



SG ARCHITECTURE, LLC

29 January, 2024

DESIGN REVIEW APPLICATION | DESIGN ADJUSTMENTS

JOHN FLOYD

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SGA PROJECT NO. 20-119

Design Review Application **DR-23-01**
Design Adjustments in Response to
Comments from June 13th, 2023 HRB Meeting

DEAR MR. FLOYD,

Please find the following written narrative description of design changes we are proposing in response to comments received at the June 13th Historic Review Board Meeting. (In a separate letter, we have requested that our November 14th request to the HRB for a Design Exception be rescinded.)

The concerns from the June 13th HRB meeting were expressed by members of the HRB, as well as neighbors and the City Engineering Department. These concerns are paraphrased in **gray** below, with our narrative responses following each comment in **black**. We have attached plans, elevations, and sections which graphically illustrate our revisions.

Per our email discussion we would appreciate your adding this narrative and the attendant drawings to the original drawings as part of your submittal package to the Planning Commission. We have attached both the original June 13th exhibits with the revised drawings for your convenience.

COMMENTS:

1. *CONCERN: While the IBC does not consider a mezzanine to be a separate floor, the HRB was not clear if the Willamette Falls Drive Commercial Design District Code (Chapter 58) (WFDCD) would allow for a mezzanine level above the second floor as shown in the 6/13 presentation. Further, the upper row of windows along 12th Street in the original presentation was seen by some as an indication of a 3rd floor that would not be permitted under the standards.*

DESIGN RESPONSE:

1. **The windows along 12th street have been removed and replaced with a redesigned cornice, painted panels, and painted vertical pilasters, breaking up the facade into vertical components. The clerestory windows remain at the corner providing additional natural light to the second floor (See Elevations, Exhibit EL05.2).**
2. **The enclosed rooftop lounge, restrooms, second elevator, and stair have been eliminated (See Roof Plan, Exhibit EL05.3).**
3. **The outdoor roof deck remains for general use by tenants and guests - with a 5'-6" tall screen surround to reduce potential noise and light issues for our residential neighbors (See Screenwall Detail, Exhibit EL05.3).**

4. An enclosed HVAC equipment space was added between the elevator and stairs to help to mitigate noise from rooftop mechanical units (See Roof Plan, Exhibit EL05.3).
 - a. Section 55.100.C.3 of the CDC's Class II Design Review Approval Standards requires that "Rooftop air cooling and heating systems and other mechanical equipment shall be screened from view from adjoining properties". As is shown in Exhibit EL05.4 "Site Sections | View From Adjacent Lots", the building's perimeter parapets provide complete visual screening of rooftop equipment, thereby meeting the requirement of the Section.
 - b. Because some of the neighbors have raised concerns about noise, we are proposing the additional enclosed Mechanical Equipment space to further mitigate any noise that may come from equipment. To make the space as effective at reducing noise as possible, the space includes walls and a roof.
 - c. It is possible that an enclosed space with a roof will be considered to be a "third floor", because it has a floor and a roof as described in Section 02.030 "Story".
 - d. Our proposal takes no opinion on the question of whether the Mechanical Equipment space meets the requirements of a story as described in Section 02.030. We are offering, in a gesture of goodwill and at significant expense, to provide an enclosure intended to benefit the neighbors.
 - e. Should the Commission conclude that this space is not consistent with the spirit of the Community Development Code or the Willamette Falls Drive Commercial District, we would request a condition of approval – for the removal of the Mechanical Equipment enclosure - be placed on the proposal.

2. CONCERN: There was concern from the residential neighbors across Knapps Alley that the 2nd floor windows on the alley elevation were too large.

DESIGN RESPONSE:

1. The windows along the Knapps Alley elevation have been re-designed to match the size and spacing of those on the existing building (1969 Willamette Falls Drive). Those windows were found by the HRB and these same neighbors to be acceptable during the HRB and Planning Commission review for the 1969 building.

3. CONCERN: The Board was concerned that the drawing showing the Willamette Falls Drive elevation did not show clearly enough that the building elevation meets the 35' height limit required by the Standards. Per Section 41.005 "Determining Height of Building" and Section 58.080.C.3 of the WFDCD:

SECTION 41.005: "...where there is less than a 10-foot difference in grade between the front and rear of the building, the height of the building shall be measured from grade five feet out from the exterior wall at the front of the building..."

SECTION 58.080.C.3: "Building height limitations. Maximum building height shall be 35 feet (as measured by this code), and two stories. A false front shall be considered as the peak of the building if it exceeds the gable roof ridge line."

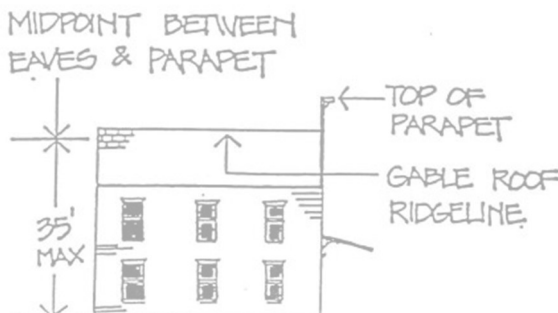


Figure from Section 58.080.C.3

DESIGN RESPONSE:

1. The height limit in the WFD district is 35' per CDC Section 58.080.B.3, and is measured at grade, 5' from the front elevation per CDC Section 41.005.A.1. Exhibit EL05.1 "Willamette Falls Drive Elevation", Exhibit EL05.2 "West (12th Street) Elevation", and Exhibit EL05.3 "Knapps Alley Elevation" show heavy dashed red lines indicating the 35' maximum height on those streets/elevations. Note that while 58.080.B.3 allows parapets to extend above the height maximum, we have nonetheless reduced the parapet heights to fall fully beneath the 35' dimension.
2. Like the parapets, the roof access stairwell and the screen at the mechanical equipment space also fall below the 35' height limit, as shown on Exhibit EL05.1. The ONLY portion of the building that extends above the 35' height limit is the elevator shaft, which is expressly allowed per CDC Section 41.030:
 - a. 41.030 PROJECTIONS NOT USED FOR HUMAN HABITATION
Projections such as chimneys, spires, domes, elevator shaft housings, towers, aerials, flag poles, and other similar objects not used for human occupancy are not subject to the building height limitations of this code. (Ord. 1604 § 44, 2011; Ord. 1745 § 1 (Exh. A), 2023) [Emphasis Added]
3. As shown, the proposal is in full compliance with the standards of Chapters 58 and 41.
4. CONCERN: *The City Engineering Department expressed concern that cast iron columns shown supporting the canopy that wraps the northwest corner of the building could conflict with utilities located beneath the sidewalk and could perhaps create an accessibility issue for pedestrians using the sidewalk.*

DESIGN RESPONSE:

1. The cast iron columns that were supporting the canopy at the northwest corner have been eliminated. In their place, tie-back rods connecting the top of the canopy to the building will be used to support the canopy. This design is the same as that which was approved by the HRB and neighborhood for the existing 1969 Willamette Falls Drive building.

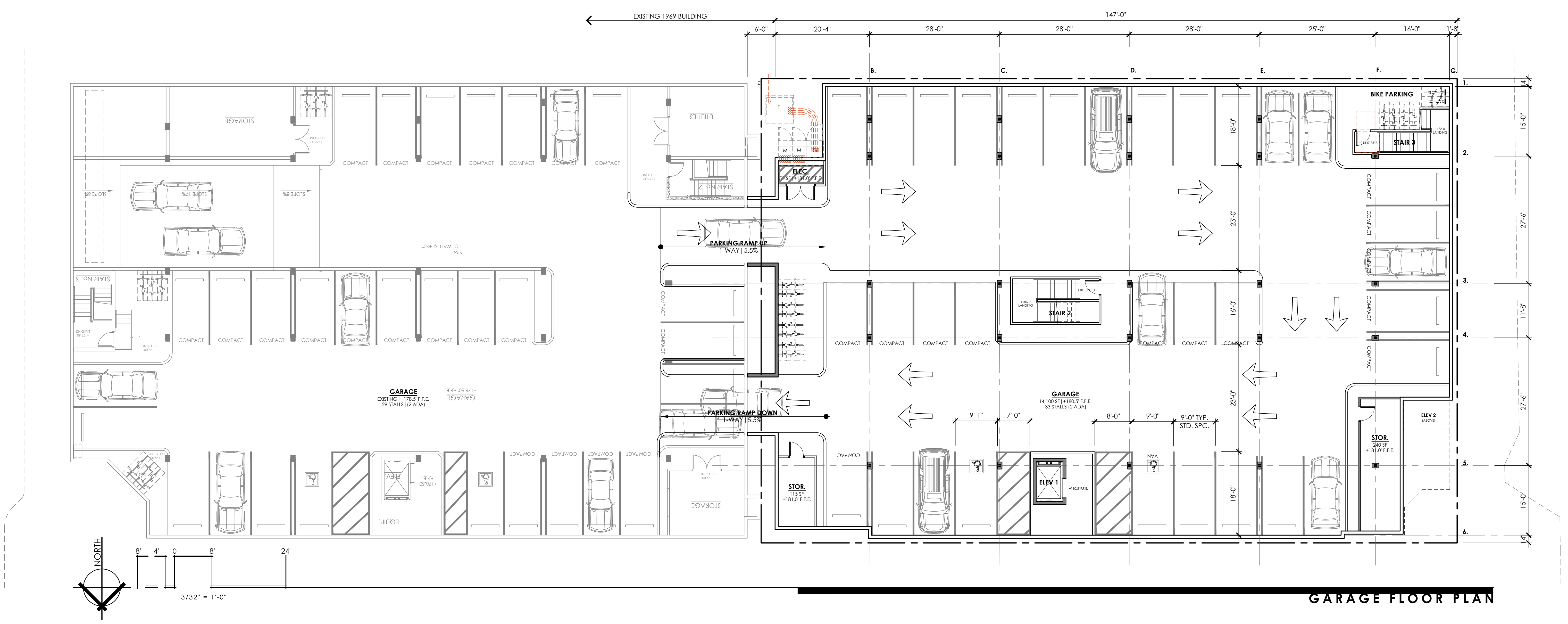
Please note that the color palette for the revised elevation is the same as what was originally approved by the HRB. Due to time constraints, it is necessary for us to submit our revisions in black and white rather than color renderings as originally presented. We would ask that the Commissioners refer to the original renderings to understand where colors will be applied on the building, including on the revised elevation.

John, thank you for your review and consideration, we look forward to any comments you may have. Please let me know if you have any questions, or if you need any additional information.

Sincerely,



SCOT SUTTON | SG Architecture, LLC
503-347-4685 | ssutton@sg-arch.net

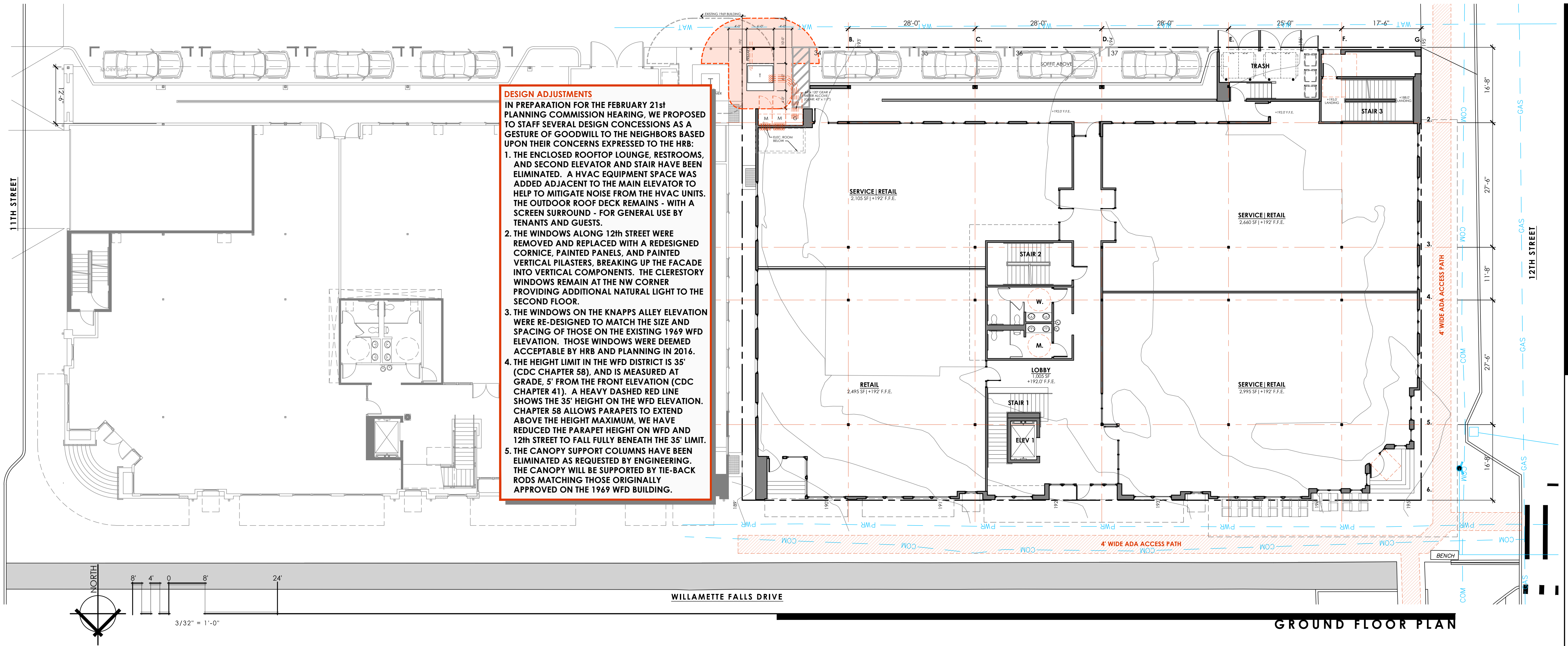


GARAGE FLOOR PLAN

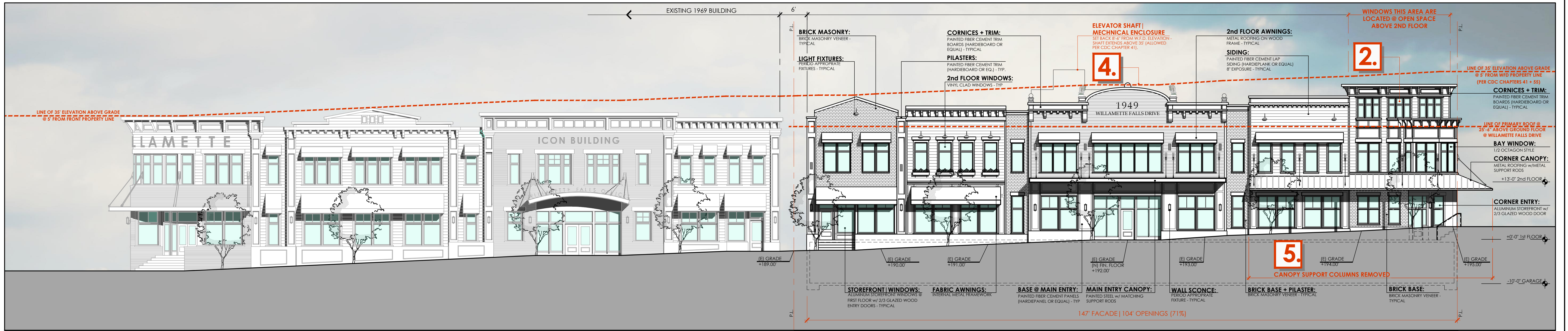
G GARAGE FLOOR PLAN

DESIGN ADJUSTMENTS
 IN PREPARATION FOR THE FEBRUARY 21st PLANNING COMMISSION HEARING, WE PROPOSED TO STAFF SEVERAL DESIGN CONCESSIONS AS A GESTURE OF GOODWILL TO THE NEIGHBORS BASED UPON THEIR CONCERNS EXPRESSED TO THE HRB:

1. THE ENCLOSED ROOFTOP LOUNGE, RESTROOMS, AND SECOND ELEVATOR AND STAIR HAVE BEEN ELIMINATED. A HVAC EQUIPMENT SPACE WAS ADDED ADJACENT TO THE MAIN ELEVATOR TO HELP TO MITIGATE NOISE FROM THE HVAC UNITS. THE OUTDOOR ROOF DECK REMAINS - WITH A SCREEN SURROUND - FOR GENERAL USE BY TENANTS AND GUESTS.
2. THE WINDOWS ALONG 12th STREET WERE REMOVED AND REPLACED WITH A REDESIGNED CORNICE, PAINTED PANELS, AND PAINTED VERTICAL PILASTERS, BREAKING UP THE FACADE INTO VERTICAL COMPONENTS. THE CLERESTORY WINDOWS REMAIN AT THE NW CORNER PROVIDING ADDITIONAL NATURAL LIGHT TO THE SECOND FLOOR.
3. THE WINDOWS ON THE KNAPPS ALLEY ELEVATION WERE RE-DESIGNED TO MATCH THE SIZE AND SPACING OF THOSE ON THE EXISTING 1969 WFD ELEVATION. THOSE WINDOWS WERE DEEMED ACCEPTABLE BY HRB AND PLANNING IN 2016.
4. THE HEIGHT LIMIT IN THE WFD DISTRICT IS 35' (CDC CHAPTER 58), AND IS MEASURED AT GRADE, 5' FROM THE FRONT ELEVATION (CDC CHAPTER 41). A HEAVY DASHED RED LINE SHOWS THE 35' HEIGHT ON THE WFD ELEVATION. CHAPTER 58 ALLOWS PARAPETS TO EXTEND ABOVE THE HEIGHT MAXIMUM, WE HAVE REDUCED THE PARAPET HEIGHT ON WFD AND 12TH STREET TO FALL FULLY BENEATH THE 35' LIMIT.
5. THE CANOPY SUPPORT COLUMNS HAVE BEEN ELIMINATED AS REQUESTED BY ENGINEERING. THE CANOPY WILL BE SUPPORTED BY TIE-BACK RODS MATCHING THOSE ORIGINALLY APPROVED ON THE 1969 WFD BUILDING.



GROUND FLOOR PLAN

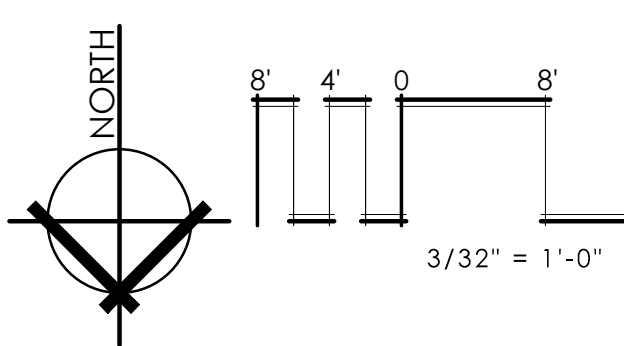
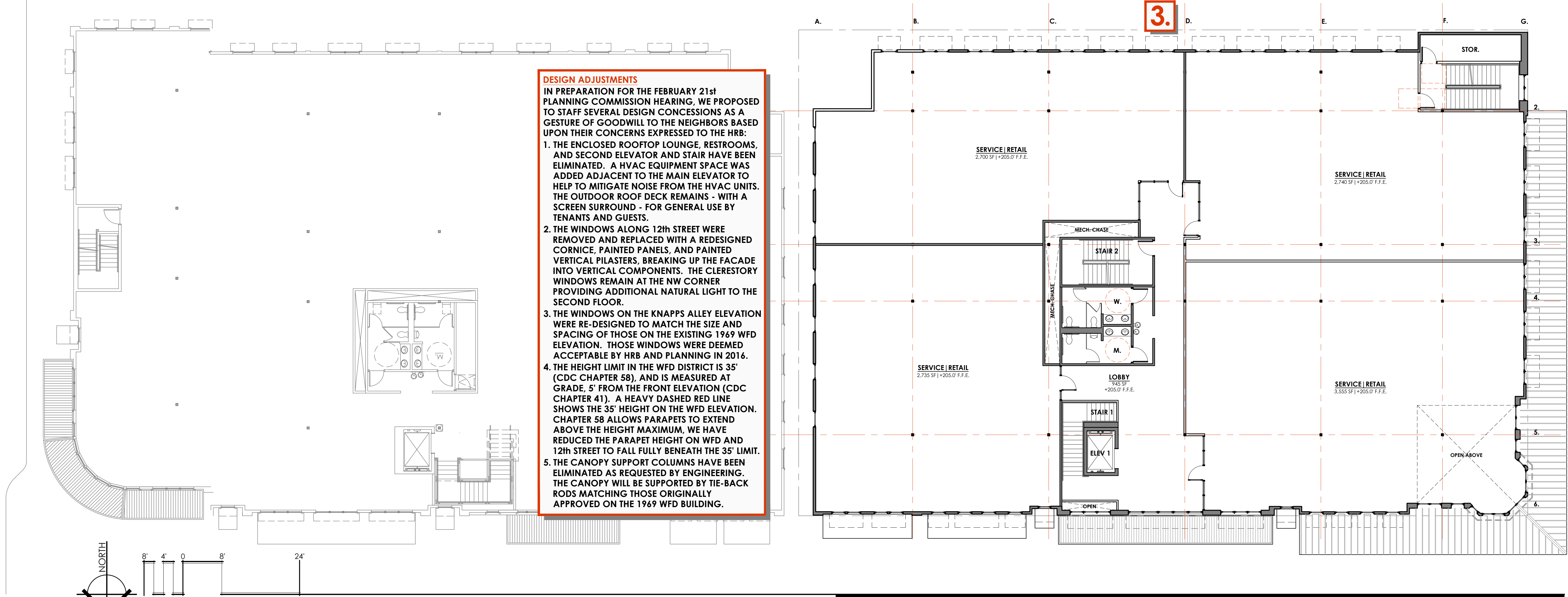


WILLAMETTE FALLS DRIVE ELEVATION

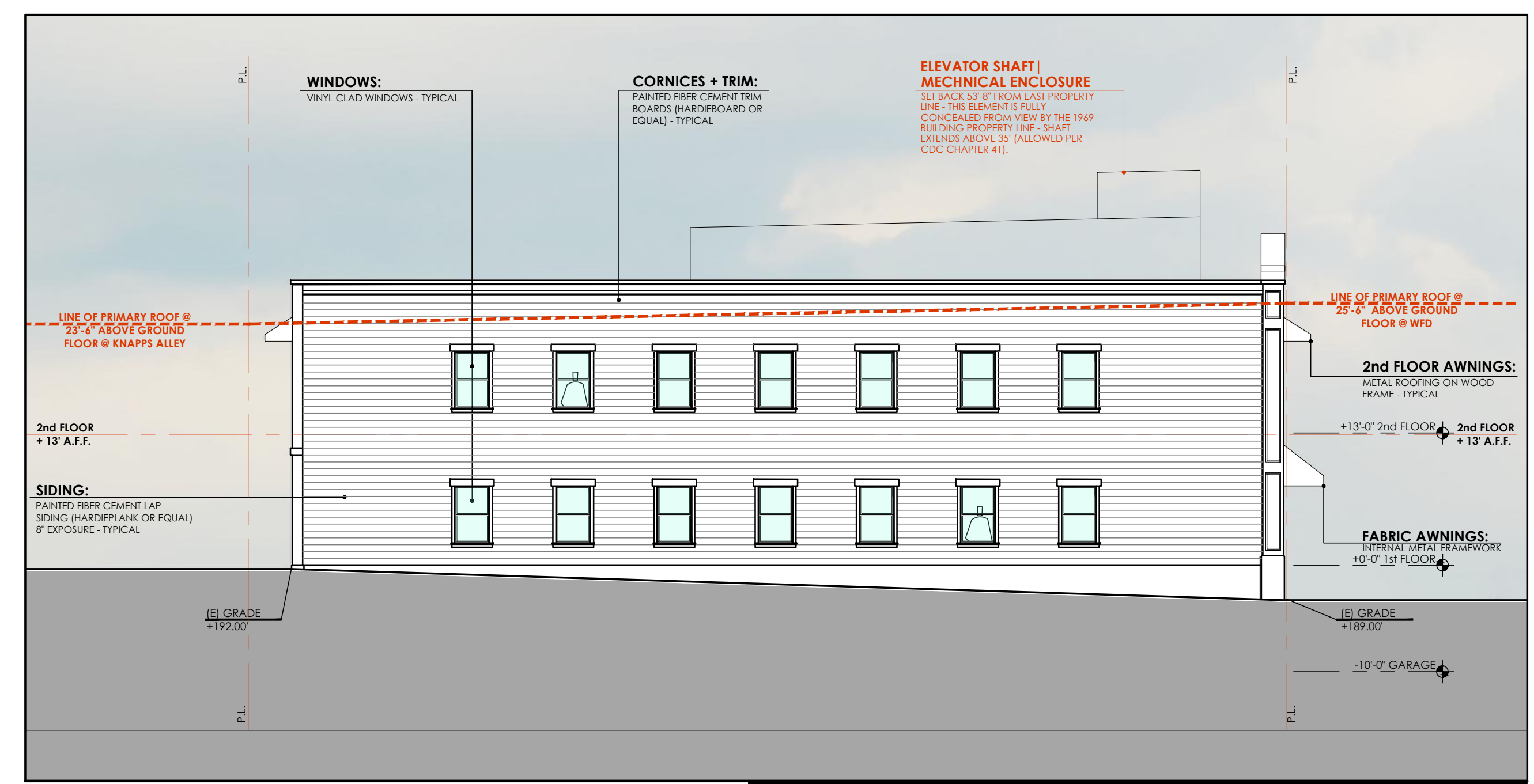
1 GROUND FLOOR PLAN + WILLAMETTE FALLS DRIVE ELEVATION

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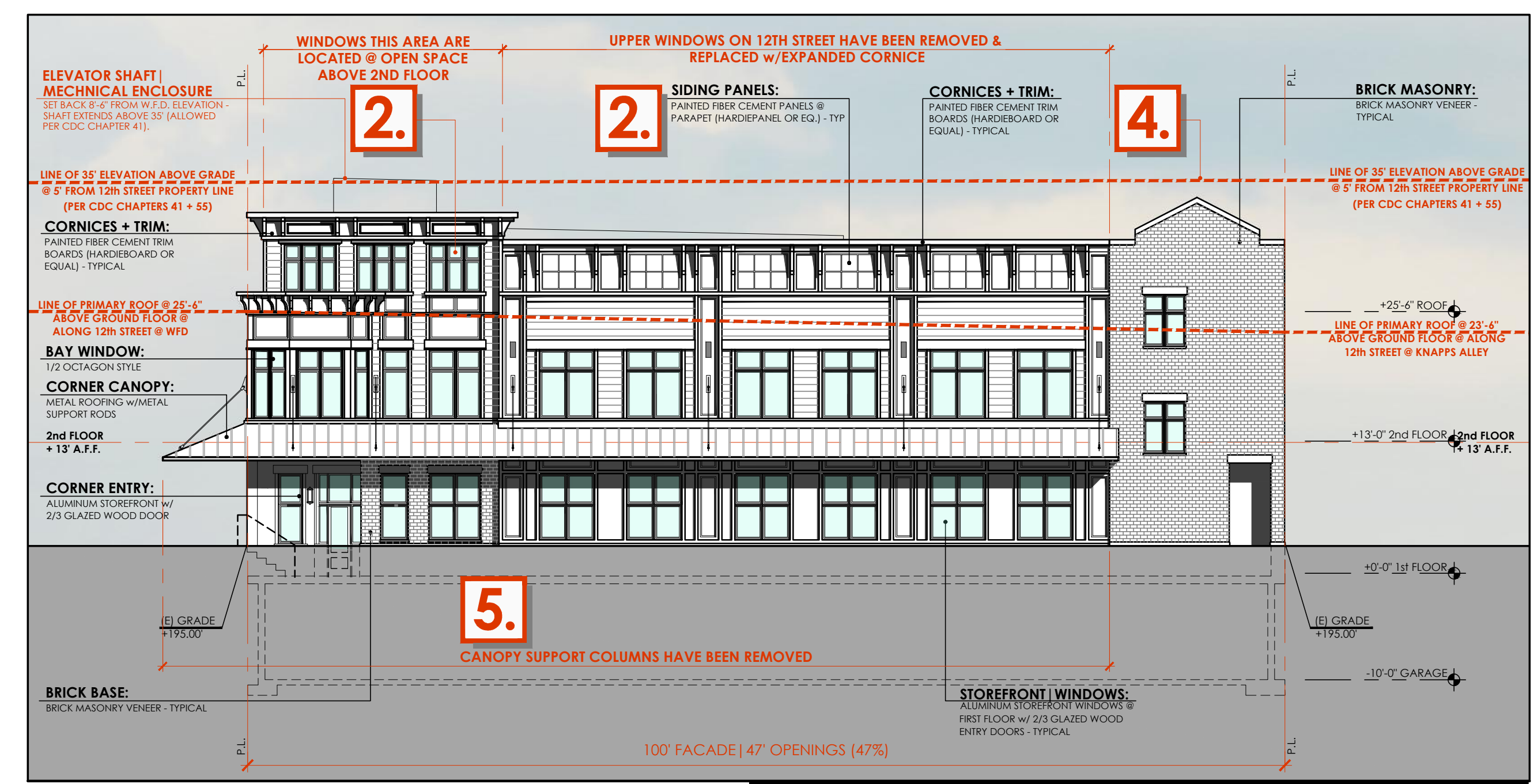
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SECOND FLOOR PLAN

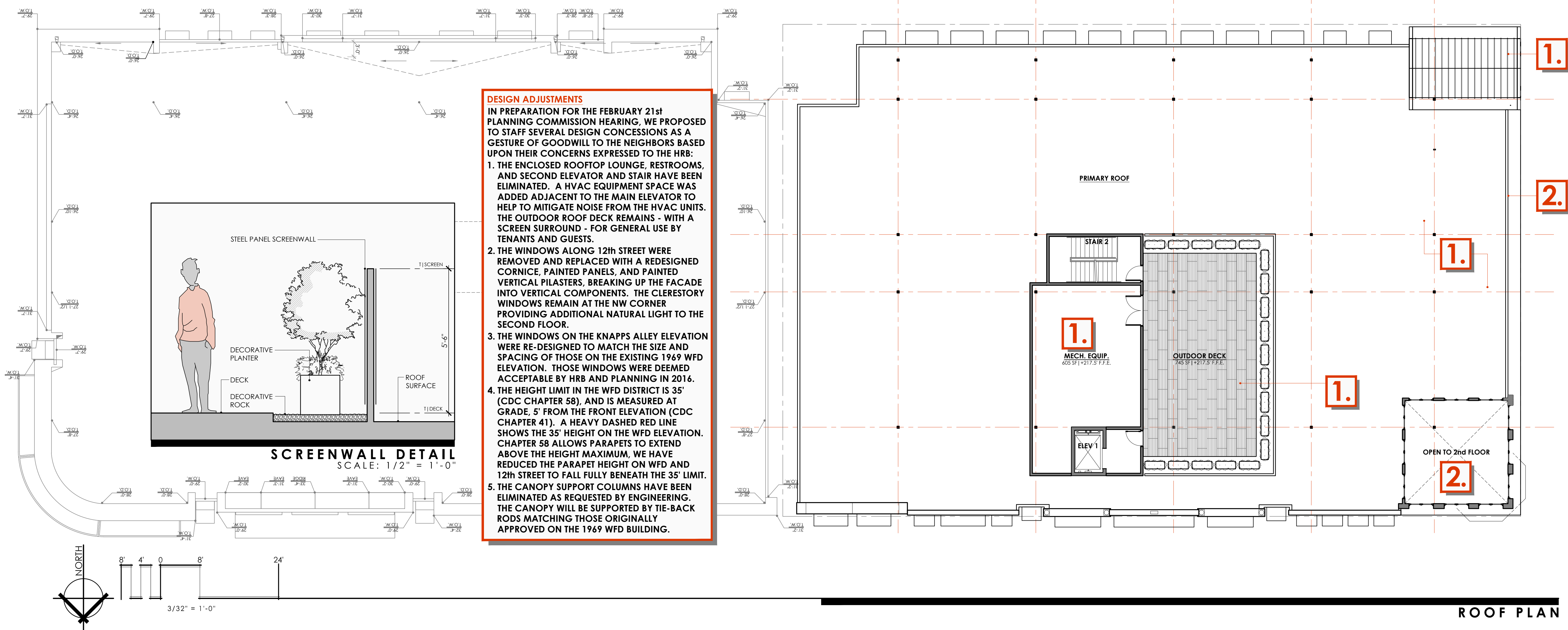


EAST (INTERIOR P.L.) ELEVATION



WEST (12th STREET) ELEVATION

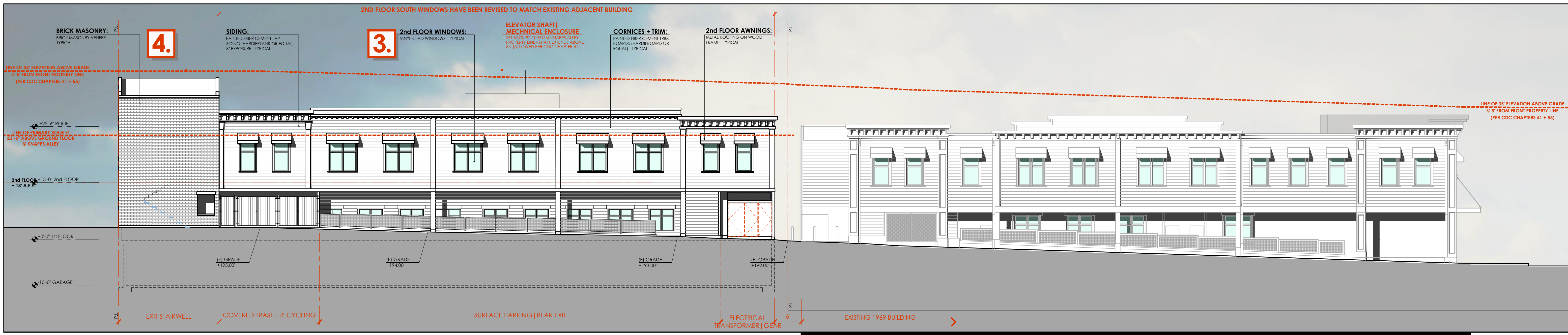
2 SECOND FLOOR PLAN + EAST & 12th STREET ELEVATIONS



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ROOF PLAN



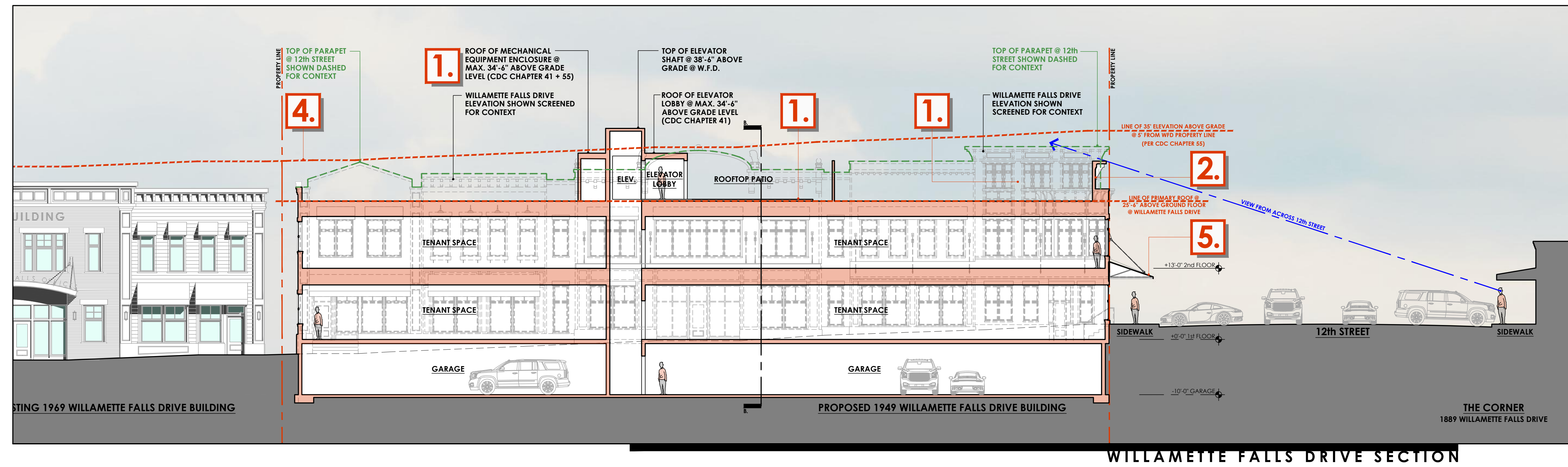
KNAPPS ALLEY ELEVATION

3 ROOF PLAN + KNAPPS ALLEY ELEVATION

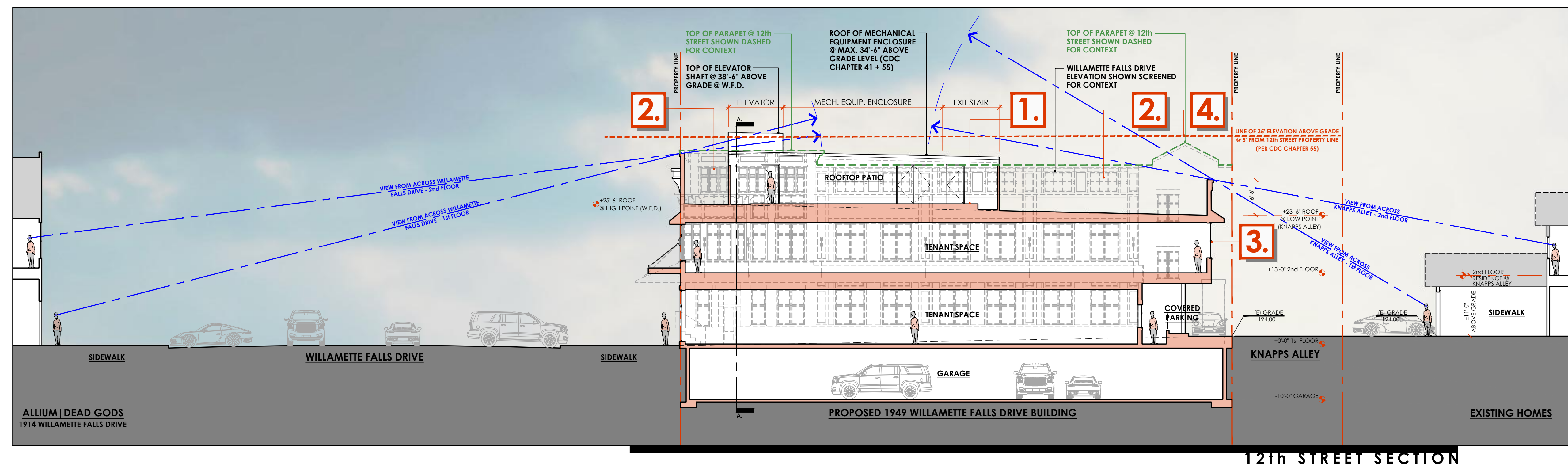
CONCEPTUAL PLANS + ELEVATIONS

REVISED FOR PLANNING COMMISSION
 FEBRUARY 21, 2024

REVISED SUBMISSION FOR PLANNING COMMISSION



WILLAMETTE FALLS DRIVE SECTION



12th STREET SECTION

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4 SITE SECTIONS | VIEWS FROM ADJACENT LOTS

CONCEPTUAL PLANS + ELEVATIONS

REVISED SUBMISSION FOR PLANNING COMMISSION

REVISED FOR PLANNING COMMISSION
FEBRUARY 21, 2024

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