

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT	PROJECT NO(S). MIP-22-05	PRE-APPLICATION NO. n/a
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S) \$2,800	TOTAL \$2,800

Type of Review (Please check all that apply):

- | | | |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP)
<input type="checkbox"/> Code Interpretation
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Tree Easement Vacation
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Historic Review
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA)
<input checked="" type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input checked="" type="checkbox"/> Modification of Approval
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses
<input type="checkbox"/> Time Extension
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|---|---|

Pre-Application, Home Occupation, Sidewalk Use, Addressing, and Sign applications require different forms, available on the City website.

Site Location/Address:

**1627 KILMONEY DR WEST LINN
97068**

Assessor's Map No.: **21E35BB**

Tax Lot(s): **9600**

Total Land Area: **0.23 ACRES**

Brief Description of Proposal:

**MINOR LAND PARTITION UNDER SB458
MIDDLE HOUSING LAND DIVISION**

Applicant Name:
(please print)

JJ PORTLOCK
Address: **2172 TANNER DR**
City State Zip: **WEST LINN OR 97068**

Phone: **425-829-1806**

Email: **JJportlock@gmail.com**

Owner Name (required):
(please print)

Address: **SAME**
City State Zip:

Phone:

Email:

Consultant Name:
(please print)

Address: **N/A**
City State Zip:

Phone:

Email:

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. The permit approval will not be effective until the appeal period has expired.
4. Submit this form and supporting documents through the [Submit a Land Use Application](https://westlinnoregon.gov/planning/submit-land-use-application) web page:
<https://westlinnoregon.gov/planning/submit-land-use-application>

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature

12/12/22
Date

Owner's signature (required)

12/12/22
Date

City Planning Staff,

Please see the included required information for this proposal. I am submitting an application for a minor land partition under the SB458 middle housing land division process to create 2 child lots on the existing parent lot located at 1627 Killarney Dr. Included are the responses to the criteria required under section 2 of SB458 as well as the plans necessary to demonstrate compliance and the final layouts being proposed. Please let me know should you have any questions or need clarification.

Thanks,

JJ Portlock

425-829-1566

2172 Tannler Drive

West Linn OR, 97068

SECTION 2.

(1) As used in this section, “middle housing land division” means a partition or subdivision of a lot or parcel on which the development of middle housing is allowed under ORS 197.758 (2) or (3).

(2) A city or county shall approve a tentative plan for a middle housing land division if the application includes:

(a) A proposal for development of middle housing in compliance with the Oregon residential specialty code and land use regulations applicable to the original lot or parcel allowed under ORS 197.758 (5);

(b) Separate utilities for each dwelling unit;

Response: Please see included plans with proposed utility plan

(c) Proposed easements necessary for each dwelling unit on the plan for:

(A) Locating, accessing, replacing and servicing all utilities;

Response: Please see included plans showing necessary easements

(B) Pedestrian access from each dwelling unit to a private or public road;

Response: No needed easements proposed

(C) Any common use areas or shared building elements;

Response: No needed easements proposed

(D) Any dedicated driveways or parking; and

Response: No needed easements proposed

(E) Any dedicated common area;

Response: No needed easements proposed

(d) Exactly one dwelling unit on each resulting lot or parcel, except for lots, parcels or tracts used as common areas; and

(e) Evidence demonstrating how buildings or structures on a resulting lot or parcel will comply with applicable building codes provisions relating to new property lines and, notwithstanding the creation of new lots or parcels, how structures or buildings located on the newly created lots or parcels will comply with the Oregon residential specialty code.

Response: Please see the attached layout demonstrating appropriate setbacks between the units to meet the Oregon residential specialty code

(3) A city or county may add conditions to the approval of a tentative plan for a middle housing land division to:

(a) Prohibit the further division of the resulting lots or parcels.

(b) Require that a notation appear on the final plat indicating that the approval was given under this section.

(4) In reviewing an application for a middle housing land division, a city or county:

(a) Shall apply the procedures under ORS 197.360 to 197.380.

(b) May require street frontage improvements where a resulting lot or parcel abuts the street consistent with land use regulations implementing ORS 197.758.

Response: Please see the attached plan with proposal for realignment and adding of frontage improvements

(c) May not subject an application to approval criteria except as provided in this section, including that a lot or parcel require driveways, vehicle access, parking or minimum or maximum street frontage.

(d) May not subject the application to procedures, ordinances or regulations adopted under ORS 92.044 or 92.046 that are inconsistent with this section or ORS 197.360 to 197.380.

(e) May allow the submission of an application for a middle housing land division at the same time as the submission of an application for building permits for the middle housing.

(f) May require the dedication of right of way if the original parcel did not previously provide a dedication.

(5) The type of middle housing developed on the original parcel is not altered by a middle housing land division.

(6) Notwithstanding ORS 197.312 (5), a city or county is not required to allow an accessory dwelling unit on a lot or parcel resulting from a middle housing land division.

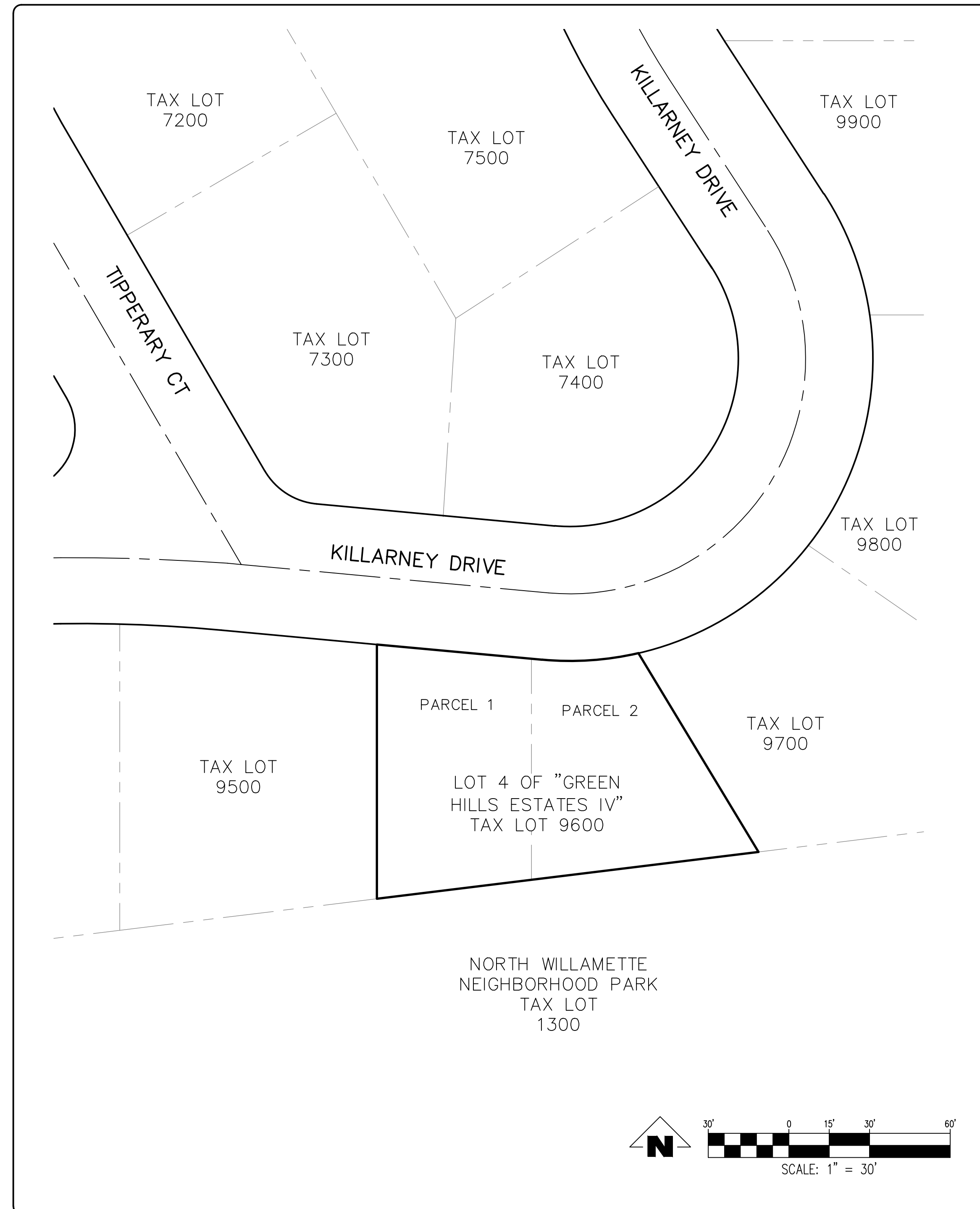
(7) The tentative approval of a middle housing land division is void if and only if a final subdivision or partition plat is not approved within three years of the tentative approval. Nothing in this section or ORS 197.360 to 197.380 prohibits a city or county from requiring a final plat before issuing building permits.

SECTION 2a.

Section 2 of this 2021 Act applies only to a middle housing land division permitted on or after July 1, 2022.

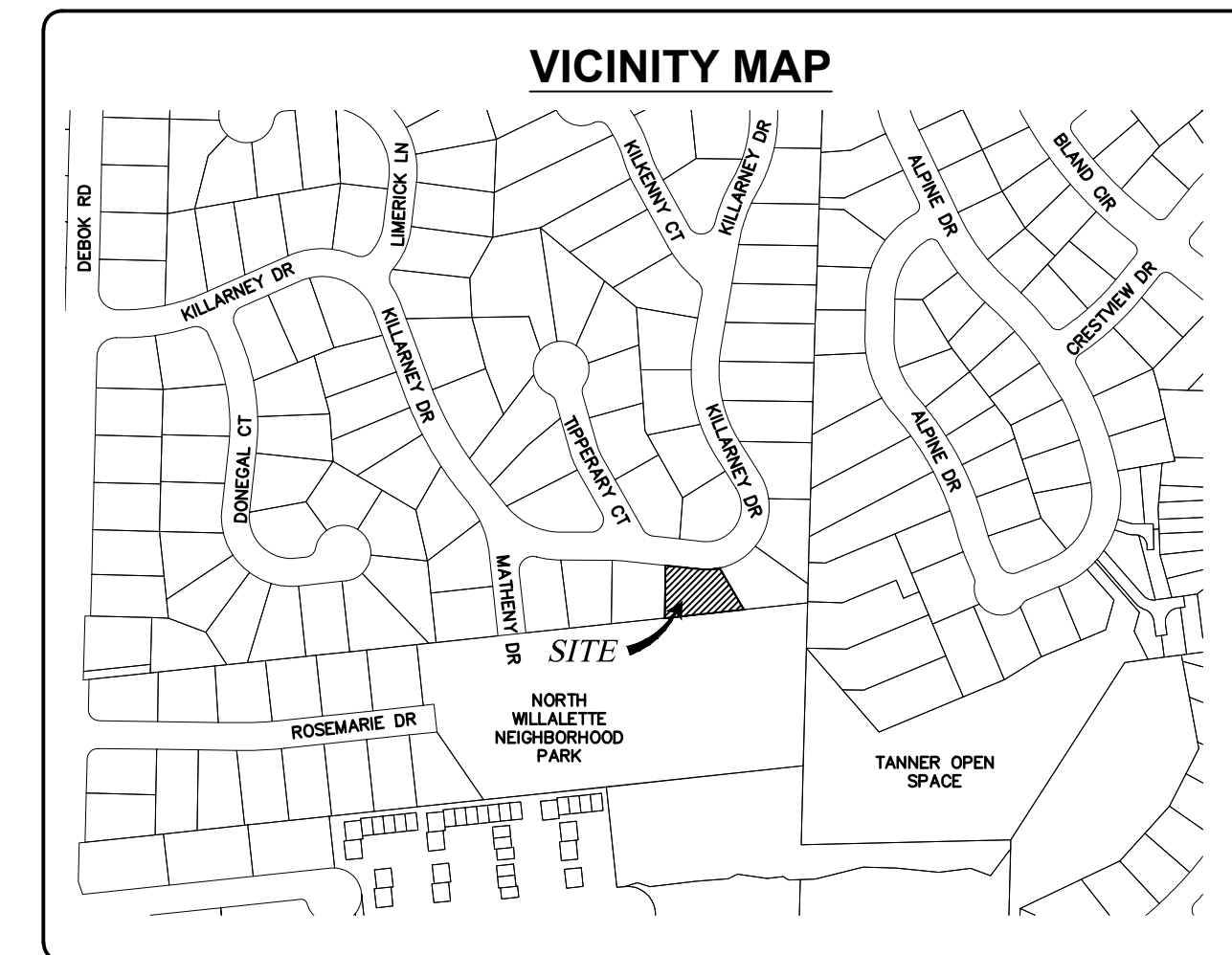
1627 KILLARNEY DRIVE (2 LOT PARTITION)

LOT 4, BLOCK 3, GREEN HILLS ESTATES IV
 N.W. 1/4, SECTION 35, T.2S., R.1E., W.M.,
 CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON



LEGEND

	BOUNDARY LINE
	ADJACENT/ADJOINING LOT LINE
	CENTER LINE ROW
	EASEMENT
	EXISTING 1' CONTOUR LINE
	EXISTING 5' CONTOUR LINE
	EXISTING TREE
	EXISTING GAS METER
	EXISTING UTILITY POLE
	EXISTING ELECTRIC METER
	EXISTING WATER METER
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING ELECTRICAL LINE
	EXISTING FENCE
	TREE PROTECTION FENCE
	PROPOSED SANITARY LINE
	PROPOSED SANITARY CLEANOUT
	PROPOSED WATER METER



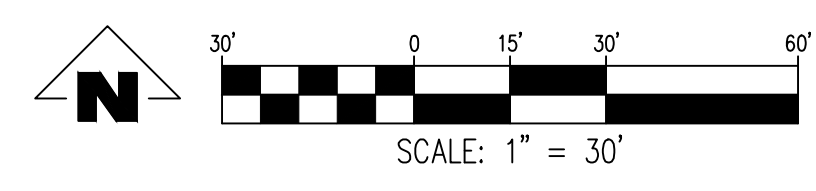
SHEET INDEX:

01	- COVER SHEET AND VICINITY MAP
02	- PRELIMINARY PLAT
03	- PRELIMINARY STREET AND UTILITY PLAN

SITE INFORMATION:

SITE ADDRESS:	1627 KILLARNEY DR, WEST LINN, 97068
TAX MAPS:	T2S R1E SEC. 35BB
TAX LOTS:	09600
GROSS AREA:	10,026 SF (0.23 ACRES)
ZONING:	R-10

APPLICANT:	ENGINEER:
TOLL BROTHERS 1 CENTERPOINTE DR. STE. 550 LAKE OSEWEGO, OREGON 97035 CONTACT: JJ PORLOCK	EMERIO DESIGN, LLC 6445 SW FALLBROOK PL, SUITE 100 BEAVERTON, OR 97008 CONTACT: NEIL FERNANDO, PE, PRINCIPAL 503-746-8812 TEL



LOT 4 BLOCK 3, GREEN HILLS
 ESTATES IV
 2 LOT PARTITION
 TAX MAP 21E35BB09600
 WEST LINN, OREGON

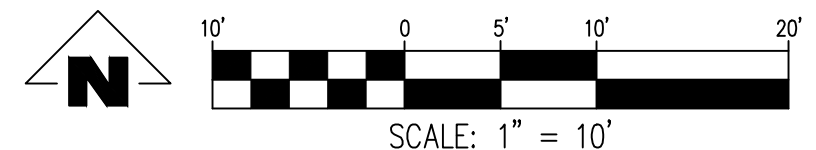
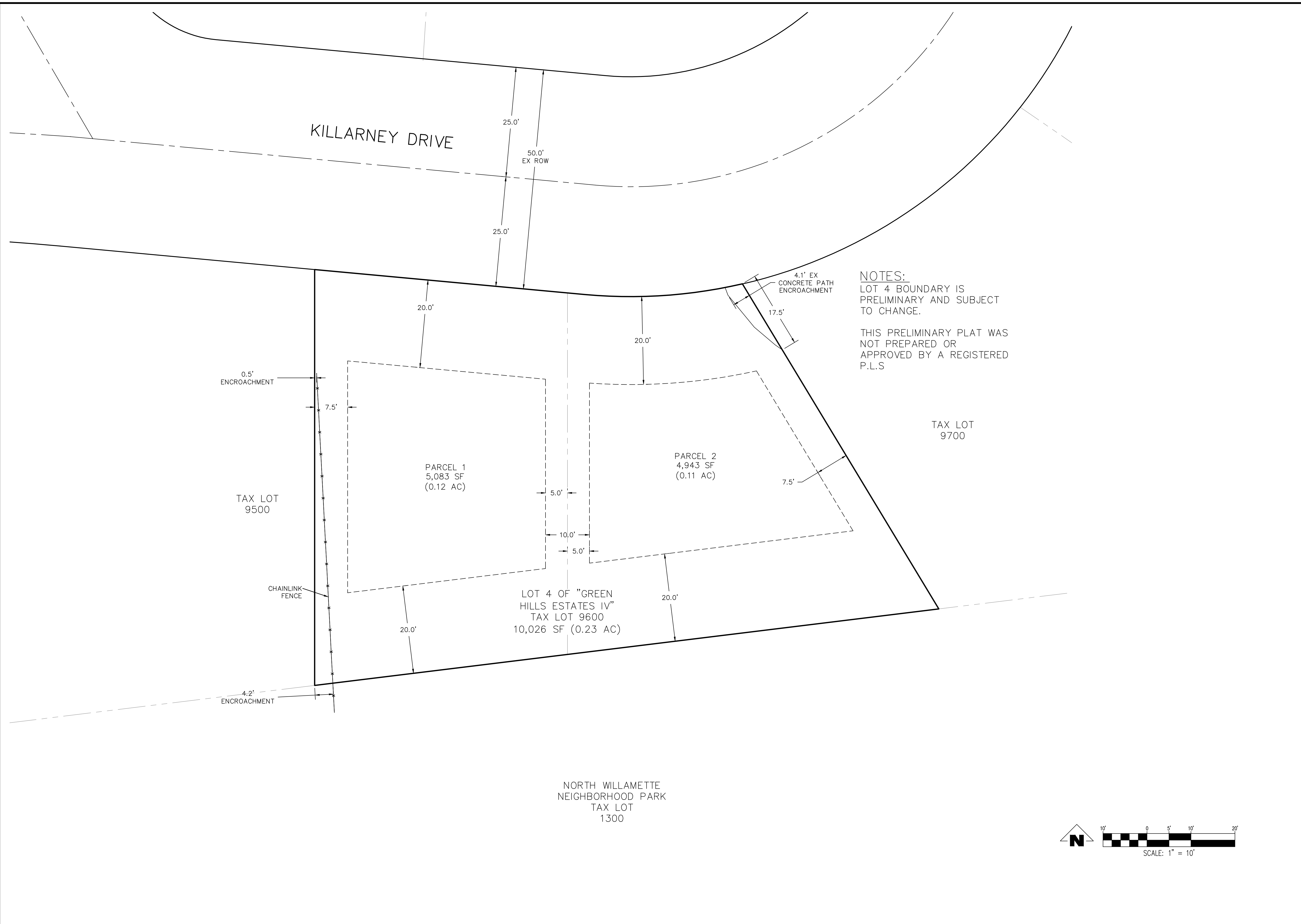
COVER SHEET AND
 VICINITY MAP

NO.	DATE	DESCRIPTION

EMERIO
 ENGINEERING • SURVEYING • DESIGN
 6445 SW FALLBROOK PLACE, SUITE 100
 BEAVERTON, OREGON 97008
 TEL: (503) 746-8812
 FAX: (503) 639-9592
 www.emeriodesign.com

FILE: P:\1944-001 1627 Killarney Drive (dwg\plan)\1944-001 - 01.cover, Layout: Ans-D, Plot Date: 12/8/2022 1:42 PM, by: David Burnett

SHEET
1
 OF
3



LOT 4 BLOCK 3, GREEN HILLS ESTATES IV
2 LOT PARTITION
TAX MAP 21E35BB09600
WEST LINN, OREGON

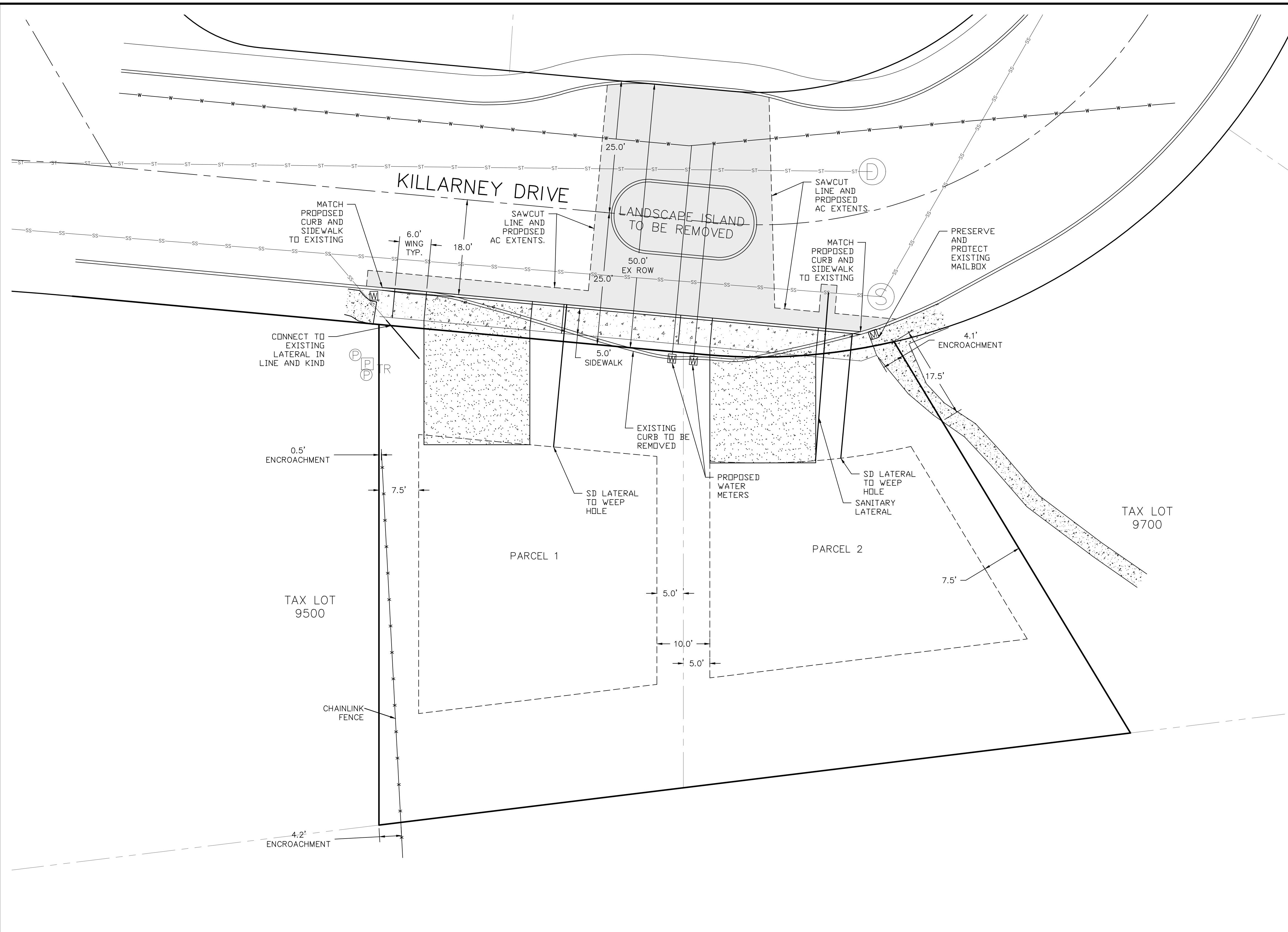
PRELIMINARY PLAT

REVISIONS	
NO.	DATE

EMERIO
ENGINEERING • SURVEYING • DESIGN

6445 SW FALLBROOK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-8592
www.emeriodesign.com

FILE:P:\1944-001 1627 Killarney Drive (dwg\plan)\1944-001 - 02.Pre-Plat, Layout: Anst-D, Plot Date: 12/8/2022 1:41 PM, by: David Burnett



KILLARNEY DRIVE

LANDSCAPE ISLAND
TO BE REMOVED

MATCH
PROPOSED
CURB AND
SIDEWALK
TO EXISTING

6.0' WING
TYP.

18.0'

25.0'

50.0' EX ROW

25.0'

SAWCUT
LINE AND
PROPOSED
AC EXTENTS.

MATCH
PROPOSED
CURB AND
SIDEWALK
TO EXISTING

PRESERVE
AND
PROTECT
EXISTING
MAILBOX

CONNECT TO
EXISTING
LATERAL IN
LINE AND KIND

0.5' ENCROACHMENT

5.0' SIDEWALK

EXISTING
CURB TO BE
REMOVED

SD LATERAL
TO WEEP
HOLE

PROPOSED
WATER
METERS

SD LATERAL
TO WEEP
HOLE
SANITARY
LATERAL

4.1' ENCROACHMENT

17.5'

TAX LOT
9700

TAX LOT
9500

CHAINLINK
FENCE

4.2' ENCROACHMENT

PARCEL 1

PARCEL 2

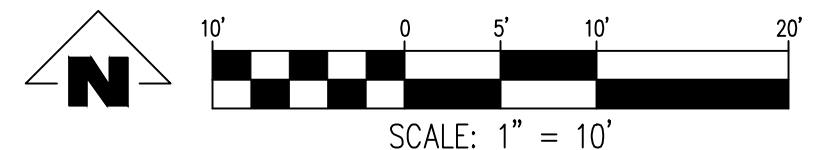
5.0'

10.0'

5.0'

7.5'

NORTH WILLAMETTE
NEIGHBORHOOD PARK
TAX LOT
1300



LOT 4 BLOCK 3, GREEN HILLS
ESTATES IV
2 LOT PARTITION
TAX MAP 21E35BB09600
WEST LINN, OREGON

PRELIMINARY STREET
AND UTILITY PLAN

REVISIONS	
NO.	DATE

EMERIO
ENGINEERING • SURVEYING • DESIGN
6445 SW FALLBROOK PLACE, SUITE 100
BEAVERTON, OREGON 97008
TEL: (503) 746-8812
FAX: (503) 639-8592
www.emeriodesign.com

FILE:P:\1944-001\1627 Killarney Drive (dwg\plan)\1944-001 - 03.Utility_Layout - Ans-D, Plot Date: 12/8/2022 1:44 PM, by: David Burnett

SHEET
3
OF
3