



SG ARCHITECTURE, LLC

29 January, 2024

**DESIGN REVIEW APPLICATION |  
REQUEST FOR RESCISSION OF DESIGN EXCEPTION**

**JOHN FLOYD**

Associate Planner  
Community Development Department | Planning  
22500 Salamo Road  
West Linn, OR 97068  
p: 503-742-6058  
e: jfloyd@westlinnoregon.org

**SGA PROJECT NO. 20-119**

Design Review Application **DR-23-01**  
Rescission of HRB Design Exception Request from November 14<sup>th</sup>

**DEAR MR. FLOYD,**

Based upon discussions with the Owner and with your office, I am writing to request that you rescind our application for Design Exception that was filed with the HRB for their November 14<sup>th</sup> meeting.

Instead, in an effort to more harmoniously coexist in the Willamette Falls Drive Commercial Zone and the surrounding neighborhood, we have elected to make several of the changes that were requested by the HRB and members of the neighborhood.

In a separate submittal we have provided the written narrative and graphical exhibits that will describe the proposed design changes for our upcoming Planning Commission meeting. In summary, in response to comments received at the June 13<sup>th</sup> Historic Review Board Meeting, we are proposing to:

- Eliminate the roof level windows on 12<sup>th</sup> Street
- Eliminate the rooftop Lounge, Second Elevator and Stair, and Restrooms
- Enclose the HVAC units to minimize noise from the units
- Add a screen around the outdoor deck to minimize noise and light escape
- Redesign the windows along Knapps Alley to reduce their size and match the size and spacing of those same windows from the 1969 building
- Eliminate the canopy support columns at the request of the Engineering Department
- Reduce the height of parapets to fall fully beneath the 35' height maximum in the zone.

As you can see, we are making substantial adjustments to help the neighbors with their concerns, including reducing or eliminating features which were in full compliance with the Code.

John, thank you for your help through this process. We appreciate your consideration of this request, as well as your review and comments on our proposal to the Commission.

Please let me know if you have any questions, or if you need any additional information.

Sincerely,

**SCOT SUTTON** | SG Architecture, LLC  
503-347-4685 | ssutton@sg-arch.net



SG ARCHITECTURE, LLC

29 January, 2024

DESIGN REVIEW APPLICATION | DESIGN ADJUSTMENTS

**JOHN FLOYD**

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**SGA PROJECT NO. 20-119**

Design Review Application **DR-23-01**  
Design Adjustments in Response to  
Comments from June 13<sup>th</sup>, 2023 HRB Meeting

**DEAR MR. FLOYD,**

Please find the following written narrative description of design changes we are proposing in response to comments received at the June 13<sup>th</sup> Historic Review Board Meeting. (In a separate letter, we have requested that our November 14<sup>th</sup> request to the HRB for a Design Exception be rescinded.)

The concerns from the June 13<sup>th</sup> HRB meeting were expressed by members of the HRB, as well as neighbors and the City Engineering Department. These concerns are paraphrased in **gray** below, with our narrative responses following each comment in **black**. We have attached plans, elevations, and sections which graphically illustrate our revisions.

Per our email discussion we would appreciate your adding this narrative and the attendant drawings to the original drawings as part of your submittal package to the Planning Commission. We have attached both the original June 13<sup>th</sup> exhibits with the revised drawings for your convenience.

**COMMENTS:**

1. *CONCERN: While the IBC does not consider a mezzanine to be a separate floor, the HRB was not clear if the Willamette Falls Drive Commercial Design District Code (Chapter 58) (WFDCD) would allow for a mezzanine level above the second floor as shown in the 6/13 presentation. Further, the upper row of windows along 12<sup>th</sup> Street in the original presentation was seen by some as an indication of a 3<sup>rd</sup> floor that would not be permitted under the standards.*

**DESIGN RESPONSE:**

- **The windows along 12th street have been removed and replaced with a redesigned cornice, painted panels, and painted vertical pilasters, breaking up the facade into vertical components. The clerestory windows remain at the corner providing additional natural light to the second floor.**
- **The enclosed rooftop lounge, restrooms, second elevator, and stair have been eliminated.**
- **A HVAC equipment space was added adjacent to the main elevator to help to mitigate noise from the units.**
- **The outdoor roof deck remains for general use by tenants and guests - with a screen surround to reduce potential noise and light issues for our residential neighbors.**

10940 SW Barnes Rd #364  
Portland, OR 97225  
503.201.0725

2. CONCERN: There was concern from the residential neighbors across Knapps Alley that the 2<sup>nd</sup> floor windows on the alley elevation were too large.

**DESIGN RESPONSE:**

- The windows along the Knapps Alley elevation have been re-designed to match the size and spacing of those on the existing building (1969 Willamette Falls Drive). Those windows were found by the HRB and these same neighbors to be acceptable during the HRB and Planning Commission review for the 1969 building.
3. CONCERN: The Board was concerned that the drawing showing the Willamette Falls Drive elevation did not show clearly enough that the building elevation meets the 35' height limit required by the Standards. Per Section 41.005 "Determining Height of Building" and Section 58.080.C.3 of the WFDCD:

SECTION 41.005: "...where there is less than a 10-foot difference in grade between the front and rear of the building, the height of the building shall be measured from grade five feet out from the exterior wall at the front of the building..."

SECTION 58.080.C.3: "Building height limitations. Maximum building height shall be 35 feet (as measured by this code), and two stories. A false front shall be considered as the peak of the building if it exceeds the gable roof ridgeline."

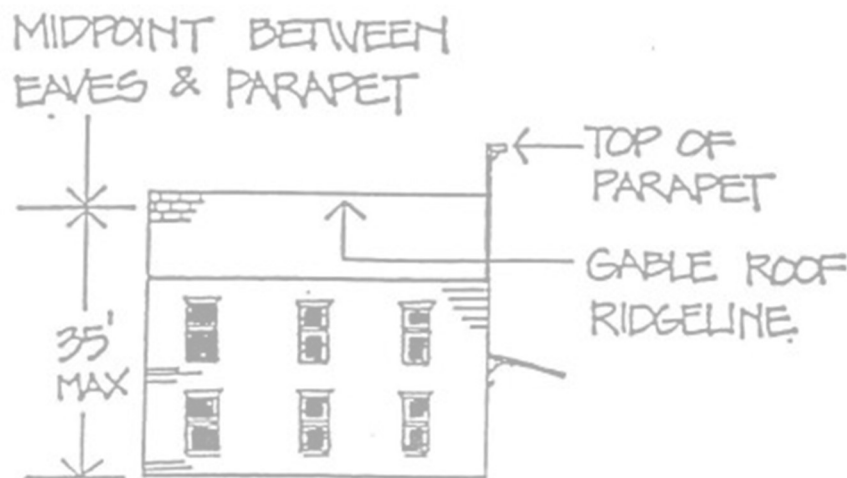


Figure from Section 58.080.C.3

**DESIGN RESPONSE:**

- The height limit in the WFD district is 35' (CDC chapter 58), and is measured at grade, 5' from the front elevation (CDC chapter 41). a heavy dashed red line shows the 35' maximum height on the WFD, 12<sup>th</sup> Street, and Knapps Alley elevations. Note that while Chapter 58 allows parapets to extend above the height maximum, we have nonetheless reduced the parapet heights to fall fully beneath the 35' dimension. We are fully in compliance with the standard.
4. CONCERN: The City Engineering Department expressed concern that cast iron columns shown supporting the canopy that wraps the northwest corner of the building could conflict with utilities located beneath the sidewalk and could perhaps create an accessibility issue for pedestrians using the sidewalk.

**DESIGN RESPONSE:**

- **The cast iron columns that were supporting the canopy at the northwest corner have been eliminated. In their place, tie-back rods connecting the top of the canopy to the building will be used to support the canopy. This design is the same as that which was approved by the HRB and neighborhood for the existing 1969 Willamette Falls Drive building.**

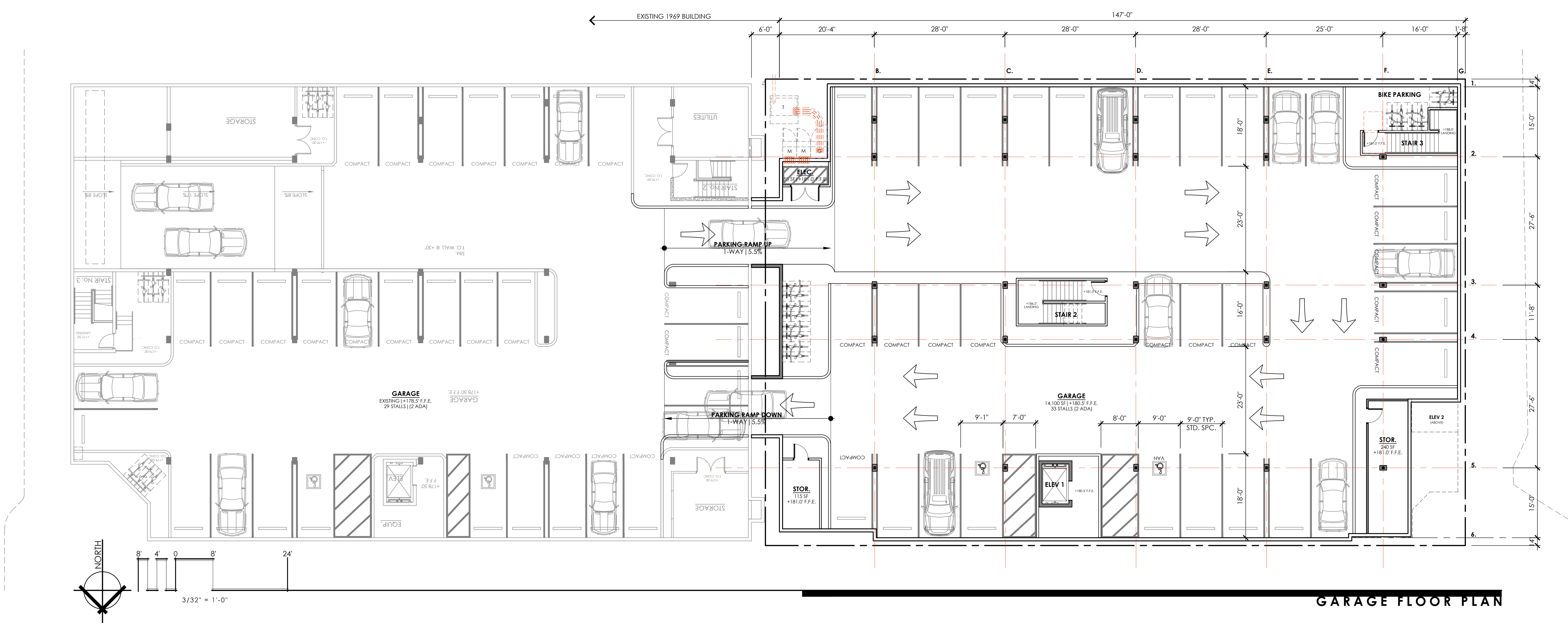
Please note that the color palette for the revised elevation is the same as what was originally approved by the HRB. Due to time constraints, it is necessary for us to submit our revisions in black and white rather than color renderings as originally presented. We would ask that the Commissioners refer to the original renderings to understand where colors will be applied on the building, including on the revised elevation.

John, thank you for your review and consideration, we look forward to any comments you may have. Please let me know if you have any questions, or if you need any additional information.

Sincerely,



**SCOT SUTTON** | SG Architecture, LLC  
503-347-4685 | [ssutton@sg-arch.net](mailto:ssutton@sg-arch.net)



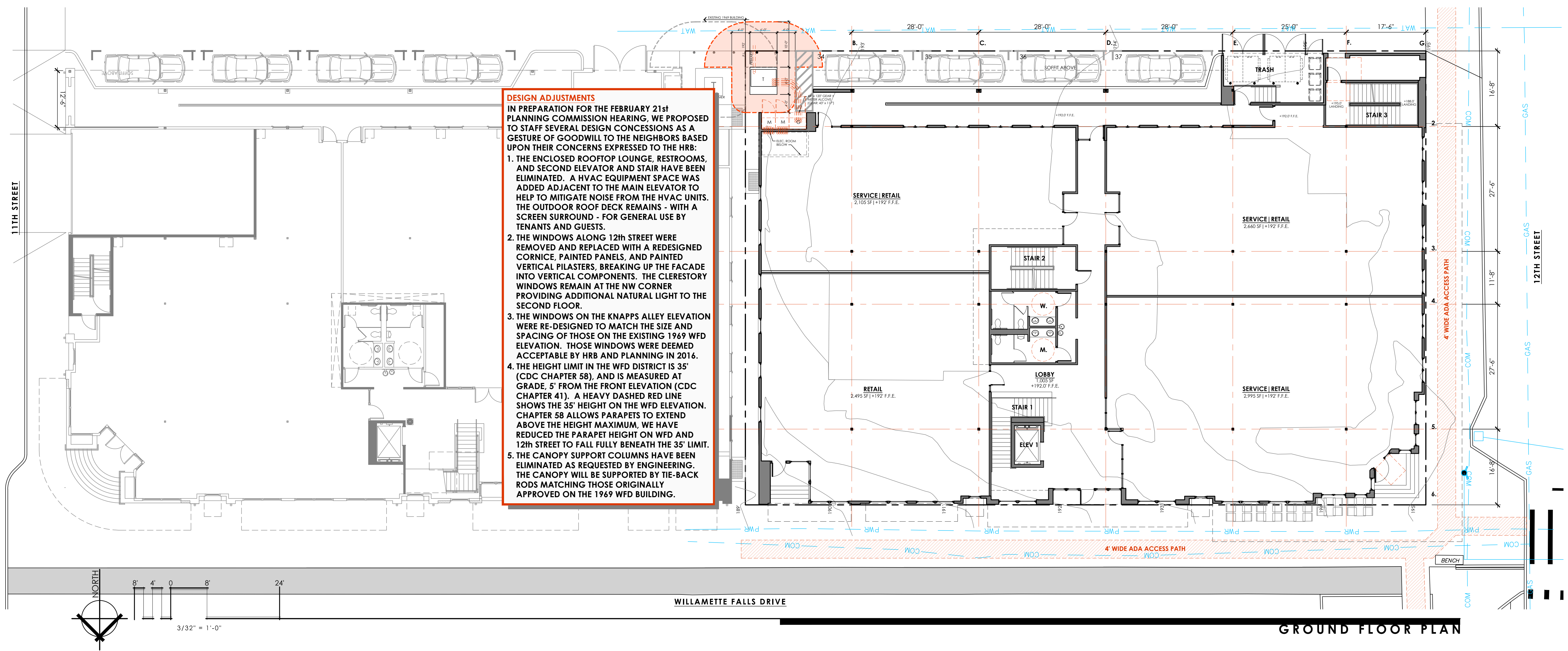
**GARAGE FLOOR PLAN**

**G GARAGE FLOOR PLAN**

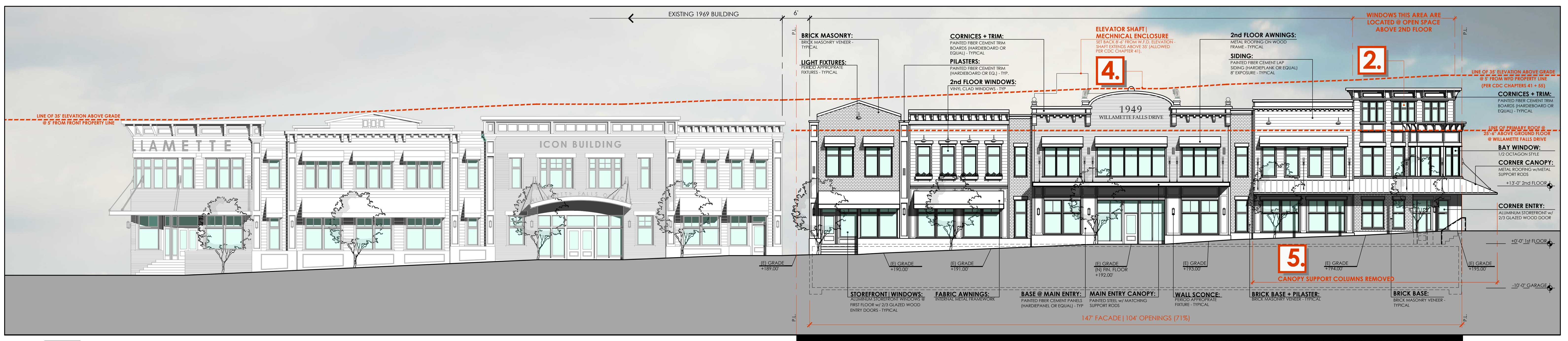


**DESIGN ADJUSTMENTS**  
 IN PREPARATION FOR THE FEBRUARY 21st PLANNING COMMISSION HEARING, WE PROPOSED TO STAFF SEVERAL DESIGN CONCESSIONS AS A GESTURE OF GOODWILL TO THE NEIGHBORS BASED UPON THEIR CONCERNS EXPRESSED TO THE HRB:

1. THE ENCLOSED ROOFTOP LOUNGE, RESTROOMS, AND SECOND ELEVATOR AND STAIR HAVE BEEN ELIMINATED. A HVAC EQUIPMENT SPACE WAS ADDED ADJACENT TO THE MAIN ELEVATOR TO HELP TO MITIGATE NOISE FROM THE HVAC UNITS. THE OUTDOOR ROOF DECK REMAINS - WITH A SCREEN SURROUND - FOR GENERAL USE BY TENANTS AND GUESTS.
2. THE WINDOWS ALONG 12th STREET WERE REMOVED AND REPLACED WITH A REDESIGNED CORNICE, PAINTED PANELS, AND PAINTED VERTICAL PILASTERS, BREAKING UP THE FACADE INTO VERTICAL COMPONENTS. THE CLERESTORY WINDOWS REMAIN AT THE NW CORNER PROVIDING ADDITIONAL NATURAL LIGHT TO THE SECOND FLOOR.
3. THE WINDOWS ON THE KNAPPS ALLEY ELEVATION WERE RE-DESIGNED TO MATCH THE SIZE AND SPACING OF THOSE ON THE EXISTING 1969 WFD ELEVATION. THOSE WINDOWS WERE DEEMED ACCEPTABLE BY HRB AND PLANNING IN 2016.
4. THE HEIGHT LIMIT IN THE WFD DISTRICT IS 35' (CDC CHAPTER 58), AND IS MEASURED AT GRADE, 5' FROM THE FRONT ELEVATION (CDC CHAPTER 41). A HEAVY DASHED RED LINE SHOWS THE 35' HEIGHT ON THE WFD ELEVATION. CHAPTER 58 ALLOWS PARAPETS TO EXTEND ABOVE THE HEIGHT MAXIMUM, WE HAVE REDUCED THE PARAPET HEIGHT ON WFD AND 12th STREET TO FALL FULLY BENEATH THE 35' LIMIT.
5. THE CANOPY SUPPORT COLUMNS HAVE BEEN ELIMINATED AS REQUESTED BY ENGINEERING. THE CANOPY WILL BE SUPPORTED BY TIE-BACK RODS MATCHING THOSE ORIGINALLY APPROVED ON THE 1969 WFD BUILDING.



**GROUND FLOOR PLAN**



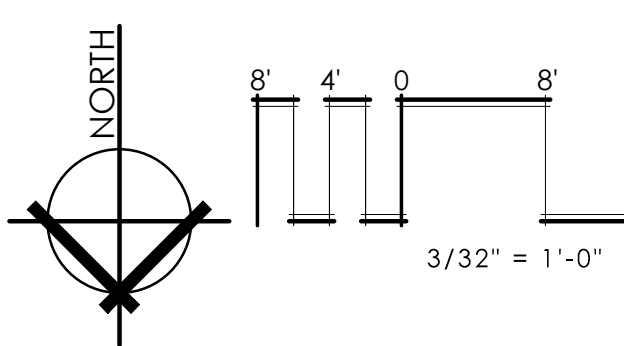
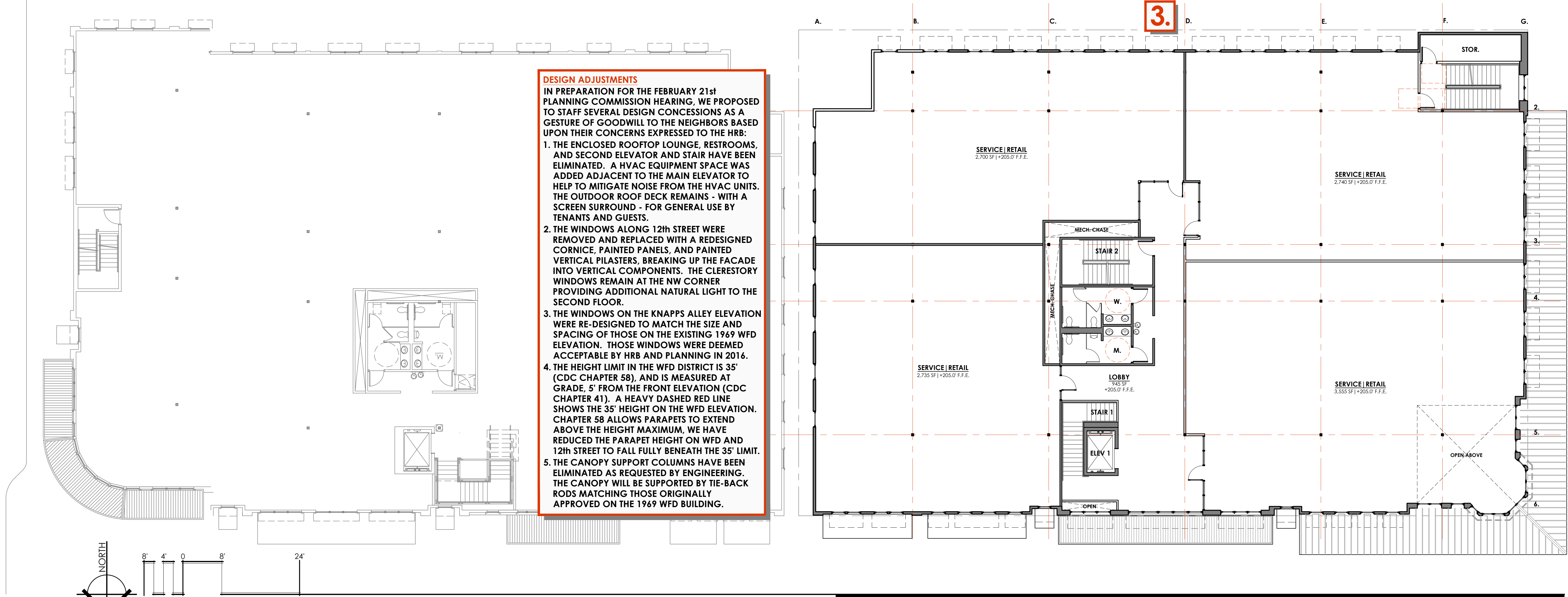
**WILLAMETTE FALLS DRIVE ELEVATION**

**1 GROUND FLOOR PLAN + WILLAMETTE FALLS DRIVE ELEVATION**

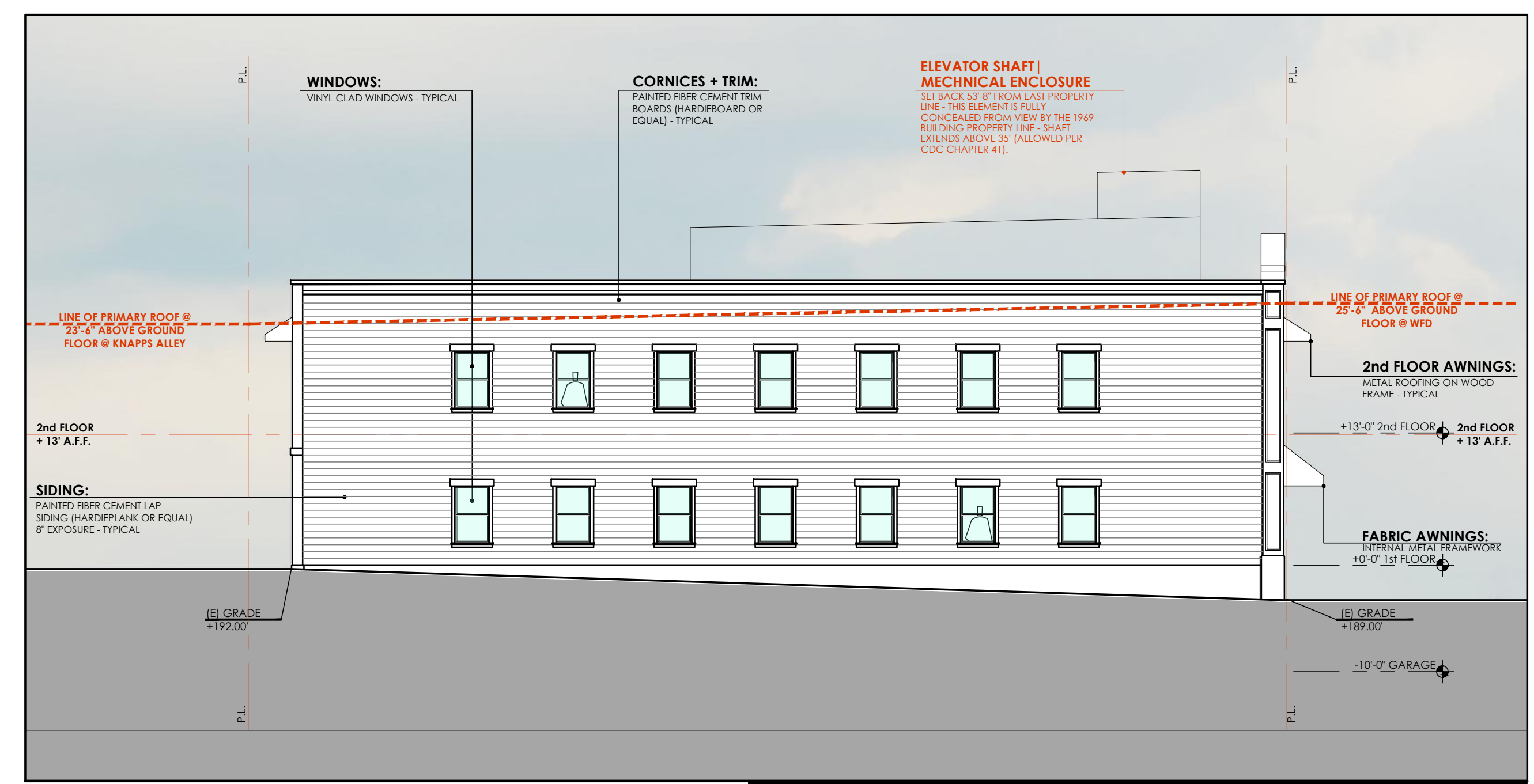


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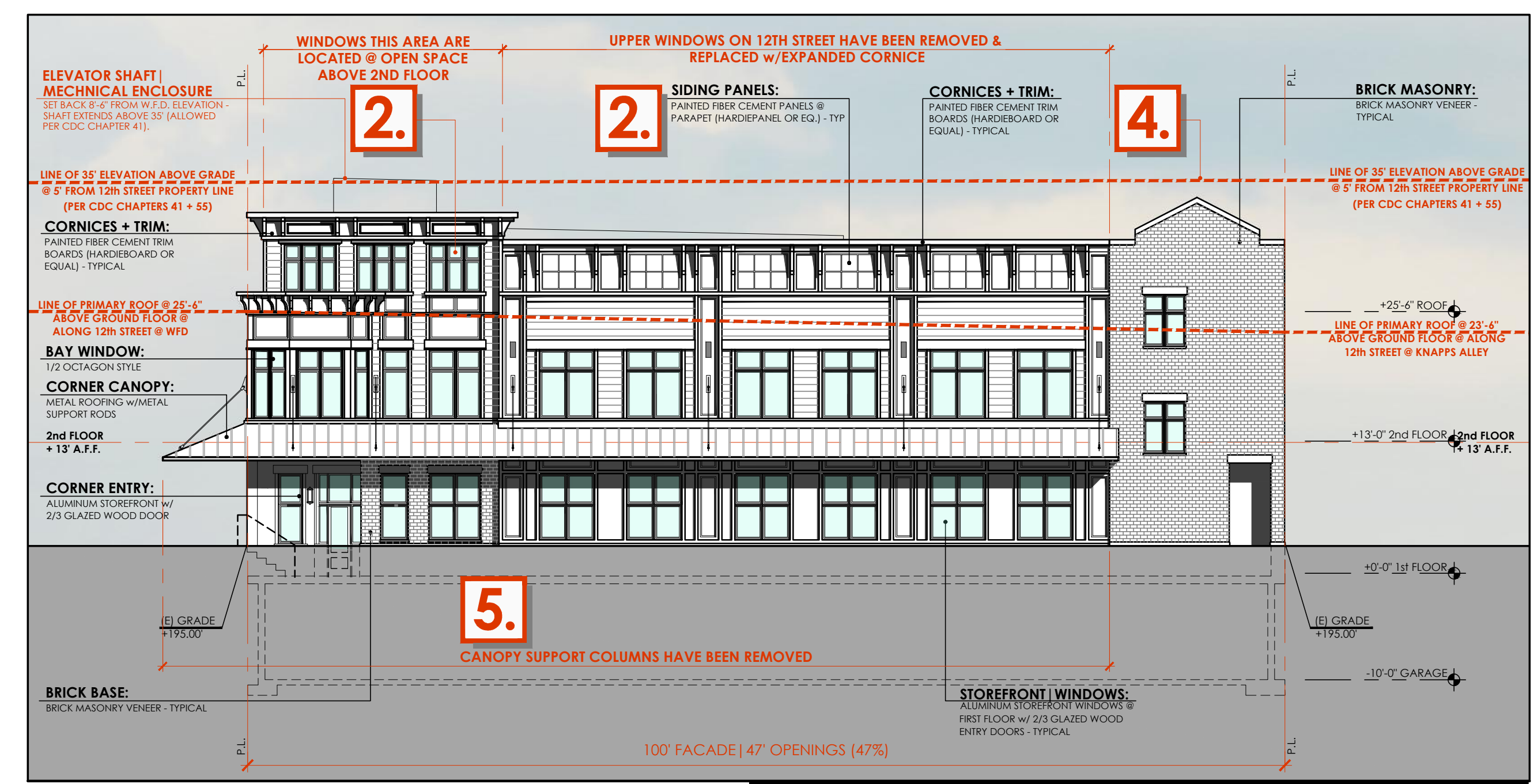
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SECOND FLOOR PLAN



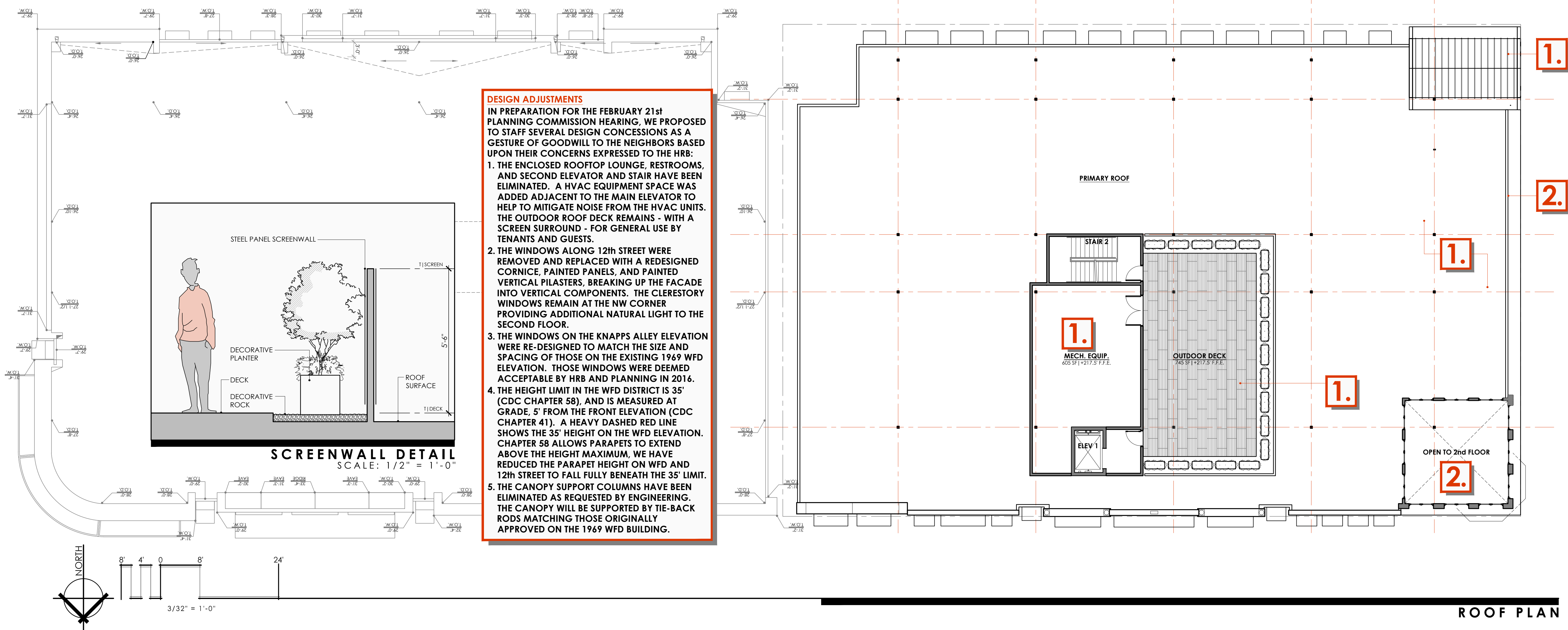
EAST (INTERIOR P.L.) ELEVATION



WEST (12th STREET) ELEVATION

2 SECOND FLOOR PLAN + EAST & 12th STREET ELEVATIONS





ROOF PLAN



KNAPPS ALLEY ELEVATION

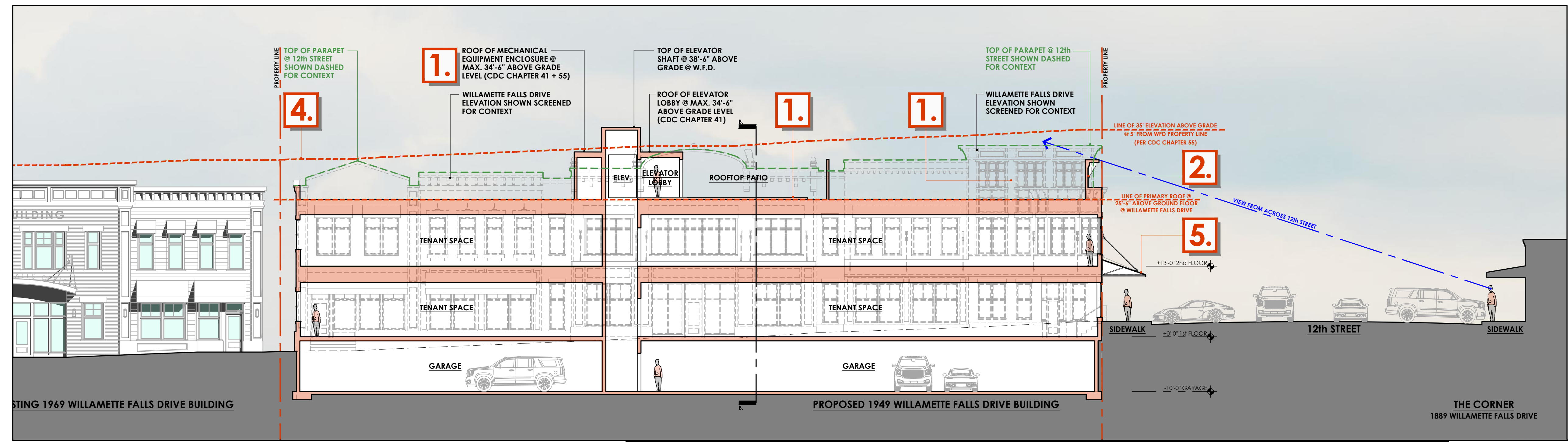
**3** ROOF PLAN + KNAPPS ALLEY ELEVATION

CONCEPTUAL PLANS + ELEVATIONS

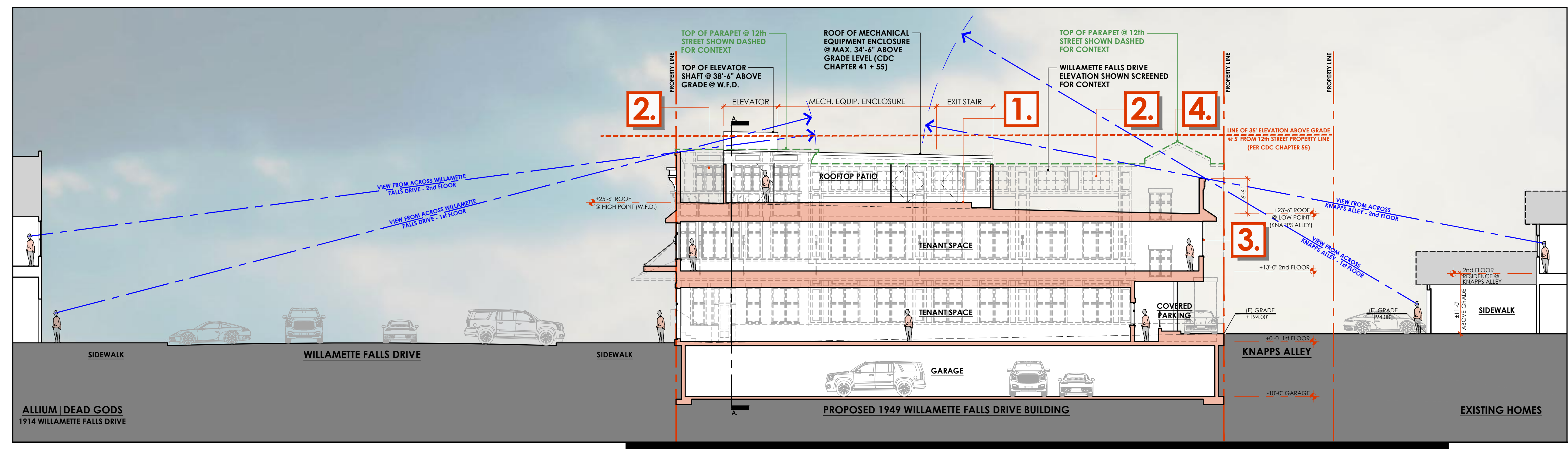
REVISED FOR PLANNING COMMISSION  
FEBRUARY 21, 2024

REVISED SUBMISSION FOR PLANNING COMMISSION





WILLAMETTE FALLS DRIVE SECTION



12th STREET SECTION

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4 SITE SECTIONS | VIEWS FROM ADJACENT LOTS

CONCEPTUAL PLANS + ELEVATIONS

REVISED SUBMISSION FOR PLANNING COMMISSION

REVISED FOR PLANNING COMMISSION  
FEBRUARY 21, 2024

**SGA**  
SUTTON | GODWIN  
ARCHITECTURE, LLC

ARCHITECTURE  
PLANNING  
DESIGN  
503.347.4685 | 503.201.0725  
www.sg-arch.net