material, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. Replacement of existing windows shall meet standards for window replacement.*

Staff Finding 10: Staff adopts the Applicant findings for these criteria as contained in page 4 of Exhibit PD-1. The Applicant proposes to install a new window on the rear-facing façade of the structure. The window will match the appearance and size of the original windows and will be made of wood. No replacement of existing windows is proposed. The criteria are met.

Applicant Response: *“New window on South wall will be on rear façade of accessory structure and not visible from street. New window will match the appearance and size of existing windows exactly. Frame and sash will be made of wood.”*

14. Storm windows.
15. Window replacement.
16. Doors.
17. Porches.
18. Decks.
19. Foundations.
20. Lighting

Staff Finding 11: The applicant proposes no storm windows, window replacements, doors, changes to porches, decks, foundations, or lighting. The criteria do not apply.

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. *Compatibility with nearby context. Alterations and additions shall be:*
 - a. *Compatible in scale and mass to adjacent properties; and*
 - b. *Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.*

...

Staff Finding 12: The proposed alterations do not affect the scale or mass of the structure relative to adjacent properties. The proposed window is located on the rear of the structure next to an existing window, both of which face the interior of the property. Privacy of the residents of adjacent properties is maintained with this placement. The criteria are met.

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter 58 CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. *Front yard setback.*
2. *Side yard setback.*
3. *Side street setback.*
4. *Rear yard setback.*
5. *Orientation.*
6. *New lot configuration.*
7. *Building height.*
8. *Building shapes and sizes.*

9. *Roof pitch.*
10. *Garage access and parking areas.*

Staff Finding 13: The structure proposed to be altered is within the Willamette Historic District on a residential property. The proposed alterations do not affect any of the given features. The criteria do not apply.

99.080 NOTICE

Notice shall be given in the following ways:

...

B. Class B Notice. Notice of a proposed action on a development application pursuant to CDC 99.060 shall be given by the Director in the following manner:

- 1. At least 14 days prior to the decision date, a notice shall be sent by mail to:
 - a. The applicant or their agent;*
 - b. The affected recognized neighborhood association or citizens advisory committee;*
 - and*
 - c. All property owners of record within 300 feet of the site perimeter;**
- 2. At least 10 days prior to the earliest date that the approval authority can take action on the application, the applicant shall place a sign, provided by the Community Development Department, on the subject property in plain view. The sign shall state, "This property is the subject of a land use decision," with the type of use or request indicated.*
- 3. The Director shall cause an affidavit of mailing of notice and posting of notice to be filed and made part of the administrative record.*
 - 4. At the conclusion of the land use action the signs shall be removed.*

Staff Finding 12: A Class B Notice was prepared and sent via mail to the applicant, owner, the affected neighborhood association, and all property owners within 300 ft. of the site perimeter of 1296 12th St. on May 24, 2023. A sign detailing the property as being the subject of a land use decision with case details was placed on the property on May 24, 2023. An affidavit of mailing of notice and posting of notice was filed in the land use case record (see Exhibit PD-4). The sign was removed after the conclusion of the action on 8/7/23. The criteria are met.

PD-1 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT Ben Gardner	PROJECT NO(S). HDR-23-01	PRE-APPLICATION NO.
NON-REFUNDABLE FEE(S) \$100	REFUNDABLE DEPOSIT(S)	TOTAL \$100

Type of Review (Please check all that apply):

- | | | |
|--|--|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal (AP)
<input type="checkbox"/> CDC Amendment (CDC)
<input type="checkbox"/> Code Interpretation (MISC)
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Tree Easement Vacation (MISC)
<input type="checkbox"/> Expediated Land Division (ELD)
<input type="checkbox"/> Extension of Approval (EXT) | <input type="checkbox"/> Final Plat (FP)
<input type="checkbox"/> Flood Management Area (FMA)
<input checked="" type="checkbox"/> Historic Review (HDR)
<input type="checkbox"/> Lot Line Adjustment (LLA)
<input type="checkbox"/> Minor Partition (MIP)
<input type="checkbox"/> Modification of Approval (MOD)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses (MISC)
<input type="checkbox"/> Time Extension (EXT)
<input type="checkbox"/> Right of Way Vacation (VAC)
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change (ZC) |
|--|--|---|

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the website.

Site Location/Address: 1296 12th St. West Linn, OR 97068	Assessor's Map No.: 31E02BD Tax Lot(s): 31E02BD02900 Total Land Area: .611 acres
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Brief Description of Proposal:

1. Remove a 36x80 exterior door on West wall. Infill siding in this area with dutch lap matching existing siding on the building.
2. On South wall, add a 24x24 wood casement window matching the other windows on the structure exactly in size, style and materials.


Applicant Name*: Bob Wroth Address: Robert Wroth Construction City State Zip: 2015 SE 51st Ave. Portland, OR 97215	Phone: 503-704-9532 Email: wrothconstruction@gmail.com
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Owner Name (required): JODY CARSON Address: City State Zip: 1296 12th St. West Linn, OR 97068	Phone: 503-657-0523 Email: jodycarson@comcast.net
--	--

Consultant Name: Address: City State Zip:	Phone: Email:
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1. Application fees are non-refundable (excluding deposit). Applications with deposits will be billed monthly for time and materials above the initial deposit. ***The applicant is financially responsible for all permit costs.**
2. The owner/applicant or their representative should attend all public hearings.
3. A decision may be reversed on appeal. The decision will become effective once the appeal period has expired.
4. Submit this form, application narrative, and all supporting documents as a single PDF through the Submit a Land Use Application web page: <https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner authorizes the application and grants city staff the **right of entry** onto the property to review the application. Applications with deposits will be billed monthly for time and materials incurred above the initial deposit. The applicant agrees to pay additional billable charges.

Applicant's signature  Date 4/14/23 Owner's signature (required) Jody Carson Date 4/14/23

Robert Wroth Construction

2015 SE 51st Avenue ~ Portland, OR 97215
503-704-9532 ~ wrothconstruction@gmail.com
CCB#187596

Attn: West Linn Planning department

Historic Design Review Narrative for 1296 12th Street, West Linn Oregon 97068

Introduction

The intention of Jody Carson is to make minor alterations to the exterior of the accessory structure (2018 construction) at the NW corner of the property. These are as follows:

- 1) remove an exterior door on the shed-style bump-out on the west side of the structure
- 2) install a 24"x24" wood casement window on the south side of the structure.

Neither change is on a street-facing façade. Where the door is removed, the siding will be filled in with siding identical to the existing on the rest of the structure (cedar dutch lap). The new window will match 4 other windows on the structure exactly in size, style, and materials. It will also match the elevation of the other main level window on the same wall, and receive trim identical to the other windows.

These changes meet the standards of the historic design review process as follows:

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resource eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original exterior construction and overall structural integrity. The original exterior construction and structural integrity shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, windows and doors including their related functional and decorative features, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

West-facing door will be replaced by siding matching the siding on the rest of the structure. New south-facing window will match the other windows on the structure in all respects.

2. Retention of exterior historic material. Removal or alteration of historic exterior materials and features shall be avoided during the construction of new additions or alterations. Deteriorated materials and architectural features shall be repaired rather than replaced, unless the material is beyond repair. In the event replacement of an existing feature is necessary, new materials shall match those of the original building in terms of composition, design, color, texture, and other visual features.

Structure is 2018 construction and consists entirely of new materials matching historical styles. Proposed changes will similarly use new materials to match historical style.

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

Proposed changes will not alter the existing structure's relation to a specific time period. Changes will utilize the same design and materials as the existing.

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

Not applicable

5. Differentiate old from new. Alterations, additions, and related new construction shall be differentiated from the original buildings to avoid creating a false sense of history, and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property. Additions and alterations shall be done in accordance with the Secretary of the Interior's Standards for new exterior additions to historic buildings.

Proposed changes will match the existing structure in design and materials.

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

Changes will be reversible if necessary.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

Not applicable

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

Not applicable

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

Not applicable

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding must be with building materials consistent with the original construction.

All new siding, trim and window will be wood, and matching the existing materials on the structure.

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

Not applicable

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, half-round or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

Not applicable

13. New windows. New windows shall be located on rear or secondary facades, unless required for a new use. New windows shall match the appearance and size of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with the original historic appearance and material, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. Replacement of existing windows shall meet standards for window replacement.

New window on South wall will be on rear façade of accessory structure and not visible from street. New window will match the appearance and size of existing windows exactly. Frame and sash will be made of wood.

14. Storm windows. Storm windows shall be made of painted wood, a material with a baked enamel finish, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

Not applicable

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance and material, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color, method of operation and related features, such as shutters.

Not applicable

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

Not applicable

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

- a. Maintain the shape, width, and spacing of the original columns; and

- b. Maintain the height, detail, and spacing of the original balustrade.

Not applicable

18. Decks. Decks shall be located in the rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

Not applicable

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or
- b. It is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter 27 CDC).

Not applicable

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

Not applicable

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC:

- 1. All accessory structures.
 - a. Location.
 - 1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC 25.070(C)(1) through (4);
 - 2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter 34 CDC;
 - 3) Detached accessory structures shall be in the rear yard; and
 - 4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

Not applicable. This is an existing structure and meets the requirement per Final Decision and Order DR-17-07 for the rebuilding of an existing structure.

- b. Height. Accessory structures in the Willamette Historic District are subject to CDC 25.070(C)(7). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter 34 CDC.

Not applicable, no change in height

2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

- a. The structure is located behind the house's front building line;
- b. A structure in the front yard cannot be converted to a heated accessory structure;
- c. A story may be added to an existing non-contributing garage or similar accessory structure; provided, that the final design meets the setback standards of this chapter for a two-story accessory structure (see CDC 25.070(C)(1) through (4)) for the historic district, or the setbacks in Chapter 34 CDC for a historic landmark; and
- d. The conversion of an existing structure is not required to meet the design standards in CDC 34.030, but it must conform to all applicable requirements of this chapter. (Ord. 1614 § 6, 2013; Ord. 1735 § 3 (Exh. B), 2022)

Not applicable

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:
 - a. Similar in scale and mass to adjacent properties, and constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.

Not applicable, no change to the mass or scale

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.

All applicable standards of this chapter are met, per Final Decision and Order DR-17-07 for the rebuilding of an existing structure.

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC 25.060 and 25.070. Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC 25.060(A); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

Building meets standard, not applicable.

B. Standards for new construction. The standards in this section apply only to new construction, including new accessory structures, in a historic district. The standards for new construction do not apply to alterations and additions to existing structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

Not applicable.

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

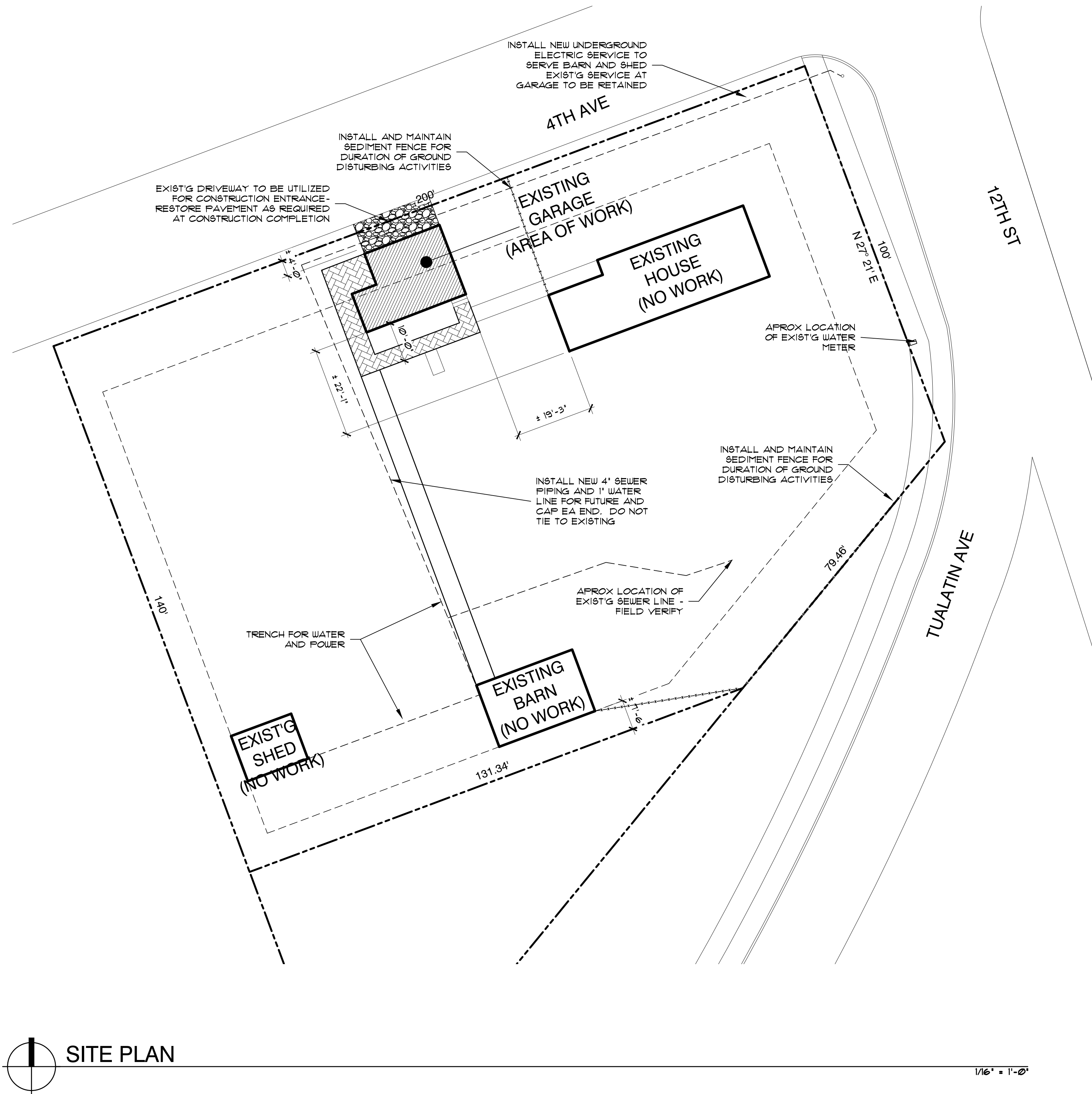
Proposed changes are minor changes to exterior of an existing structure. Standards related to building setbacks, orientation, layout and massing do not apply.











SITE PLAN

1/16" = 1'-0"

GENERAL NOTES & SPECIFICATIONS

The contractor shall fully comply with the current edition of the International Residential Code and all additional state and local code requirements. The contractor shall assume full responsibility for any work knowingly performed contrary to such laws, ordinances, or regulations. The contractor shall also perform coordination with all utilities and state service authorities. Written dimensions on these drawings shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings.

The sub-contractor is responsible for the design and proper function of plumbing, HVAC and electrical systems. This office shall be notified of any plan changes required for design and function of plumbing, HVAC and electrical systems.

This office shall not be responsible for construction means and methods, acts or omissions of the contractor or subcontractor, or failure of any of them to carry out work in accordance with the construction documents. Any defect discovered in the construction documents shall be brought to the attention of this office by written notice before proceeding with work. Reasonable time not allowed this office to correct the defect shall place the burden of cost and liability from such defect upon the contractor.

These documents are copyright protected by Iselin Architects, P.C. and may not be reused, redrawn, traced or reproduced without written permission from Iselin Architects, P.C. This structure shall be adequately braced for wind loads until the roof, floor and walls have been permanently framed together and sheathed.

Install polyisocyanurate foam type insulation at floor and plate lines, openings in plates, corner stud cavities and around door and window rough opening cavities.

Provide full-width solid blocking under all bearing walls perpendicular to joists and other bearing points not otherwise provided with support.

Provide full-width posts at all bearing points from above, unless noted otherwise.

All wood in contact with concrete or earth or exposed to weather to be pressure treated or decay resistant species. Treat all cut ends of pressure treated wood. All fasteners utilized for pressure treated material shall be hot dipped galvanized or stainless steel.

Provide a minimum 4" deep gravel base for all sidewalk and patio areas.

Provide and maintain positive drainage away from building on all sides.

Excavation material remaining on site is to be contained by an approved sediment barrier (filter fabric tensile, straw bale sediment barrier, or erosion blanket with anchors). The contractor must verify location with appropriate building official. Protect stock piles from October 1st thru April 30th per the erosion control manual.

Design live loads:

Roof	25 PSF
Floors	125 PSF
Soil bearing capacity (assumed)	1500 PSF
Wind Pressure	18 PSF
Seismic	D1

FRAMING SPECIFICATIONS

(UNLESS NOTED OTHERWISE)

FRAMING LUMBER:

JOIST / RAFTERS	DF-L #2
STUDS	DF-L #2
4x AND 6x BEAMS	DF-L #1 (#2 AT FOUNDATION)
GLU-LAM BEAMS	GRADE 24F V-4 OR AS NOTED ON PLANS

SHEATHING MATERIALS:

ROOF SHEATHING	15/32" CDX PLYWOOD
WALL SHEATHING	15/32" CDX PLYWOOD OR OSB
FLOOR SHEATHING	2" LOCK-DECK TIMBER SUB-FLR

NAILING SCHEDULE (all nails are common U.N.O.):

Joist to sill or girder	toe nail	(3) 8d
Bridging to joist	toe nail	(2) 8d
Sole plate to joist or blk'g	face nail	16d @ 16" oc
Sole plate to joist or blk'g @ BP	face nail	(3) 16d @ 16" oc
Top plate to stud	end nail	(2) 16d
Stud to sole plate	toe nail	(4) 8d
	end nail	(2) 16d
Double studs	face nail	16d @ 12" oc
Double top plates	face nail	16d @ 16" oc
	lap splice	(8) 16d
	toe nail	(3) 8d
Blk'g btwn joist/rafter to top plate	toe nail	8d @ 6" oc
Rim joist to top plate	toe nail	(2) 16d
Top plates, intersections	face nail	24" min, (12) 16d ea. side
Top plates, laps	face nail	16d @ 16" oc along ea edge
Continuous header, two pieces	toe nail	(3) 8d
Ceiling joists to plate	toe nail	(4) 8d
Continuous header to stud	face nail	(3) 16d (min)
Ceiling joists, laps over partitions	face nail	(3) 16d
Ceiling joists to parallel rafters	toe nail	(3) 8d
Rafter to plate	toe nail	16d @ 24" oc
Built-up corner studs	toe nail	20d @ 32" oc staggered on opposite sides -or- 3" x 0.131" nail @ 24" oc
Built-up girder & beams ¹	face nail @ top & btm	(2) 20d -or- 3" x 0.131" nail @ 24" oc
		1/2" O A307 bolts @ 24" oc
Built-up girder & beams ²	face nail @ ends & splices	(2) 16d
2x T&G Subfloor	(2) rows, staggered @ each bearing	(3) 10d
Collar tie to rafter	toe nail	(3) 10d
Jack rafter to hip	face nail	(2) 16d
	toe nail	(2) 16d
Rafter to 2x ridge	face nail	(2) 16d
	toe nail	(3) 16d
Joist to band joist	face nail	(3) 16d
Ledger	face nail @ ea joist	(3) 16d
Sheathing	1/2" & less	8d
	1/2" - 3/4"	10d
	3/4" - 1"	10d
	1 1/8" - 1 1/4"	12d
	(sheathing nailing @ 6" oc @ panel edges & 12" oc @ intermediate supports except 6" @ intermediate supports where spans are 48" or more)	

1: (3) or fewer members
2: (4) or more members

PROJECT INFORMATION

PROJECT DESCRIPTION	DEMOLITION OF EXISTING 400 S.F. DETACHED GARAGE AND RECONSTRUCTION OF NEW 451 SF DETACHED ACCESSORY BUILDING AT EXISTING LOCATION PER PLANNING APPROVAL DR 17-07. STRUCTURE TO BE USED FOR HOME OCCUPATION (ART STUDIO). NO PLUMBING.	
PROPERTY LOCATION ADDRESS	T3S R1E S02 1296 12TH ST WEST LINN, OR 97068 CLACKAMAS	
COUNTY	R-10	
ZONE	26,627 SF (.61 AC)	
SITE AREA	U	
OCCUPANCY	V-B	
CONSTRUCTION TYPE	EXIST'G	NEW
BUILDING SQUARE FOOTAGE	400 SF	451 SF

DRAWING INDEX

- A1.1 SITE PLAN & GENERAL NOTES
- A1.2 MAIN LEVEL FLOOR PLAN & FRAMING PLANS
- A2.1 ELEVATIONS & SECTIONS

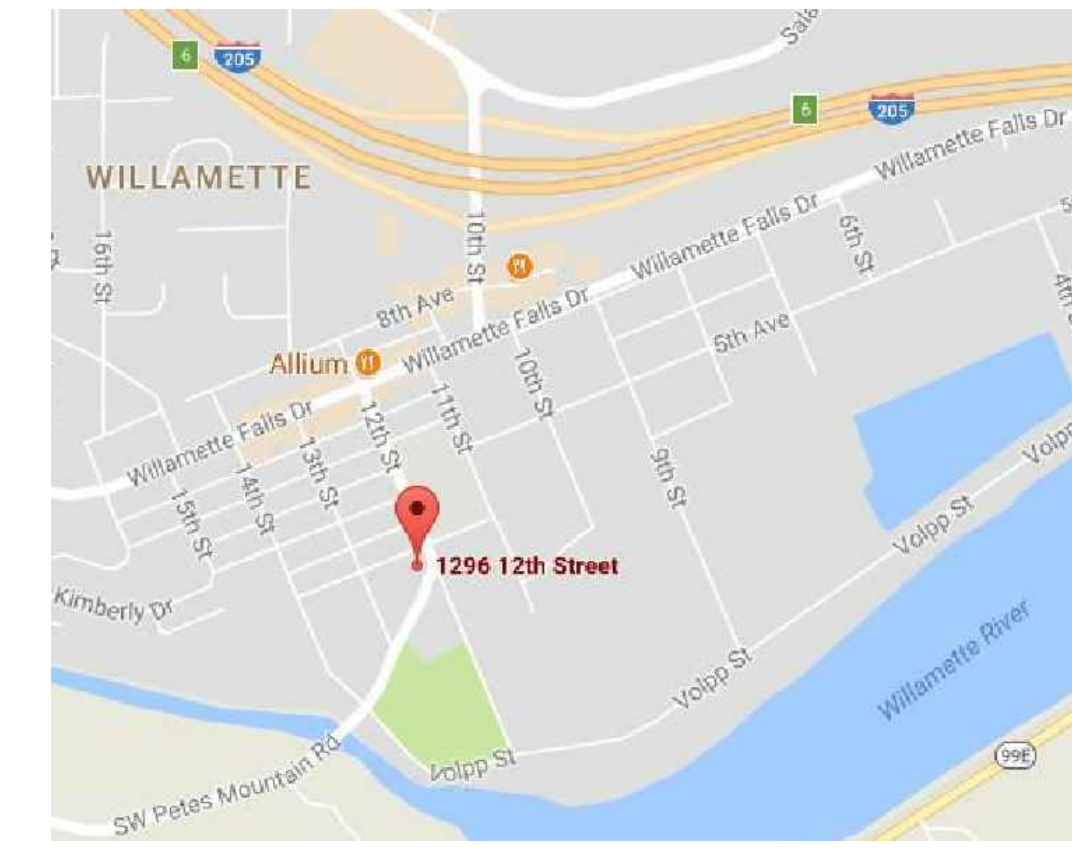
ENERGY CONSERVATION

TABLE N1101.1(1)

WINDOWS, MAX U-VALUE **	0.30
EXTERIOR DOORS, MAX U-VALUE	0.20
MAIN ENTRY DOOR (MAX 26 SF), MAX U-VALUE	0.54
EXTERIOR DOOR W/ >2.5 SF GLAZING, MAX U-VALUE	0.40
WALL INSULATION (ABOVE GRADE)	R-25
CLG INSULATION	R-38
SKYLIGHTS (MAX 2% TOTAL HEATED FLOOR AREA), MAX U-VALUE	0.60
SLAB FLOOR EDGE INSULATION (24" WIDE)	R-15

** EXCEPTION IS SOUGHT WITH THIS APPLICATION PER ORSC N101.2.2 FOR THE RE-USE OF THE EXISTING GLAZING IN SLIDING DOOR THAT WAS CONSTRUCTED TO REPLICATE THE ORIGINAL GARAGE DOOR. THE STRUCTURE IS LOCATED WITHIN THE WILLAMETTE HISTORIC DISTRICT AND THE RE-USE OF THIS BUILDING ELEMENT WAS SUPPORTED BY THE HISTORIC REVIEW BOARD WITH THEIR APPROVAL OF THIS STRUCTURE.

ADDITIONAL MEASURES NOT REQUIRED FOR DETACHED ACCESSORY STRUCTURES PER N1101.1



VICINITY MAP



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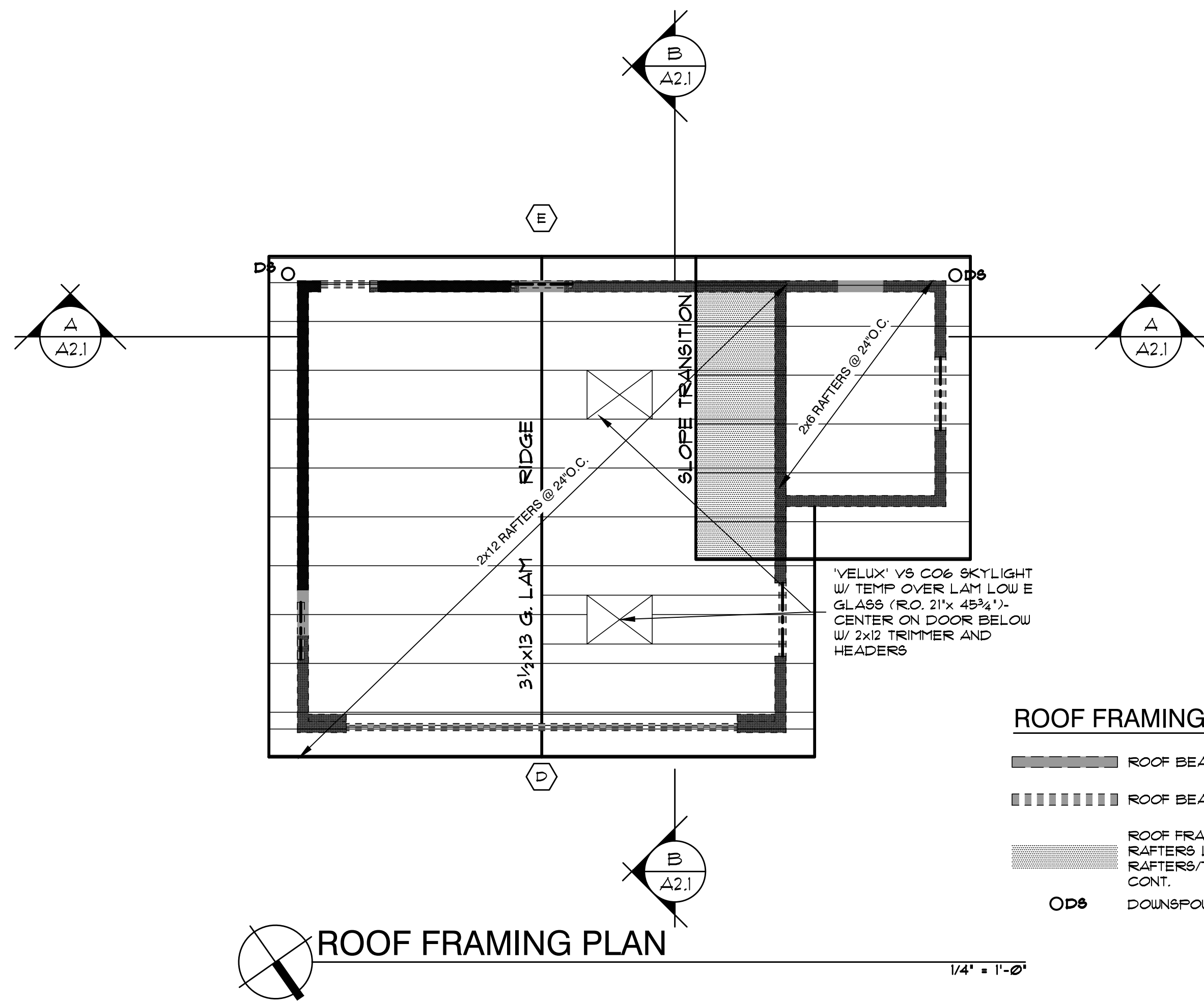
PROJ. NO. : 1723
FILE : A-SIT
DATE : 1/11/2018

SHEET #
A1.1

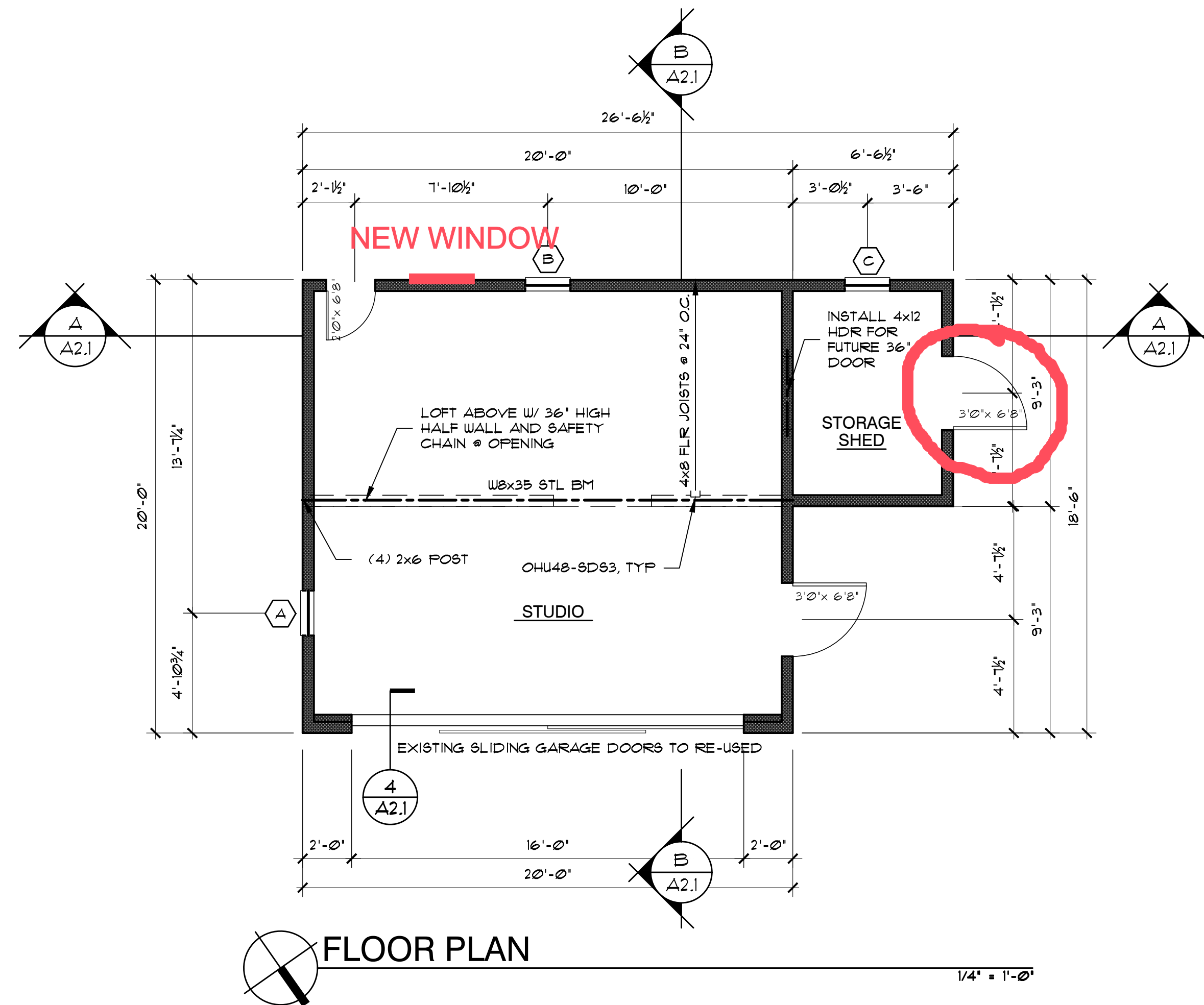


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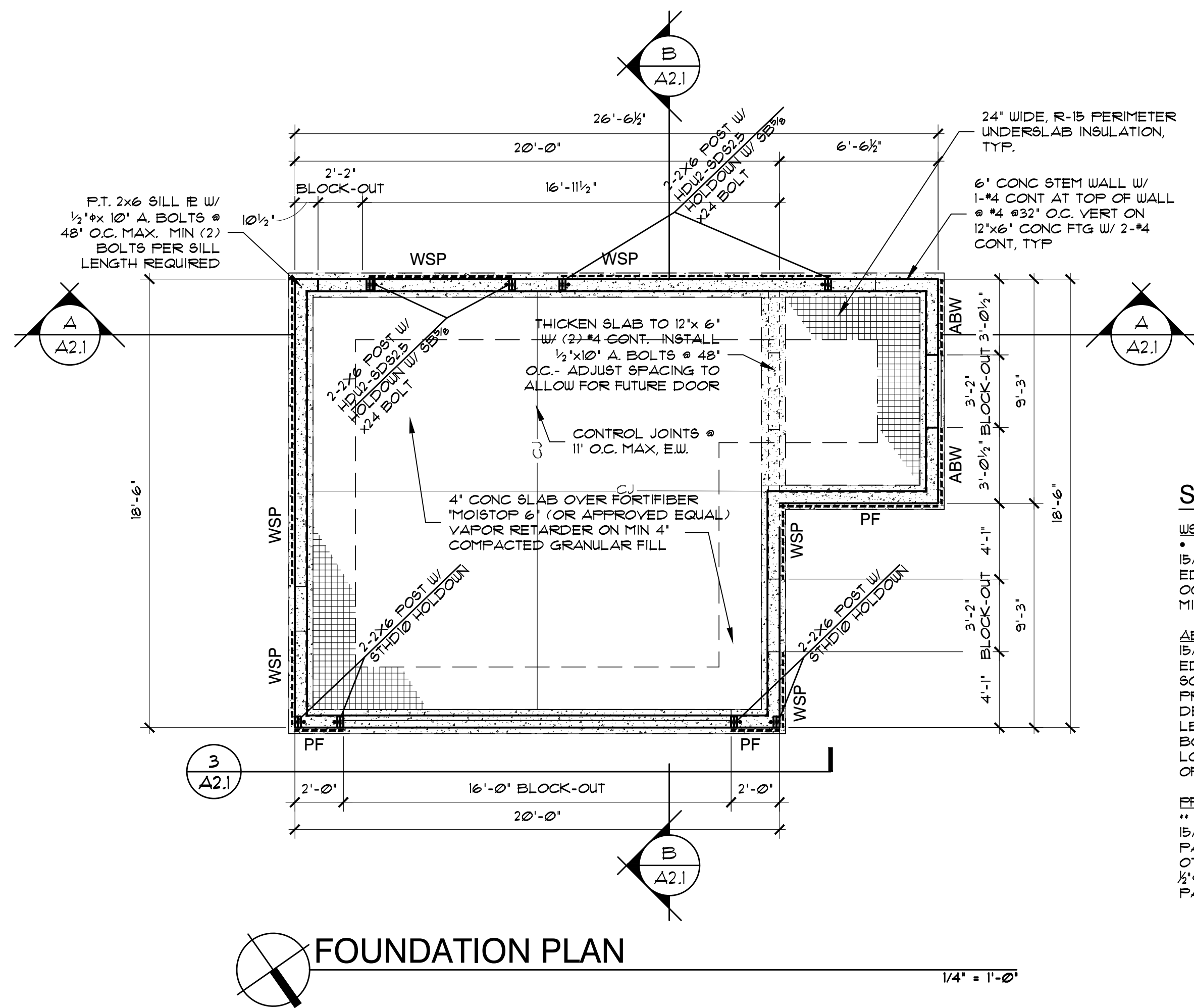


- ROOF FRAMING PLAN LEGEND**
- ROOF BEARING ON WALL BELOW.
 - ROOF BEARING ON BEAM BELOW.
 - ROOF FRAMED OVER ROOF BELOW WITH VALLEY RAFTERS LAID FLAT OVER 2x SOLID BLK'G BETWEEN RAFTERS/TRUSSES BELOW. RUN SHTG AT LOWER ROOF CONT.
 - ODS DOWNSPOUT



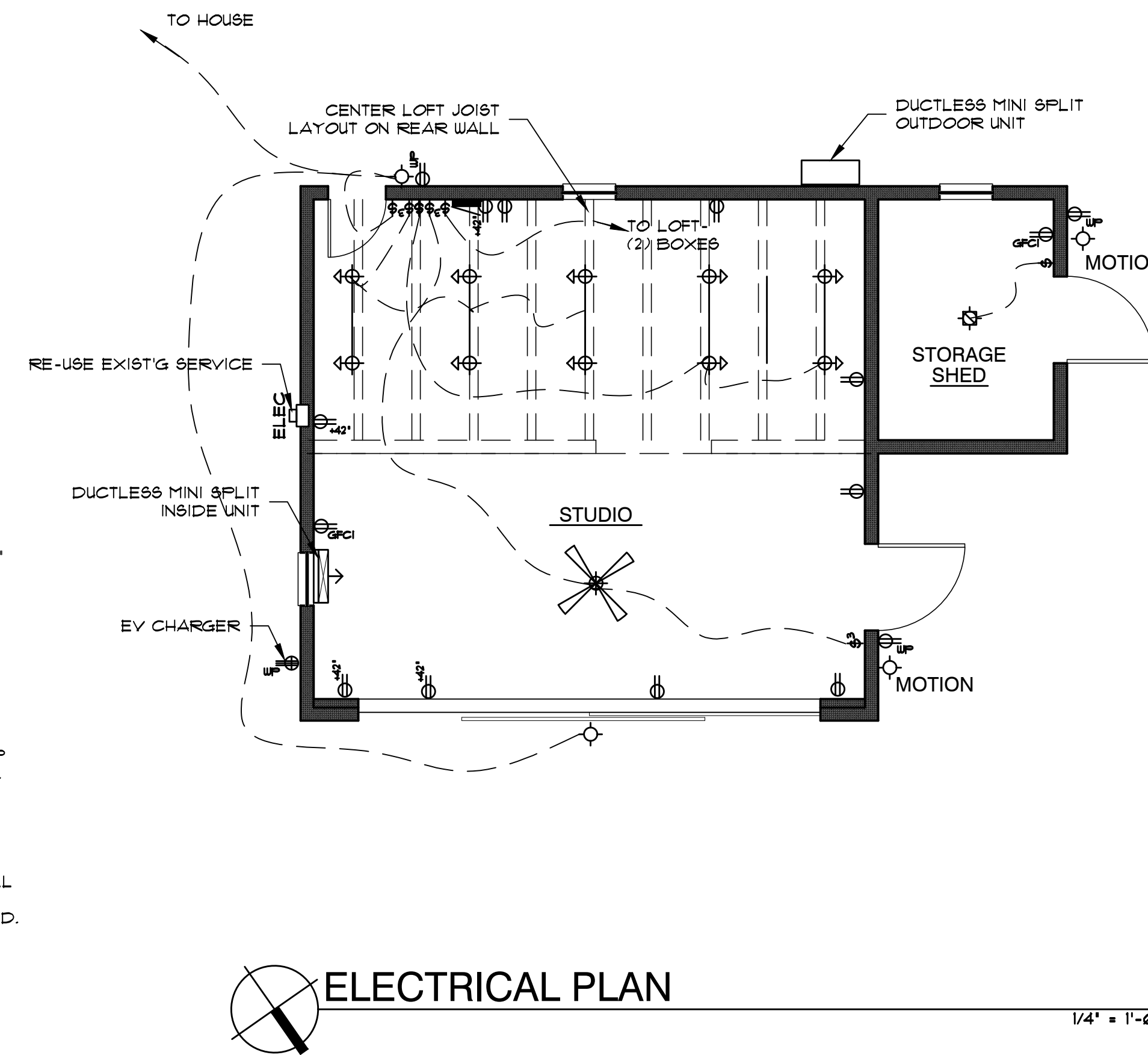
WINDOW SCHEDULE			
(X)	SIZE	TYPE	NOTES
A	2'-0" x 2'-6"	CSMT	
B	2'-0" x 2'-6"	CSMT	
C	2'-0" x 2'-6"	FXD	
D	2'-0" x 2'-6"	EX	FIELD VERIFY R.O.
E	2'-0" x 2'-6"	CSMT	

ALL WINDOWS TO BE WOOD DBL PANE W/ LOW 'E' COATING, UNO. U = 0.30 MAX. VFY R.O. REQ'TS PER MANUF. MUNTIN CONFIGURATIONS PER ELEVATIONS.
EX = EXIST'G TO REMAIN TEMP = TEMPERED GLAZING
FXD = FIXED
CSMT = CASEMENT (INSWING)



- FDN PLAN LEGEND**
- NEW FOOTING
 - NEW FOUNDATION WALL
 - WALL ABOVE
 - WSP SHEAR PANEL TYPE
 - EXTENTS OF SHEAR PANEL

- SHEAR PANEL TYPES**
- WSP - WOOD STRUCTURAL PANEL
• MIN 4'-0" WIDTH
1 5/8" APA SPAN-RATED SHTG NAILED W/ 8d @ 6" OC @ PANEL EDGES & 8d @ 12" OC @ FIELD. BLOCK ALL PANEL EDGES. NAIL SOLE IE TO JOIST W/ led @ 16" OC OR AS OTHERWISE NOTED. PROVIDE DBL JOIST OR SOLID BLK'G BELOW. INSTALL HOLDDOWN DEVICES SPECIFIED. INSTALL 1/2" x 1" MIN EMBEDMENT A. BOLTS W/ LBP 1/2 WASHERS @ 32" OC (MIN (2) PER PANEL) IN ADDITION TO A. BOLTS FOR HOLDDOWN DEVICES SPECIFIED. ONE A. BOLT SHALL BE LOCATED W/IN 6" x 12" OF EA PANEL END. INSTALL (1) #4 BAR @ TOP OF FDN WALL & (1) #4 BAR @ BTM OF FTG (UNO.). LAP BARS MIN 15".
- ABW - ALTERNATE BRACED WALL PANELS
1 5/8" APA SPAN-RATED SHTG NAILED W/ 8d @ 4" OC @ PANEL EDGES & 8d @ 12" OC @ FIELD. BLOCK ALL PANEL EDGES. NAIL SOLE IE TO JOIST W/ led @ 16" OC OR AS OTHERWISE NOTED. PROVIDE DBL JOIST OR SOLID BLK'G BELOW. INSTALL HOLDDOWN DEVICES SPECIFIED. INSTALL 1/2" x 1" MIN EMBEDMENT A. BOLTS W/ LBP 1/2 WASHERS (MIN (2) PER PANEL) IN ADDITION TO A. BOLTS FOR HOLDDOWN DEVICES SPECIFIED.
- EFH - PORTAL FRAME
• REF DTL 3/A2.1 •
1 5/8" APA SPAN-RATED SHTG NAILED W/ (2) ROWS 8d @ 3" OC @ PANEL EDGES & FIELD. NAIL SOLE IE W/ led @ 16" OC OR AS OTHERWISE NOTED. INSTALL HOLDDOWN DEVICES SPECIFIED. INSTALL 1/2" x 1" MIN EMBEDMENT A. BOLTS W/ LBP 1/2 WASHERS (MIN (2) PER PANEL) IN ADDITION TO A. BOLTS FOR HOLDDOWN DEVICES SPECIFIED.



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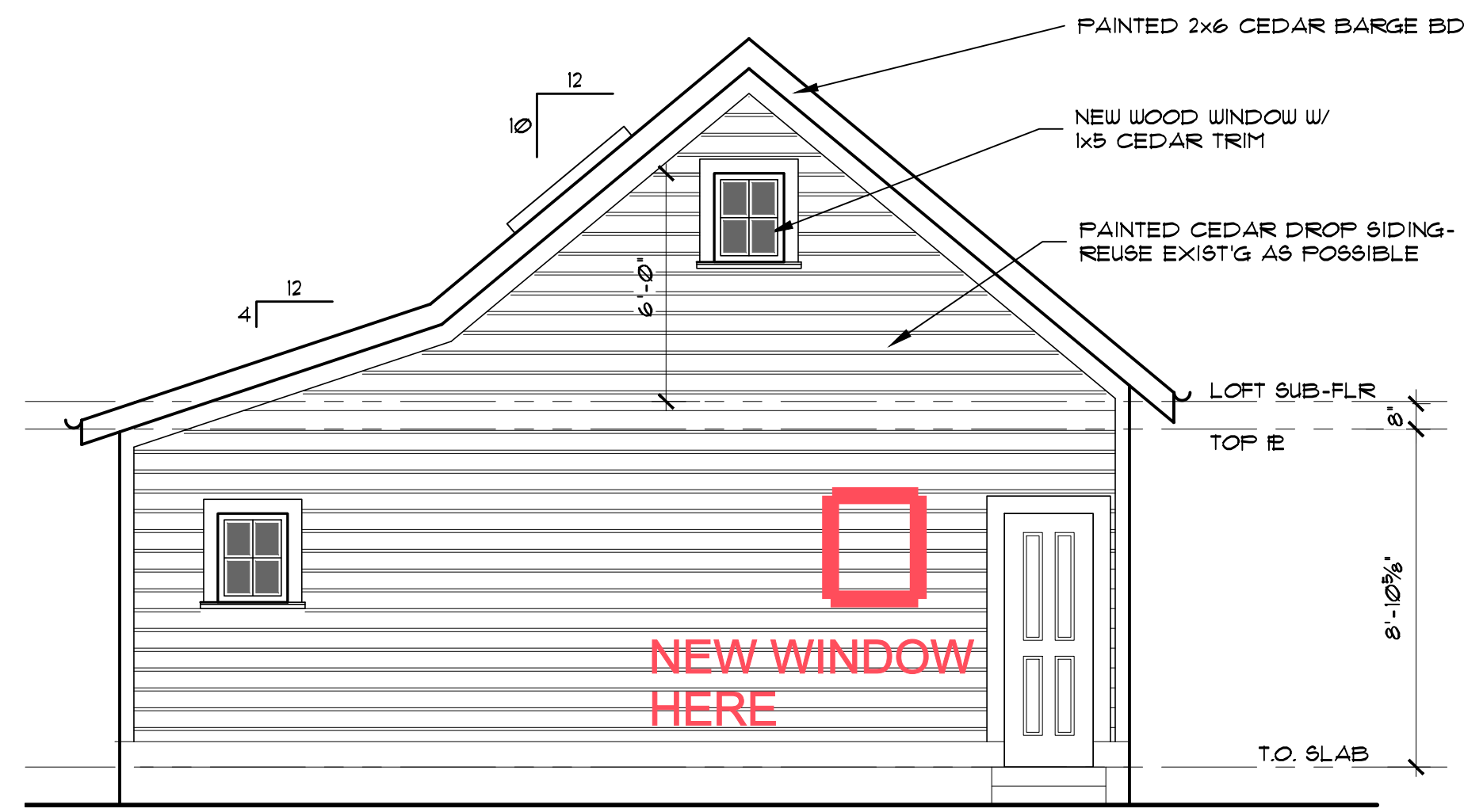
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PROJ. NO.: 1723
FILE: A-FP
DATE: 1/11/2018

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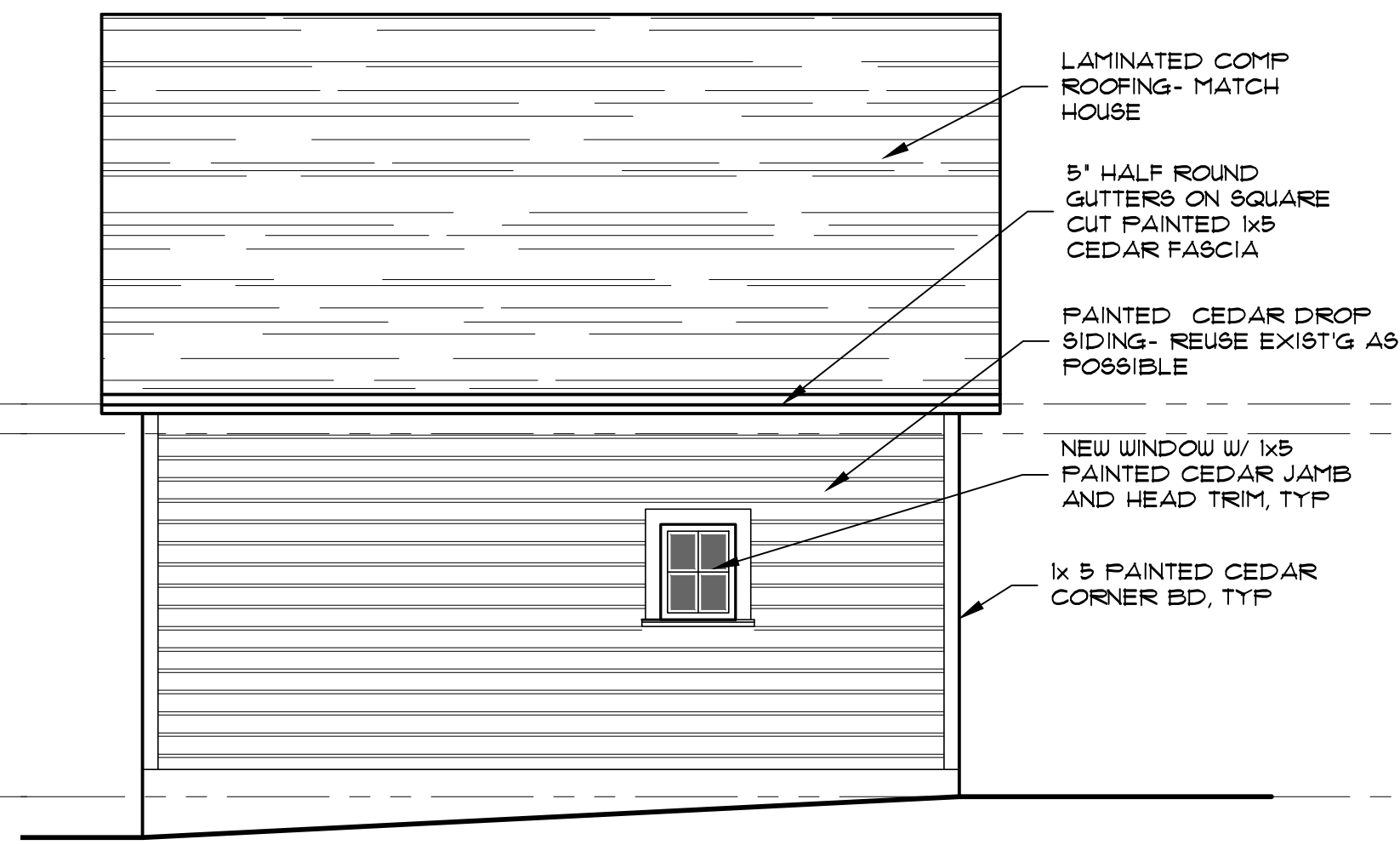
A1.2

FLOOR PLAN



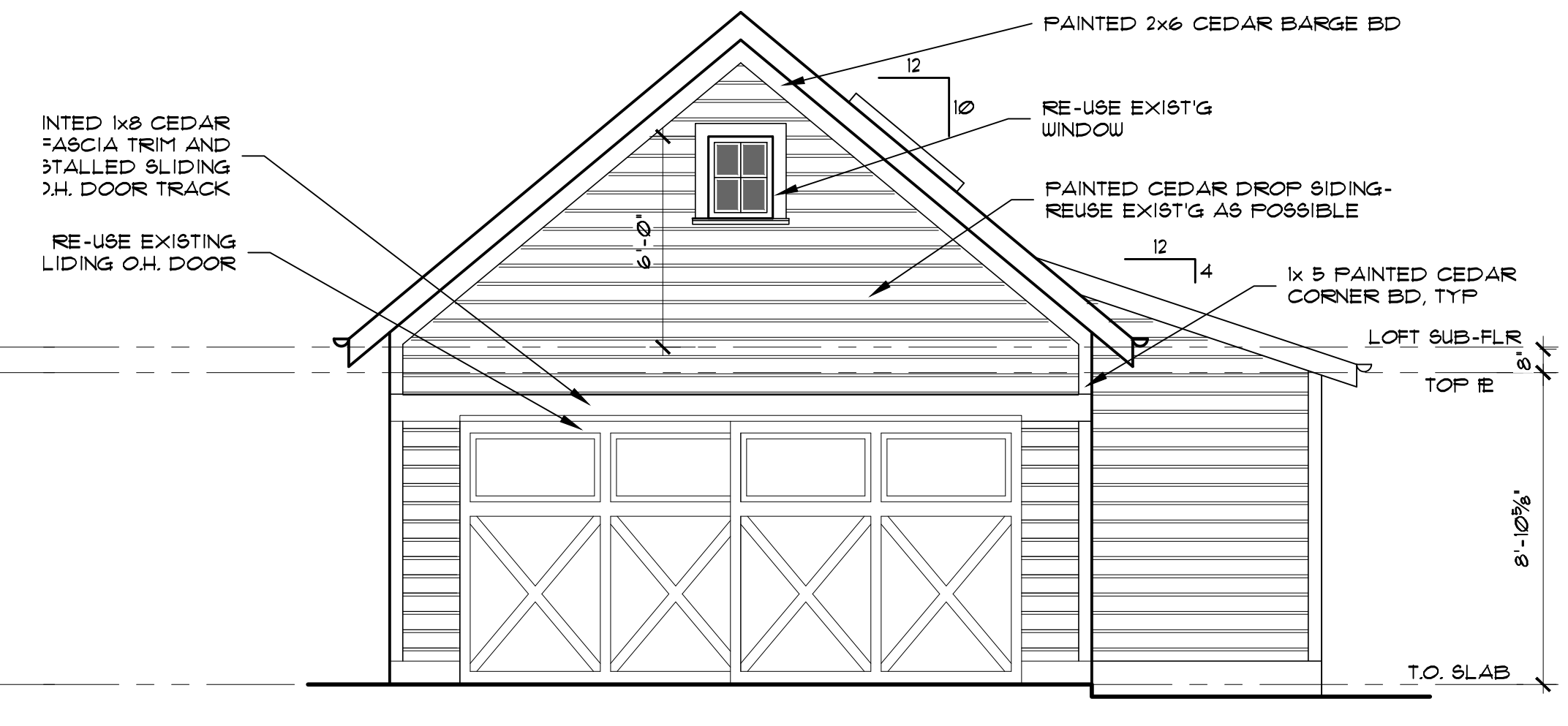
REAR ELEVATION

1/4" = 1'-0"



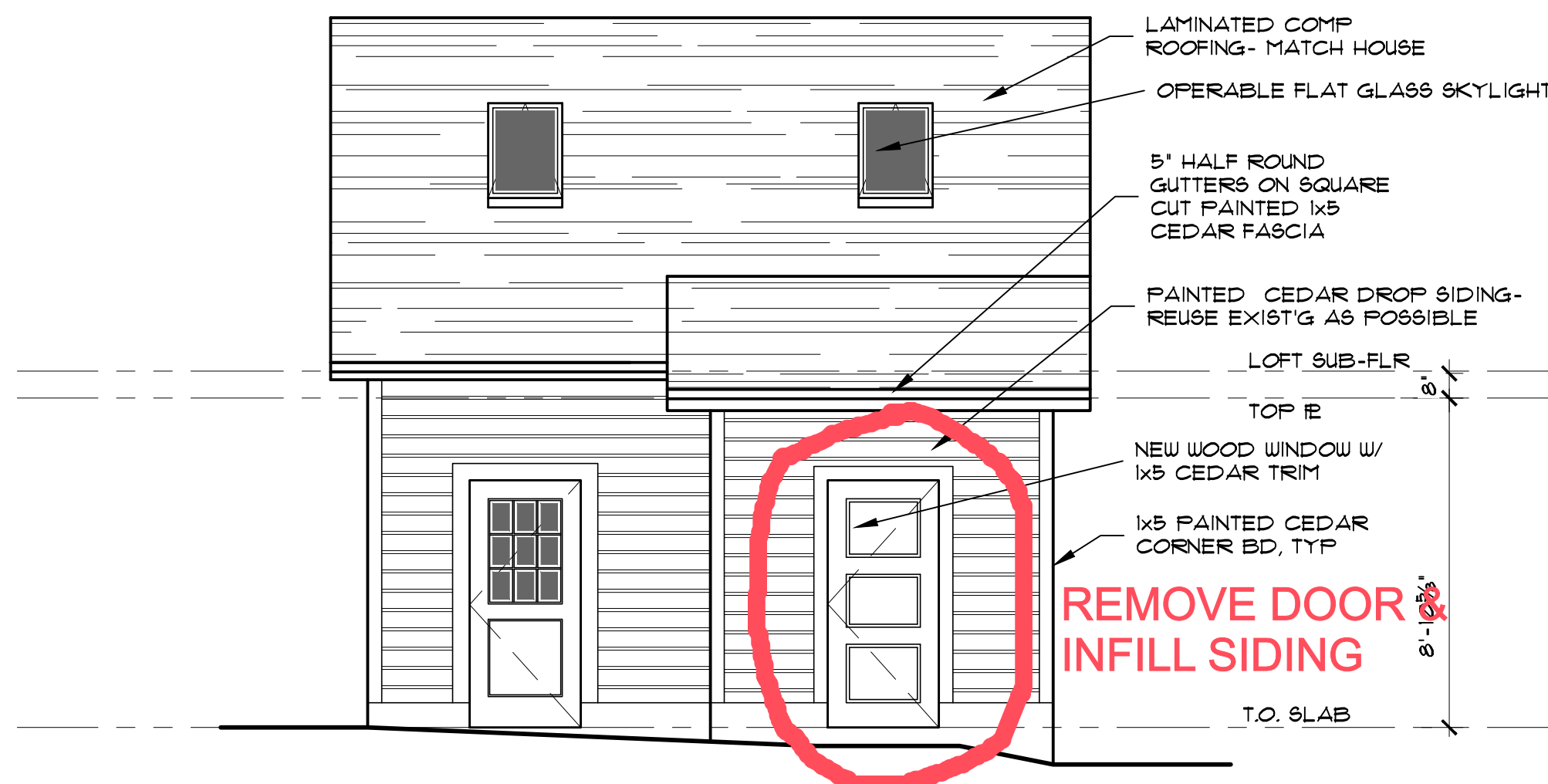
LEFT SIDE ELEVATION

1/4" = 1'-0"



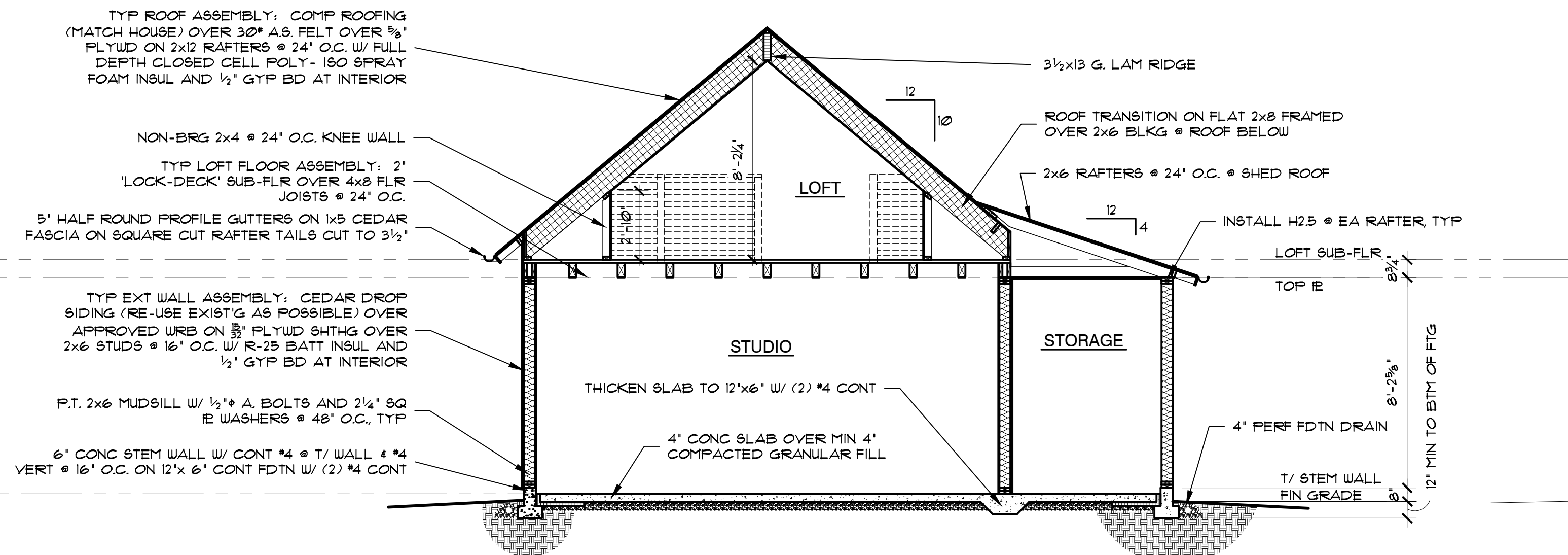
FRONT ELEVATION

1/4" = 1'-0"



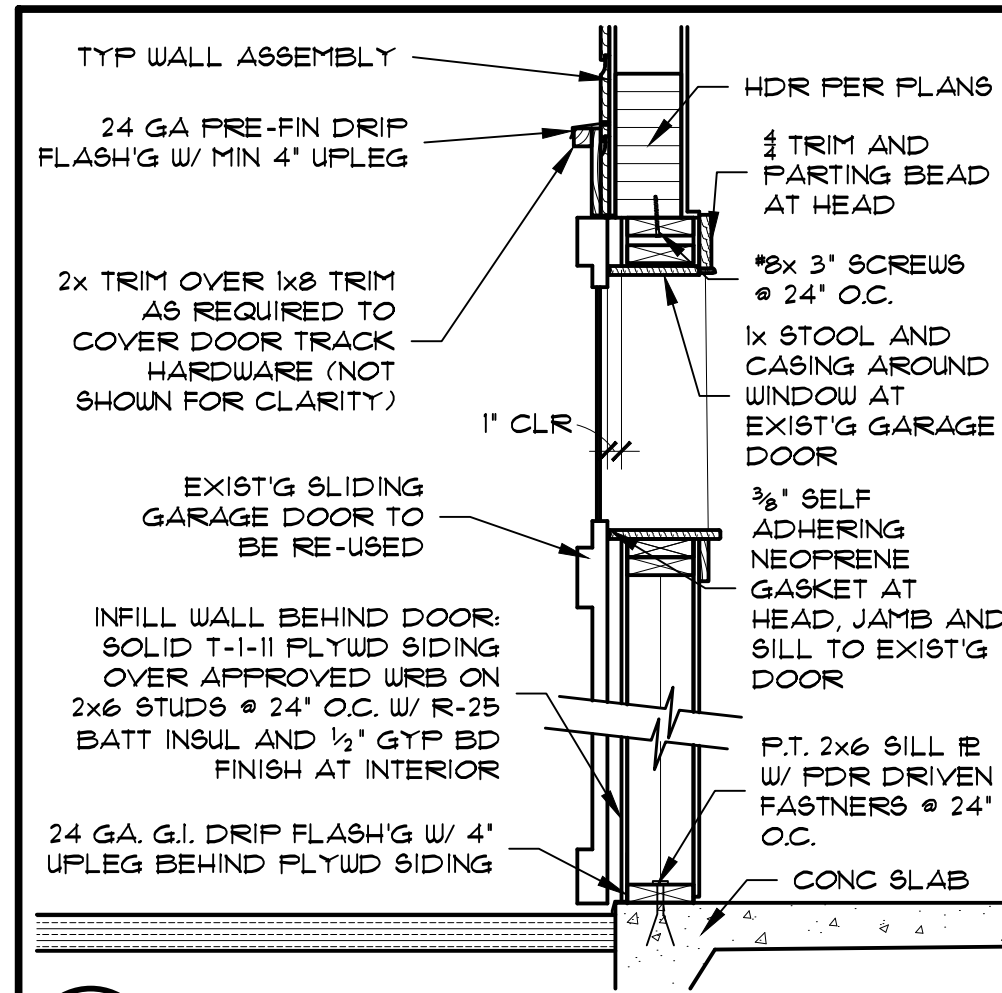
RIGHT SIDE ELEVATION

1/4" = 1'-0"

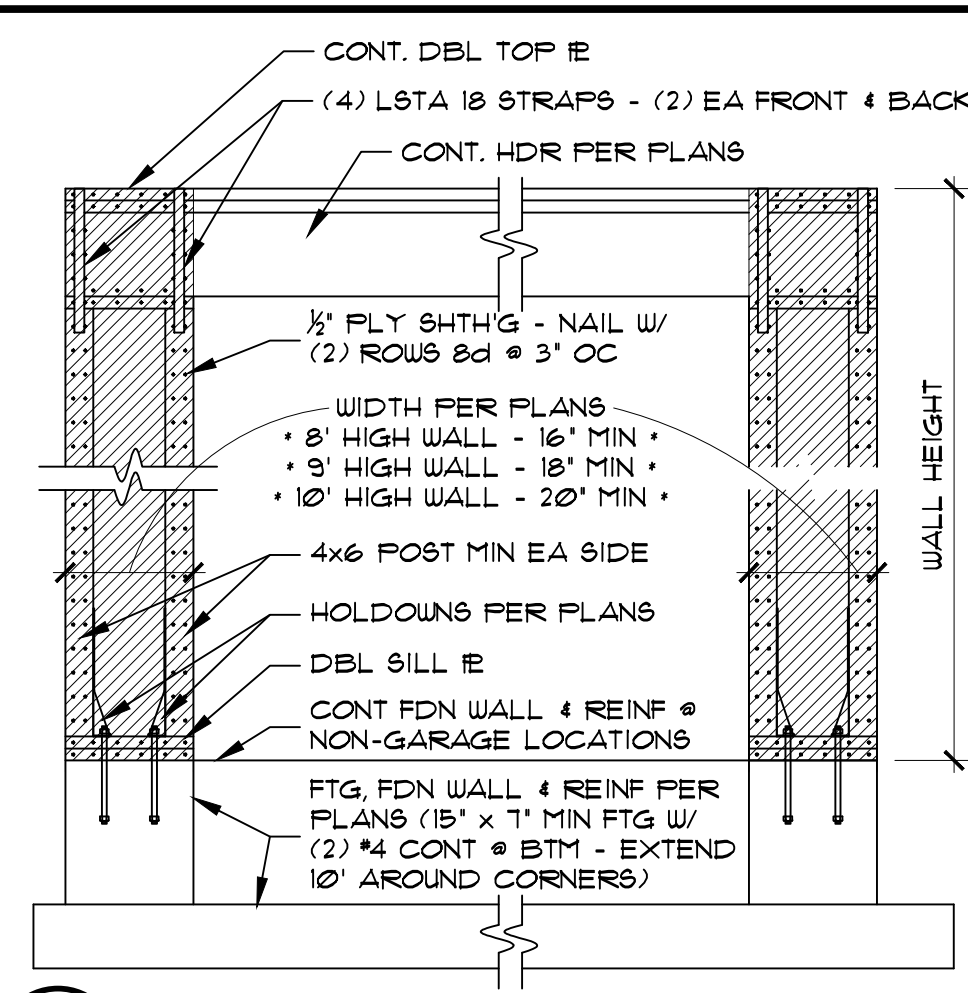


A SECTION

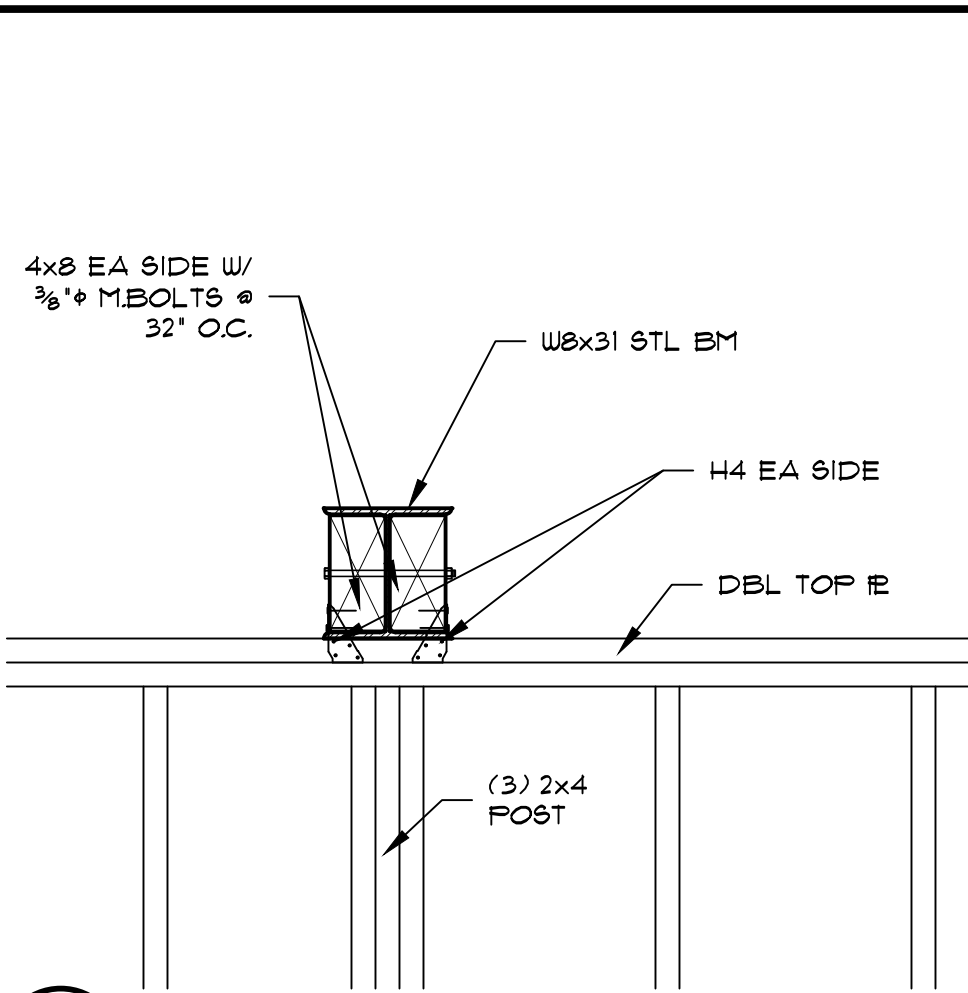
1/4" = 1'-0"



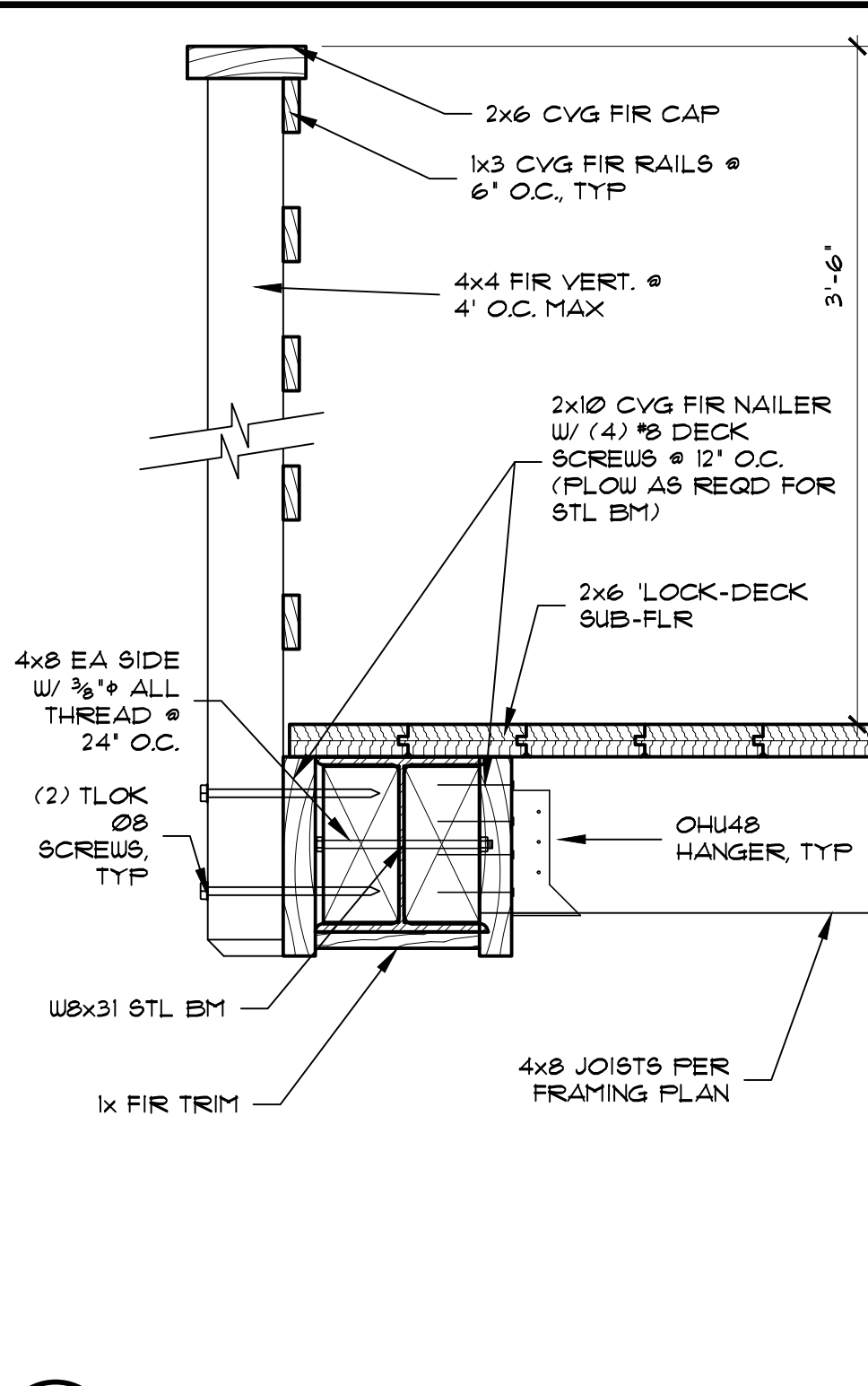
4 GARAGE DOOR INFILL



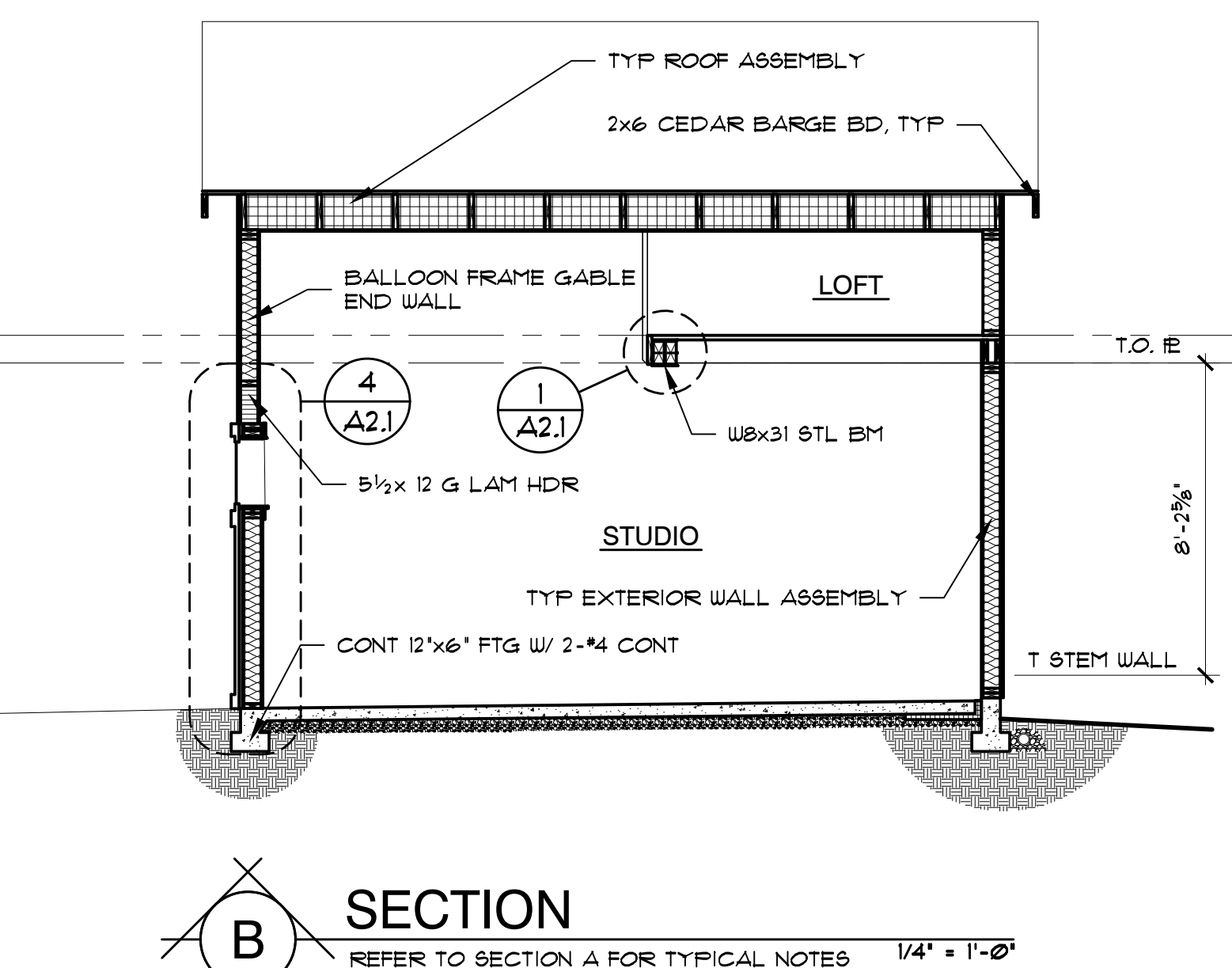
3 PORTAL FRAME



2 STL BM - POST DETAIL



1 STL BM @ LOFT



B SECTION

1/4" = 1'-0"

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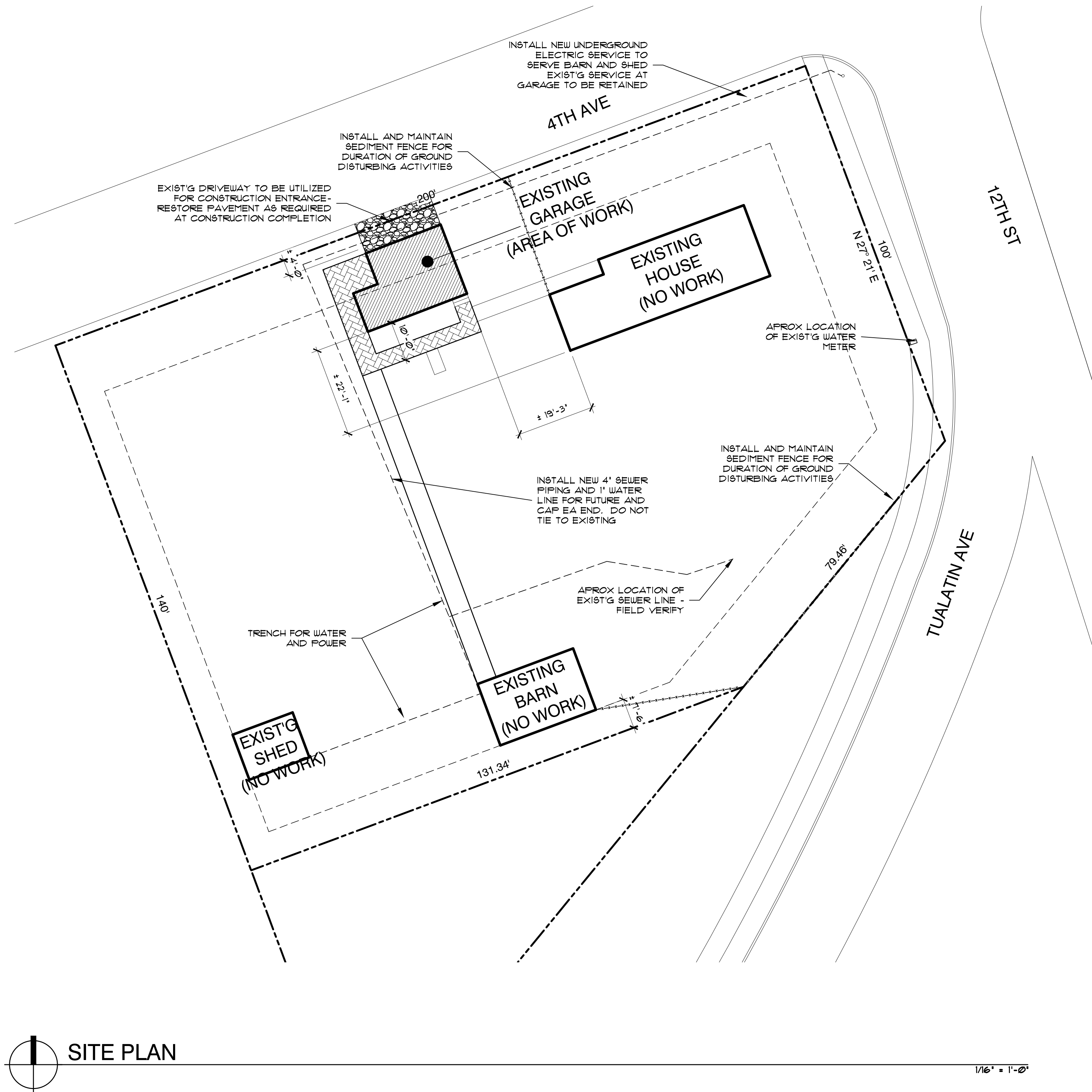
REGISTERED ARCHITECT
 #3272
 TODD L. ISELIN
 OREGON CITY, OREGON
 STATE OF OREGON

KLATT/ CARSON RESIDENCE
GARAGE / STUDIO REPLACEMENT
 1296 12TH ST.
 WEST LINN, OR 97068

PROJ. NO. : 1723
 FILE : A-ELV
 DATE : 1/11/2018

SHEET #
A2.1

ELEVATIONS, SECTIONS,
 DETAILS



SITE PLAN

1/16" = 1'-0"

GENERAL NOTES & SPECIFICATIONS

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Provide and maintain positive drainage away from building on all sides.

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Design live loads:

Roof	25 PSF
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Soil bearing capacity (assumed)	1500 PSF
Wind Pressure	18 PSF
Seismic	D1

FRAMING SPECIFICATIONS

(UNLESS NOTED OTHERWISE)

FRAMING LUMBER:

JOIST / RAFTERS	DF-L #2
STUDS	DF-L #2
4x AND 6x BEAMS	DF-L #1 (#2 AT FOUNDATION)
GLU-LAM BEAMS	GRADE 24F V-4 OR AS NOTED ON PLANS

SHEATHING MATERIALS:

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FLOOR SHEATHING	2" LOCK-DECK TIMBER SUB-FLR

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	face nail	(2) 16d
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	¾" - 1"	10d
	1" - 1½"	12d
	(sheathing nailing @ 6" oc @ panel edges & 12" oc @ intermediate supports except 6" @ intermediate supports where spans are 48" or more)	

1: (3) or fewer members
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PROJECT INFORMATION

PROJECT DESCRIPTION	DEMOLITION OF EXISTING 400 S.F. DETACHED GARAGE AND RECONSTRUCTION OF NEW 451 SF DETACHED ACCESSORY BUILDING AT EXISTING LOCATION PER PLANNING APPROVAL DR 17-07. STRUCTURE TO BE USED FOR HOME OCCUPATION (ART STUDIO). NO PLUMBING.	
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ZONE	26,627 SF (.61 AC)	
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OCCUPANCY	V-B	
CONSTRUCTION TYPE	EXIST'G	NEW
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- A2.1 ELEVATIONS & SECTIONS

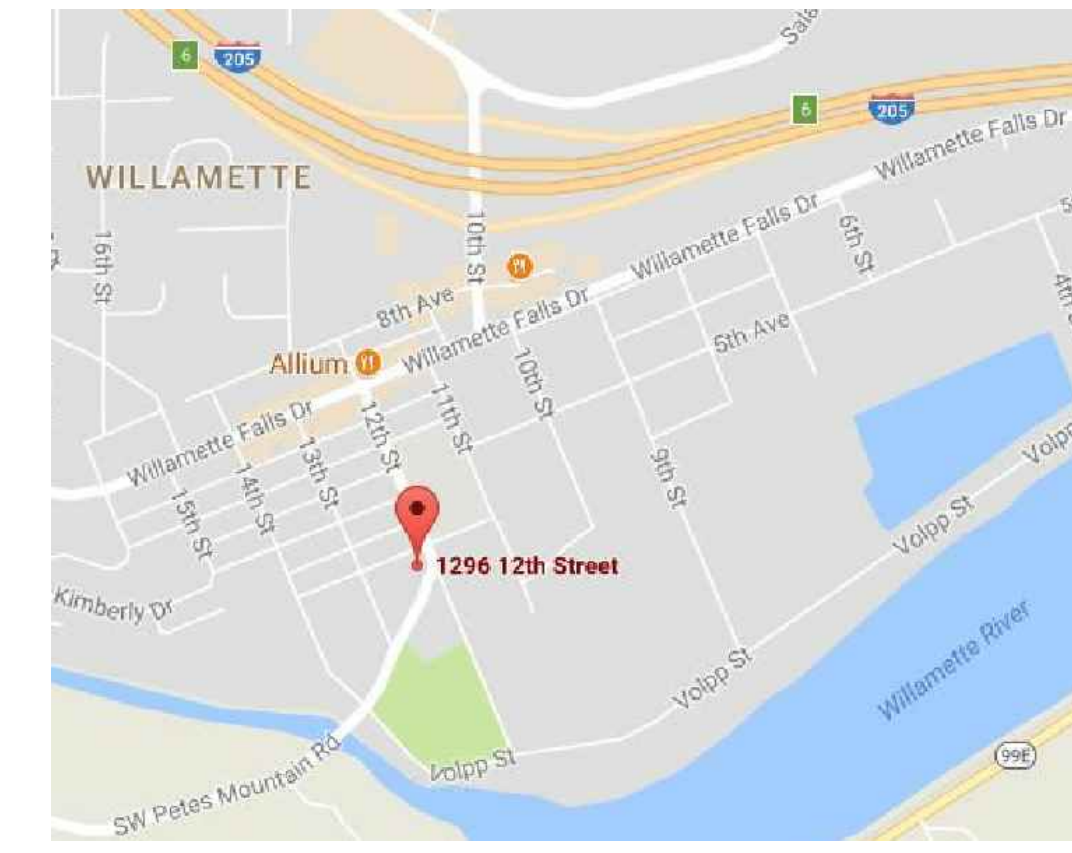
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TABLE N1101.1(1)

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ADDITIONAL MEASURES NOT REQUIRED FOR DETACHED ACCESSORY STRUCTURES PER N1101.1



VICINITY MAP



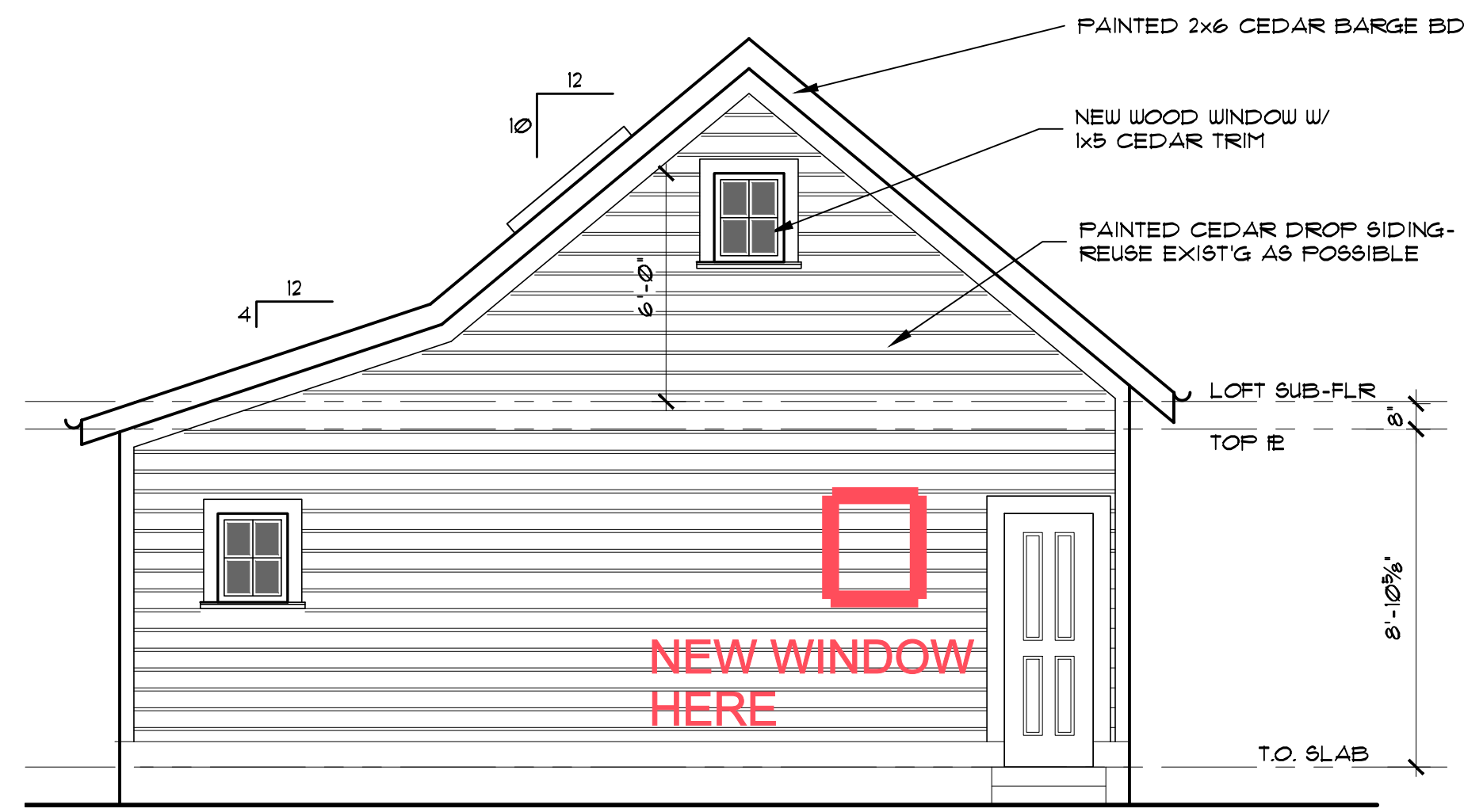
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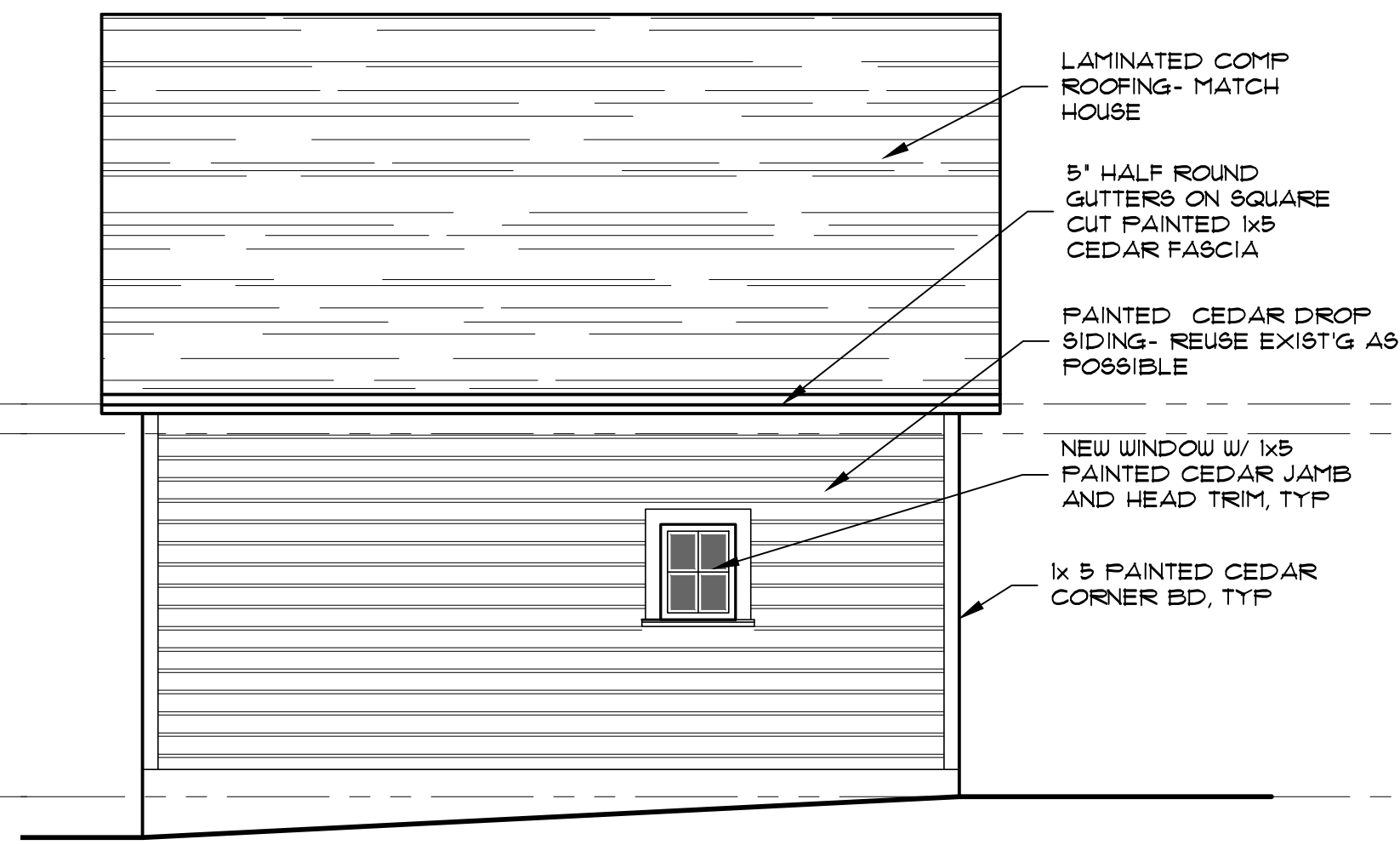
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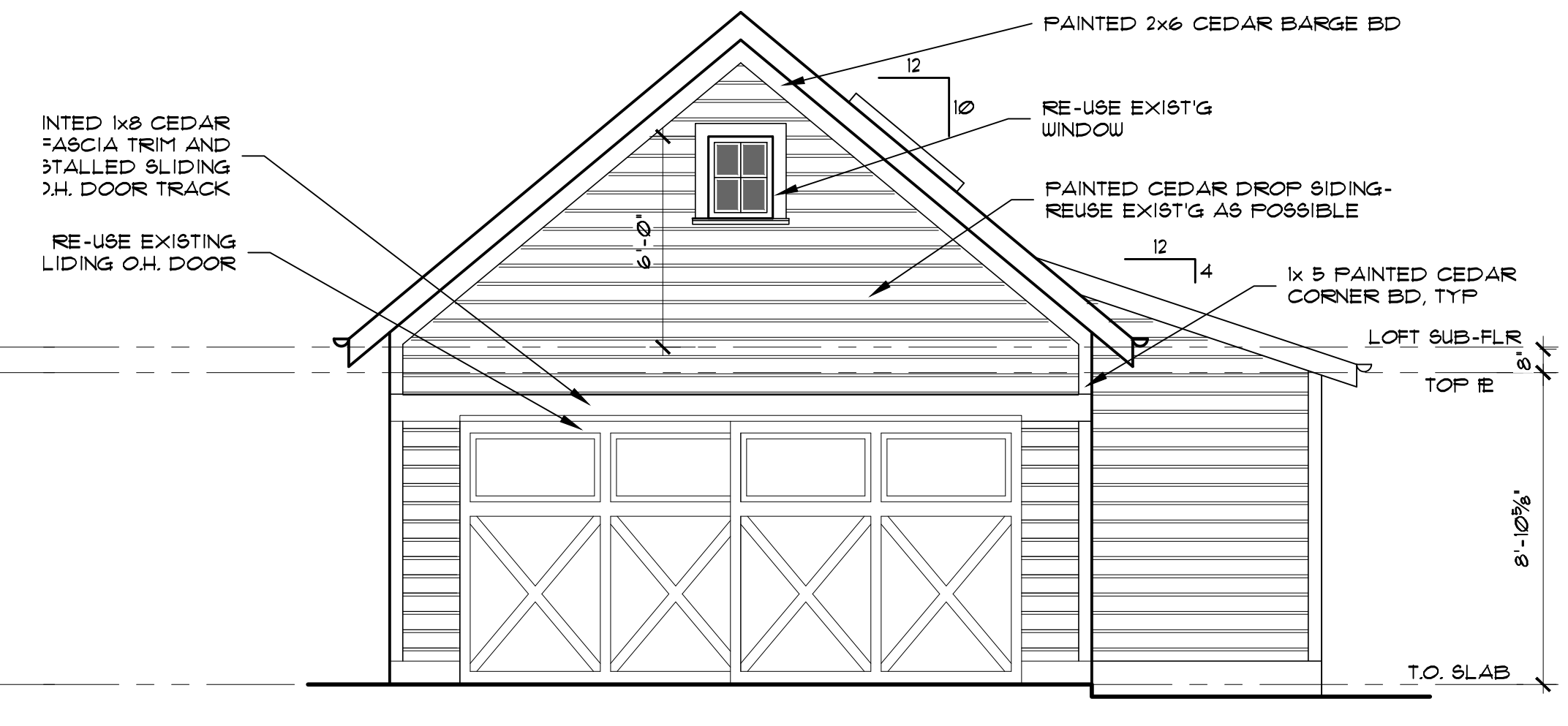
REAR ELEVATION

1/4" = 1'-0"



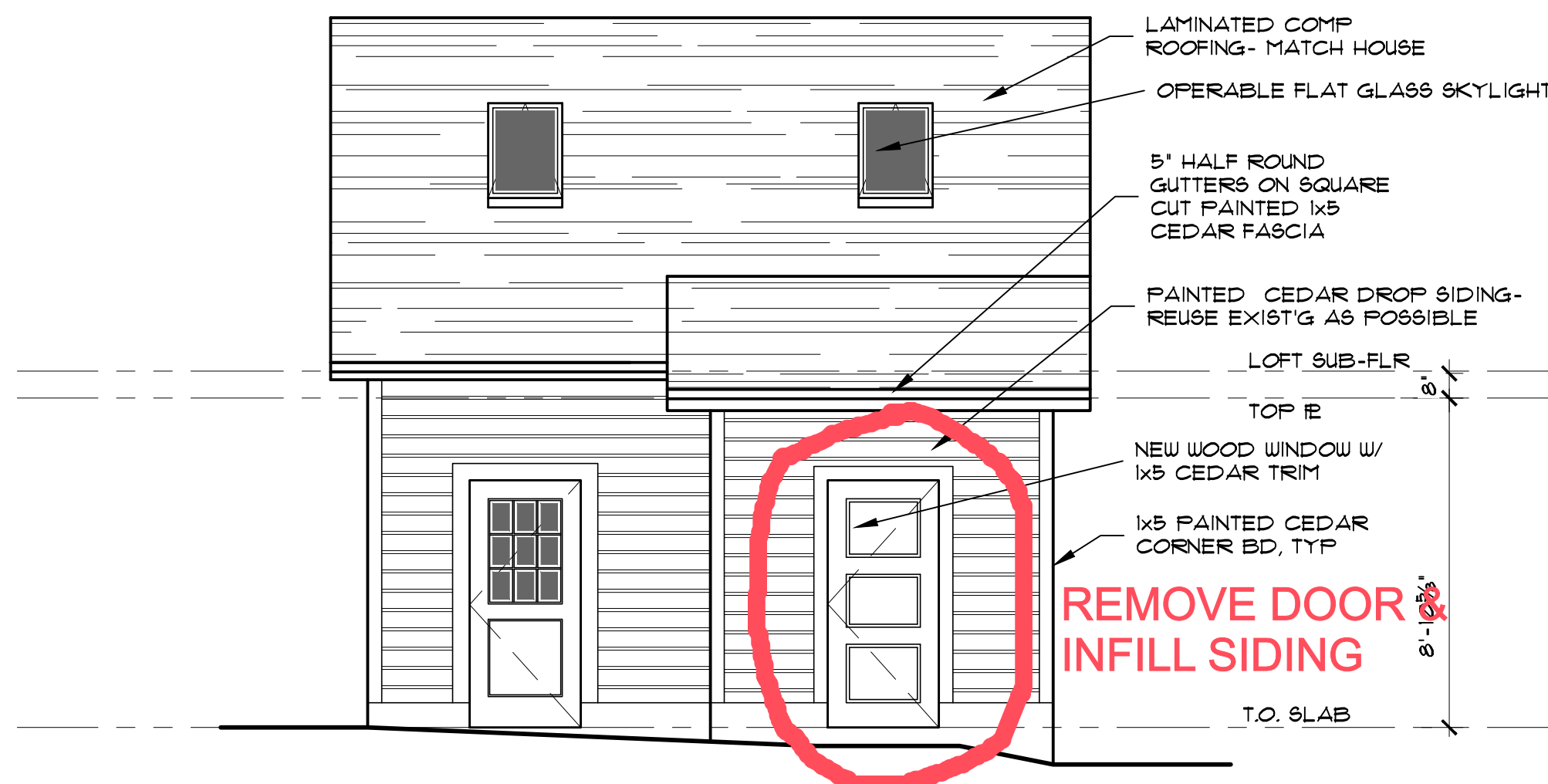
LEFT SIDE ELEVATION

1/4" = 1'-0"



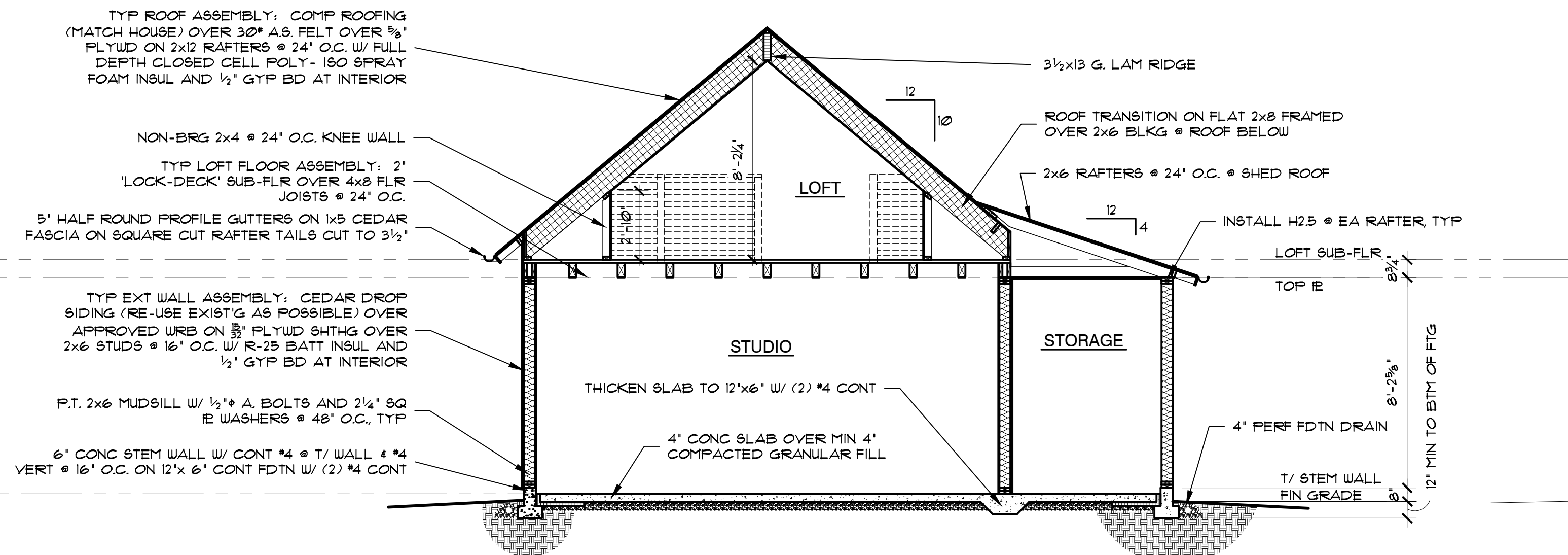
FRONT ELEVATION

1/4" = 1'-0"



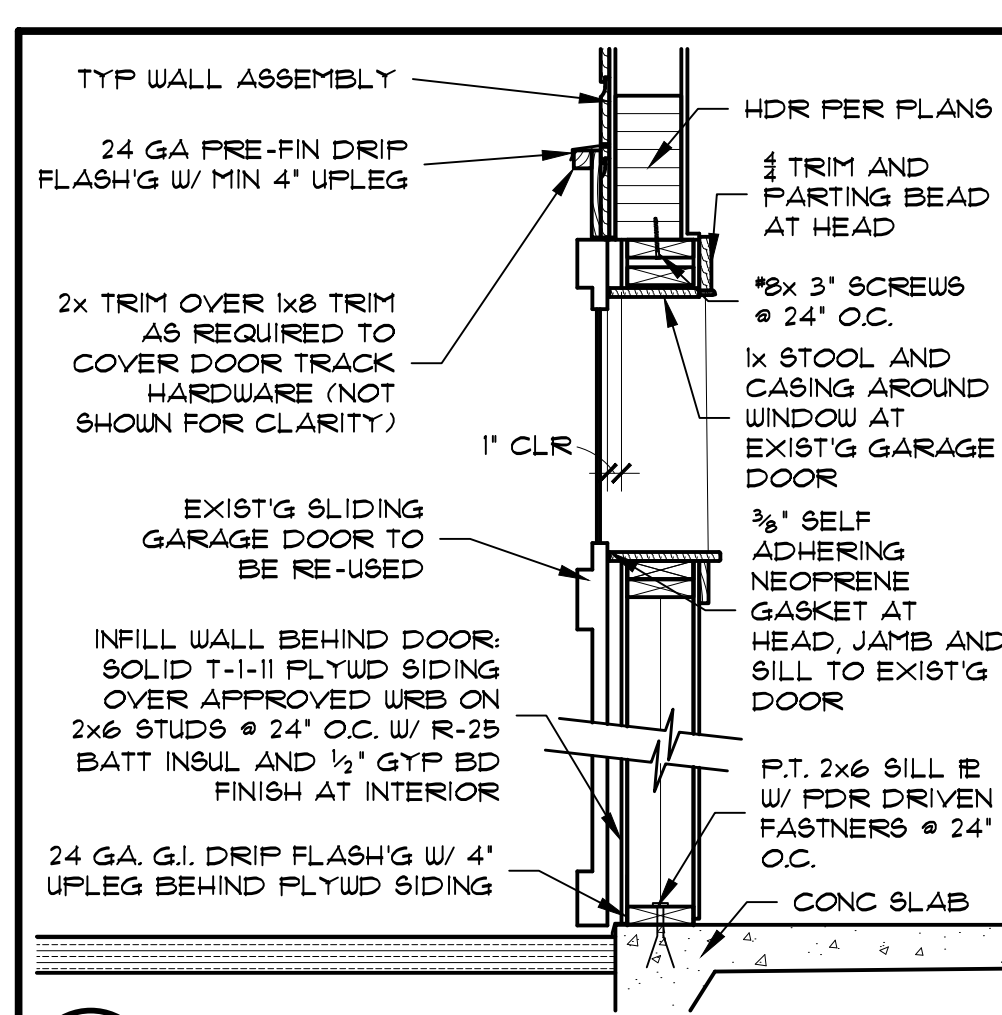
RIGHT SIDE ELEVATION

1/4" = 1'-0"



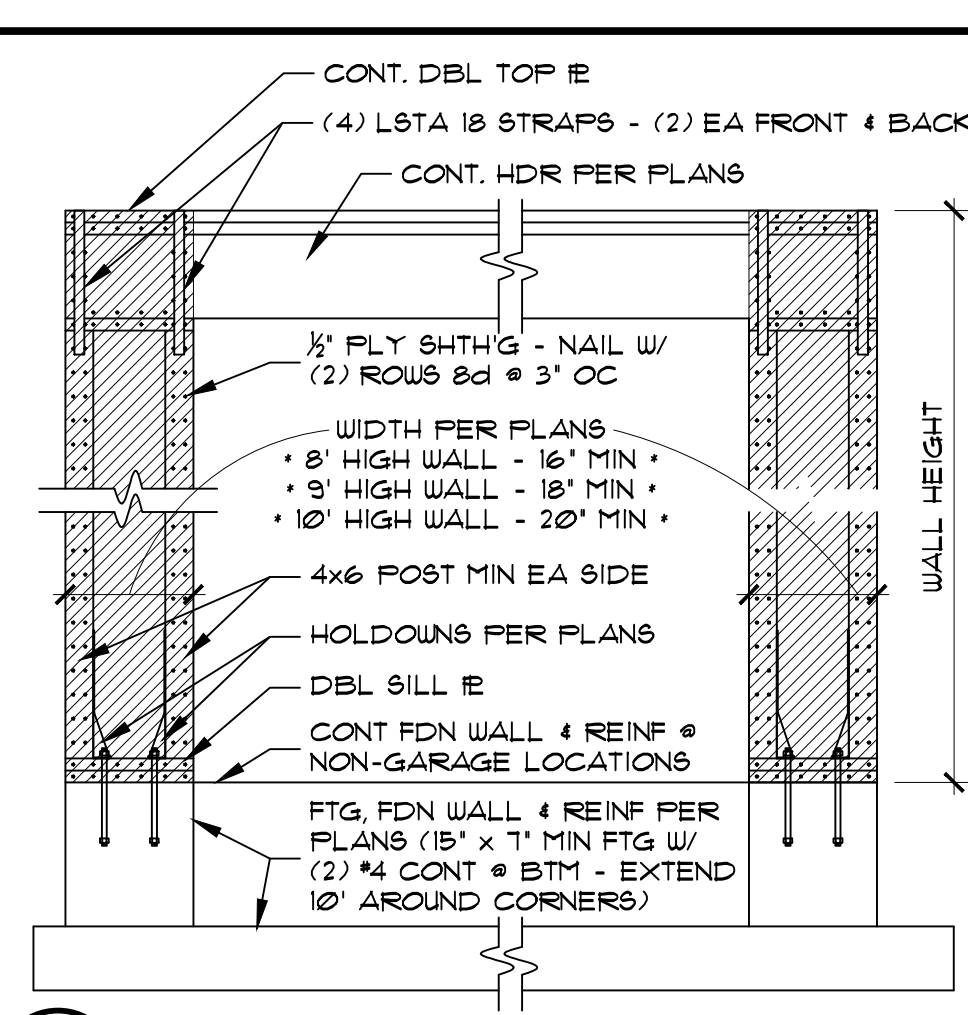
SECTION

1/4" = 1'-0"



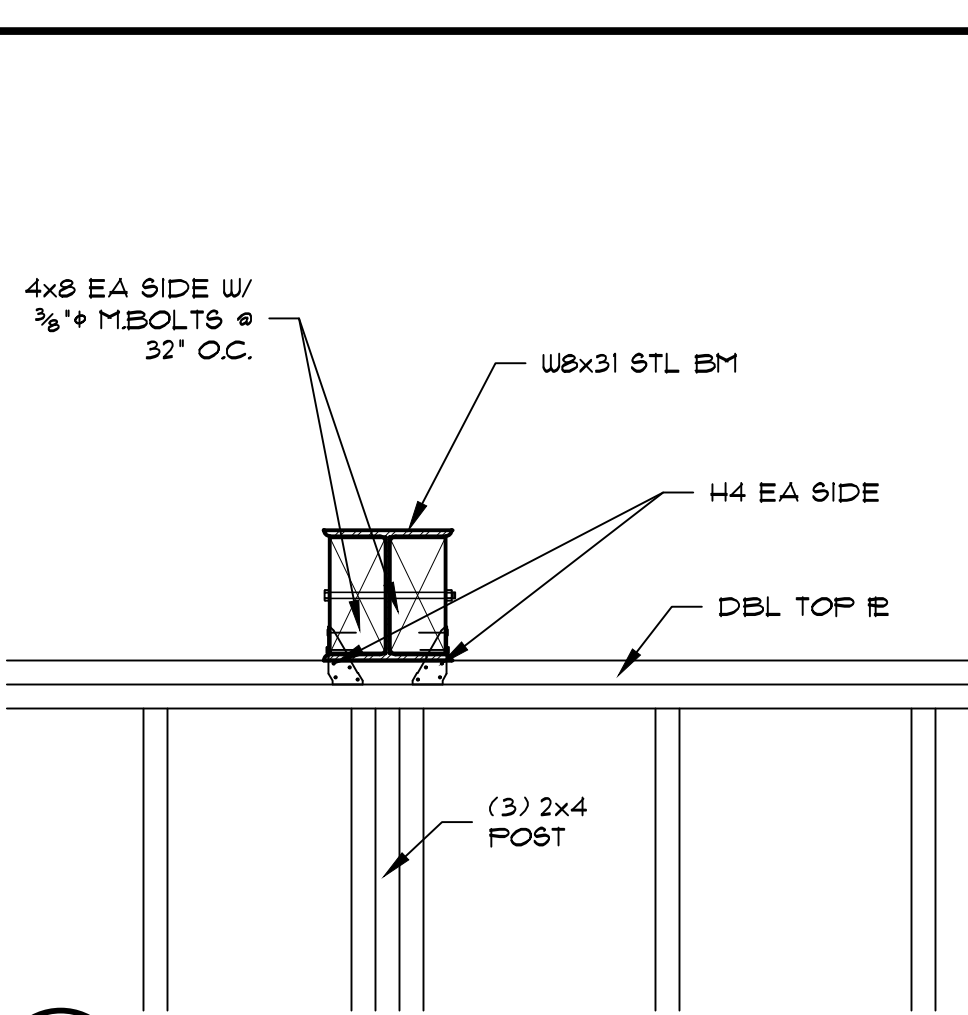
4 GARAGE DOOR INFILL

3/4" = 1'-0"



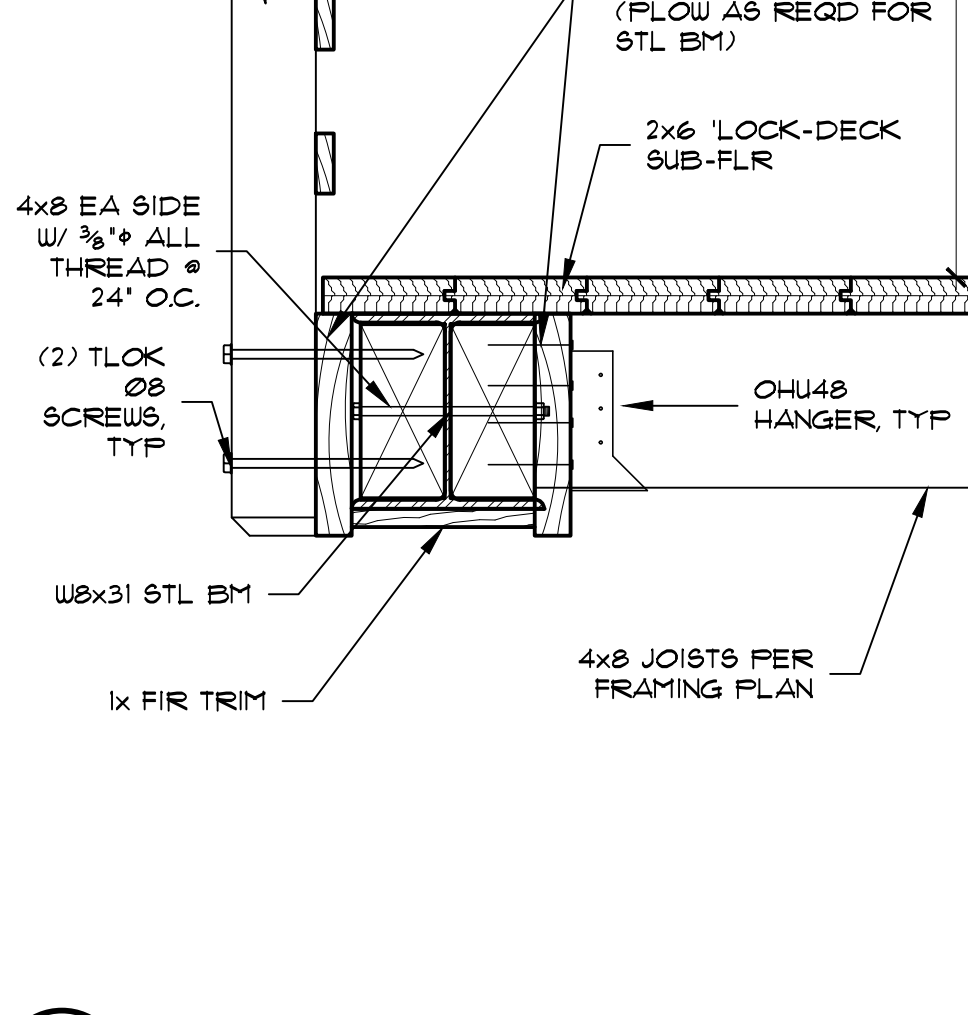
3 PORTAL FRAME

NBS



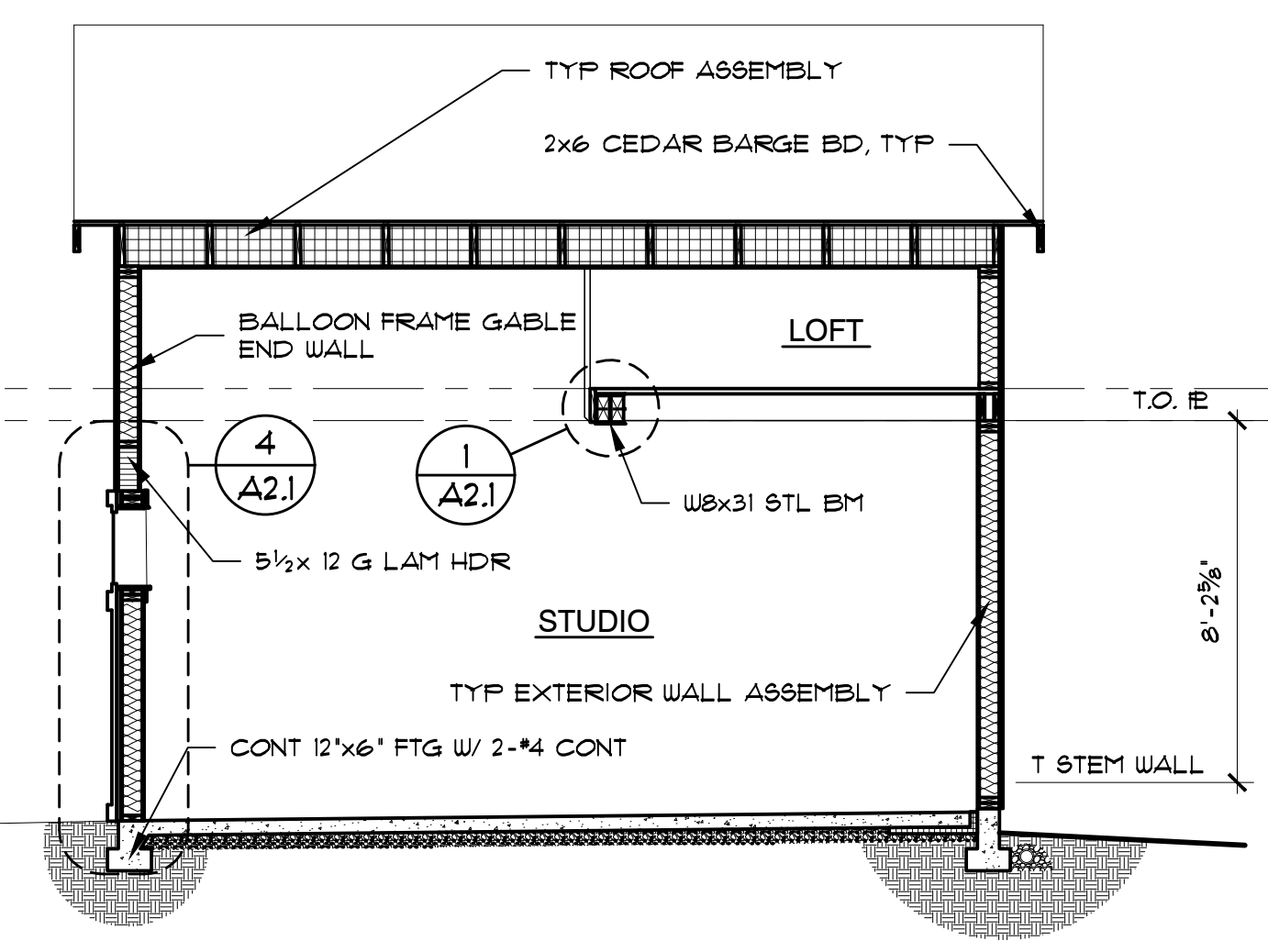
2 STL BM - POST DETAIL

1" = 1'-0"



1 STL BM @ LOFT

1 1/2" = 1'-0"



SECTION

1/4" = 1'-0"



ISELIN ARCHITECTS P.C.
1307 Seventh Street
Oregon City, OR 97045
503-656-1942 ph
503-656-0658 fax
www.iselinarchitects.com



KLATT/ CARSON RESIDENCE
GARAGE / STUDIO REPLACEMENT

1296 12TH ST.
WEST LINN, OR 97068

PROJ. NO. : 1723
FILE : A-ELV
DATE : 1/11/2018

SHEET #
A2.1

ELEVATIONS, SECTIONS,
DETAILS

PD-2 HISTORIC SITE INVENTORY FORMS

Oregon Historic Site Record

LOCATION AND PROPERTY NAME			
address:	1296 SE 12th St West Linn, Clackamas County (97068)	historic name:	Mass, Sherriff Ernest T, House
assoc addresses:		current/other names:	
location descr:		block/lot/tax lot:	/ 2900 / 2900
		twshp/rng/sect/qtr sect:	1N 3E 35 BD
PROPERTY CHARACTERISTICS			
resource type:	Building	height (stories):	2.0
elig evaluation:	eligible/contributing	total elig resources:	1
prim constr date:	c.1906	total inelig resources:	1
		NR Status:	Listed in Historic District
		second date:	
		date indiv listed:	
primary orig use:	Single Dwelling	orig use comments:	
second orig use:		prim style comments:	
primary style:	Queen Anne	sec style comments:	
secondary style:	Vernacular	siding comments:	Shiplap
primary siding:	Horizontal Board	architect:	
secondary siding:		builder:	Sheriff E. Mass. Original builder
plan type:	Side Passage/Entry		
comments/notes:			
Sherriff Mass House, Britton Barn ca. 1906 barn moved to site from 19th and Dollar Street in 1993.			
GROUPINGS / ASSOCIATIONS			
Survey/Grouping Included In:	Type of Grouping	Date Listed	Date Compiled
West Linn Selective RLS 2011	Survey & Inventory Project		2011
West Linn Survey- Willamette Conservation District	Survey & Inventory Project		2006
West Linn, Willamette Falls Neighborhood, RLS 2008	Survey & Inventory Project		2008
Willamette Historic District	Listed Historic District	09/24/2009	2008
SHPO INFORMATION FOR THIS PROPERTY			
NR date listed:	N/A	106 Project(s):	None
ILS survey date:		Special Assess Project(s):	None
RLS survey date:	03/17/2006	Federal Tax Project(s):	None
ARCHITECTURAL / PROPERTY DESCRIPTION			
<i>(Includes expanded description of the building/property, setting, significant landscape features, outbuildings and alterations)</i>			
1296 12th Street is a modest Queen Anne style vernacular house set on a large terraced corner lot. The lot is located at the southern edge of the district where the hill begins to slope downward toward the river. The two story, gable-front house is sheathed in clapboards and has very simple detailing. The full width hipped front porch has been rebuilt. The front door is in the north bay of the façade with a fixed light transomed window to the south. The second story has two simple 1/1 double hung sash windows. There is very little decoration on the exterior of the house, in keeping with its vernacular sensibility. To the rear of the lot is a small barn that was relocated to this site in the 1990s Main Entrance: Altered - only stoop. Notes: Chimney pot. Extension to rear.			
HISTORY			
<i>(Chronological, descriptive history of the property from its construction through at least the historic period - preferably to the present)</i>			
The property at 1296 12th Street (1906) was originally owned by David Samson who purchased the lot from the Willamette Falls Company. An earlier house with a larger footprint was built on the property before 1900, but this earlier structure was destroyed most likely by fire. At the site is an older stone foundation most likely dating from the earlier residence. The Willamette Walking Tour booklet notes that this foundation may have belonged to the Albert Epperly House(1859). A second more modest house was constructed in 1906. David Samson sold the property to Ernest and Nola Mass in 1909. This is the second house associated with County Sheriff Mass, and it is generally thought that this was temporary housing for the Mass family. Sheriff Mass owned the property until 1929 when it was sold to Ada Ison. The property remained in the Ison family until it was sold to the Tedd family in 1941. The Tedd family owned the property until 1977 when it was sold to Charles Bennett. John Klatt and Jody Carson currently own the property and moved and restored the Britton Barn (1906) from 19th and Dollar to the site in 1993.			
RESEARCH INFORMATION			
✓ Title Records	Census Records	Property Tax Records	Local Histories
✓ Sanborn Maps	Biographical Sources	SHPO Files	Interviews
✓ Obituaries	Newspapers	State Archives	Historic Photographs
City Directories	Building Permits	State Library	
Local Library:		University Library:	
Historical Society:	Oregon Historical Society	Other Respository:	Ticor Title Company
Bibliography:			

PD-3 COMPLETENESS LETTER



CITY OF
West Linn

May 18, 2022

Jody Carson
1296 12th St
West Linn, OR 97068

SUBJECT: Class I Historic Design Review for façade alterations of an accessory structure at 1296 12th St (HDR-23-01)

Bob Wroth and Jody Carson:

Your application submitted on April 25, 2023 has been deemed **complete**. The city has 120 days to exhaust all local review; that period ends September 14, 2023.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

Please contact me at 503-742-6057, or by email at bgardner@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Ben Gardner
Assistant Planner

PD-4 AFFADAVIT AND NOTICE PACKET



CITY OF West Linn

AFFIDAVIT OF NOTICE TYPE B PLANNING MANAGER DECISION

We, the undersigned, certify that, in the interest of the party initiating a proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **HDR-23-01** Address: **1296 12th Street**
Applicant's Name: **Jody Carson**
Scheduled Decision Date: **Planning Manager Decision no earlier than June 7, 2023**

MAILED NOTICE

Notice of Upcoming Planning Manager Decision was mailed at least 14 days before the decision date, per Section 99.080 of the Community Development Code to:

Jody Carson, owner	05/24/23	<i>Lynn Schroder</i>
Bob Wroth, applicant	05/24/23	<i>Lynn Schroder</i>
Property owners within 300ft of the site perimeter	05/24/23	<i>Lynn Schroder</i>
Willamette NA	05/24/23	<i>Lynn Schroder</i>

WEBSITE

Notice was posted on the City's website 14 days before the decision date.

05/24/23	<i>Lynn Schroder</i>
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SIGN

A sign was posted on the property at least 10 days before the decision, per Section 99.080 of the CDC.

05/24/23	<i>Ben Gardner</i>	
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FINAL DECISION

Notice of Final Decision was mailed to the applicant, all parties with standing, and posted on the City's website, per Section 99.040 of the Community Development Code.

8/7/23	<i>Lynn Schroder</i>
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**CITY OF WEST LINN
NOTICE OF UPCOMING PLANNING MANAGER DECISION
FILE NO. HDR-23-01**

The West Linn Planning Manager is considering a Class 1 Historic Design Review at 1296 12th Street in West Linn. The applicant is requesting approval to remove a door and add a window to separate facades of an accessory structure.

You have been notified of this proposal because County records indicate that you own property within 300 feet of the property (Clackamas County Assessor's Map 31E02BD02900), or as otherwise required by CDC Chapter 99.080.

The Planning Manager will decide the application based on criteria in Chapters 25 and 99 of the Community Development Code (CDC). The CDC approval criteria are available for review on the City website <http://www.westlinnoregon.gov/cdc> or at City Hall and the City Library.

The application is posted on the City's website, <https://westlinnoregon.gov/planning/1296-12th-street-class-1-historic-design-review>. The application, all documents or evidence relied upon by the applicant and applicable criteria are available for inspection at City Hall at no cost. Copies may be obtained at reasonable cost.

A public hearing will not be held for this decision. **Anyone wishing to submit comments for consideration must submit all material before 4:00 p.m. on Wednesday, June 7th, 2023 to bgardner@westlinnoregon.gov or mail them to City Hall. All comments must be received by the deadline.**

It is important to submit all testimony in response to this notice. All comments submitted for consideration of this appeal should relate specifically to the applicable criteria. Failure to raise an issue in a hearing, in person, or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes appeal to the Oregon Land Use Board of Appeals based on that issue (CDC Section 99.090).

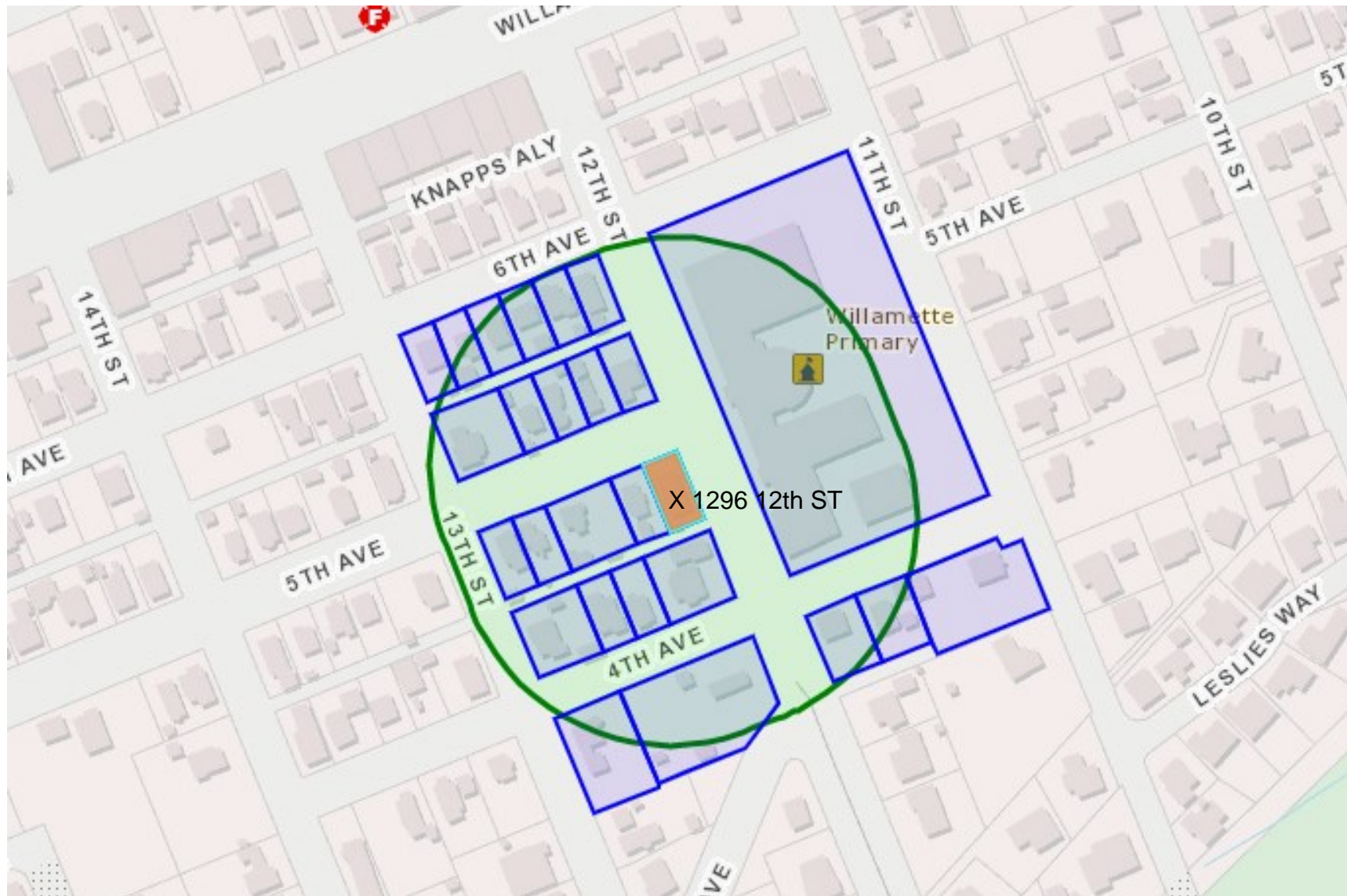
The final decision will be posted on the website and available at City Hall. Persons with party status may appeal the decision by submitting an appeal application to the Planning Department within 14 days of mailing the notice of the final decision pursuant to CDC [99.240](#).

For additional information, please contact Ben Gardner, Assistant Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, 503-742-6057

Scan this QR code to go to the project page:



HDR-23-01 Properties within 300 feet of 1296 12th Street





**NOTICE OF UPCOMING
PLANNING MANAGER DECISION**

**PROJECT # HDR-23-01
MAIL: 5/24/23 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets and land use application notice, and to address the concerns of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.