

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT Betty Avila	PROJECT NO(S): VAR-21-05	PRE-APPLICATION NO.
NON-REFUNDABLE FEE(S) \$825	REFUNDABLE DEPOSIT(S)	TOTAL \$825

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input checked="" type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 2760 York Street West Linn, OR 97068	Assessor's Map No.: 21E25CD
	Tax Lot(s): 21E25CD02600
	Total Land Area: 7500 SQ. FT.

Brief Description of Proposal: Our property is zoned R-5 with a substantial rear yard setback. We are seeking a Class I Variance to reduce the rear yard setback from 20 to 16 feet, which will accommodate our planned addition, as proposed.

Applicant Name: Hilary Greene <small>(please print)</small> Address: 2760 York Street City State Zip: West Linn, OR 97068	Phone: 360.737.4703 Email: uusitalo@hotmail.com
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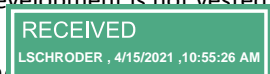
Owner Name (required): Jon & Hilary Greene <small>(please print)</small> Address: 2760 York Street City State Zip: West Linn, OR 97068	Phone: 360.737.4703 Email: uusitalo@hotmail.com
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Consultant Name: N/A <small>(please print)</small> Address: City State Zip:	Phone: Email:
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1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **One complete hard-copy set of application materials must be submitted with this application.**
One complete digital set of application materials must also be submitted electronically in PDF format.
If large sets of plans are required in application please submit one set.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Hilary Greene	4/13/2021	Hilary Green	4/13/2021
Applicant's signature	Date	Owner's signature (required)	Date



75.020 CLASSIFICATION OF VARIANCES

Response to CDC variance conditions related to Greene Addition – 2760 York Street

A. Class I Variance. Class I variances provide minor relief from certain code provisions where it can be demonstrated that the modification will not harm adjacent properties, and it conforms with any other code requirements. Class I variances are allowed for the following code provisions:

1. Required Yard and Minimum Lot Dimensional Requirements. Required yards may be modified up to 20 percent, lot dimensions by up to 10 percent and lot area by up to five percent if the decision-making authority finds that the resulting approval:

a. Provides for a more efficient use of the site;

Hilary Greene: Due to the modest square footage of the original home structure, the addition must be of sufficient size to add real useable space and address additional square footage needs. The addition will primarily be used to care for the homeowner's elderly parent. Approval of the variance from a twenty-foot rear-yard setback to a sixteen-foot setback will dramatically improve the layout and living space to allow for furniture and accessibility within the space.

b. Preserves and incorporates natural features into the overall design of the project;

Hilary Greene: Approval of the variance will have no impact on plants, trees, or landscape whatsoever. The area is currently unutilized and wood chipped. The homeowner plans to plant several trees, shrubs, and plants in new landscaping upon completion of construction, which will be a significant enhancement to the current space and outdoor environment.

c. Does not adversely affect adjoining properties in terms of light, air circulation, noise levels, privacy, and fire hazards; and

Hilary Greene: The proposed addition is a modest single-level and will blend seamlessly with the original structure by maintaining architectural consistency and aesthetic appeal. Both adjoining properties (to the West and South) are large, two-story homes built after this residence. As such, they are not impacted by our single-level proposed addition by way of light, air circulation, noise levels, privacy, or fire hazard. Further, the proposed addition retains over sixteen feet of rear-yard set-back, and there is excellent existing privacy by virtue of mature trees on the South adjoining lot, and fencing on all sides of the property.

d. Provides for safe vehicular and pedestrian access to the site and safe on-site vehicular and pedestrian circulation.

Hilary Greene: The proposed addition has no impact to safe vehicular or pedestrian access or circulation to the site. The addition is located completely in the rear yard of the existing home. Special architectural consideration has been made, and an additional entrance to the new addition has been added so that it may be easily accessed from the existing driveway area, should the homeowner's elderly parent require ADA accessibility in the future.

GENERAL NOTES

- 1. Insulation: Walls: R-21; Roof: R-49 @ flat ceilings R-30C @ vaults; Underfloor R-38
- 2. Ventilation: Attic Ventilation: R806
- 3. Windows: R308 & R310
- 5. Vapor Barrier: A ground cover of 6 mil (.006 ") polyethylene or equivalent lapped one foot at each joint is required at under slab.
- 6. Showers: Showers shall be either one-piece fiberglass stall units or ceramic tile wall to 6ft. above floor minimum and shall be provided with a water resistant backing.
- 7. When Gypsum wall board is used as a base for tile in tub and shower and water closet areas water-resistant Gypsum backboard complying with R702.4.2
- 8. All exit doors with a night latch, dead bolt or security chain shall be operable from the inside without the use of a key or tool and mounted at a height not exceeding 48" above the finish floor
- 9. Safety glass installed in all hazardous locations as per R308.1
- 10. The slope of the fill and cut surfaces should not be less than 2 to 1. All final slope faces should be densified and planted or seeded with appropriate vegetation in order to minimize the potential for erosion. No water should be allowed to flow freely over any slope faces
- 11. All structural fills should be compacted to 95% of their laboratory maximum dry density as determined by ATSM D-1557 (Modified Proctor).
- 14. Building shall be insulated per the prescriptive path for insulation.
- 15. A 36" minimum landing is required at all exterior doors. R311.3. The landing shall not be more than 8 1/4" below the top of the threshold.
- 16. Illuminate both interior and exterior stairways including landings and treads. R303.6 and R303.7
- 17. Provide stairways per R311.7 (applies to interior and exterior stairs) :
- 18. The grade around foundation walls shall fall a minimum of 6" in the first 10 feet.
- 19. Min. clearance of sill to finished grade : 6" R404.1.6.
- 20. Foundation bolts shall be not less than 1/2" diameter steel bolts embedded at least 7" into concrete, spaced 72" on center maximum, with at least two bolts per plate or sill and 1 bolt within 12" of ends and corners. R403.1.8. unless noted otherwise.
- 22. Columns and posts shall be adequately anchored to prevent lateral displacemnt. R407.3
- 24. All wood, including posts, within 6" of ground shall be pressure treated or foundation grade redwood.
- 25. A weather-resistant rigid baffle, extending above the insulation at eave or soffit vents is req.
- 26. In new construction smoke / CO detectors shall receive their primary power from the building wiring R314
- 27. A grounding electrode at electrical service is required, consisting of (or connected to) a minimum 20' length of 1/2" diameter steel reinforcement of footings. R403.1.8.
- 28. Provide recepticles as required by OESC OAR 918-305-0100
- 29. Provide GFCI protection per Electrical code
- 30. Provide at least two seperate 20 amp circuits to kitchen appliances, and at least one seperate 20 amp circuit to laundry appliances.
- 31. Light fixtures in tub or shower enclosures shall be labled " suitable for damp locations "
- 32. A non - removable backflow prevention device is required on all exterior hose bibbs. OPSC

ENERGY CODE NOTES

ENERGY CODE COMPLIANCE

ALL CONSTRUCTION SHALL CONFORM TO 2017 OREGON RESIDENTIAL ENERGY CODE PER TABLE N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENT ENERGY CODE PER TABLE N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENT FOR RESIDENTIAL BUILDINGS AS LISTED BELOW:

N1101.3.1 LARGE ADDITIONS.

ADDITIONS THAT ARE EQUAL TO OR MORE THAN 40 PERCENT OF THE EXISTING BUILDING HEATED FLOOR AREA OR 600 SQUARE FEET (55 M2) IN AREA, WHICHEVER IS LESS, SHALL BE REQUIRED TO COMPLY WITH TABLE N1101.1(2).

4. Additional Measure requirements from table N1101.1 (2):

Option D from Conservation Measure:

Natural gas/propane water heater with UEF 0.85 OR Electric heat pump water heater Tier 1 Northern Climate Specification Product

Option 2 from Envelope Enhancement Measures: Upgrade features:

- Exterior walls: U-0.057 / R-23 intermediate, and
- Framed floors: U-0.026 / R-38, and
- Windows: U-0.28 (average UA)

Infiltration: All factory-built windows and doors shall comply with the following criteria for maximum allowable air infiltration rates:

- Windows: U-.28
- Skylights: U-.50
- Exterior Doors: U- 0.20 typical. A maximum of 28 s.f. can have U-.54

These rates must be substantiated by testing to standard ASTM: E 283-73.

ABBREVIATIONS

- (E) = EXISTING
- (N) = NEW

ZONING LOT SIZE

R-5 7,500 SQ. FT.

DESIGNER

PAT SAUER THE DESIGN DEPARTMENT, INC PO BOX 69 LAKE OSWEGO, OREGON 97034

STRUCTURAL ENGINEER

NAVA CONTRACTING & ENGINEERING, INC. 4106 S.E. Oak St. Portland, Oregon 97214 (503) 238-0633

LOT COVERAGE

35% MAXIMUM = 2,635 SQ. FT. BUILDING FOOTPRINT HOUSE & COVERED FRONT PORCH (E) : 1,700 SQ. FT. BUILDING FOOTPRINT ADU (N) : 857 SQ. FT. TOTAL PROPOSED: 2,557 SQ.FT.

INDEX OF DRAWINGS

- 1 Site Plan & General Notes
- 2 Stormwater & Erosion Control Plan
- 3 Foundation Plan
- 4 Roof Framing Plan & Framing Details
- 5 Exterior Elevations
- 6 Framing Sections
- S1 - S4 Structural Plans



The Design Department
Creating Your Perfect Space

Pat Sauer Designer PO Box 69 Lake Oswego, Oregon 97034 503 332 3796

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene 2760 York St. West Linn, Oregon 97068

Site Plan

REVISIONS

DATE	DESCRIPTION
04.01.21	
04.12.21	

DATE 02.09.21 DATE LAST PRINTED

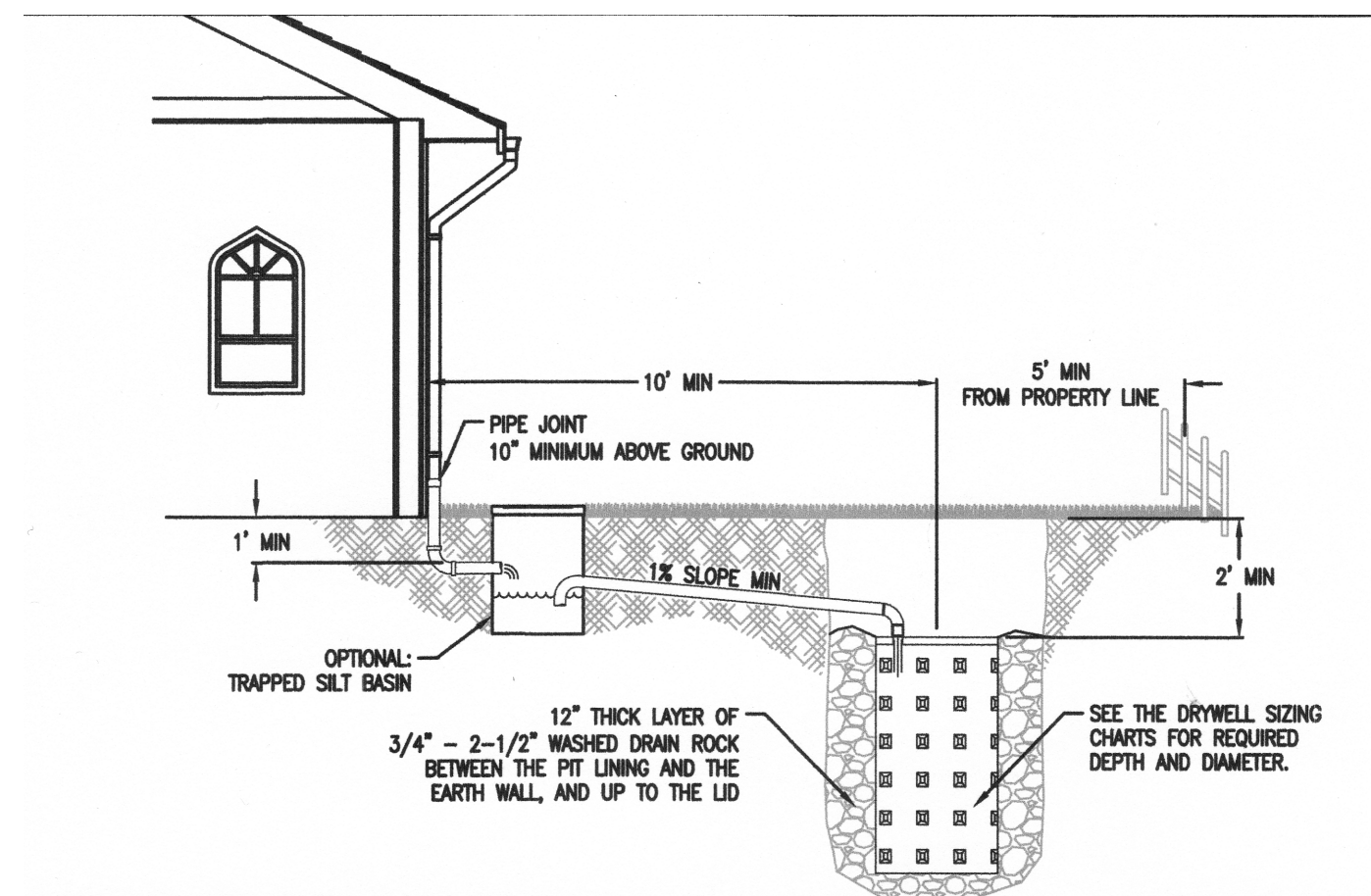
PROJECT NO: 0921

SHEET

1

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING
4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD FRENCH DRAIN
5. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.



1. Provide protection from all vehicle traffic, equipment staging, and foot traffic in proposed infiltration areas prior to, during and after construction.

2. Siting Criteria: Gravelly sand, gravelly loamy sand or other equally porous material must occur in a continuous 5' deep stratum within 12' of the ground surface. Drywell shall not be placed where base of facility has less than 5' of separation to water table.

3. Sizing: Exhibit 2-36 is used to size the drywell(s) based on impervious area.

4. Top of drywell must be below lowest finished floor.

5. Setbacks: Drywell must be 10' from foundations, 5' from property lines, and 20' from easements.

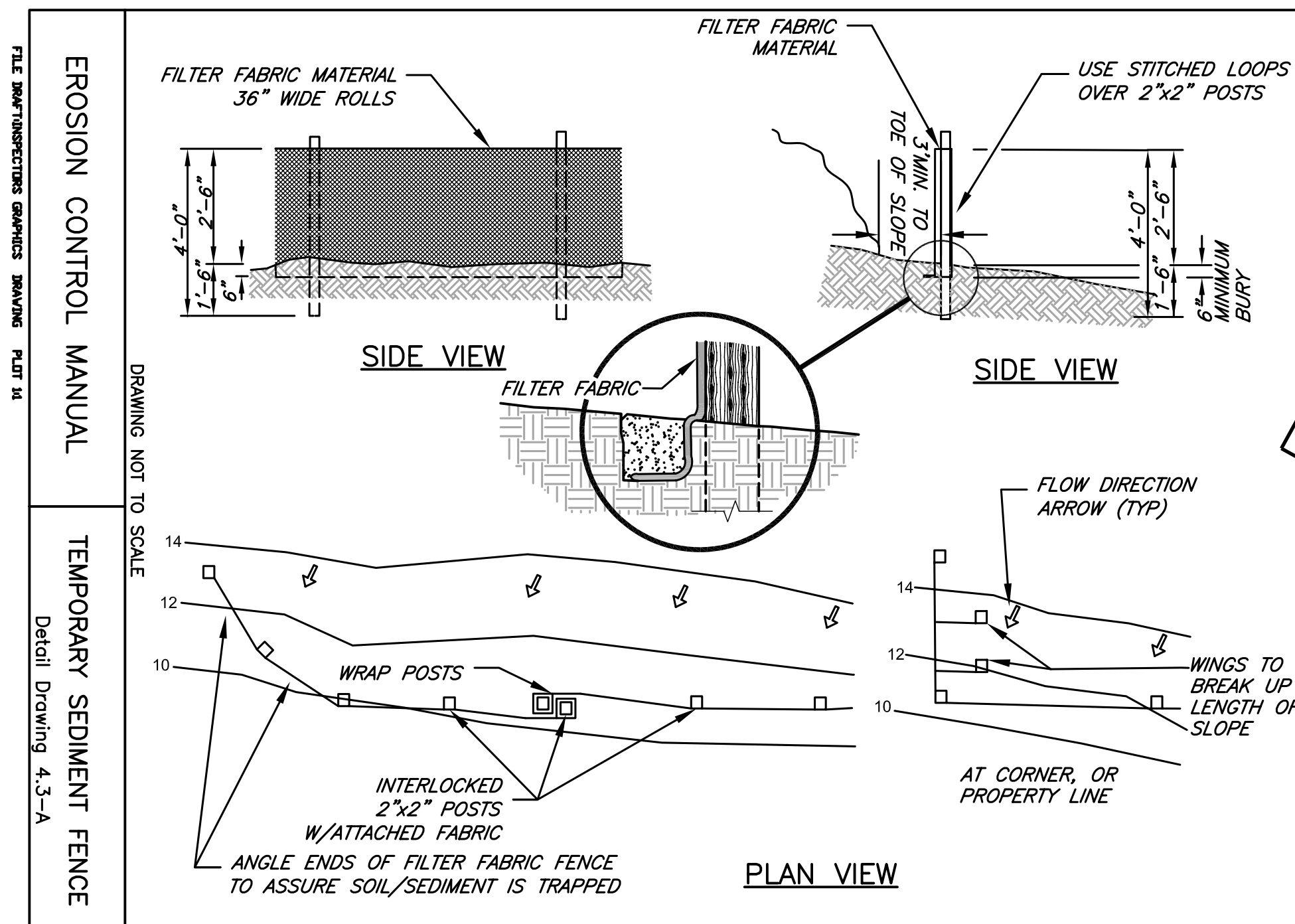
6. Piping must be cast iron, ABS or PVC. 3" pipe required for facilities draining up to 1500 sq ft, otherwise 4" minimum pipe. Uniform Plumbing Code also applies.

7. Trapped Silt Basin: Optional for roof runoff or pedestrian only paved areas.

IMPERVIOUS Area (sq-ft)	28" Diameter				48" Diameter			
	Drywell Depth				Drywell Depth			
	5'	10'	15'	20'	5'	10'	15'	20'
1000								
2000								
3000								
4000								
5000								
6000								
7000								
8000								
9000								
10000								

- DRAWING NOT TO SCALE -

3 DRYWELL



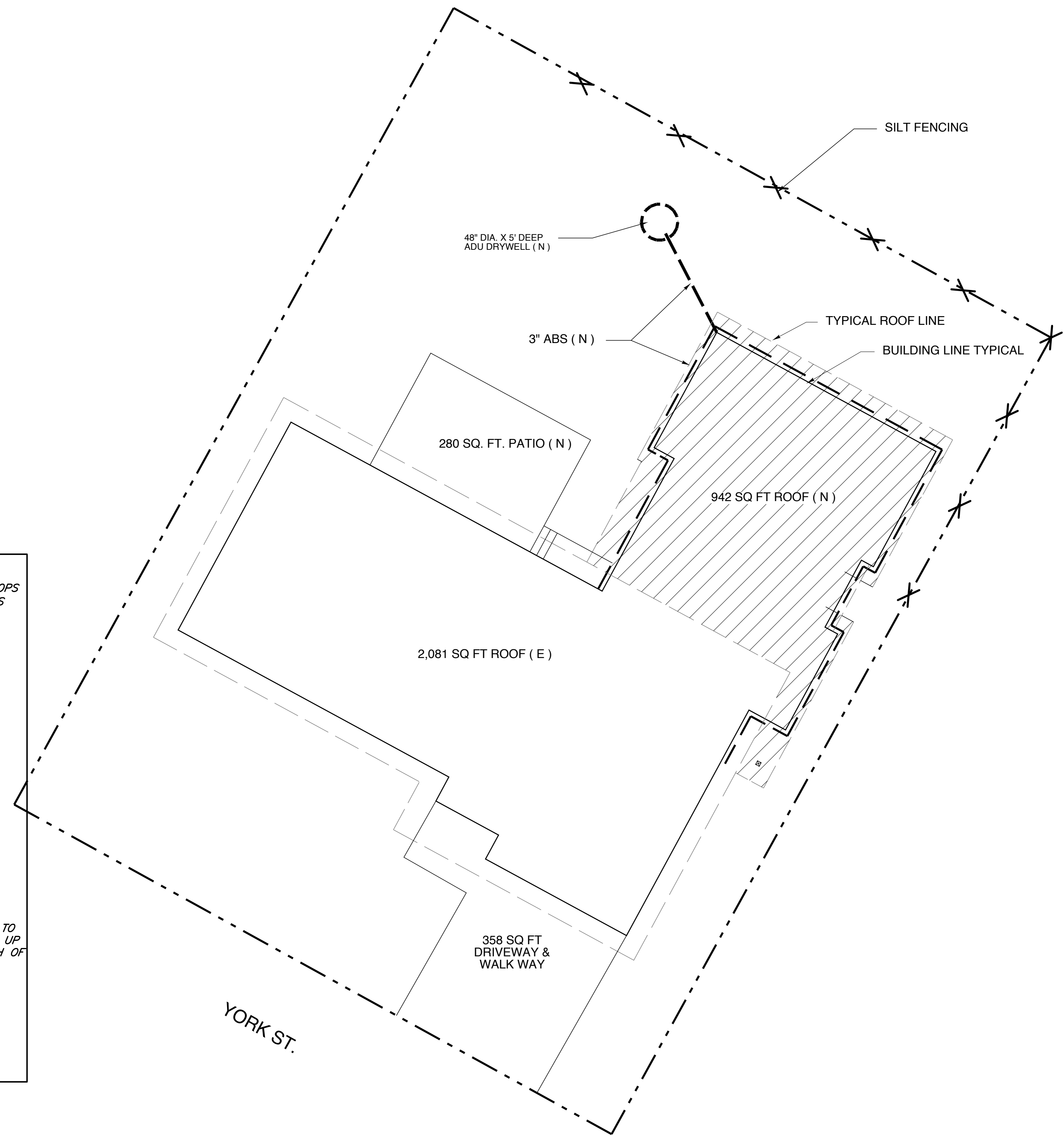
FILE NAME: INSPECTORS GRAPHICS DRAWING PLOT 11
EROSION CONTROL MANUAL
TEMPORARY SEDIMENT FENCE
Detail Drawing 4.3-A
DRAWING NOT TO SCALE

EROSION CONTROL NOTES:

1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
3. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURER'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
4. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND.
5. TEMPORARY EXCAVATIONS FOR FOUNDATION WILL BE COMPLETED WITHIN THE PROPERTY WITH NO SLOPES STEEPER THAN 1H:1V.
6. IF 1H:1V IS NOT MET, THEN OBTAIN SOILS REPORT FOR RECOMMENDATIONS FOR EXCAVATION AND/OR GET A TEMPORARY CONSTRUCTION EASEMENT GRANTED BY THE ADJOINING PROPERTY OWNER/S.

IMPERVIOUS AREA:

CONCRETE DRIVEWAY & WALKWAY (E) :	358 SQ. FT.
CONCRETE PATIO (N) :	280 SQ. FT.
ROOF AREA INCLUDING OVERHANGS HOUSE (E) :	2,081 SQ. FT.
ROOF AREA INCLUDING OVERHANGS ADDITION (N) :	960 SQ. FT.
TOTAL:	3,679 SQ. FT.



1 STORMWATER & EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"

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Pat Sauer Designer
PO Box 69
Lake Oswego, Oregon 97034
503 332 3796

REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Erosion Control Details
Storm Water Plan
Drywell Detail

REVISIONS

DATE	DESCRIPTION
04.01.21	
04.12.21	

DATE 03.01.21
DATE LAST PRINTED

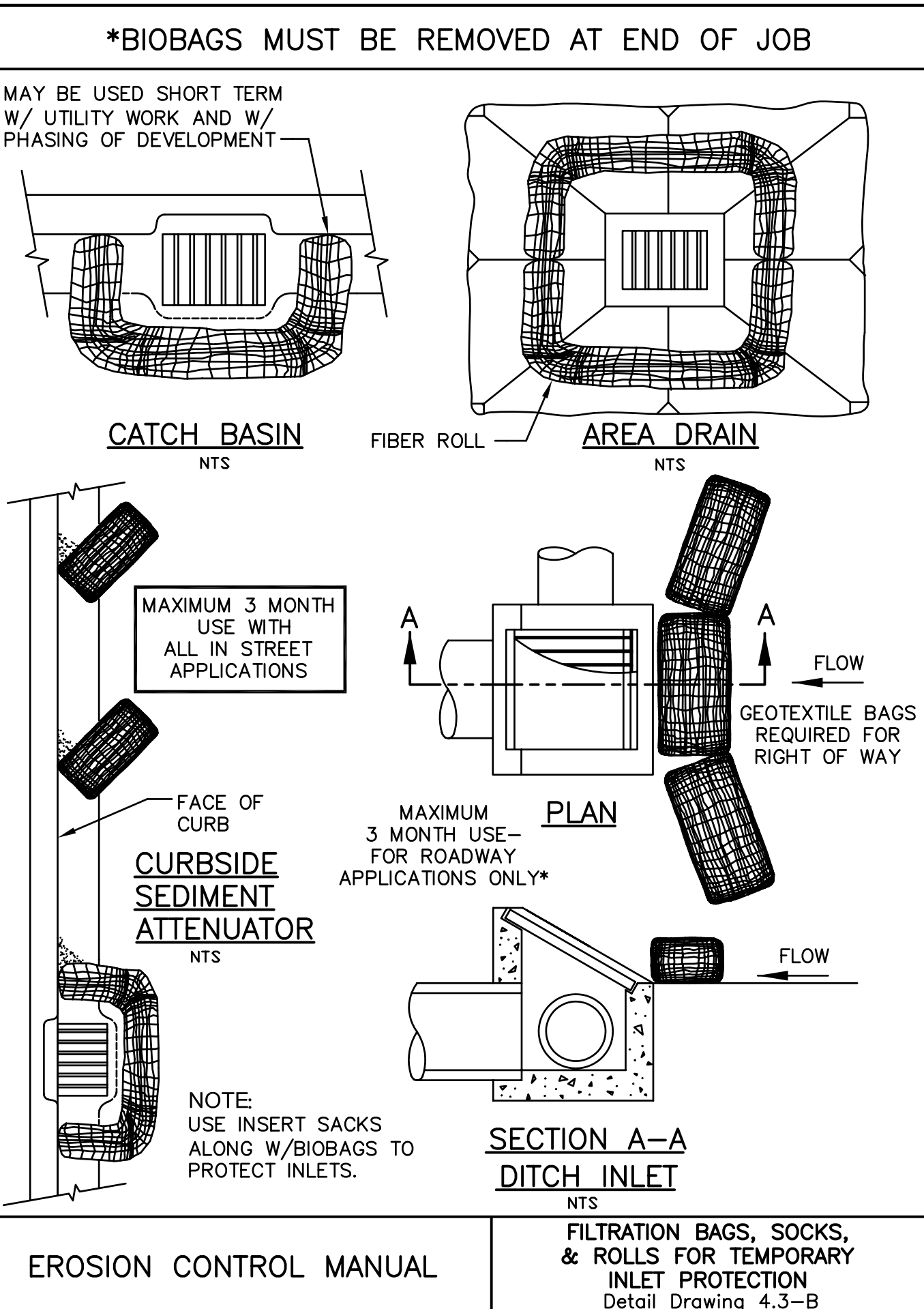
PROJECT NO: 0921

SHEET

2

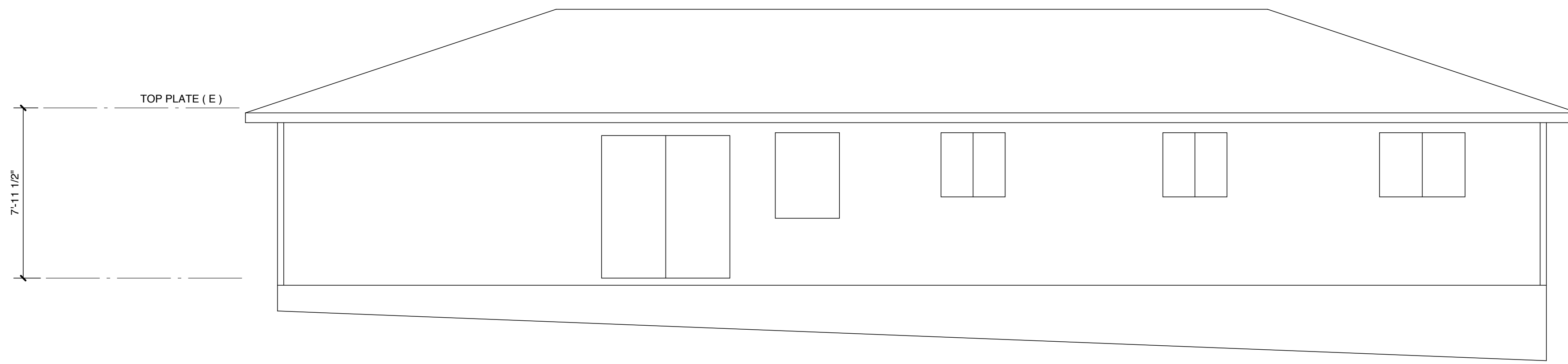
2 EROSION CONTROL DETAILS

2



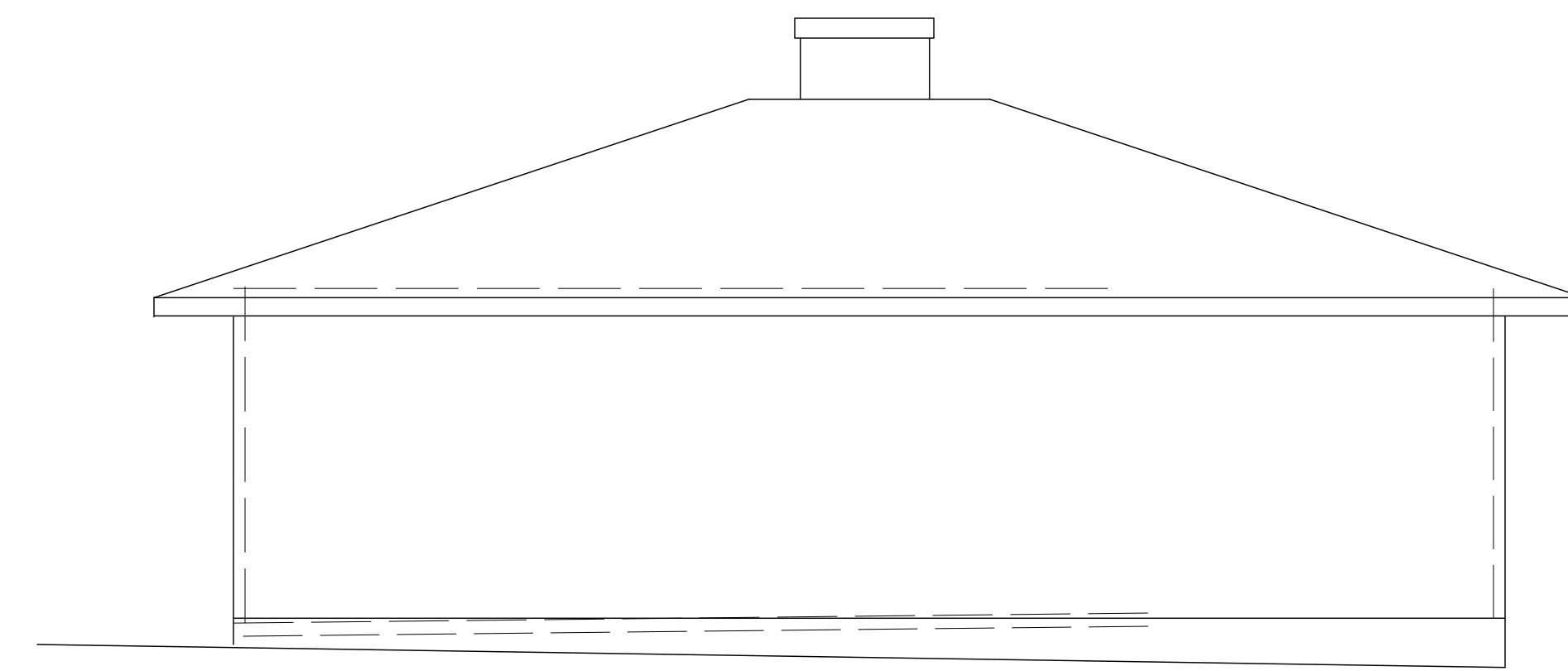
EROSION CONTROL MANUAL
FILTRATION BAGS, SOCKS, & ROLLS FOR TEMPORARY INLET PROTECTION
Detail Drawing 4.3-B
FILE DRAFT: INSPECTORS GRAPHICS DRAWING PLOT 1.1

2



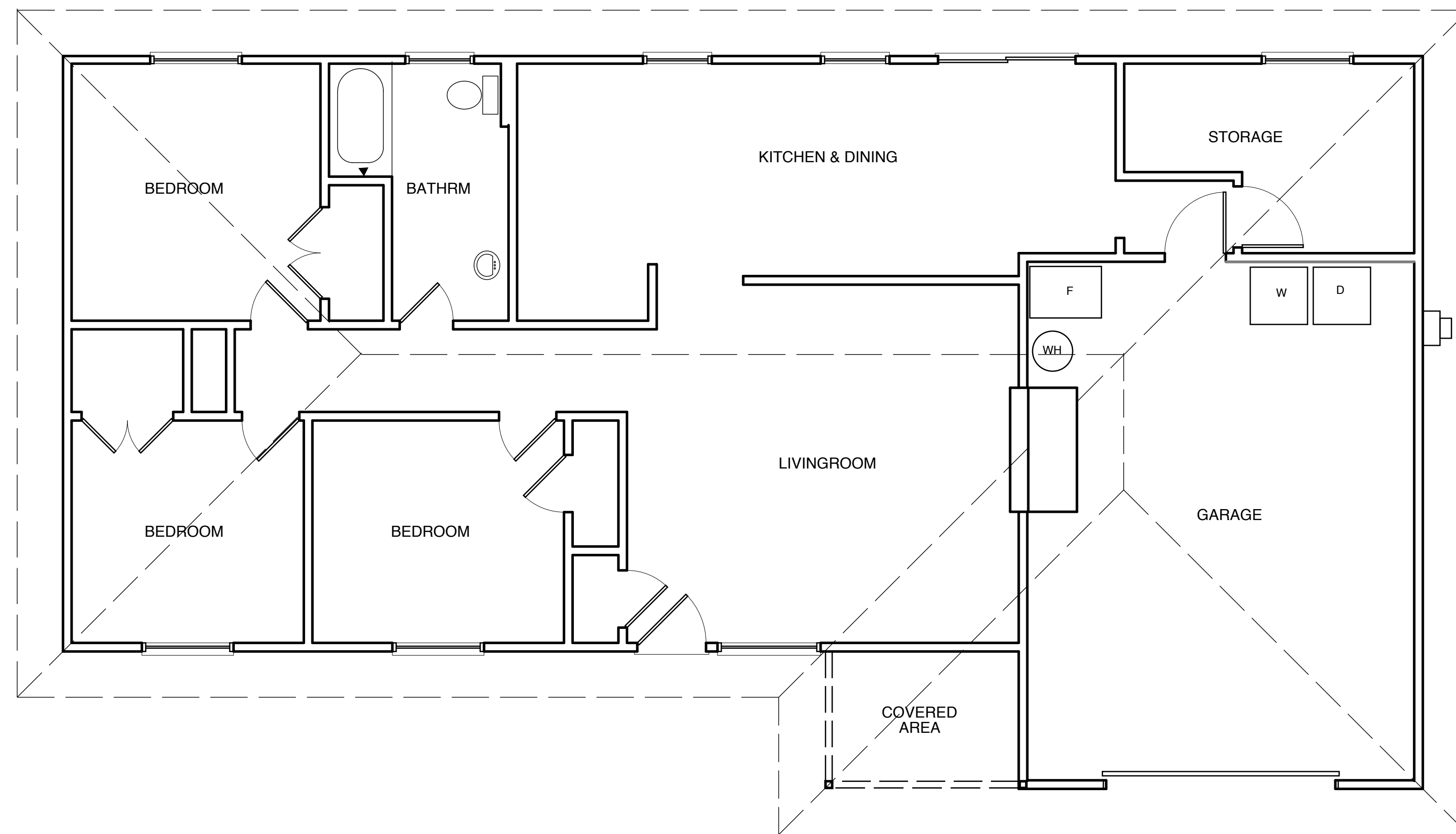
2 AS BUILT REAR ELEVATION

SCALE: 1/4" = 1'-0"



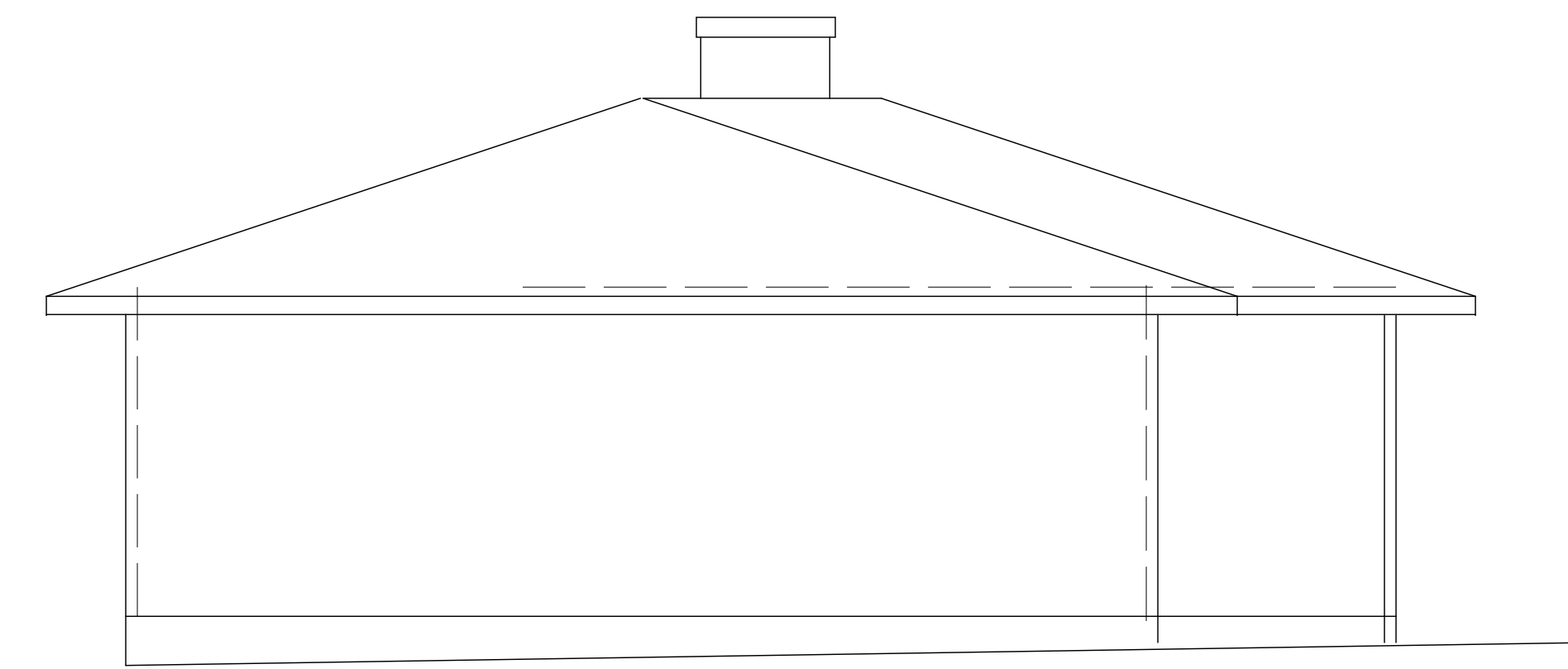
3 AS BUILT RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



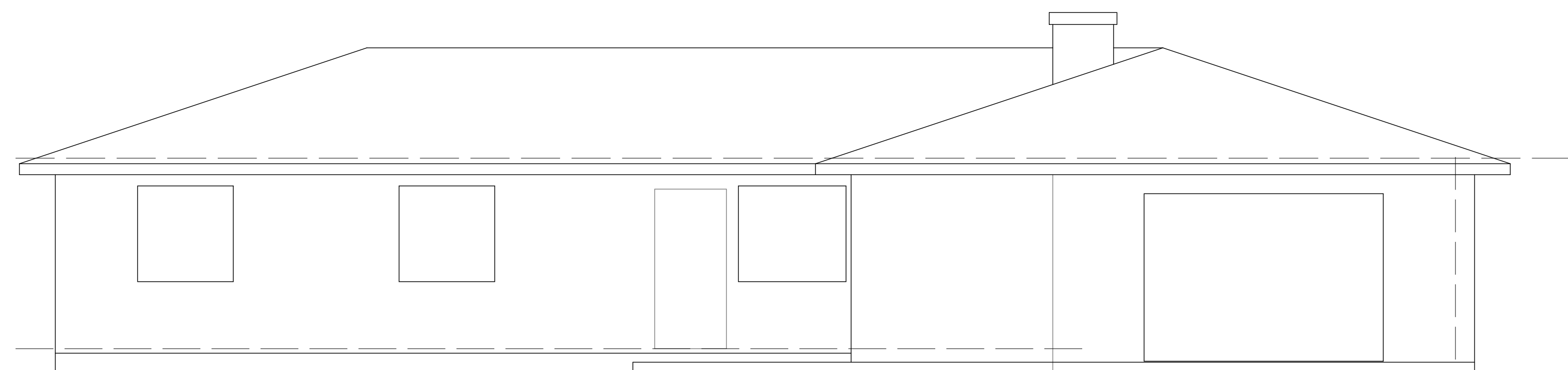
1 AS BUILT FLOOR PLAN W/ ROOF LINES

SCALE: 1/4" = 1'-0"



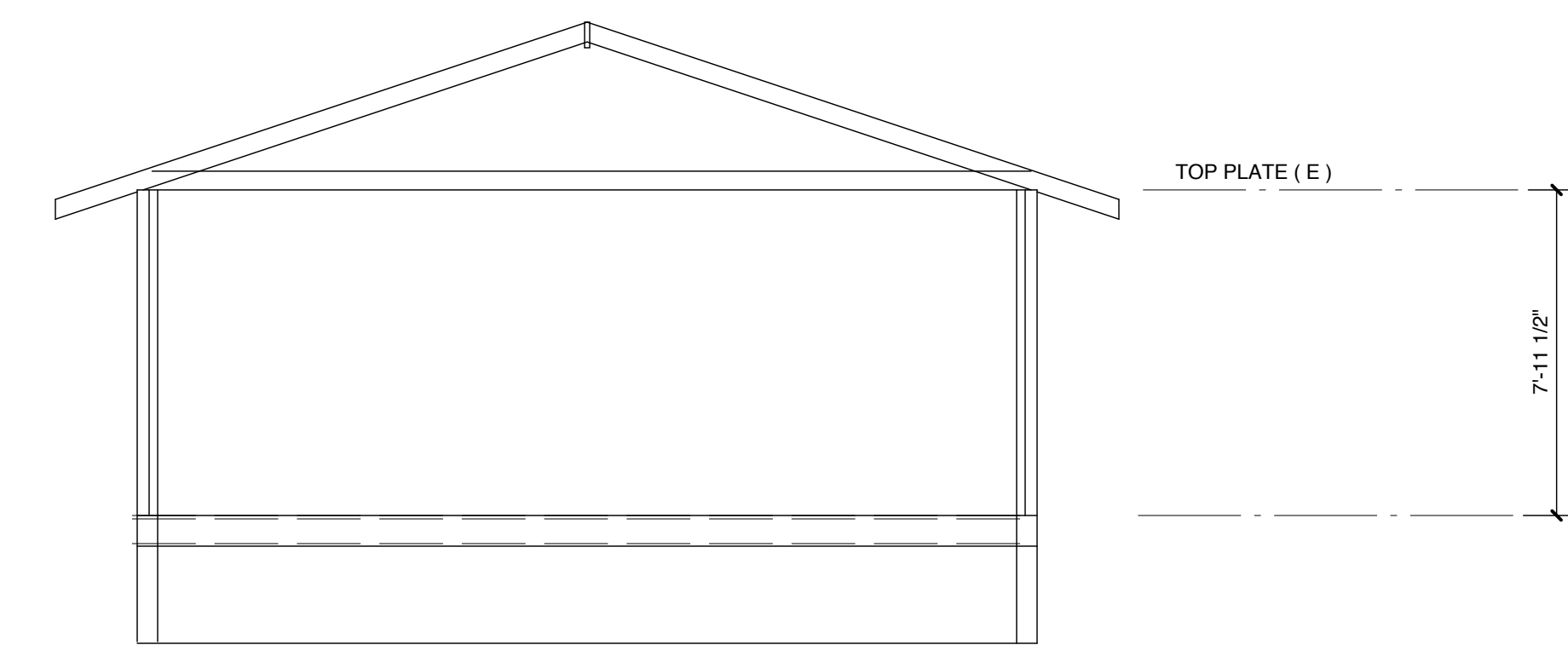
3 AS BUILT LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 AS BUILT FRONT ELEVATION

SCALE: 1/4" = 1'-0"



4 AS BUILT FRAMING SECTION

SCALE: 1/4" = 1'-0"

04.01.21	

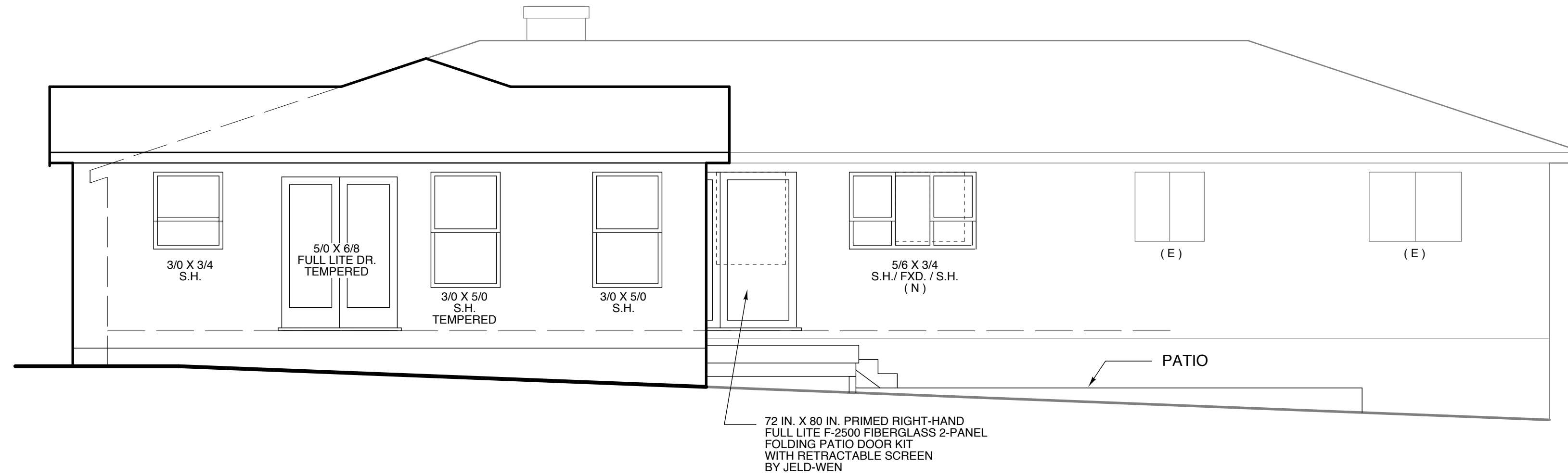
ATTENTION FRAMER!
CRITICAL!
SEE "S" SHEETS FOR
STRUCTURAL
INFORMATION

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SEE ELEVATIONS &
SECTIONS
FOR WINDOW HEAD
HEIGHTS

NOTE:
Written dimensions on this drawing shall take precedence over
scaled dimensions.
Contractor shall verify all dimensions, conditions, etc.
pertaining to the work before proceeding.
The Owner must be notified on any variations from the dimensions
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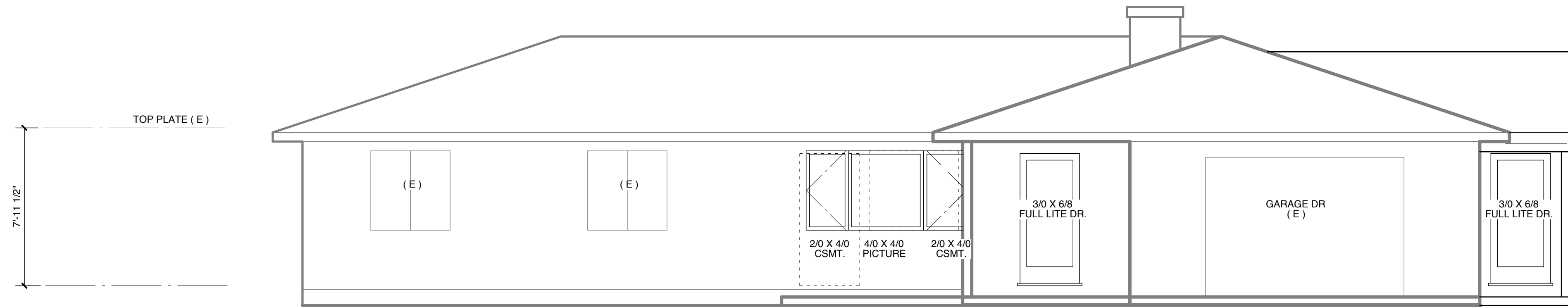
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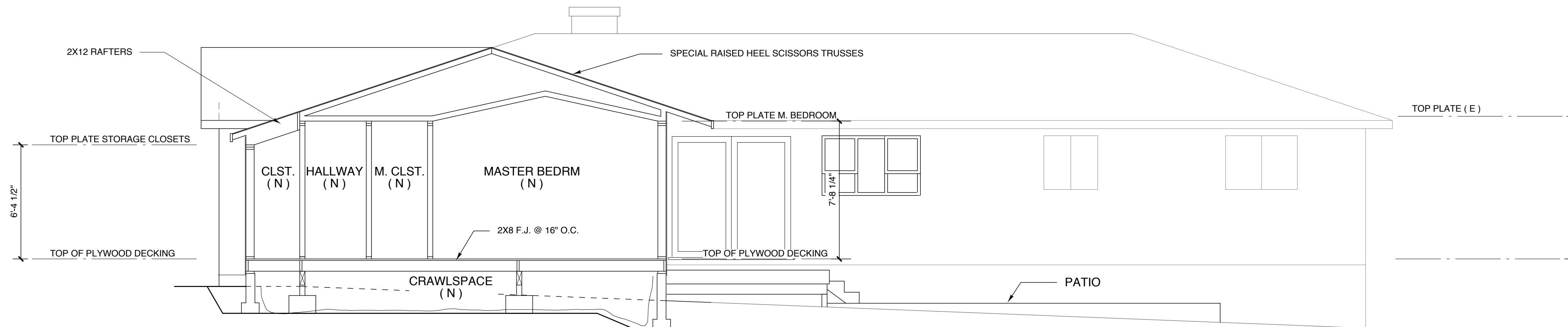
1 PROPOSED REAR ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



3 FRAMING SECTION @ HALL CLOSET, HALLWAY, MASTER CLOSET & MASTER BEDROOM

SCALE: 1/4" = 1'-0"

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503 332 3796

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Jon & Hilary Greene
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West Linn, Oregon 97068

Proposed Elevations

REVISIONS

04.01.21	

DATE

02.09.21

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PROJECT NO.:

0921

SHEET

4

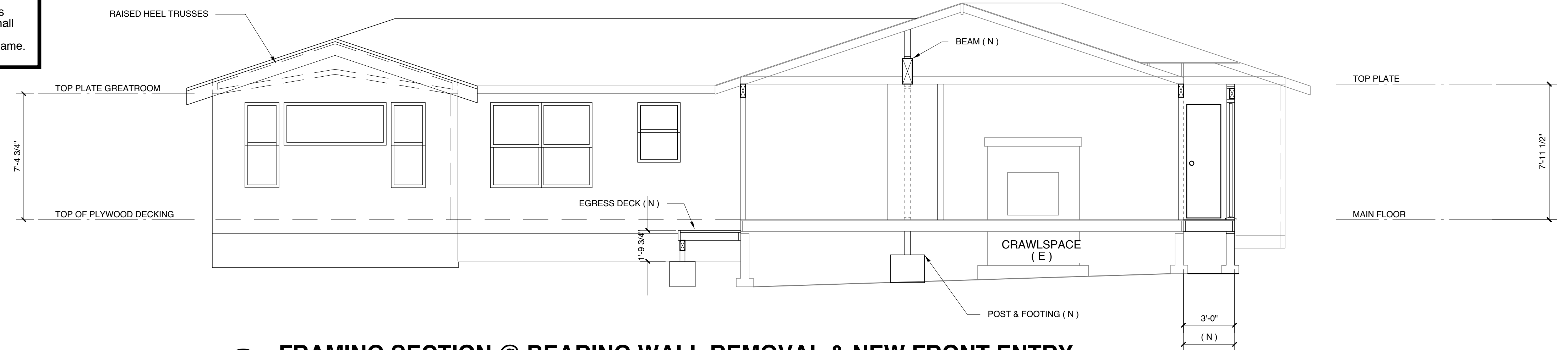
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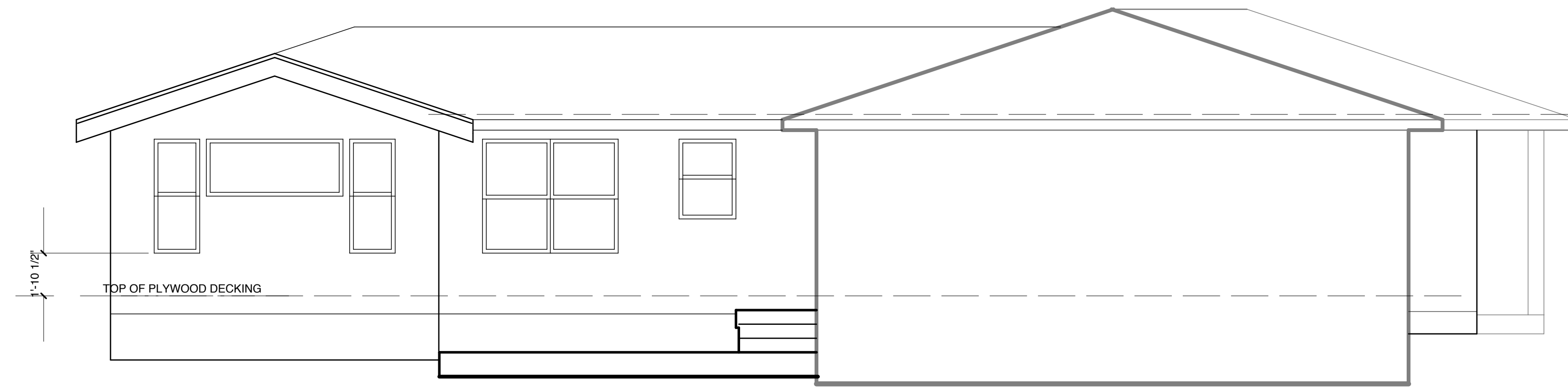
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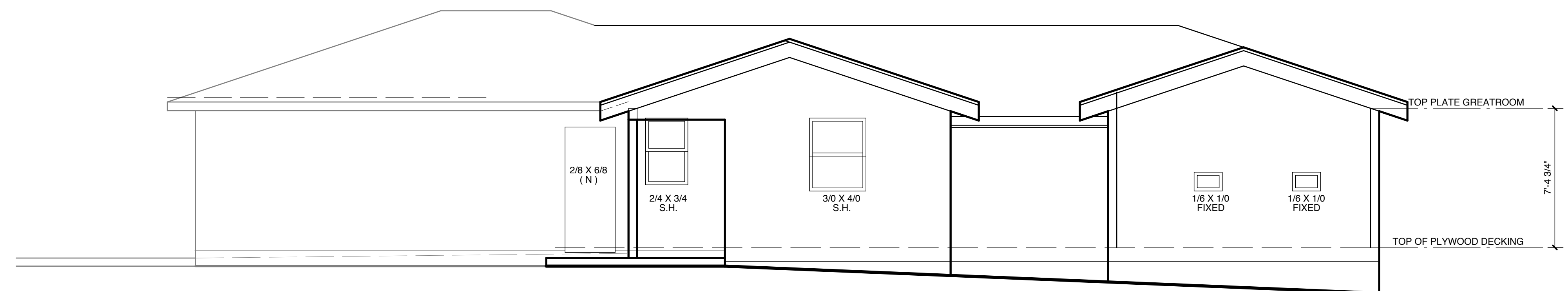
3 FRAMING SECTION @ BEARING WALL REMOVAL & NEW FRONT ENTRY

SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1 PROPOSED SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

Proposed Elevations

REVISIONS

DATE	DESCRIPTION
04.01.21	

DATE 02.09.21
DATE LAST PRINTED

PROJECT NO.: 0921

FOUNDATION & CRAWLSPACE NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQ. DEPTH BELOW THE FINAL GRADE.
- FOUNDATION
SEE STRUCTURAL DETAILS ON SHEET S1
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%
- 6 MIL VISQUEEN VAPOR BARRIER @ CRAWLSPACE LAP 12" @ SEAMS AND RETURN 12" UP FOUNDATION WALL. SLOPE CRAWLSPACE TO DRAIN & PROVIDE CRAWLSPACE DRAIN.
- PROVIDE SCREENED CLOSEABLE 16" X 8" FOUNDATION VENTS - SEE VENT CLACS. THIS SHEET
- PROVIDE R-38 UNDERFLOOR INSULATION
- THE GRADE AROUND FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" IN THE FIRST 10 FEET
- MIN. CLEARANCE OF SILL TO FINISHED GRADE : 6" R404.1.
- FOUNDATION BOLTS SHALL BE NOT LESS THAN 1/2" DIAMETER STEEL BOLTS EMBEDDED AT LEAST 7" INTO CONCRETE, SPACED 72" ON CENTER MAXIMUM, WITH AT LEAST TWO BOLTS PER PLATE OR SILL AND 1 BOLT WITHIN 12" OF ENDS AND CORNERS. R403.1.8. UNLESS NOTED OTHERWISE.
- COLUMNS AND POSTS SHALL BE ADEQUATELY ANCHORED TO PREVENT LATERAL DISPLACMNT. R407.3
- ALL WOOD, INCLUDING POSTS, WITHIN 6" OF GROUND SHALL BE PRESSURE TREATED OR FOUNDATION GRADE REDWOOD.
- THE SLOPE OF THE FILL AND CUT SURFACES SHOULD NOT BE LESS THAN 2 TO 1. ALL FINAL SLOPE FACES SHOULD BE DENSIFIED AND PLANTED OR SEEDED WITH APPROPRIATE VEGETATION IN ORDER TO MINIMIZE THE POTENTIAL FOR EROSION. NO WATER SHOULD BE ALLOWED TO FLOW FREELY OVER ANY SLOPE FACES

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CRAWLSPACE VENTILATION CALCULATION

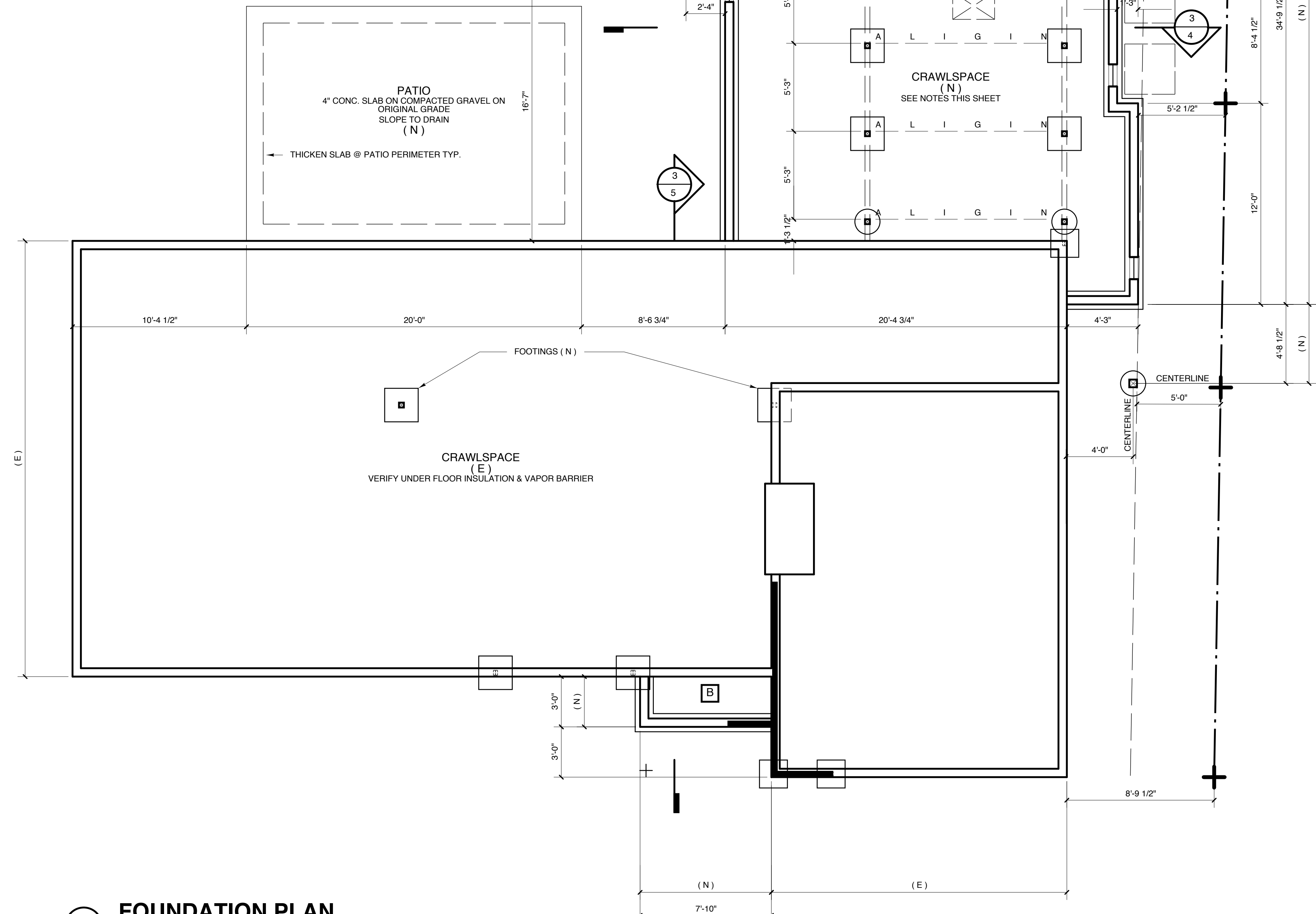
814 S.F. CRAWLSPACE
DIVIDED BY
150 S.F. = 5.42 X .88 = 4.77
USE (5) 16" X 8" CLOSEABLE SCREENED VENTS

FLOOR NOTES

- FLOOR FRAMING @ ADDITION: **A**
7/8" PLYWOOD T&G DECKING ON FLOOR JOISTS
SEE SHEET S2 FOR MATERIAL, SIZE & SPACING.
- FLOOR FRAMING @ EXPANDED ENTRY: **B**
1 1/8" PLYWOOD T&G DECKING ON SILL PLATES

WALL KEY

— = SHEARWALLS ABOVE (N) SEE SHEET S3



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SEE ELEVATIONS &
SECTIONS
FOR WINDOW HEAD
HEIGHTS**

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**The
Design
Department**
Creating Your
Perfect Space

**Pat Sauer
Designer**
PO Box 69
Lake Oswego, Oregon
97034
503 332 3796

ELECTRICAL NOTES

- A GROUNDING ELECTRODE AT ELECTRICAL SERVICE IS REQUIRED, CONSISTING OF (OR CONNECTED TO) A MINIMUM 20' LENGTH OF 1/2" DIAMETER STEEL REINFORCEMENT OF FOOTINGS. R403.1.8. ELECTRODE SHALL EXTEND 12" MINIMUM ABOVE THE PLATE LINE.
- PROVIDE RECEPTICLES AS REQUIRED BY QESC OAR 918-305-0100
 - OUTLETS ARE REQ. AT 12 FOOT O.C. MAX. SPACING.
 - OUTLETS ARE REQUIRED AT ANY WALL SPACE 2 OR MORE FEET WIDE.
 - OUTLETS ARE REQ. AT EACH COUNTER SPACE WIDER THAN 12", AT 4 FEET O.C.
 - HALLS OF 10 FEET OR MORE SHALL INCLUDE AN OUTLET.
 - PROVIDE AT LEAST ONE OUTLET IN THE GARAGE AND BASEMENT.
 - OUTLETS ARE REQ. AT 6' FOOT O.C. MAX. FROM ANY OPENING
- PROVIDE GFCI PROTECTION PER ELECTRICAL CODE
 - FOR OUTLETS IN BATHROOMS.
 - AT NON - DEDICATED OUTLETS ABOVE COUNTER TOP WITHIN 6 FEET OF KITCHEN SINK.
 - FOR ANY OUTLETS IN CRAWLSPACE OR UNFINISHED BASEMENT.
 - FOR OUTDOOR OUTLETS. (SPECIFY WATERPROOF OUTLETS)
 - FOR HYDROMASSAGE BATHTUBS AND THEIR ASSOCIATED ELECTRICAL COMPONENTS.
- PROVIDE AT LEAST TWO SEPERATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES, AND AT LEAST ONE SEPERATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.
- LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABLED "SUITABLE FOR DAMP LOCATIONS"
- ALL SWITCHES, OUTLETS AND ENVIROMENTAL CONTROLS SHALL BE MOUNTED NOT LESS THAN 15" NOR MORE THAN 48" ABOVE FINISHED FLOOR AND SHALL BE ALIGNED VERTICALLY.
- ALL EXHAUST DUCTS SHALL BE RIGID METAL, AND SHALL BE FITTED WITH A TIGHT FITTING BACKDRAFT DAMPER CAPABLE OF CLOSING WHEN THE FAN IS NOT IN USE.
- DUCTS IN UNHEATED SPACES INCLUDING ATTICS SHALL BE INSULATED TO A MINIMUM OF R-4.

ELECTRICAL KEY

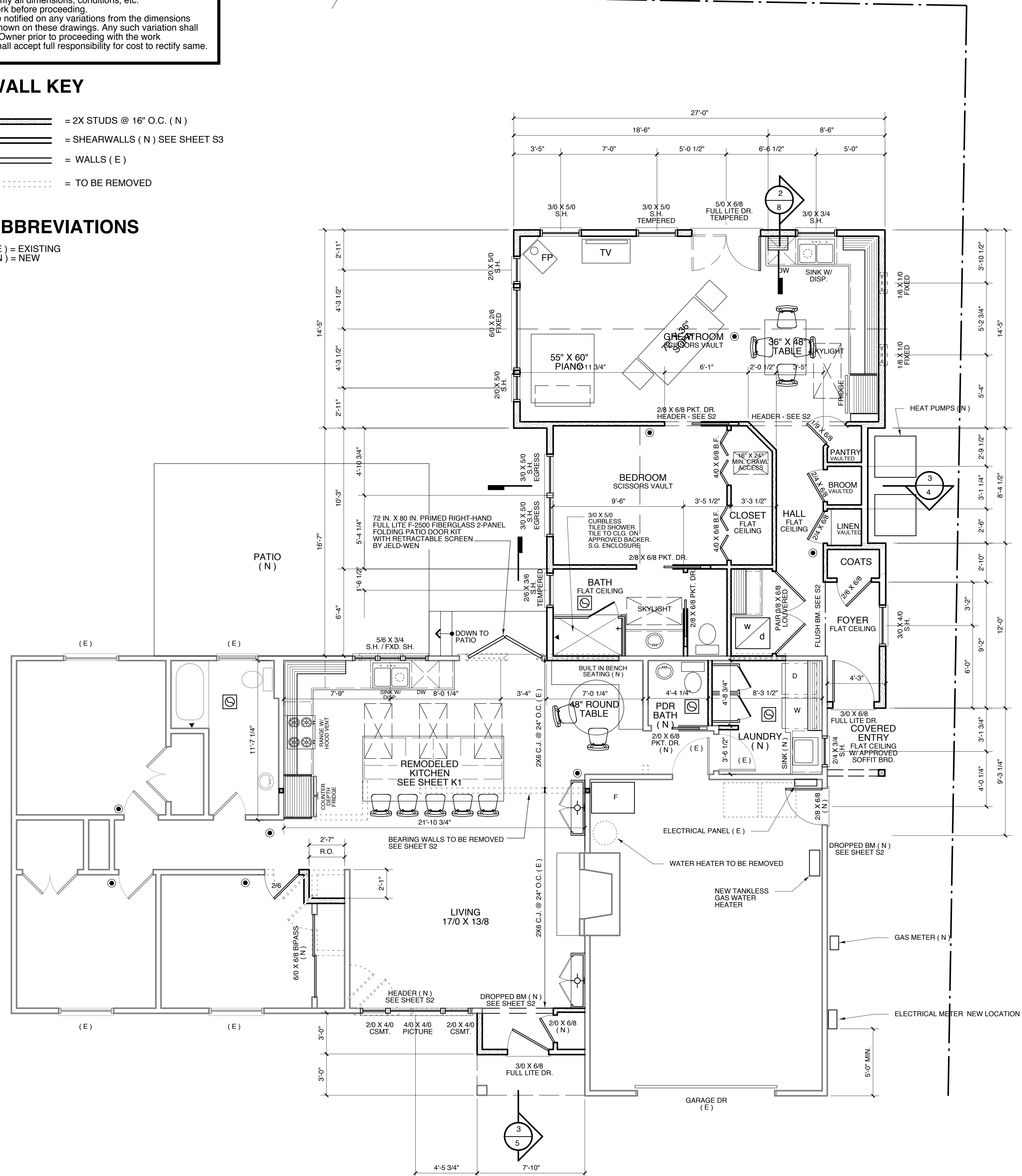
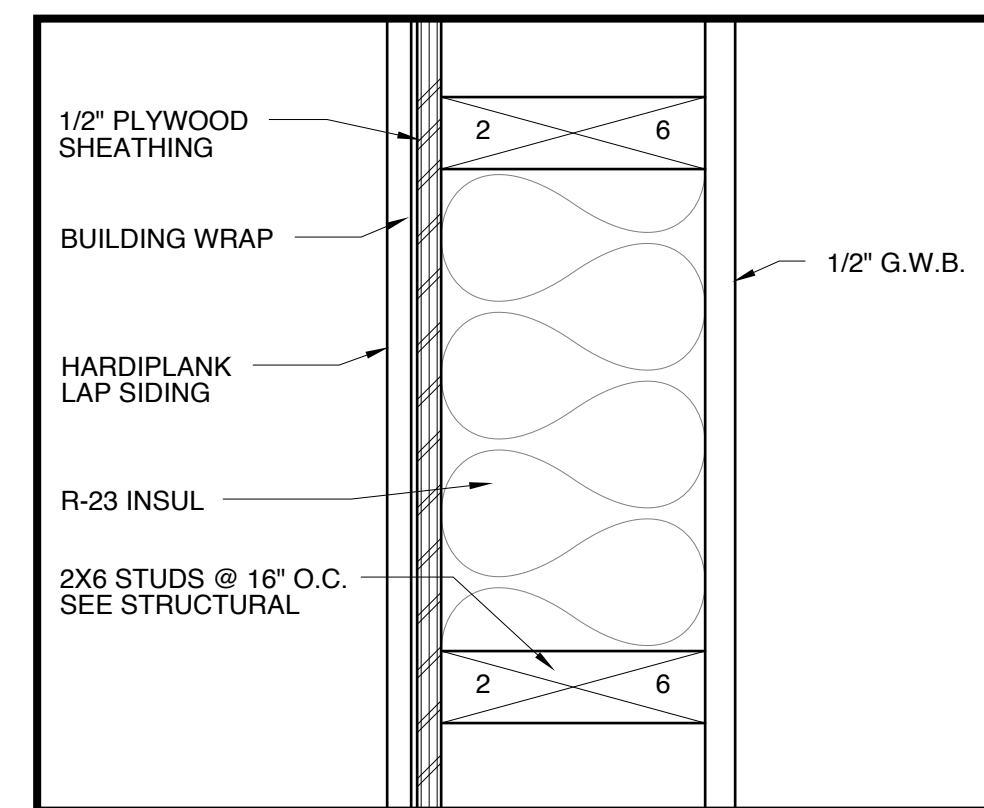
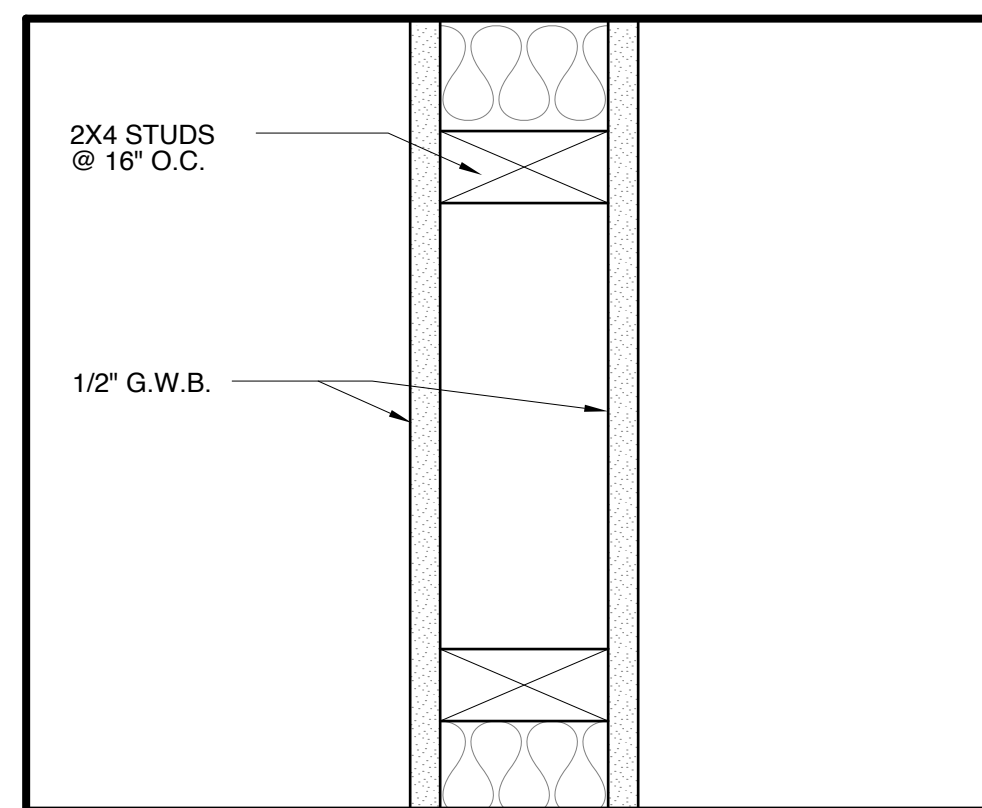
- = COMBO SMOKE DETECTOR / CO DETECTOR:
R314.2.2 ALTERATIONS, REPAIRS AND ADDITIONS, WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHERE ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.
SMOKE ALARMS ARE REQUIRED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY.
CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM OR WITHIN 15' OUTSIDE EACH SLEEPING DOOR. R314.5 COMBINATION ALARMS. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE DETECTORS
- = EXHAUST FAN:
ALL EXHAUST DUCTS SHALL BE RIGID METAL, AND SHALL BE FITTED WITH A TIGHT FITTING BACKDRAFT DAMPER CAPABLE OF CLOSING WHEN THE FAN IS NOT IN USE.
ROOMS WITH BATHING FACILITIES SHALL HAVE A MECHANICAL VENTILATION SYSTEM DESIGNED TO EXHAUST A MINIMUM OF 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS.
MECHANICAL VENTILATION CONTROL SYSTEMS SHALL BE CONNECTED TO A DEHUMIDISTAT, TIMER OR SIMILAR AUTOMATIC CONTROL.
- = WALL MOUNT LIGHT

WALL KEY

- = 2X STUDS @ 16" O.C. (N)
- = SHEARWALLS (N) SEE SHEET S3
- = WALLS (E)
- = TO BE REMOVED

ABBREVIATIONS

- (E) = EXISTING
- (N) = NEW



3 TYPICAL INTERIOR WALL

SCALE: 3" = 1'-0"

2 TYPICAL EXTERIOR WALL

SCALE: 3" = 1'-0"

1 REMODEL & ADDITION PLAN - 800 SQUARE FT ADDITION

SCALE: 1/4" = 1'-0"

REMODEL & MASTERSUITE ADDITION FOR:

Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Remodel & Addition
Floor Plans

REVISIONS

04.01.21	
04.12.21	

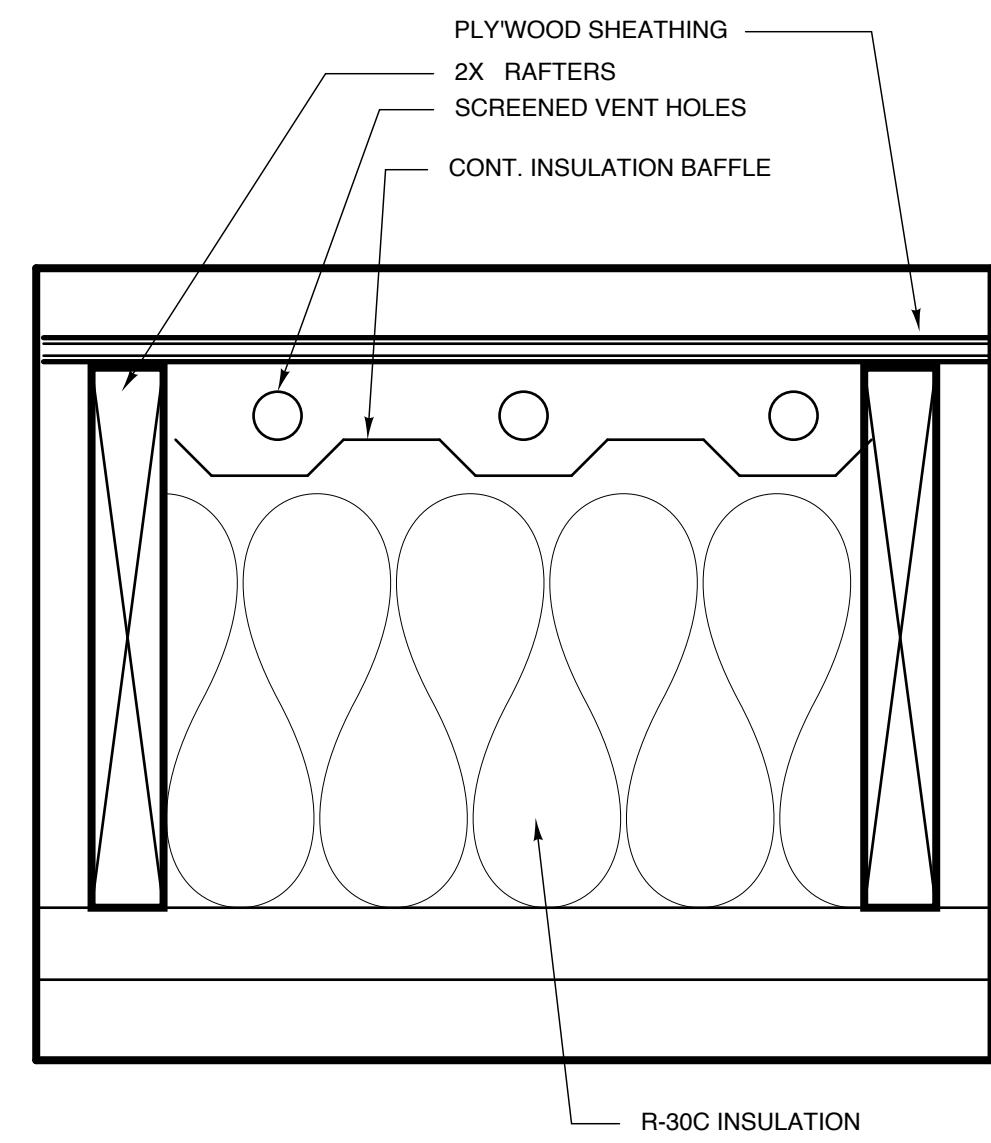
DATE
02.09.21

DATE LAST PRINTED

PROJECT NO:
0921

SHEET

7



2 TYPICAL VENT BLOCK
SCALE: 3" = 1'-0"

ROOF NOTES

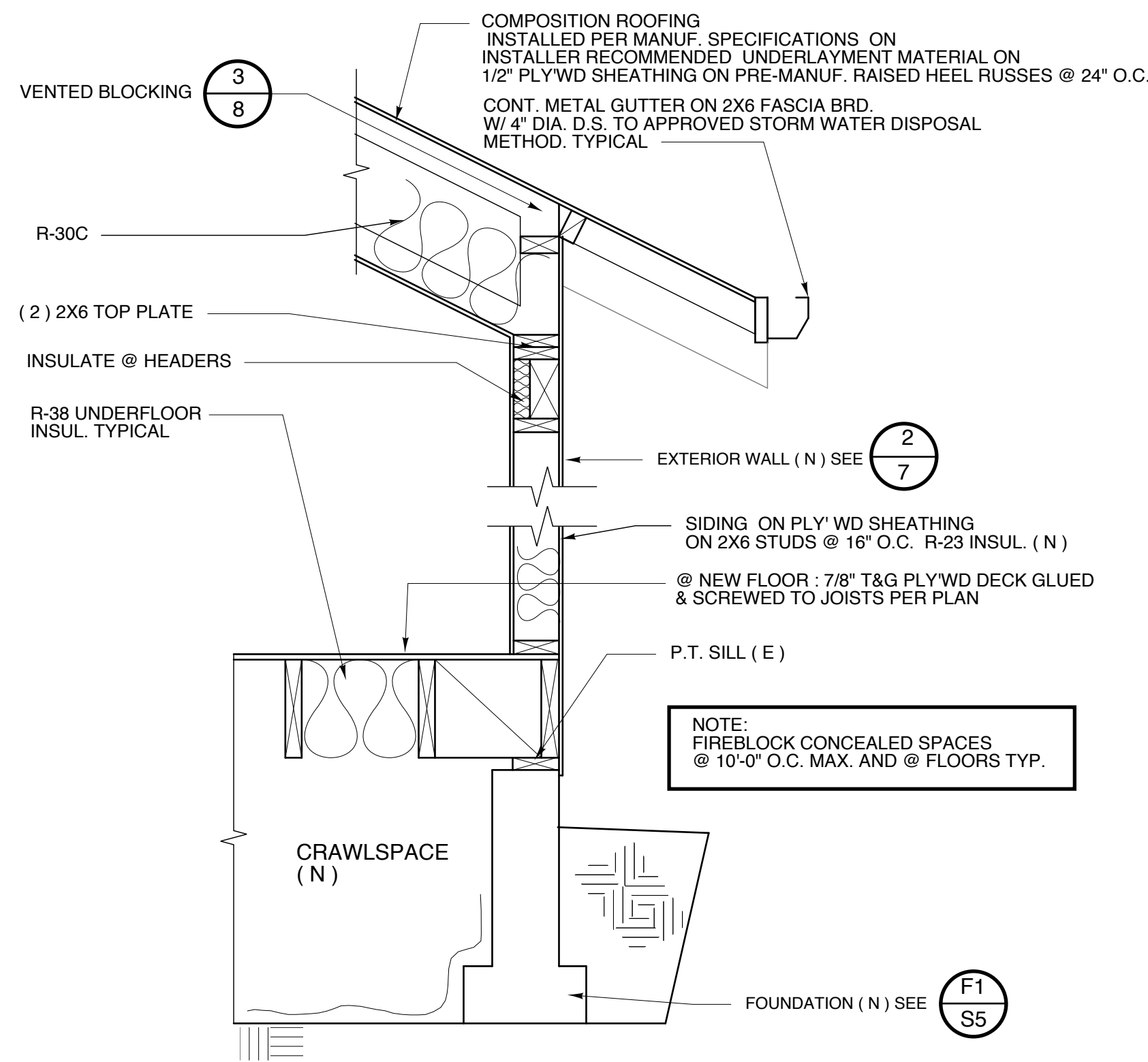
- STRUCTURE:
ARCHITECTURAL COMPOSITION ROOFING INSTALLED PER MANUF. SPECS ON APPROVED BARRIER MATERIAL ON 1/2" PLYWD SHEATHING ON FRAMING PER PLAN - SEE SHEET S
- PITCH:
4 : 12 TYPICAL
- ALL BEAMS AND HEADERS SHALL BE SUPPORTED ON DBL. STUDS UNLESS NOTED OTHERWISE. PROVIDE (3) BUNDLED STUDS UNDER BEAMS GREATER THAN 6" WIDE & (2) BUNDLED STUDS UNDER BEAMS LESS THAN 6" WIDE. FACE NAIL BUNDLED STUDS TOGETHER W/ (2) 16d @ 12" O.C. TYPICAL

ATTIC VENTILATION CALCULATION

ROOF AREA TO BE VENTED	1,015 S.F.
ALLOWABLE S.F. PER VENT	/ 300
	= 3.38
BIRD BLOCKING	/ 2.0
	= 1.69
7" DIA. VENT S.F.	/ .35
TOTAL # VENTS REQUIRED	= 4.8 - USE (5) 7" DIA VENTS OR PROVIDE CONTINUOUS VENTING

ABBREVIATIONS

(E) = EXISTING
(N) = NEW



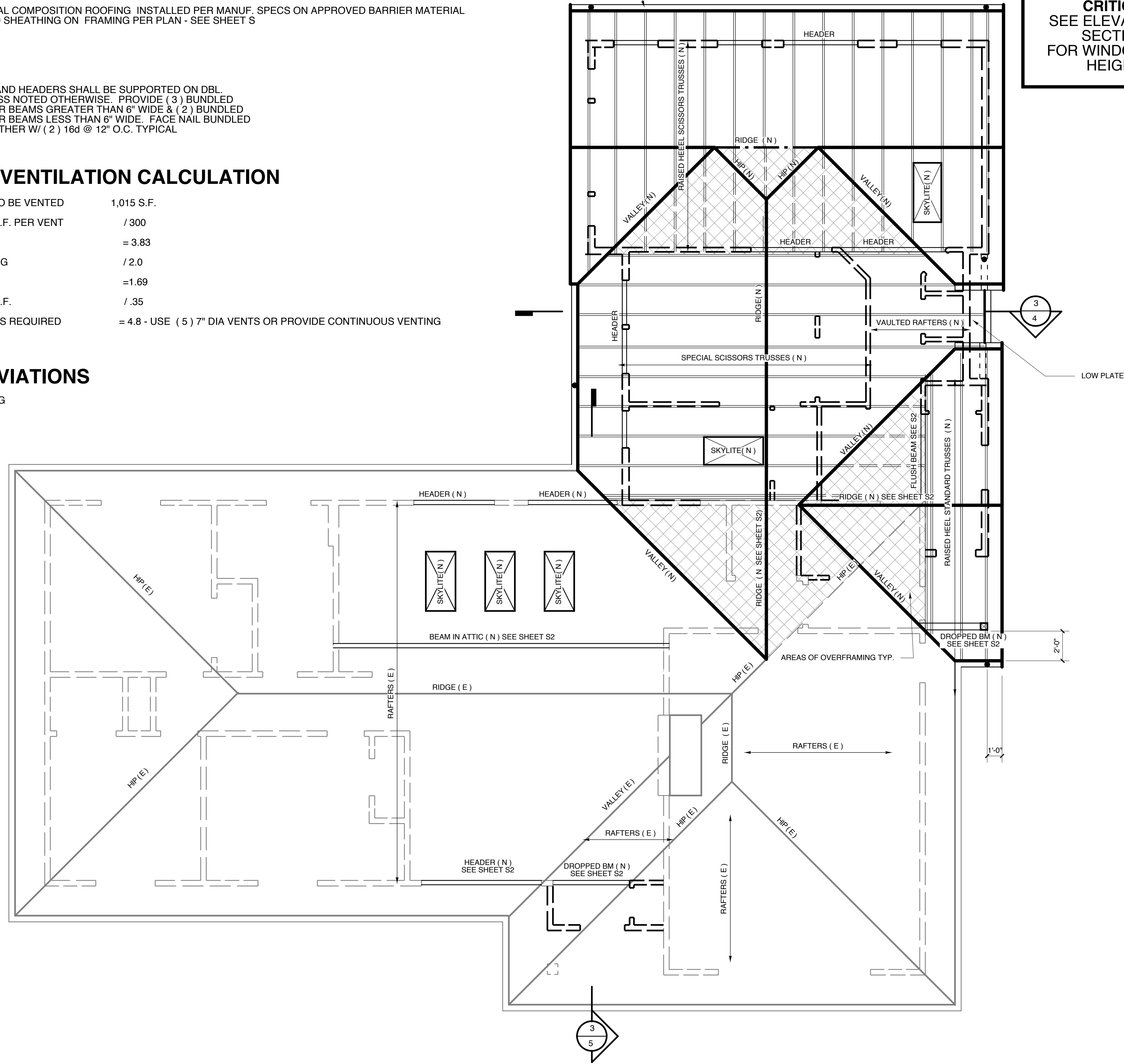
2 TYPICAL WALL SECTION
SEE 'S' SHEETS FOR STRUCTURAL INFORMATION
3/4" = 1'-0"

CONT. GUTTERS W/ 4" D.S. TO APPROVED ON SITE STORM WATER DISPOSAL SYSTEM

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**ATTENTION FRAMER!
CRITICAL!
SEE "S" SHEETS FOR
STRUCTURAL
INFORMATION**

**ATTENTION FRAMER!
CRITICAL!
SEE ELEVATIONS &
SECTIONS
FOR WINDOW HEAD
HEIGHTS**



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

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REMODEL & MASTERSUITE ADDITION FOR:
Jon & Hilary Greene
2760 York St.
West Linn, Oregon 97068

Roof Framing Plan
Trusses

REVISIONS

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04.12.21	

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0921

SHEET
8