



CITY OF
West Linn

**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: May 28, 2021

FILE NO.: VAR-21-05

REQUEST: Class I Variance to reduce the rear yard setback standard up to 20 percent at 2760 York Street from 20 feet to 16 feet 5 inches

PLANNER: Betty Avila, Associate Planner

West Linn Planning Manager

DSW

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GENERAL INFORMATION

OWNER/ APPLICANT:	Jon & Hilary Greene 2760 York Street West Linn, OR 97068
SITE LOCATION:	2760 York Street
SITE SIZE:	7,500 Square feet
LEGAL DESCRIPTION:	Map and Tax Lot Number 21E25CD02600
COMP PLAN DESIGNATION:	Low Density Residential
ZONING:	R-5 (Single Family residential detached and attached duplex, R-5; 5,000 square foot minimum lot size)
APPROVAL CRITERIA:	Community Development Code (CDC) Chapter 13: R-5 Zone; Chapter 75: Variances and Special Waivers; Chapter 99: Procedures for Decision-Making: Quasi-Judicial.
120-DAY RULE:	The application became complete on April 30, 2021. The 120-day period therefore ends on September 6, 2021.
PUBLIC NOTICE:	Notice was mailed to property owners within 300 feet of the subject property and all neighborhood associations May 28, 2021. The property was posted with a notice sign on May 6, 2021. The notice and application were posted on the City's website May 6, 2021. Therefore, public notice requirements of CDC Chapter 99 have been met.

EXECUTIVE SUMMARY

The applicant requested a variance for “Required yard and minimum lot dimensional requirements.” The request considers a reduction of the rear yard setback up to the 20 percent allowed in a Class I Variance (20% of a 20 foot setback is a 4 foot reduction). The property owner/applicant is remodeling the existing home and proposing an addition to the rear that would result in a rear yard setback of 16 feet-5 inches. The Class I Variance provides “minor relief from certain code provisions” that will not harm adjacent properties and conforms to any other code provisions. With approval of the variance, the rear yard setback would be reduced to 16 feet-5 inches.

Public comments:

Public comment submitted by Jennifer Crisp (see Exhibit PD-2) expressed concern about lack of compliance with the following code criteria:

1. With the addition to the home to accommodate a multigenerational adult family member, what is the law in regards to adding additional vehicles.
The addition to the home is not considered an independent living unit as there is not a range/stove/oven; therefore, the Community Development Code Chapter 34.030 on Accessory Dwelling Units (ADU) does not apply. Although the addition is not considered an ADU, it would have ample parking to accommodate the independent living unit pursuant to CDC 34.030 as only one off-street parking space is required for the ADU. The home has a one car garage that is sufficient for the single-family home in accordance with CDC 4.090 that requires one space per dwelling unit.
2. Overflow parking becoming a concern:
York Street is a public street that is not owned by private homeowners. The City cannot limit who parks on the street.
3. What are their rights and how to submit concerns regarding the proposed project:
The email sent expressing concerns regarding the project has been posted in the staff report and the staff has emailed the commenter with answers to the questions posed. The commenter will also become a party of record and will be informed regarding the final decision.


DECISION

The Planning Manager (designee) approves this application (VAR-21-05), based on: 1) the findings submitted by the applicant, which are incorporated by this reference; 2) supplementary staff findings included in the Addendum; and, 3) by the condition of approval below:

Condition of Approval

- 1. The final plan shall conform to the plans labeled Remodel and Master Suite Addition last revised on April 12, 2021. (See Staff Finding 1)**

The provisions of the Community Development Code Chapter 99 have been met.



Betty Avila, Associate Planner

5/28/2021

DATE

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is \$400. An appeal to City Council of a decision by the Planning Manager shall be heard on the record. The appeal must be filed by an individual who has established standing by submitting comments prior to the decision date. Approval will lapse 3 years from effective approval date if the final plat is not recorded.

Mailed this **28th** day of **May 2021**.

Therefore, the 14-day appeal period ends at 5 p.m., on **June 11, 2021**.

**ADDENDUM
APPROVAL CRITERIA AND FINDINGS
VAR-21-05**

*I. CHAPTER 13, SINGLE-FAMILY RESIDENTIAL DETACHED and ATTACHED/DUPLEX, R-5
13.030 PERMITTED USES*

The following uses are permitted outright in this zone.

- 1. Single-family detached residential unit.
(...)*

Staff Finding 1: The subject property has one single family detached home and no proposed change to the use with this application. The criteria are met.

13.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS

Except as may be otherwise provided by the provisions of this code, the following are the requirements for uses within this zone:

(...)

E. Except as specified in CDC 25.070(C)(1) through (4) for the Willamette Historic District, the minimum yard dimensions or minimum building setback area from the lot line shall be:

- 1. For the front yard, 20 feet; except for steeply sloped lots where the provisions of CDC 41.010 shall apply.*
- 2. For an interior side yard, five feet.*
- 3. For a side yard abutting a street, 15 feet.*
- 4. For a rear yard, 20 feet.*

(...)

Staff Finding 2: The applicant is requesting a variance for the rear yard setback. See Staff Finding 3. The applicant has proposed to construct an addition to the main home that will encroach into the rear yard setback. The addition will encroach into the rear yard setback by the allowed 20 percent, or approximately 4 feet for a Class I Variance.

III. CHAPTER 75, VARIANCE

A. Class I Variance. Class I variances provide minor relief from certain code provisions where it can be demonstrated that the modification will not harm adjacent properties, and it conforms with any other code requirements. Class I variances are allowed for the following code provisions:

- 1. Required Yard and Minimum Lot Dimensional Requirements. Required yards may be modified up to 20 percent, lot dimensions by up to 10 percent and lot area by up to five percent if the decision-making authority finds that the resulting approval:
 - a. Provides for a more efficient use of the site;*
 - b. Preserves and incorporates natural features into the overall design of the project;**

- c. Does not adversely affect adjoining properties in terms of light, air circulation, noise levels, privacy, and fire hazards; and*
 - d. Provides for safe vehicular and pedestrian access to the site and safe on-site vehicular and pedestrian circulation.*
- (...)

Staff Finding 3: The applicant has requested a Class I Variance to reduce the setback requirement and allow for the addition to the rear of the home. A Class I variance allows for a 20 percent reduction, or 4 feet. The rear yard setback would sit at 16 feet 5 inches and be approximately an 18% reduction to the required rear yard setback. The applicant is not proposing any changes to the off-street parking nor the vehicular or pedestrian access to the subject property. The Class I Variance does not pose any adverse effects on adjoining property regarding light, air circulation, noise levels, privacy, and fire hazards. The criteria are met.

EXHIBIT PD-1 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT Betty Avila	PROJECT NO(S): VAR-21-05	PRE-APPLICATION NO.
NON-REFUNDABLE FEE(S) \$825	REFUNDABLE DEPOSIT(S)	TOTAL \$825

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input checked="" type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 2760 York Street West Linn, OR 97068	Assessor's Map No.: 21E25CD
	Tax Lot(s): 21E25CD02600
	Total Land Area: 7500 SQ. FT.

Brief Description of Proposal: Our property is zoned R-5 with a substantial rear yard setback. We are seeking a Class I Variance to reduce the rear yard setback from 20 to 16 feet, which will accommodate our planned addition, as proposed.

Applicant Name: Hilary Greene <small>(please print)</small> Address: 2760 York Street City State Zip: West Linn, OR 97068	Phone: 360.737.4703 Email: uusitalo@hotmail.com
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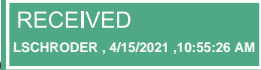
Owner Name (required): Jon & Hilary Greene <small>(please print)</small> Address: 2760 York Street City State Zip: West Linn, OR 97068	Phone: 360.737.4703 Email: uusitalo@hotmail.com
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Consultant Name: N/A <small>(please print)</small> Address: City State Zip:	Phone: Email:
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1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **One complete hard-copy set of application materials must be submitted with this application.**
One complete digital set of application materials must also be submitted electronically in PDF format.
If large sets of plans are required in application please submit one set.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Hilary Greene	4/13/2021	Hilary Green	4/13/2021
Applicant's signature	Date	Owner's signature (required)	Date



75.020 CLASSIFICATION OF VARIANCES

Response to CDC variance conditions related to Greene Addition – 2760 York Street

A. Class I Variance. Class I variances provide minor relief from certain code provisions where it can be demonstrated that the modification will not harm adjacent properties, and it conforms with any other code requirements. Class I variances are allowed for the following code provisions:

1. Required Yard and Minimum Lot Dimensional Requirements. Required yards may be modified up to 20 percent, lot dimensions by up to 10 percent and lot area by up to five percent if the decision-making authority finds that the resulting approval:

a. Provides for a more efficient use of the site;

Hilary Greene: Due to the modest square footage of the original home structure, the addition must be of sufficient size to add real useable space and address additional square footage needs. The addition will primarily be used to care for the homeowner's elderly parent. Approval of the variance from a twenty-foot rear-yard setback to a sixteen-foot setback will dramatically improve the layout and living space to allow for furniture and accessibility within the space.

b. Preserves and incorporates natural features into the overall design of the project;

Hilary Greene: Approval of the variance will have no impact on plants, trees, or landscape whatsoever. The area is currently unutilized and wood chipped. The homeowner plans to plant several trees, shrubs, and plants in new landscaping upon completion of construction, which will be a significant enhancement to the current space and outdoor environment.

c. Does not adversely affect adjoining properties in terms of light, air circulation, noise levels, privacy, and fire hazards; and

Hilary Greene: The proposed addition is a modest single-level and will blend seamlessly with the original structure by maintaining architectural consistency and aesthetic appeal. Both adjoining properties (to the West and South) are large, two-story homes built after this residence. As such, they are not impacted by our single-level proposed addition by way of light, air circulation, noise levels, privacy, or fire hazard. Further, the proposed addition retains over sixteen feet of rear-yard set-back, and there is excellent existing privacy by virtue of mature trees on the South adjoining lot, and fencing on all sides of the property.

d. Provides for safe vehicular and pedestrian access to the site and safe on-site vehicular and pedestrian circulation.

Hilary Greene: The proposed addition has no impact to safe vehicular or pedestrian access or circulation to the site. The addition is located completely in the rear yard of the existing home. Special architectural consideration has been made, and an additional entrance to the new addition has been added so that it may be easily accessed from the existing driveway area, should the homeowner's elderly parent require ADA accessibility in the future.

GENERAL NOTES

- Insulation:
 - Walls: R-21
 - Roof: R-49 @ flat ceilings R-30C @ vaults
 - Underfloor R-38
- Ventilation:
 - A. Attic Ventilation: R806
Shall have a minimum net free area of 1/150 of the attic area or 1/300 net area if one-half the area is soffit vent and one-half is 3 ft. above plate line.
Note: with enclosed rafter spaces flow-thru venting is required with 1" of air space between insulation and roof sheathing. Also 1" air space @ soffit vents above insulation
 - 3. Windows: R308 & R310
Egress windows in sleeping area shall not be more than 44" from finished floor to sill and shall have an opening with minimum dimensions 20" wide, 24" high with a minimum area of 5.7 square feet. All glass over 18" wide and within 18" of the floor shall comply with impact loads. Sliding glass doors shall be safety glazed with laminated or tempered glass.
 - 5. Vapor Barrier:
A ground cover of 6 mil (.006") polyethylene or equivalent lapped one foot at each joint is required at under slab.
 - 6. Showers:
Showers shall be either one-piece fiberglass stall units or ceramic tile wall to 6ft. above floor minimum and shall be provided with a water resistant backing. All shower doors shall be tempered or laminated safety glass or shatter resistant plastic. All showers shall have flow control devices to limit total flow to a maximum of 3 G.P.M. per shower head
 - 7. When Gypsum wall board is used as a base for tile in tub and shower and water closet areas water-resistant Gypsum backboard complying with R702.4.2
 - 8. All exit doors with a night latch, dead bolt or security chain shall be operable from the inside without the use of a key or tool and mounted at a height not exceeding 48" above the finish floor
 - 9. Safety glass installed in all hazardous locations as per R308.1
 - 10. The slope of the fill and cut surfaces should not be less than 2 to 1. All final slope faces should be densified and planted or seeded with appropriate vegetation in order to minimize the potential for erosion. No water should be allowed to flow freely over any slope faces
 - 11. All structural fills should be compacted to 95% of their laboratory maximum dry density as determined by ATSM D-1557 (Modified Proctor).
 - 14. Building shall be insulated per the prescriptive path for insulation.
Manufactured truss documents (truss calculations, truss layout drawings and truss diagrams) shall be submitted to and approved by the Building Official prior to the fabrication and erection of the trusses.
 - 15. A 36" minimum landing is required at all exterior doors. R311.3. The landing shall not be more than 8 1/4" below the top of the threshold.
 - 16. Illuminate both interior and exterior stairways including landings and treads. R303.6 and R303.7
 - 17. Provide stairways per R311.7 (applies to interior and exterior stairs) :
 - 8" maximum rise and 9" minimum run is required.
 - A handrail is required at every stair of 3 or more risers. Provide a 1.5" - 2 5/8" diameter rail with 1.5" min. between handrail and wall and mounted @ +30" - 38" above tread nosing.
 - Handrails which also function as guardrails shall be 34" - 38" above tread nosing.
 - 18. The grade around foundation walls shall fall a minimum of 6" in the first 10 feet.
 - 19. Min. clearance of sill to finished grade : 6" R404.1.6.
 - 20. Foundation bolts shall be not less than 1/2" diameter steel bolts embedded at least 7" into concrete, spaced 72" on center maximum, with at least two bolts per plate or sill and 1 bolt within 12" of ends and corners. R403.1.8. unless noted otherwise.
 - 22. Columns and posts shall be adequately anchored to prevent lateral displacemnt. R407.3
 - 24. All wood, including posts, within 6" of ground shall be pressure treated or foundation grade redwood.
 - 25. A weather-resistant rigid baffle, extending above the insulation at eave or soffit vents is req.
 - 26. In new construction smoke / CO detectors shall receive their primary power from the building wiring R314
All smoke detectors shall be interconnected such that the actuation of a single alarm will actuate all of the alarms in the house and shall provide an alarm which will be audible in all the sleeping areas. detectors shall be connected to house power and shall have a battery backup. typ.
 - 27. A grounding electrode at electrical service is required, consisting of (or connected to) a minimum 20' length of 1/2" diameter steel reinforcement of footings. R403.1.8. electrode shall extend 12" minimum above the plate line.
 - 28. Provide receptacles as required by OESC OAR 918-305-0100
 - Outlets are req. at 12 foot o.c. max. spacing.
 - Outlets are required at any wall space 2 or more feet wide.
 - Outlets are req. at each counter space wider than 12", at 4 feet o.c.
 - Halls of 10 feet or more shall include an outlet.
 - Provide at least one outlet in the garage and basement.
 - Outlets are req. at 6' foot o.c. max. from any opening
 - 29. Provide GFCI protection per Electrical code
 - For outlets in bathrooms.
 - At non - dedicated outlets above counter top within 6 feet of kitchen sink.
 - For any outlets in crawlspace or unfinished basement.
 - For outdoor outlets. (specify waterproof outlets)
 - For hydromassage bathtubs and their associated electrical components.
 - 30. Provide at least two separate 20 amp circuits to kitchen appliances, and at least one separate 20 amp circuit to laundry appliances.
 - 31. Light fixtures in tub or shower enclosures shall be labeled " suitable for damp locations "
 - 32. A non - removable backflow prevention device is required on all exterior hose bibbs. OPSC

ENERGY CODE NOTES

ENERGY CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO 2017 OREGON RESIDENTIAL ENERGY CODE PER TABLE N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENT ENERGY CODE PER TABLE N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENT FOR RESIDENTIAL BUILDINGS AS LISTED BELOW:

N1101.3.1 LARGE ADDITIONS.

ADDITIONS THAT ARE EQUAL TO OR MORE THAN 40 PERCENT OF THE EXISTING BUILDING HEATED FLOOR AREA OR 600 SQUARE FEET (55 M2) IN AREA, WHICHEVER IS LESS, SHALL BE REQUIRED TO COMPLY WITH TABLE N1101.1(2).

4. Additional Measure requirements from table N1101.1 (2):

Option D from Conservation Measure:

Natural gas/propane water heater with UEF 0.85 OR
Electric heat pump water heater Tier 1 Northern Climate Specification Product

Option 2 from Envelope Enhancement Measures: Upgrade features:

- Exterior walls: U-0.057 / R-23 intermediate, and
- Framed floors: U-0.026 / R-38, and
- Windows: U-0.28 (average UA)

Infiltration:

All factory-built windows and doors shall comply with the following criteria for maximum allowable air infiltration rates:

- Windows: U-.28
- Skylights: U-.50
- Exterior Doors: U- 0.20 typical. A maximum of 28 s.f. can have U-.54

These rates must be substantiated by testing to standard ASTM: E 283-73.

ABBREVIATIONS

(E) = EXISTING
(N) = NEW

ZONING LOT SIZE

R-5 7,500 SQ. FT.

DESIGNER

PAT SAUER
THE DESIGN DEPARTMENT, INC
PO BOX 69
LAKE OSWEGO, OREGON 97034

STRUCTURAL ENGINEER

NAVA CONTRACTING & ENGINEERING, INC.
4106 S.E. Oak St.
Portland, Oregon 97214
(503) 238-0633

LOT COVERAGE

35% MAXIMUM = 2,635 SQ. FT.

BUILDING FOOTPRINT HOUSE & COVERED FRONT PORCH (E) : 1,700 SQ. FT.

BUILDING FOOTPRINT ADU (N) : 857 SQ. FT.

TOTAL PROPOSED: 2,557 SQ.FT.

INDEX OF DRAWINGS

- 1 Site Plan & General Notes
- 2 Stormwater & Erosion Control Plan
- 3 Foundation Plan
- 4 Roof Framing Plan & Framing Details
- 5 Exterior Elevations
- 6 Framing Sections
- S1 - S4 Structural Plans



1 SITE PLAN W/ PROPOSED ADDITION

SCALE: 1/8" = 1'-0"

The
Design
Department
Creating Your
Perfect Space

Pat Sauer
Designer
PO Box 69
Lake Oswego, Oregon
97034
503 332 3796

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Site Plan

REVISIONS

04.01.21	
04.12.21	

DATE
02.09.21
DATE LAST PRINTED

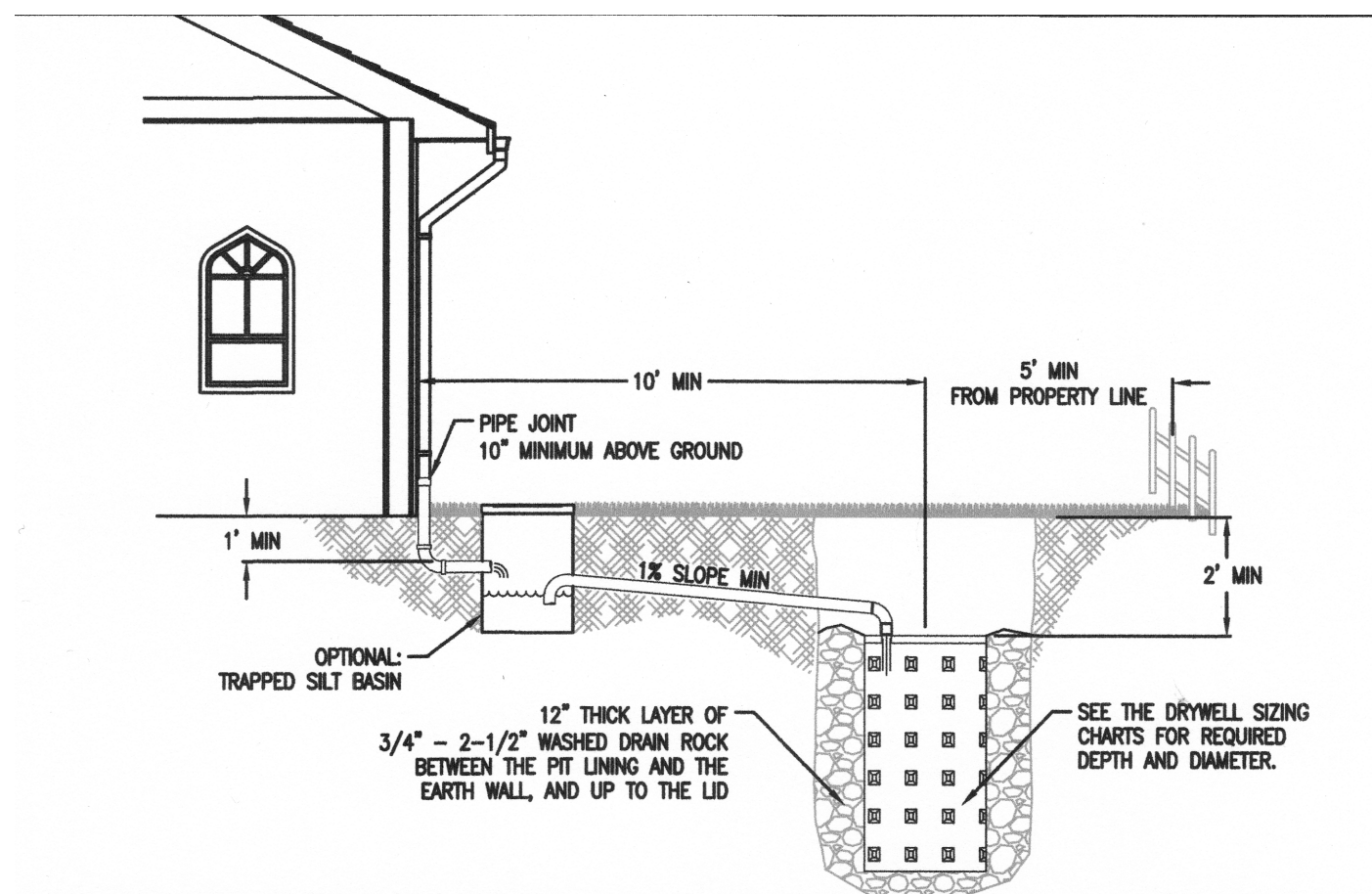
PROJECT NO:
0921

SHEET

1

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING
4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD FRENCH DRAIN
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.



1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during and after construction.

2. Siting Criteria: Gravelly sand, gravelly loamy sand or other equally porous material must occur in a continuous 5' deep stratum within 12' of the ground surface. Drywell shall not be placed where base of facility has less than 5' of separation to water table.

3. Sizing: Exhibit 2-36 is used to size the drywell(s) based on impervious area.

4. Top of drywell must be below lowest finished floor.

5. Setbacks: Drywell must be 10' from foundations, 5' from property lines, and 20' from easements.

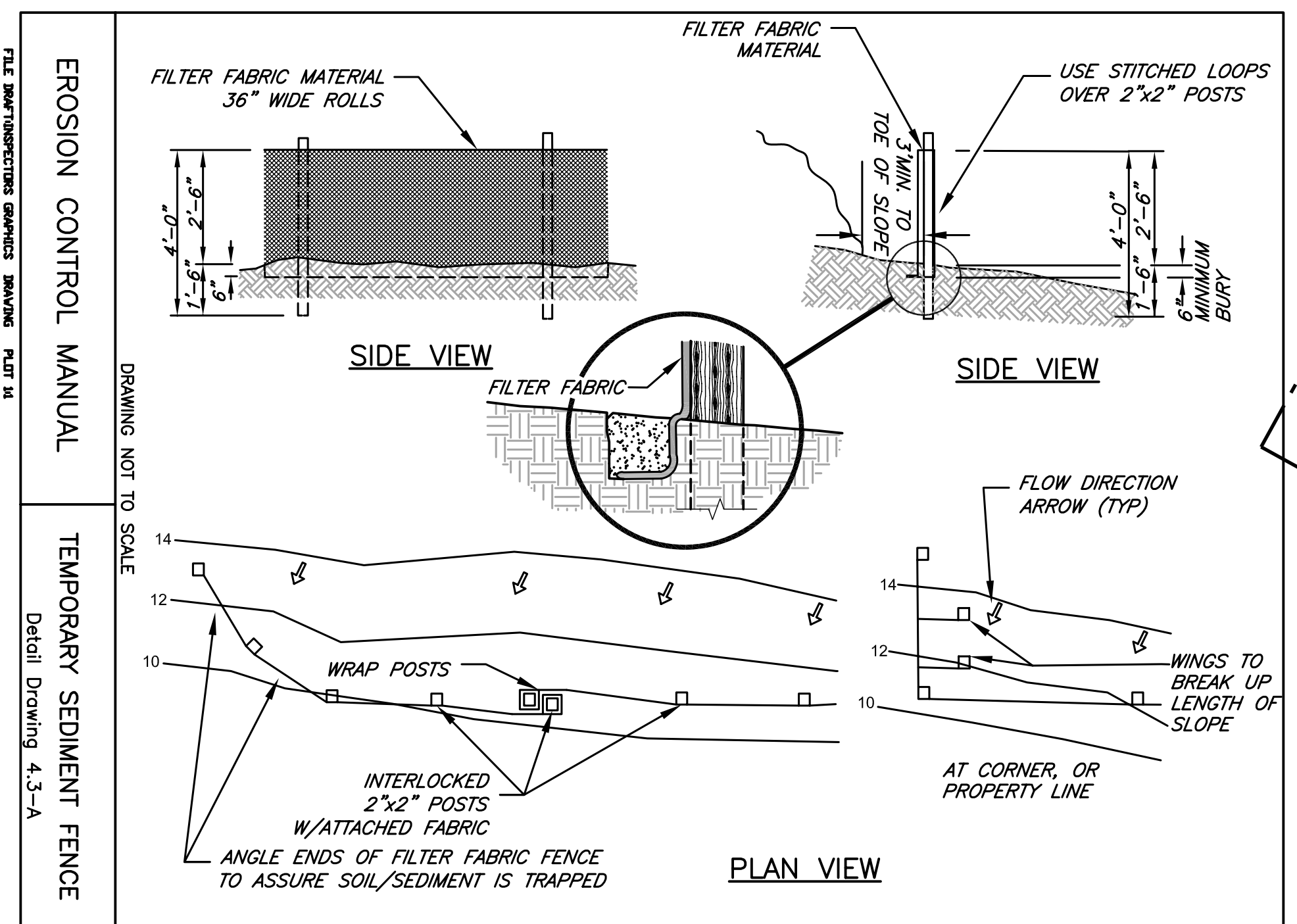
6. Piping must be cast iron, ABS or PVC. 3" pipe required for facilities draining up to 1500 sf, otherwise 4" minimum pipe. Uniform Plumbing Code also applies.

7. Trapped Silt Basin: Optional for roof runoff or pedestrian only paved areas.

IMPERVIOUS Area (sq-ft)	28" Diameter Drywell Depth				48" Diameter Drywell Depth			
	5'	10'	15'	20'	5'	10'	15'	20'
1000								
2000								
3000								
4000								
5000								
6000								
7000								
8000								
9000								
10000								

- DRAWING NOT TO SCALE -

3 DRYWELL



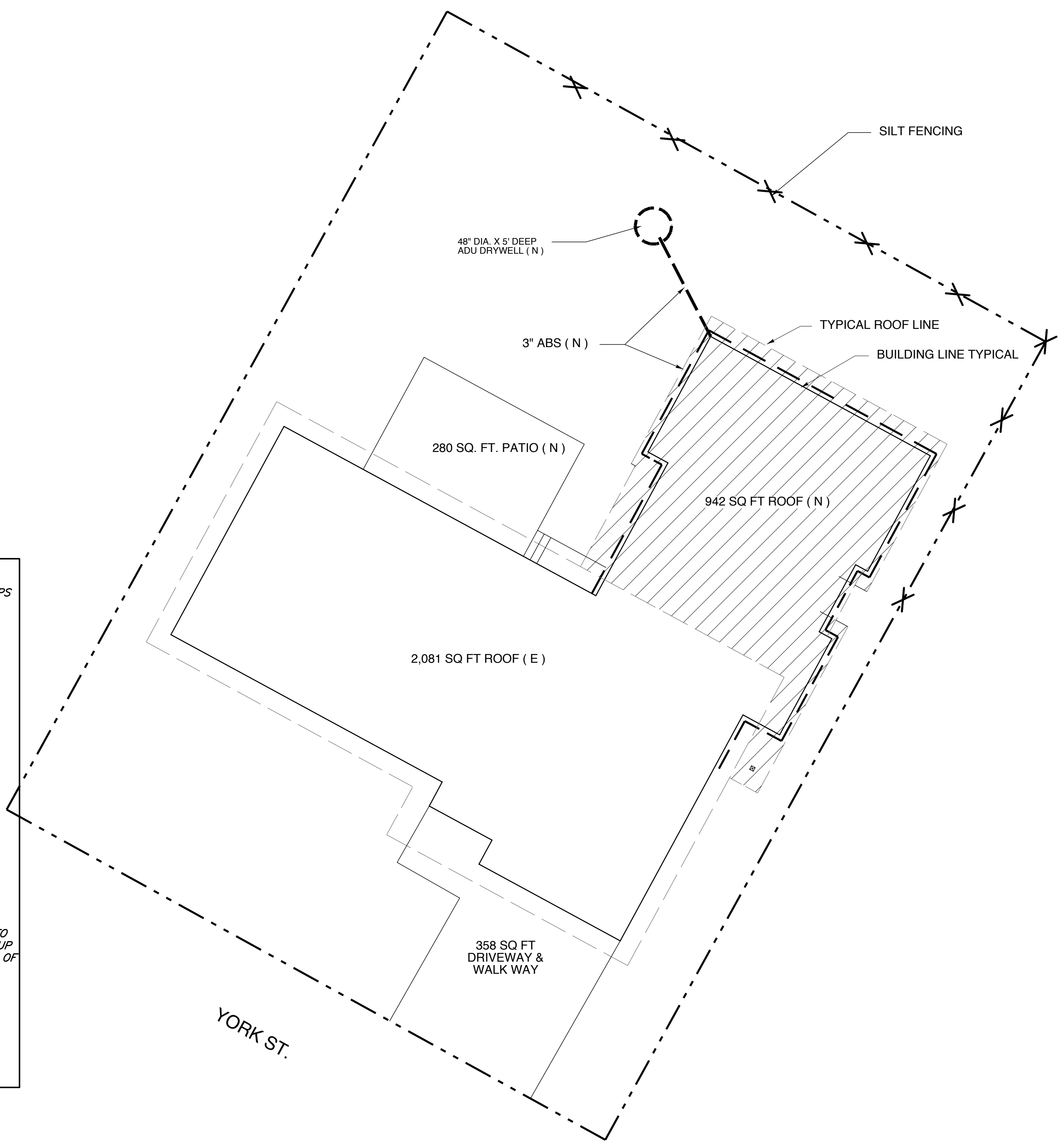
EROSION CONTROL MANUAL
TEMPORARY SEDIMENT FENCE
Detail Drawing 4.3-A

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
3. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
4. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND.
5. TEMPORARY EXCAVATIONS FOR FOUNDATION WILL BE COMPLETED WITHIN THE PROPERTY WITH NO SLOPES STEEPER THAN 1H:1V.
6. IF 1H:1V IS NOT MET, THEN OBTAIN SOILS REPORT FOR RECOMMENDATIONS FOR EXCAVATION AND/OR GET A TEMPORARY CONSTRUCTION EASEMENT GRANTED BY THE ADJOINING PROPERTY OWNER/S.

IMPERVIOUS AREA:

CONCRETE DRIVEWAY & WALKWAY (E) :	358 SQ. FT.
CONCRETE PATIO (N) :	280 SQ. FT.
ROOF AREA INCLUDING OVERHANGS HOUSE (E) :	2,081 SQ. FT.
ROOF AREA INCLUDING OVERHANGS ADDITION (N) :	960 SQ. FT.
TOTAL:	3,679 SQ. FT.



1 STORMWATER & EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"

The Design Department
Creating Your Perfect Space

Pat Sauer Designer
PO Box 69
Lake Oswego, Oregon 97034
503 332 3796

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Erosion Control Details
Storm Water Plan
Drywell Detail

REVISIONS

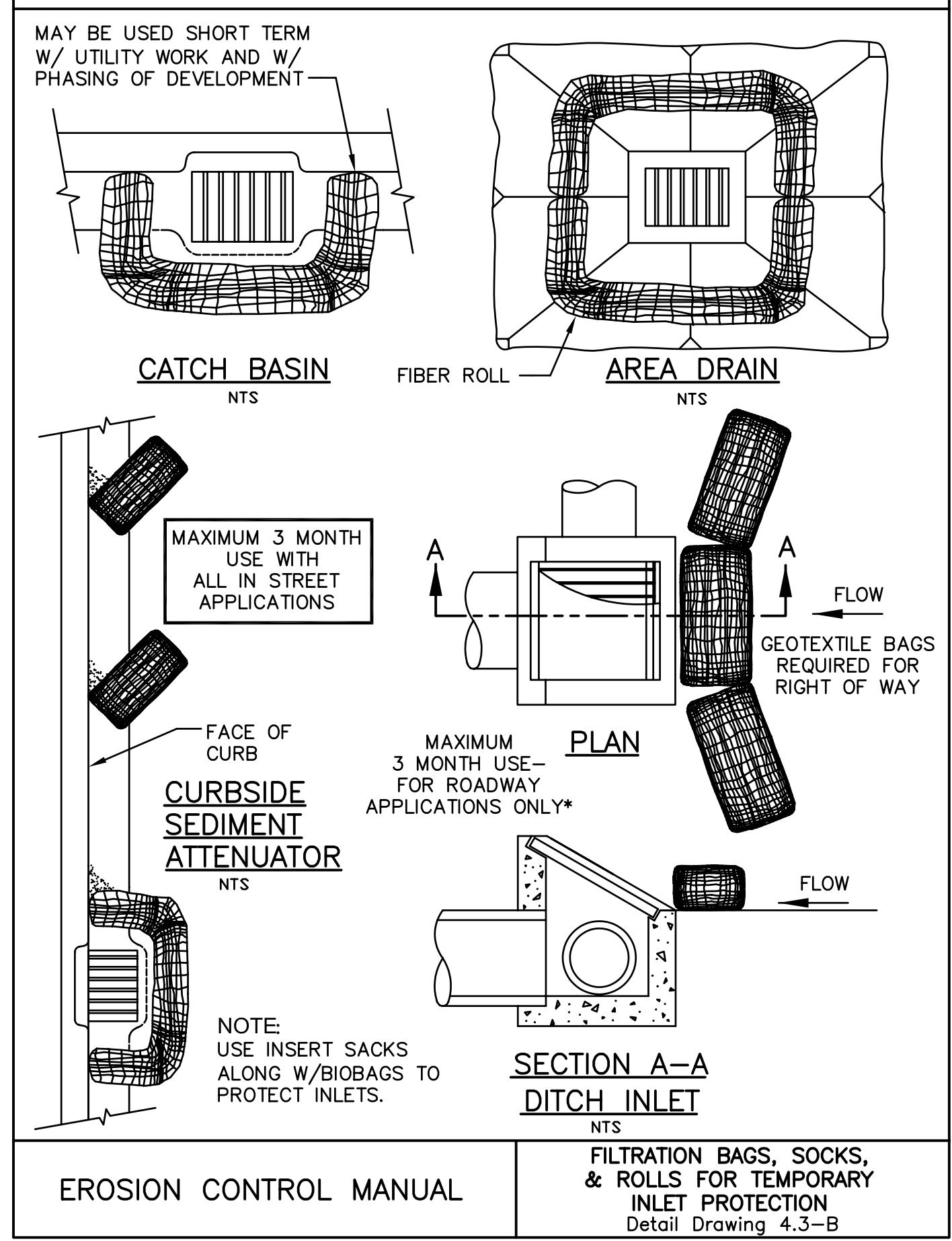
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04.12.21	

DATE
03.01.21
DATE LAST PRINTED
PROJECT NO:
0921

SHEET

2

*BIOBAGS MUST BE REMOVED AT END OF JOB

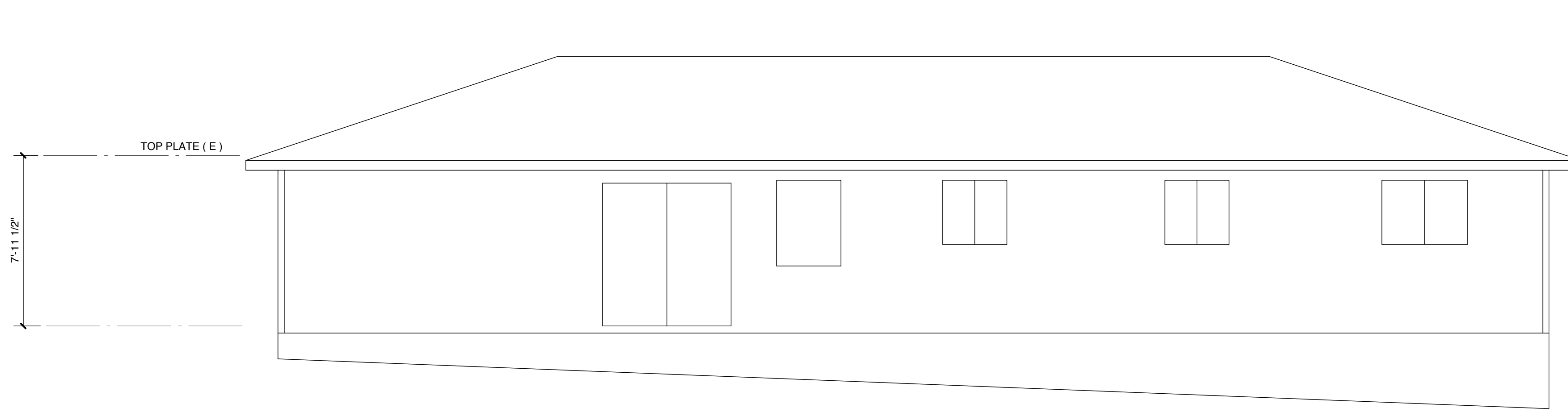


EROSION CONTROL MANUAL

FILTRATION BAGS, SOCKS, & ROLLS FOR TEMPORARY INLET PROTECTION
Detail Drawing 4.3-B

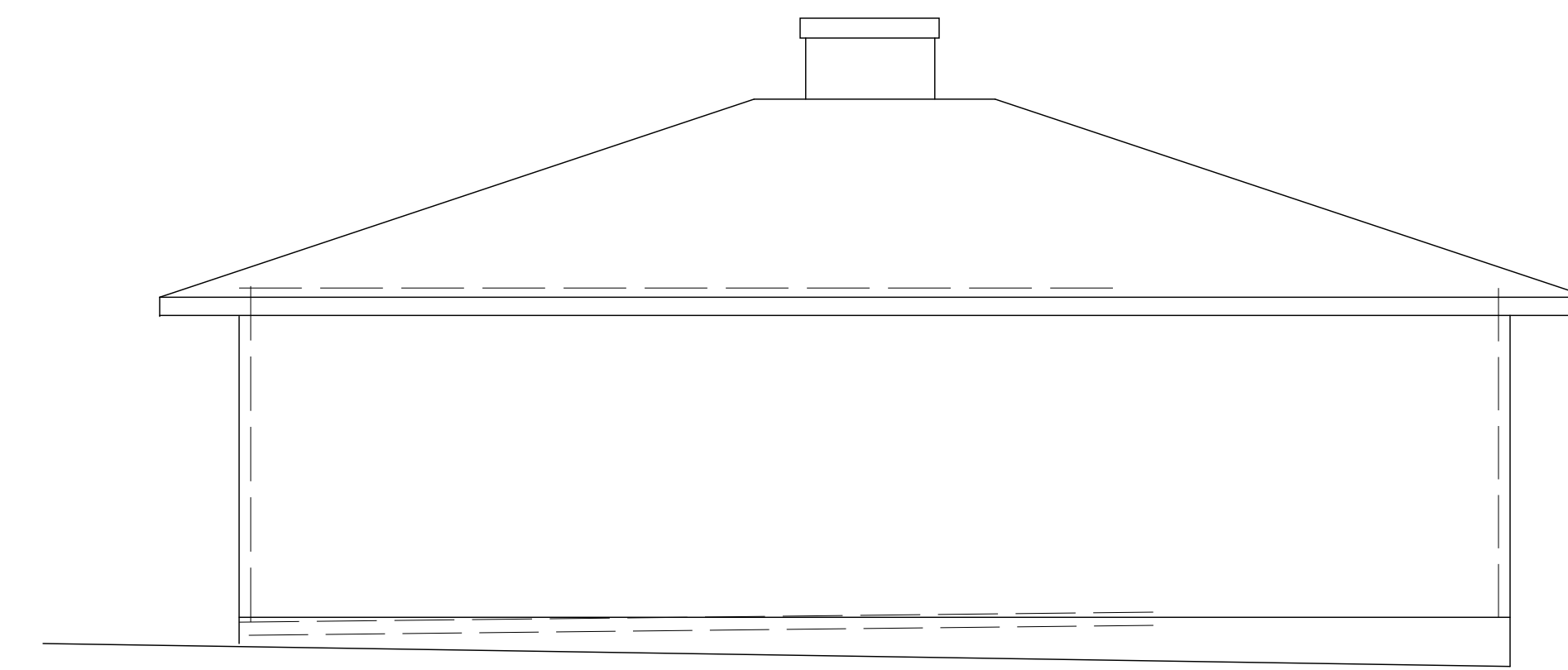
2 EROSION CONTROL DETAILS

2



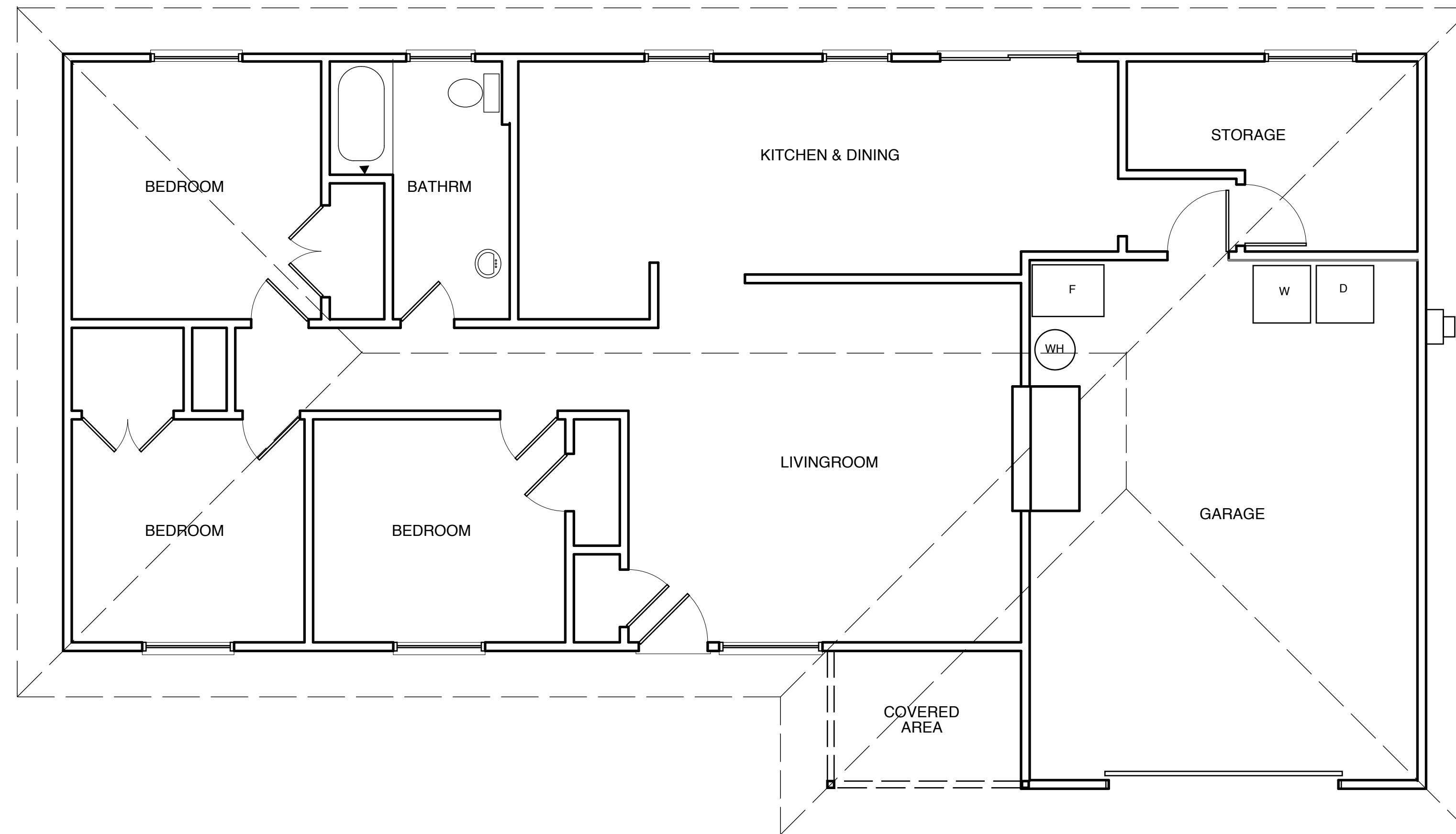
2 AS BUILT REAR ELEVATION

SCALE: 1/4" = 1'-0"



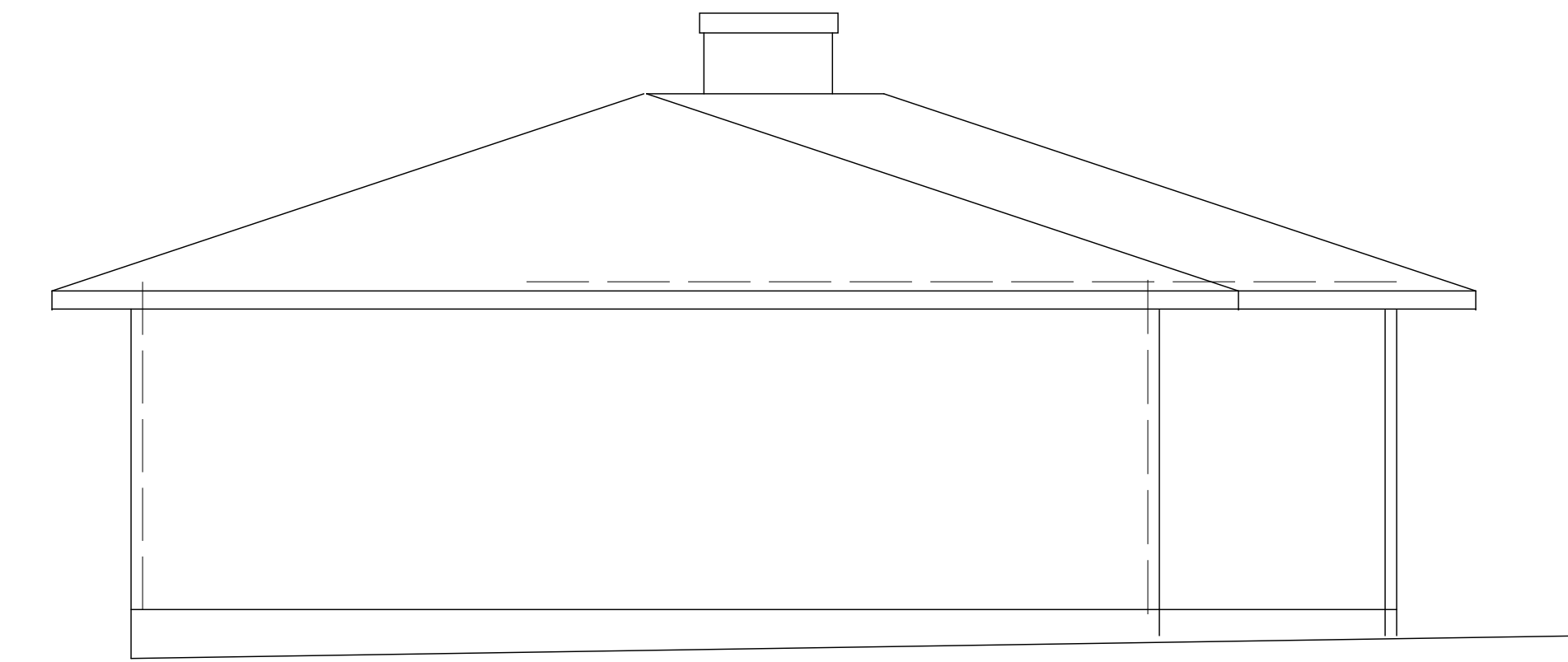
3 AS BUILT RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



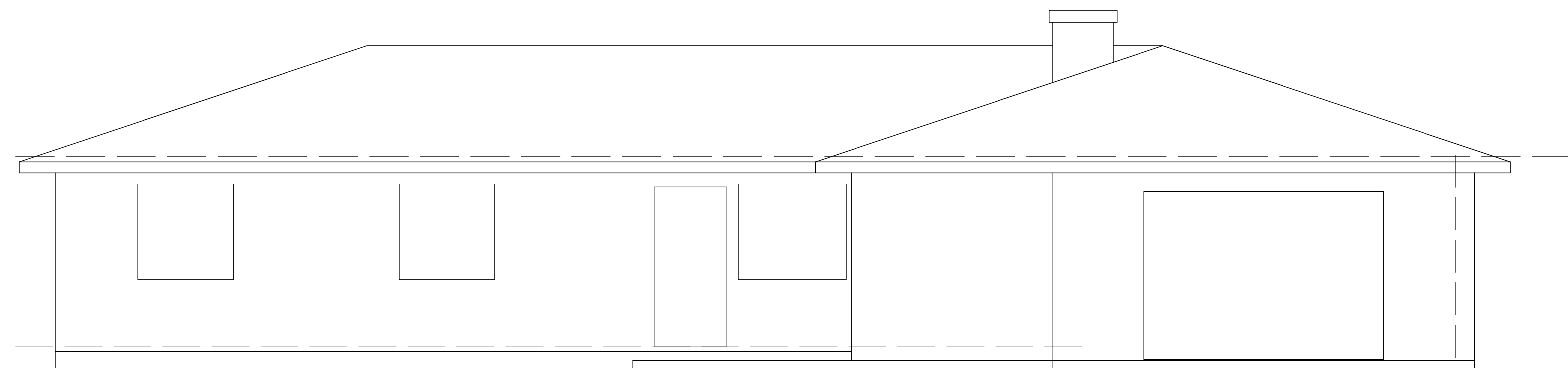
1 AS BUILT FLOOR PLAN W/ ROOF LINES

SCALE: 1/4" = 1'-0"



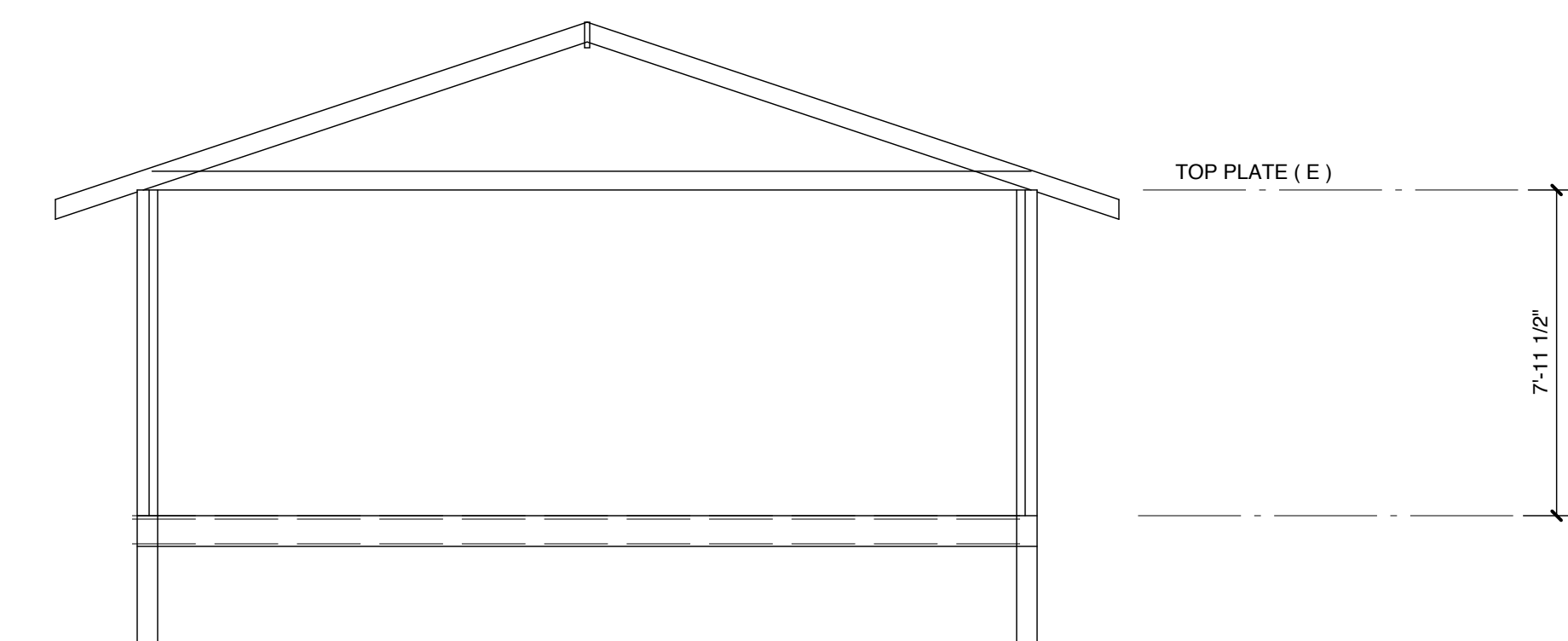
3 AS BUILT LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 AS BUILT FRONT ELEVATION

SCALE: 1/4" = 1'-0"



4 AS BUILT FRAMING SECTION

SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION
04.01.21	

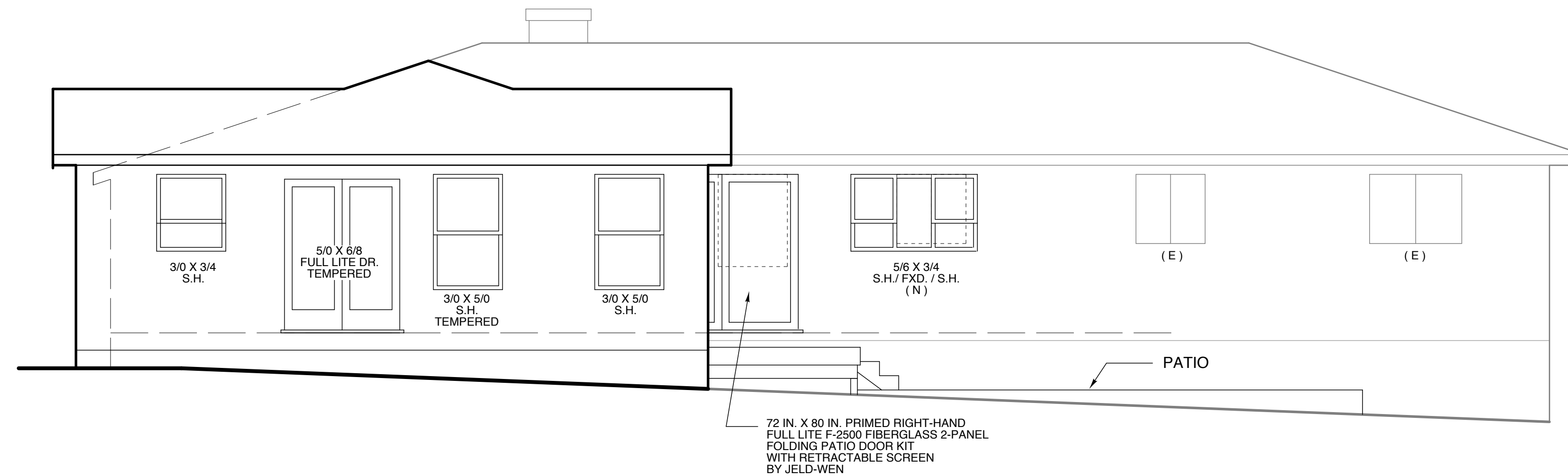
**ATTENTION FRAMER!
CRITICAL!
SEE "S" SHEETS FOR
STRUCTURAL
INFORMATION**

**ATTENTION FRAMER!
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SEE ELEVATIONS &
SECTIONS
FOR WINDOW HEAD
HEIGHTS**

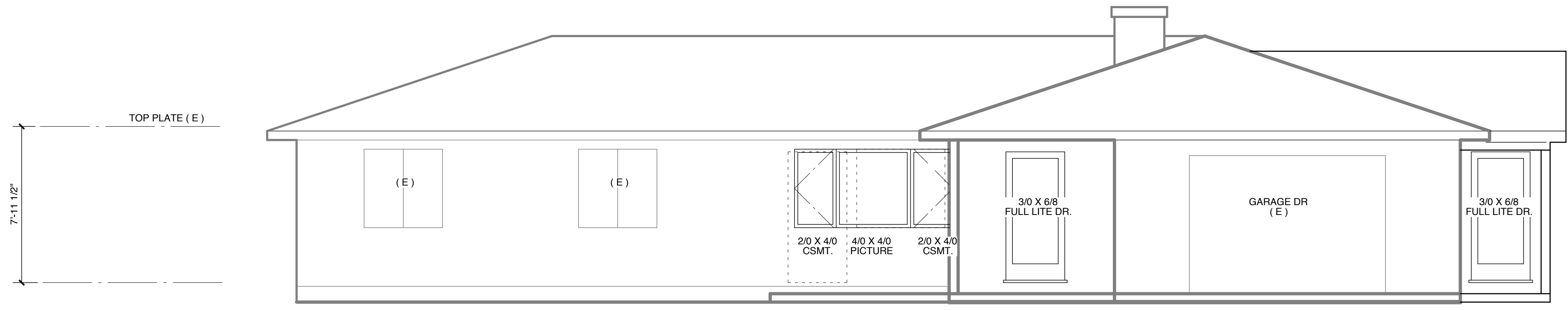
NOTE:
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ABBREVIATIONS

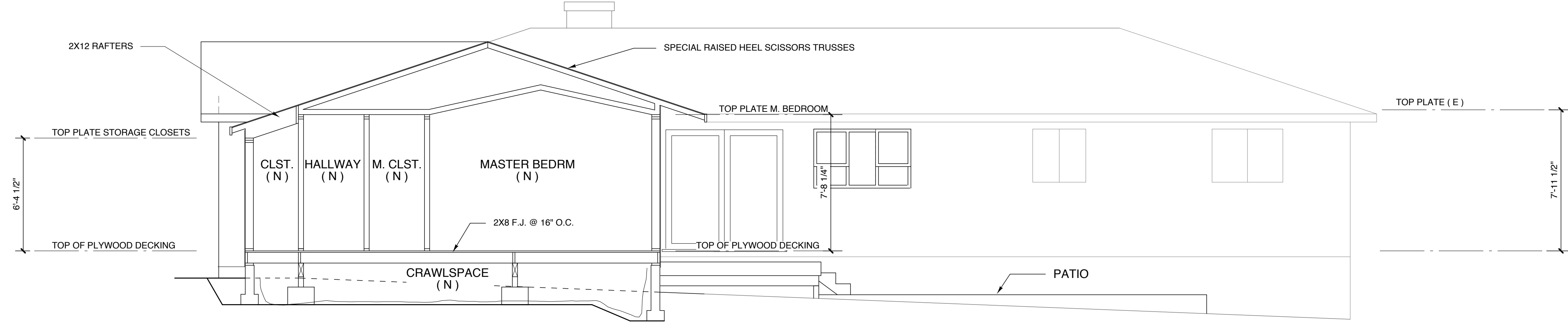
(E) = EXISTING
(N) = NEW



1 PROPOSED REAR ELEVATION (SOUTH) SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION (NORTH) SCALE: 1/4" = 1'-0"



3 FRAMING SECTION @ HALL CLOSET, HALLWAY, MASTER CLOSET & MASTER BEDROOM SCALE: 1/4" = 1'-0"

The Design Department
Creating Your Perfect Space

Pat Sauer Designer
PO Box 69
Lake Oswego, Oregon 97034
503 332 3796

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Proposed Elevations

REVISIONS

04.01.21	

DATE: 02.09.21
DATE LAST PRINTED:

PROJECT NO: 0921

SHEET
4

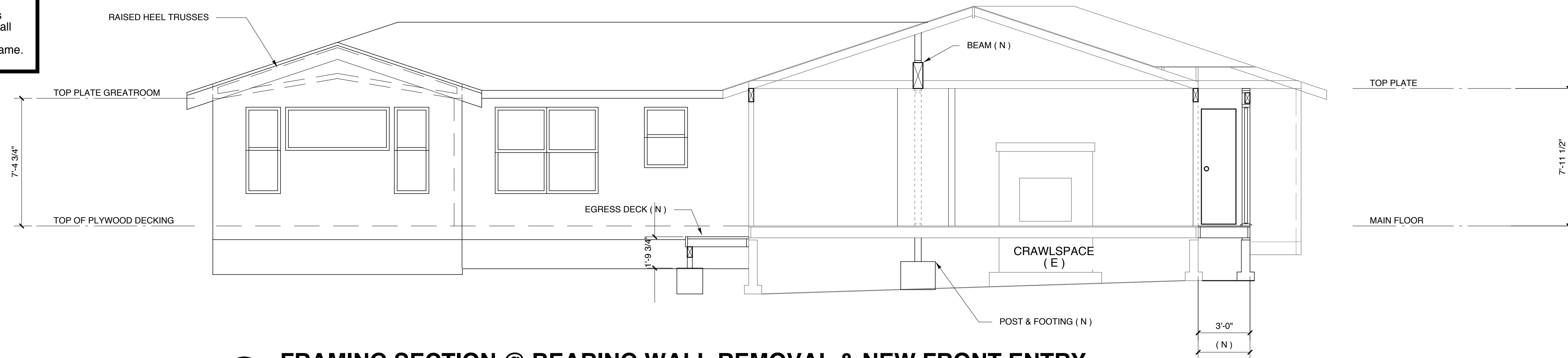
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 HEIGHTS

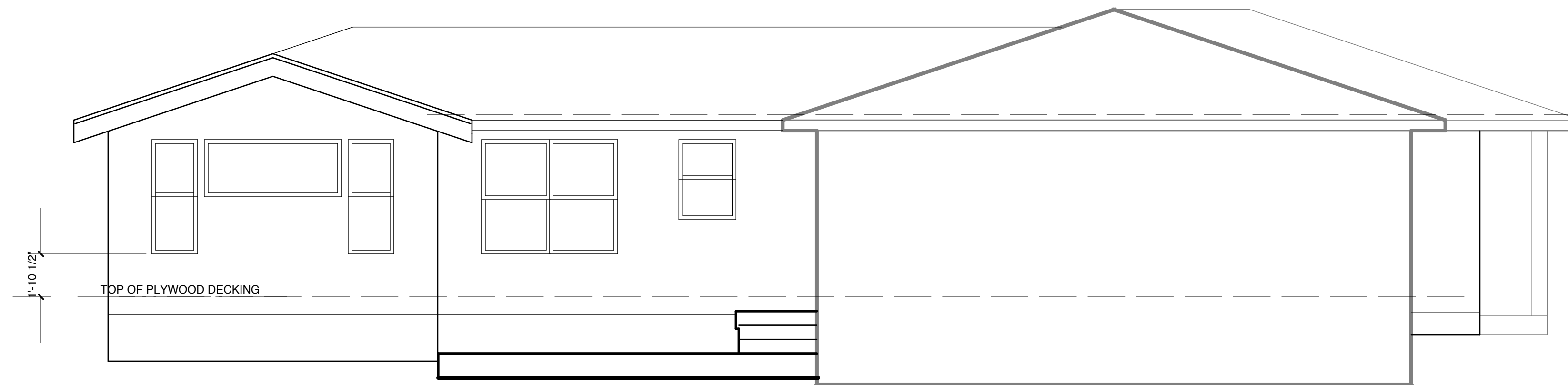
ABBREVIATIONS

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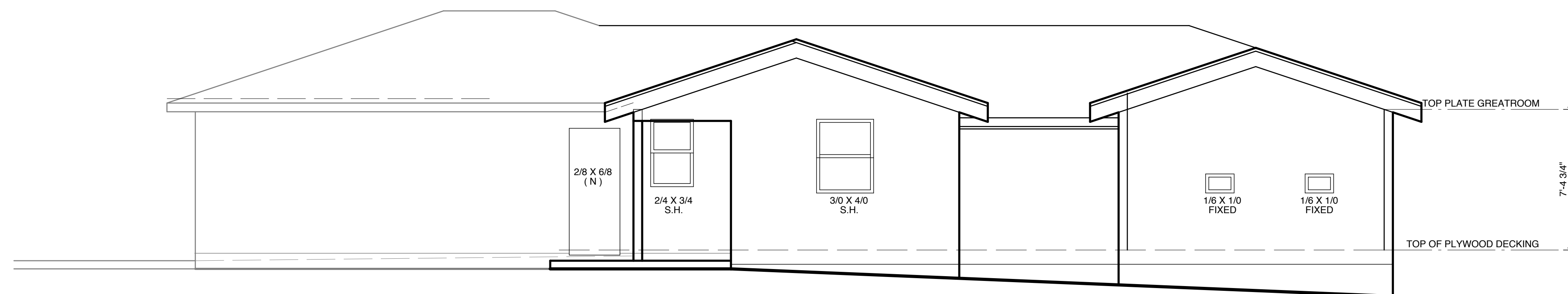
3 FRAMING SECTION @ BEARING WALL REMOVAL & NEW FRONT ENTRY

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 PROPOSED SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

Proposed Elevations

REVISIONS

DATE	REVISIONS
04.01.21	

DATE
 02.09.21
 DATE LAST PRINTED

PROJECT NO:
 0921

SHEET

FOUNDATION & CRAWLSPACE NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQ. DEPTH BELOW THE FINAL GRADE.
- FOUNDATION
SEE STRUCTURAL DETAILS ON SHEET S1
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%
- 6 MIL VISQUEEN VAPOR BARRIER @ CRAWLSPACE LAP 12" @ SEAMS AND RETURN 12" UP FOUNDATION WALL. SLOPE CRAWLSPACE TO DRAIN & PROVIDE CRAWLSPACE DRAIN.
- PROVIDE SCREENED CLOSEABLE 16" X 8" FOUNDATION VENTS - SEE VENT CLACS. THIS SHEET
- PROVIDE R-38 UNDERFLOOR INSULATION
- THE GRADE AROUND FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" IN THE FIRST 10 FEET
- MIN. CLEARANCE OF SILL TO FINISHED GRADE : 6" R404.1.
- FOUNDATION BOLTS SHALL BE NOT LESS THAN 1/2" DIAMETER STEEL BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE, SPACED 72" ON CENTER MAXIMUM, WITH AT LEAST TWO BOLTS PER PLATE OR SILL AND 1 BOLT WITHIN 12" OF ENDS AND CORNERS. R403.1.8. UNLESS NOTED OTHERWISE.
- COLUMNS AND POSTS SHALL BE ADEQUATELY ANCHORED TO PREVENT LATERAL DISPLACMNT. R407.3
- ALL WOOD, INCLUDING POSTS, WITHIN 6" OF GROUND SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- THE SLOPE OF THE FILL AND CUT SURFACES SHOULD NOT BE LESS THAN 2 TO 1.
ALL FINAL SLOPE FACES SHOULD BE DENSIFIED AND PLANTED OR SEEDED WITH APPROPRIATE VEGETATION IN ORDER TO MINIMIZE THE POTENTIAL FOR EROSION. NO WATER SHOULD BE ALLOWED TO FLOW FREELY OVER ANY SLOPE FACES

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ABBREVIATIONS

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CRAWLSPACE VENTILATION CALCULATION

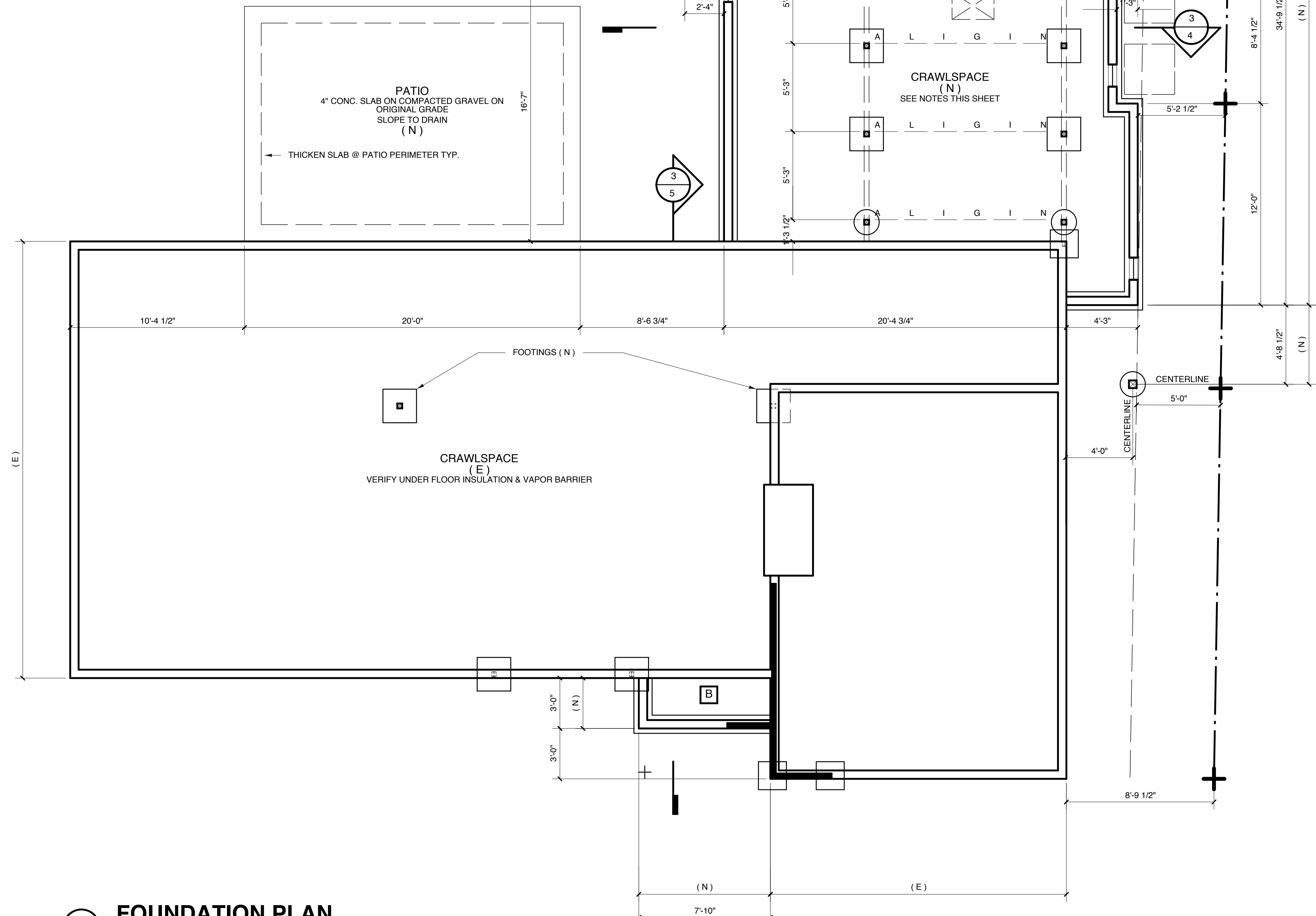
814 S.F. CRAWLSPACE
DIVIDED BY
150 S.F. = 5.42 X .88 = 4.77
USE (5) 16" X 8" CLOSEABLE SCREENED VENTS

FLOOR NOTES

- FLOOR FRAMING @ ADDITION: **A**
7/8" PLYWOOD T&G DECKING ON FLOOR JOISTS
SEE SHEET S2 FOR MATERIAL, SIZE & SPACING.
- FLOOR FRAMING @ EXPANDED ENTRY: **B**
1 1/8" PLYWOOD T&G DECKING ON SILL PLATES

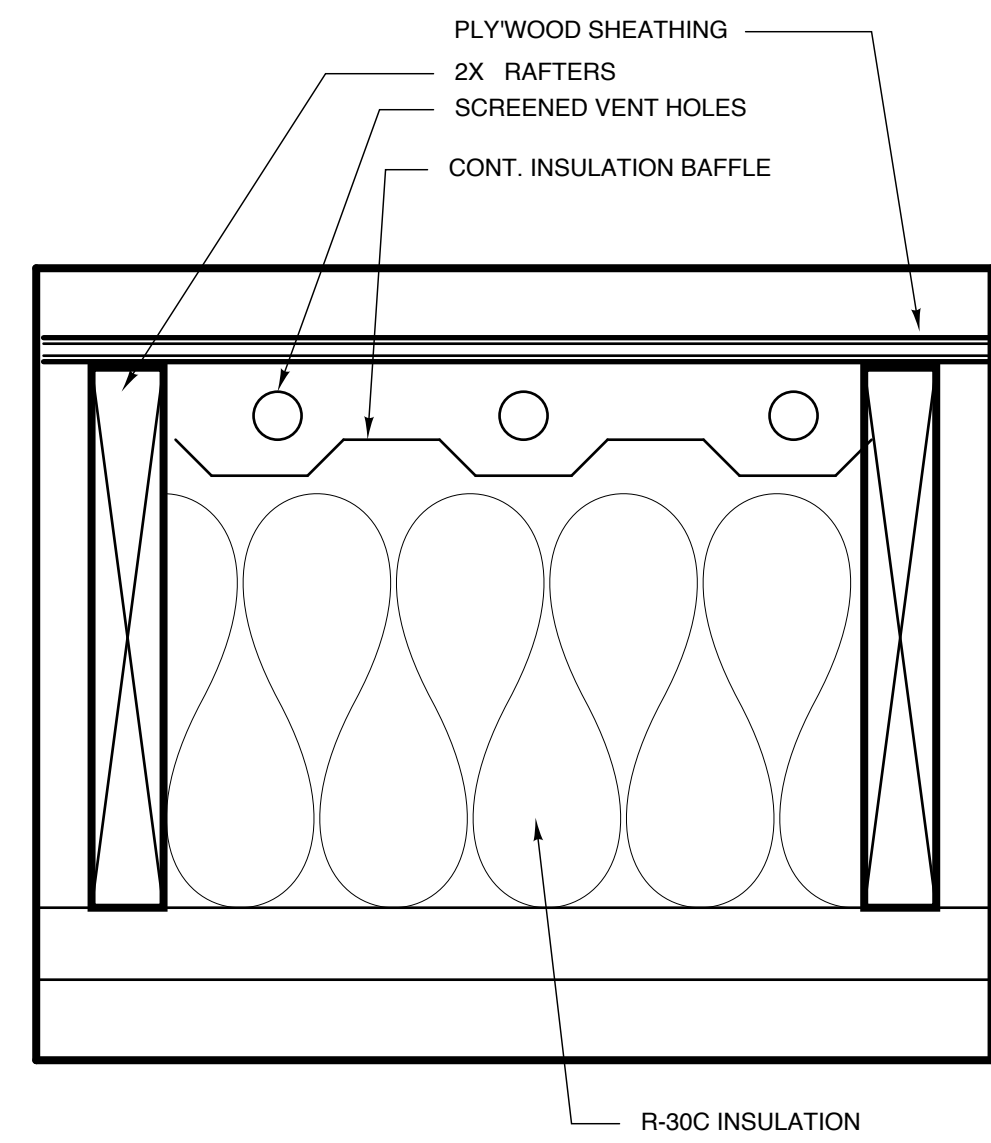
WALL KEY

— = SHEARWALLS ABOVE (N) SEE SHEET S3



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



2 TYPICAL VENT BLOCK
SCALE: 3" = 1'-0"

ROOF NOTES

- STRUCTURE:
ARCHITECTURAL COMPOSITION ROOFING INSTALLED PER MANUF. SPECS ON APPROVED BARRIER MATERIAL ON 1/2" PLYWD SHEATHING ON FRAMING PER PLAN - SEE SHEET S
- PITCH:
4 : 12 TYPICAL
- ALL BEAMS AND HEADERS SHALL BE SUPPORTED ON DBL. STUDS UNLESS NOTED OTHERWISE. PROVIDE (3) BUNDLED STUDS UNDER BEAMS GREATER THAN 6" WIDE & (2) BUNDLED STUDS UNDER BEAMS LESS THAN 6" WIDE. FACE NAIL BUNDLED STUDS TOGETHER W/ (2) 16d @ 12" O.C. TYPICAL

ATTIC VENTILATION CALCULATION

ROOF AREA TO BE VENTED	1,015 S.F.
ALLOWABLE S.F. PER VENT	/ 300
	= 3.38
BIRD BLOCKING	/ 2.0
	= 1.69
7" DIA. VENT S.F.	/ .35
TOTAL # VENTS REQUIRED	= 4.8 - USE (5) 7" DIA VENTS OR PROVIDE CONTINUOUS VENTING

ABBREVIATIONS

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(N) = NEW

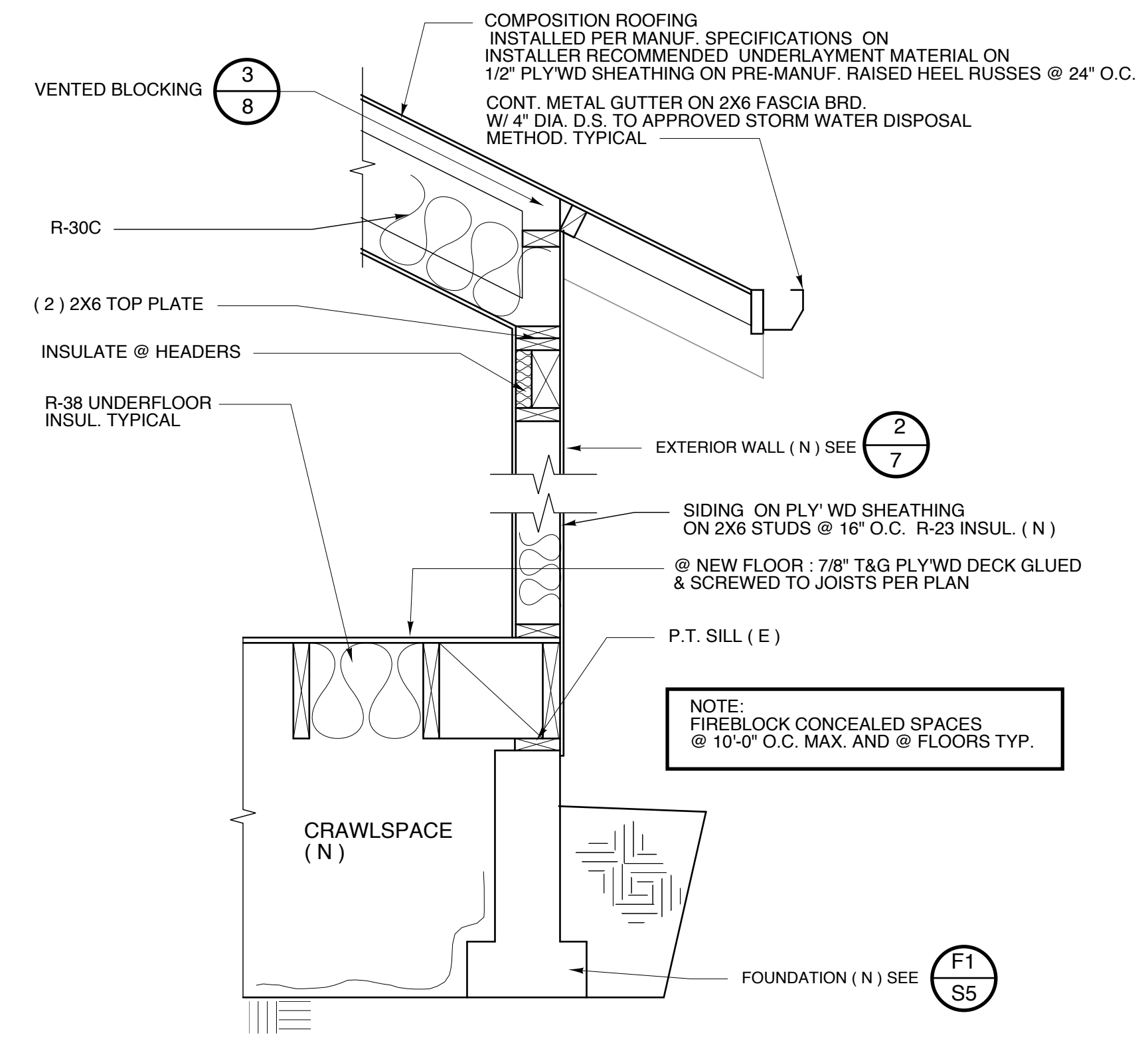
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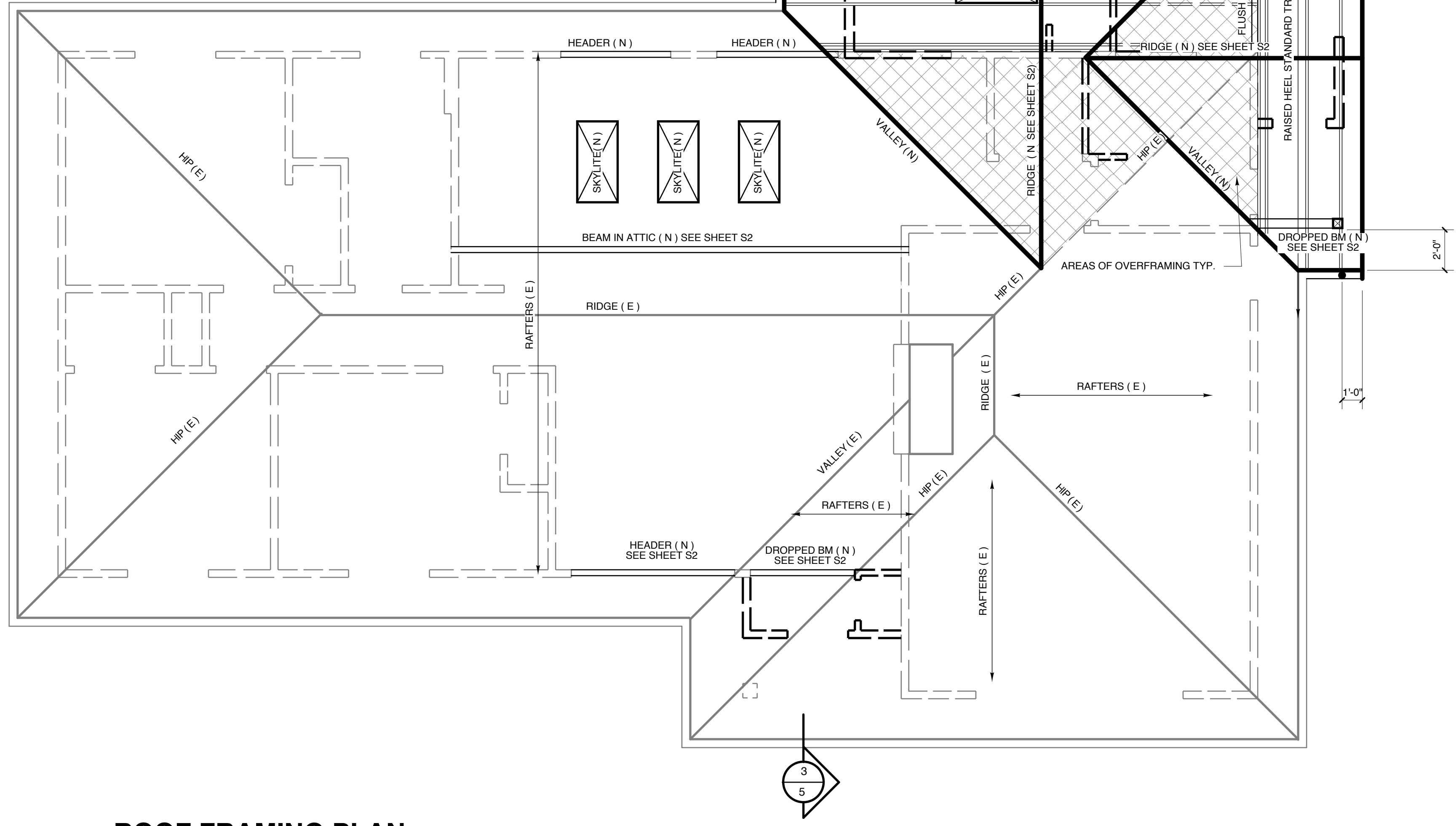
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HEIGHTS**

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**Pat Sauer
Designer**
PO Box 69
Lake Oswego, Oregon
97034
503 332 3796



2 TYPICAL WALL SECTION
SEE "S" SHEETS FOR STRUCTURAL INFORMATION
3/4" = 1'-0"



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Roof Framing Plan
Trusses

REVISIONS

04.01.21	
04.12.21	

DATE
02.09.21
DATE LAST PRINTED

PROJECT NO:
0921

SHEET

8

EXHIBIT PD-2 PUBLIC COMMENT

From: [REDACTED]
To: [Avila, Beatriz](#)
Subject: File No VAR-21-05
Date: Tuesday, May 11, 2021 8:57:11 AM

CAUTION: This email originated from an External source. Do not click links, open attachments, or follow instructions from this sender unless you recognize the sender and know the content is safe. If you are unsure, please contact the Help Desk immediately for further assistance.

Hello,

I received a letter regarding property development 2760 York St WestLinn.

With the suite addition on the house to accommodate multigenerational adult family member, what is the law, considerations or plans for additional vehicles?

My concern: I am not wanting the front of my home to become overflow parking for others. Currently the family at this residence has used the front of my home to park their car, even before construction began. At the moment, they have parked their Jeep in front of my home for 2 months leaving their driveway open.

With the additional family member they have had 3 cars on site. There was recently work done to the driveway 2760 prior to current construction appearing to widen it, but that did not result in the family parking in the driveway as a rule, only an exception. It is only wide enough for 2 cars. I see other multigeneration homes on their side of the street, those residents have created permanent parking on their property to accommodate the number of cars that are associated with their residence. Will this be the expectation of 2760 to create as well?

What are my rights? How do I submit my concerns as directed in the Notice of upcoming planning manager decision for file no var-21-05?

Thank you
Jennifer Crisp
Owner of 2765 York St

EXHIBIT PD-3 COMPLETENESS LETTER



CITY OF
West Linn

April 30, 2021

Hilary Greene
2760 York Street
West Linn, OR 97068

SUBJECT: VAR-21-05 application to construct an 857 square foot addition to the rear of an existing residence located in an R5 zone. A Class I Variance would also be needed to reduce the rear yard setback reduction from 20 feet to 16'-10.75" feet.

Dear Hilary:

You submitted this application on April 15, 2021. The Planning Department has reviewed the submitted materials and has deemed the application is **complete**. The city has 120 days to exhaust all local review; that period ends September 6, 2021.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Department to render a decision on your proposal.

Please contact me at 503-742-6057, or by email at bavila@westlinnoregon.gov if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Betty Avila". The signature is written in a cursive, flowing style.

Betty Avila
Associate Planner

EXHIBIT PD-4 AFFADIVIT AND NOTICE PACKET



**AFFIDAVIT OF NOTICE
Type B**

We, the undersigned do hereby certify that, in the interest of the party initiating a proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **VAR-21-05** Scheduled Decision Date: **Planning Manager Decision no earlier than 5/20/21**
Applicant's Name: **Hilary Greene** Development Name: **2760 York Street**

MAILED NOTICE

As required by CDC Section 99.080, notices were mailed at least 14 days before the decision date to:

1	Hilary Greene, applicant	5/6//21	<i>Lynn Schroder</i>
2	Property owners within 300ft	5/6/21	<i>Lynn Schroder</i>
3	Legion Anders, Sunset NA	5/6/21	<i>Lynn Schroder</i>

WEBSITE

Notice was posted on the City's website before the decision date.

5/6/21	<i>Lynn Schroder</i>
---------------	----------------------

SIGN

A sign was posted on the property at least 10 days before the decision date.

5/6/21	<i>Betty Avila</i>
---------------	--------------------

FINAL DECISION

Notice of final decision was mailed to the applicant, all other parties with standing, and posted on the City's website.

5/28/21	<i>Betty Avila</i>
----------------	--------------------

**CITY OF WEST LINN
NOTICE OF UPCOMING PLANNING MANAGER DECISION
FILE NO. VAR-21-05**

The West Linn Planning Manager is considering a request to allow for a reduction to the rear yard setback resulting in a 16 feet allowed by a Class I Variance (a 20% reduction of a 20' required setback is a 4' reduction) at 2760 York Street.

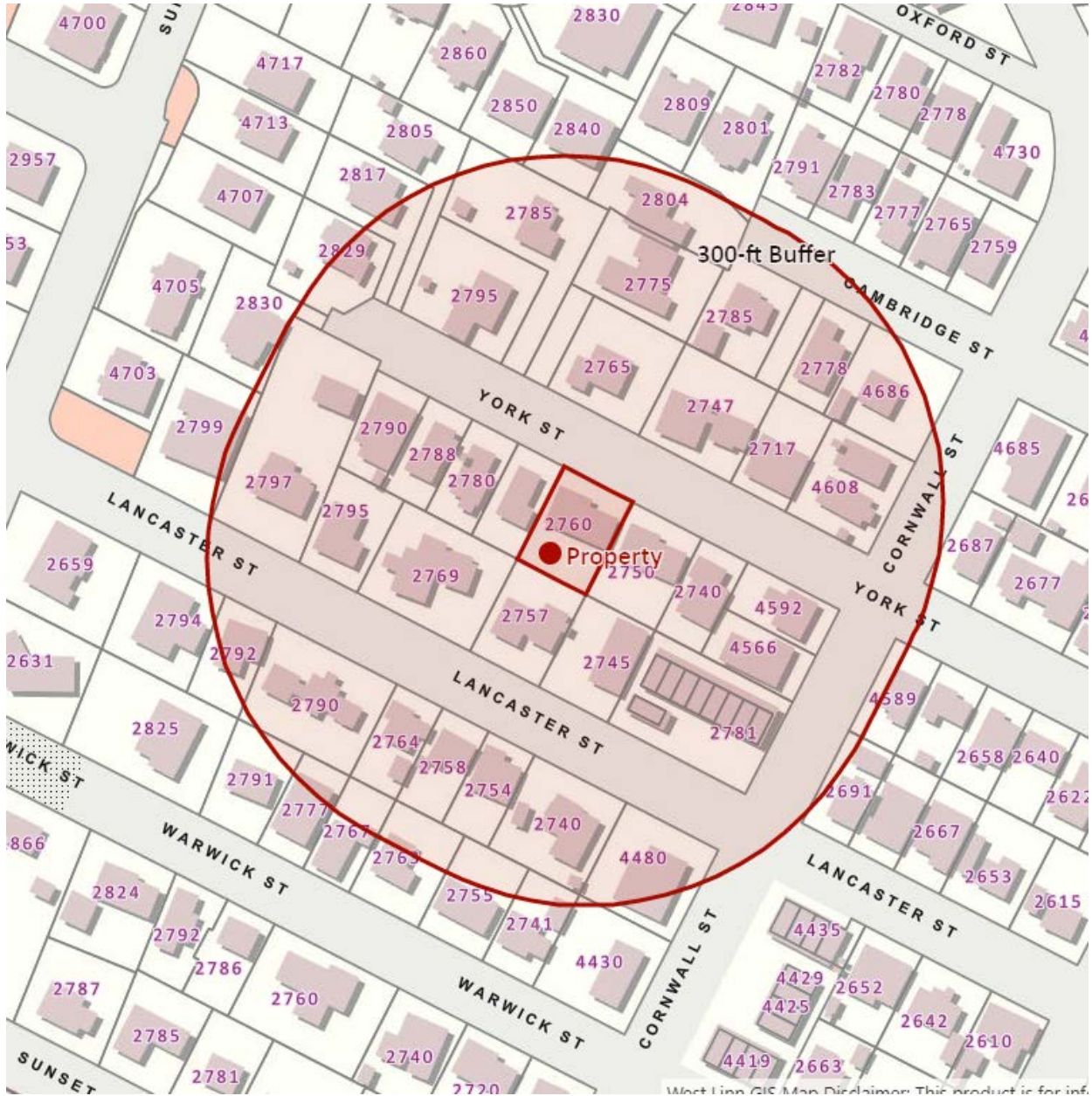
The decision will be based on the approval criteria in Chapters 13 and 75 of the Community Development Code (CDC). The approval criteria from the CDC are available for review on the City website <http://www.westlinnoregon.gov/cdc> or at City Hall and the City Library.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city website <https://westlinnoregon.gov/planning/2760-york-st-class-1-variance> or copies may be obtained for a minimal charge per page.

A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on May 20, 2021. Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline.** For further information, please contact Betty Avila, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503) 742-6057, bavila@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. **It is important to submit all testimony in response to this notice.** Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

Properties within 300 feet of 2760 York Street



Most Line GIS Map Disclaimer: This product is for inf

**WEST LINN PLANNING DIRECTOR
NOTICE OF FINAL DECISION
FILE NO. 21-06**

On May 28, 2021, the West Linn Planning Manager approved a request by Jon and Hilary Greene to approve a Class I Variance located at 2760 York Street to allow for the reduction of the rear yard setback from 20 feet to 16 feet 5 inches. A Class I variance allows for a maximum of 20 percent reduction in required setbacks. The decision was based on the facts, findings, and conclusion found in the record.

The Final Decision and Order and application are posted on the City's website, <https://westlinnoregon.gov/planning/2760-york-st-class-1-variance>. Alternatively, the Final Decision and Order, complete application, and all documents or evidence are available for inspection at City Hall at no cost. Copies may be obtained at reasonable cost.

This decision may be appealed. Parties with standing may appeal this decision to the West Linn City Council pursuant to the provisions of Chapter 99 of the Community Development Code and any other applicable rules and statutes. Appeals must be filed with the West Linn Community Development Department with the \$400 appeal fee by 5:00 pm within 14 days of the Final Decision Notice mailing date. An appeal must include:

- The \$400 appeal fee;
- A reference to the decision (project number) to be appealed;
- The name, address, and signature of the appellant; and
- A statement explaining how the petitioner qualifies as a party of standing, as provided by CDC 99.140.
- The appeal application may state the grounds for appeal.

Any questions should be directed to Betty Avila, Associate Planner at 503-742-6067 or bavila@westlinnoregon.gov.

Mailed this 28th day of May, 2021.

Therefore, this decision becomes effective at 5 p.m., June 11, 2021.