

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT Myers	PROJECT No(s) MISC-21-01	PRE-APPLICATION No.
NON-REFUNDABLE FEE(S) \$280	REFUNDABLE DEPOSIT(S)	TOTAL \$280

Type of Review (Please check all that apply):

- | | | |
|----------------------------------------------------------------|---------------------------------------------------------------------------|--------------------------------------------------------------------------|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) | <input type="checkbox"/> Legislative Plan or Change | <input checked="" type="checkbox"/> Temporary Uses |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input checked="" type="checkbox"/> Time Extension |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 23190 BLAND CIRCLE WEST LINN OR 97067	Assessor's Map No.: 21E35AB
	Tax Lot(s): 21E35AB09100
	Total Land Area: 6.47

Brief Description of Proposal: TEMPORAY SALES OFFICE TO SELL NEW HOMES IN THE COMMUNITY
REQUESTING APPROVAL TO COMMENCE ON 4/23 WHEN OFFICE IS OPEN TO THE PUBLIC

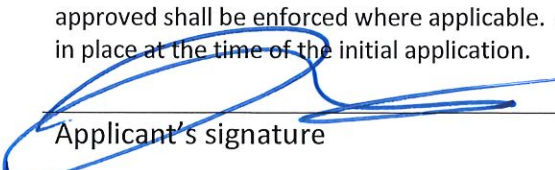
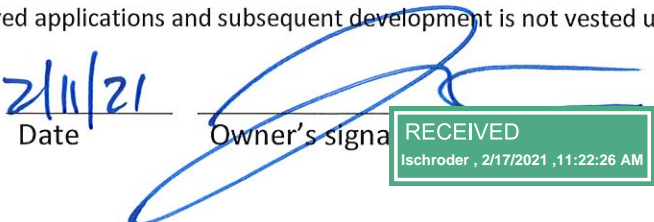
Applicant Name: TOLL BROTHERS- JJ PORTLOCK <small>(please print)</small>	Phone: 425-829-1566
Address: 4949 MEADOWS RD SUITE 420	Email: jportlock@tollbrothers.com
City State Zip: LAKE OSWEGO OR 97035	

Owner Name (required): TOLL WEST COAST LLC <small>(please print)</small>	Phone: 425-829-1566
Address: 4949 MEADOWS RD SUITE 20	Email:
City State Zip: LAKE OSWEGO OR 97035	jportlock@tollbrothers.com

Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **One complete hard-copy set of application materials must be submitted with this application.**
One complete digital set of application materials must also be submitted electronically in PDF format.
If large sets of plans are required in application please submit one set.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

 Applicant's signature	2/11/21 Date	 Owner's signature	2/11/21 Date	
-------------------------------------------------------------------------------------------------------------	-----------------	-----------------------------------------------------------------------------------------------------------	-----------------	--



Darren,

Toll Brothers is submitting a temporary use application to request approval for a temporary sales office for new home sales at our West Linn Meadows community. The sales office will be staffed with an on-site sales consultant 5-7 days a week from the hours of approximately 10:00 am – 6:00 pm. The sales office will be open to the public. The sales office itself is permitted through the state of Oregon and meets all compliance criteria as defined by them. There will be dedicated parking including a handicap stall off the public street as shown on the site plan.

We are requesting the approval of the extension at this time as well and would like the approval to commence on 4/23/21 when we open to the public. We have done this type of office in many other jurisdictions and have included pictures below.

JJ Portlock
Division President, Oregon Division

Toll Brothers
4949 Meadows Rd, Suite 420

Lake Oswego, OR 97035
Office: (971) 339-5176 | Cell: (425) 829-1566



Applicant's Response to Temporary Use Criteria - -CDC 35.030

A. Temporary uses shall be approved if they meet the following standards:

1. Sites accommodating a temporary use shall be appropriate for the proposed use, as determined by the approval authority with consideration of the following:

a. The proposed site shall have adequate parking and circulation space consistent with Chapter 46 CDC, Off-Street Parking, Loading and Reservoir Areas; safe ingress and egress consistent with Chapter 48 CDC, Access, Egress and Circulation; and adequate line of sight and vision clearance per Chapter 42 CDC, Clear Vision Areas.

Applicants Response: See attached site plan demonstrating dedicated off-street parking.

b. The proposed site shall have a paved or graveled surface sufficient to avoid dust generation and mud tracking from anticipated traffic or erosion control measures, consistent with Clackamas County Erosion Prevention and Sediment Control Planning and Design Manual, rev. 2008, and shall be used to keep any mud, sediment and dust on site.

Applicants Response: The parking surface will be paved.

c. The proposed use shall conform to all applicable requirements of Chapter 27 CDC, Flood Management Areas; Chapter 28 CDC, Willamette and Tualatin River Protection; Chapter 32 CDC, Water Resource Area Protection; and other City regulations.

Applicants Response: Not applicable

d. The proposed temporary use shall not be materially detrimental to the public welfare, or injurious to the property or improvements in the immediate vicinity.

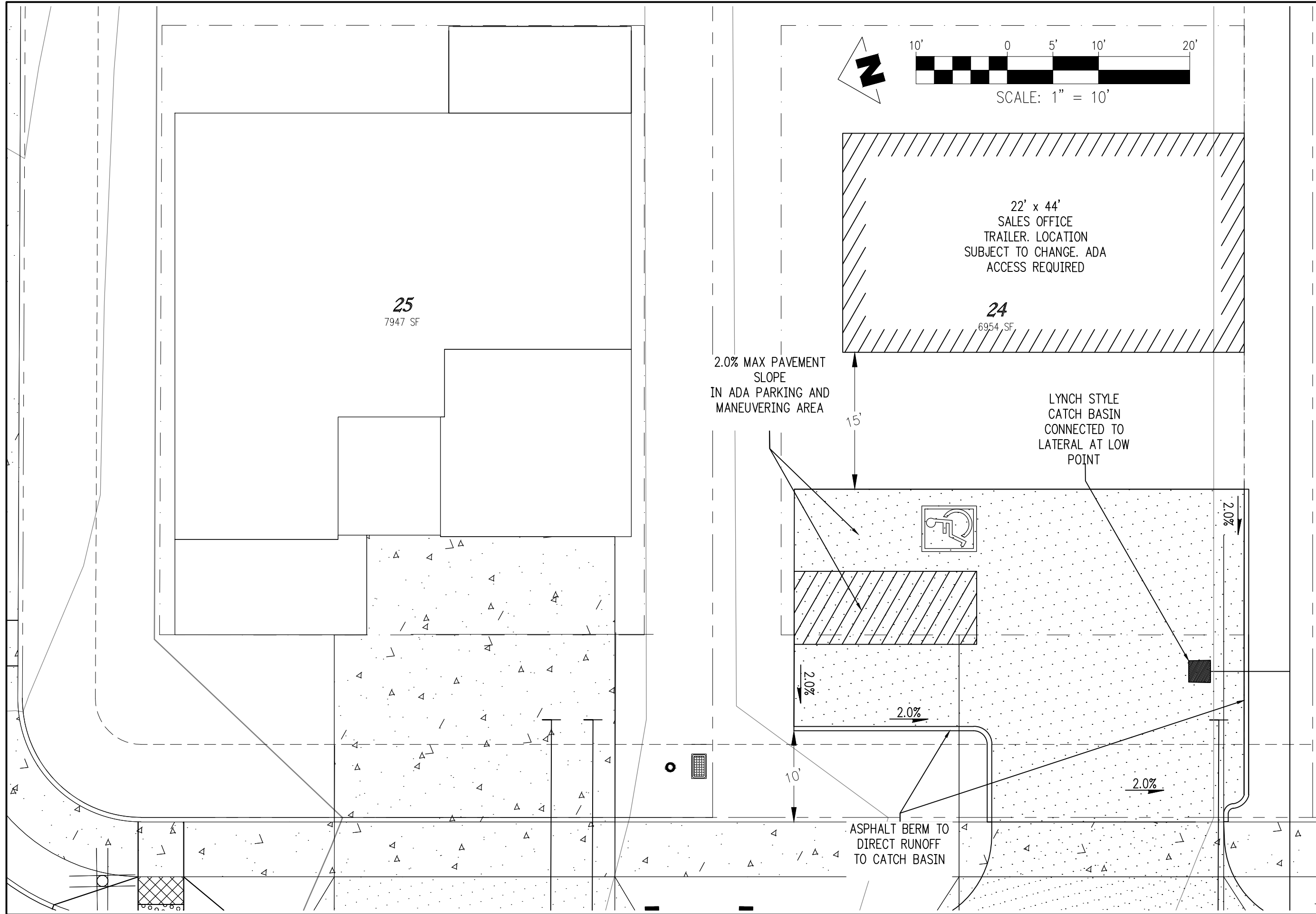
Applicants Response: This criteria is met

2. The approval authority may require that structures and trailers allowed as temporary uses for more than 60 days be screened from the view of occupants of any abutting residential and commercial structures, consistent with Chapter 44 CDC, unless the applicant demonstrates that such screening is not needed.

Applicants Response: The sales office will be fully landscaped and will be appealing to the public so screening should not be necessary

4. The property owner has authorized the proposed temporary use in writing.

Applicants Response: This has been met.



PROJECT NO. 0542-001

ORIG. DATE: 2/11/2021

DRAWN BY: LOR

SHEET No. 1 of 1

**BLAND CIRCLE SUBDIVISION
SALES OFFICE EXHIBIT**

SALES CENTER

(WEST LINN MEADOWS - WEST LINN, OR)

TOLLARCHITECTURE

PHILADELPHIA · ORLANDO
 DALLAS · LOS ANGELES · SEATTLE

250 Gibraltar Road, Horsham, PA 19044
 P 215-293-5300 | F 215-293-5314

A Toll Brothers Company

BUILDING CODES

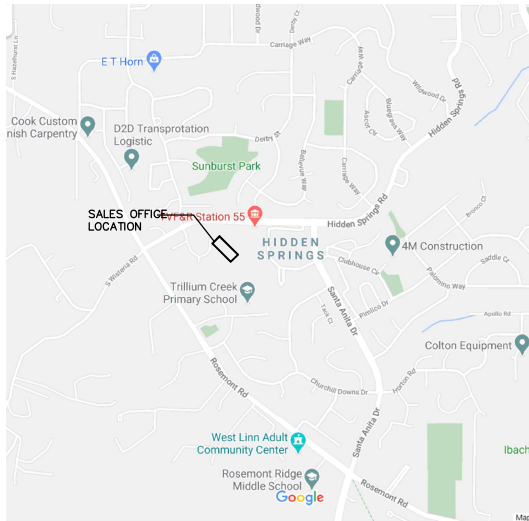
- 2019 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 INTERNATIONAL CONSTRUCTION CODE (IBC)
- 2019 OREGON ENERGY EFFICIENCY SPECIALTY CODE BASE ON 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2016 ASHRAE 90.1
- 2019 OREGON MECHANICAL SPECIALTY CODE BASED ON 2018 INTERNATIONAL MECHANICAL CODE (IMC) & INTERNATIONAL FUEL GAS CODE (IFGC)
- 2017 OREGON ELECTRICAL SPECIALTY CODE BASED ON 2017 NFPA NATIONAL ELECTRICAL CODE (NEC)
- 2017 OREGON PLUMBING SPECIALTY CODE BASED ON 2015 UNIFORM PLUMBING CODE (UPC)
- 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES STANDARDS

USE GROUP : M
 CONSTRUCTION: TYPE V-B

CITY USE

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 A Division of Toll Brothers

LOCATION MAP



DRAWING LIST

- C1** **COVERSHEET - LIST OF DRAWINGS, GENERAL NOTES**
- SO-1 **FLOOR PLAN, LIFE SAFETY PLAN, NOTES & DETAILS**
 - SO-1.1 **LIFE SAFETY PLAN**
 - SO-1A **FRAMING DETAILS**
 - SO-1B **NOT IN SET**
 - SO-1C **FRAMING DETAILS**
 - SO-1D **FRAMING DETAILS**
 - SO-2 **ELECTRICAL LAYOUT, LIGHTING PLAN, LOW VOLTAGE PLAN, LIGHTING SCHEDULE AND NOTES**
 - SO-2A **ELECTRICAL LAYOUT**
 - SO-3 **DISPLAY / FURNITURE / EQUIPMENT LAYOUT AND SCHEDULES**
 - SO-3.1 **RESTROOM LAYOUT AND SCHEDULE**
 - SO-4 **FINISH PLAN, MILLWORK PLAN, NOTES AND SCHEDULE**
 - SO-5 **NOT IN SET**
 - SO-6 **INTERIOR ELEVATIONS AND DETAILS**

ABBREVIATIONS

#	NUMBER	INSUL	INSULATION
&	AND	INT.	INTERIOR
AT	AT	INT. E.L.O.	INTERIOR ELEVATION
AT	CENTERLINE	IR	IR LIES UP
A/C	AIR CONDITIONING	LVP	LINING LUXURY VINYL PLANK
ABV	ABOVE	MAX	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIL	MILLIMETER
ATR	ALL-THREADED ROD	MIL	MILLIMETER
ALUM.	ALUMINUM	MLDG.	MOLDING
BSMT.	BASMENT	N.T.S.	NOT TO SCALE
CL	CENTER LINE	O.A.	OVERALL
CLG	CEILING	O.C.	ON CENTER
CLM	CLEAR	O.H.	OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPT.	OPTIONAL
CONC.	CONCRETE	ORNG.	ORANGE
CONT.	CONTINUOUS	OSB	ORIENTED STRAND BOARD
DBL	DOUBLE	PSL	PARALLEL STRAND LUMBER
DET.	DETAIL	P.R.	POUNDER ROOM
DIA. / Ø	DIAMETER	P.T.	PRESSURE TREATED
DIA.	DIMENSION	PT. L.D.	PORTLAND CEMENT
DN	DOWN	PVC	POLYVINYL CHLORIDE
DN	DOWN	POW.	POWDER
DS.	DOWNSPOUT	R	RADIUS
DWSH.	DISHWASHER	REF.	REFRIGERATOR
DWG.	DRAWING	RFL.	ROOF
E.L.	ELEVATION	R.O.	ROUGH OPENING
ELEC.	ELECTRICAL	SH.	SIMILAR
ENCL.	ENGINEERED	S.P.F.	SPULCE PINE FOR
EXT.	EXTERIOR	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STR.	STRIP
FIN.	FINISHED	SYR	SOUTHERN YELLOW PINE
FND.	FOUNDATION	TEMP.	TEMPERED GLASS
FT.	FOOTING	THK.	THICK
GFI	GROUND FAULT INTERRUPTER	T.P.	TYPICAL
GLASS	GLASS	U.A.O.	UNLESS NOTED OTHERWISE
G.W.B.	GYPSSUM WALL BOARD	UNC.	UNION COUNTER
H	HIGH	VAN.	VANITY
H/H	HIGH RISE BIBB	V.B.	VAPOR BARRIER
H/H	HIGH RISE	W	WIDE
HST. / HT.	HEIGHT	W.	WITH
HVAC	HOT WATER HEATER	W.C.	WALK-IN CLOSET
HW	HOT WATER	W.L.	WOOD LAMINATE
HW	HOT WATER HEATER	WP GFI	WATERPROOF GFI

COMMUNITY

LOT#

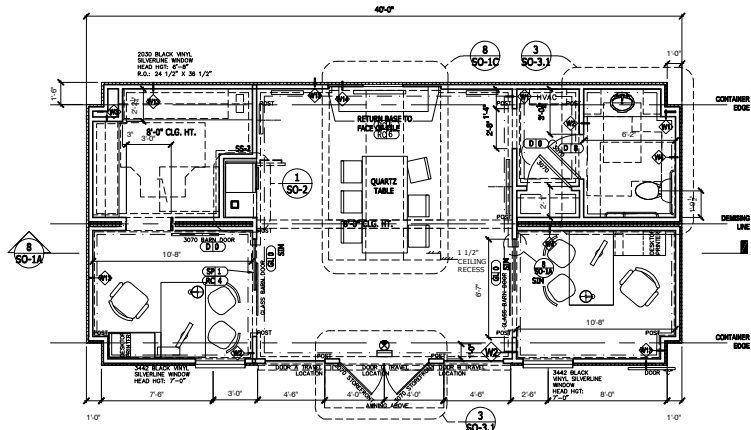
LOT#

LOT#

PROJECT/SUB-PROJECT	REVISION	DATE
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	
7	7	
8	8	
9	9	
10	10	

MODEL/PROJECT	ELEVATION NAME	SCALE
		2024 1/4" = 1'-0" (ANSI) 1/4" = 1'-0" (ANSI)
SHEET DESCRIPTION		
COVERSHEET - LIST OF DRAWINGS, GENERAL NOTES		
SERIAL # 2016.3		
HAND SET		
SHEET NAME		C1

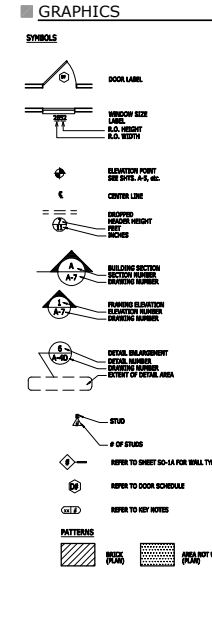
3 SALES CENTER PLAN
SO-1 Scale: 1/4" = 1'-0"



WALL LEGEND	
(Solid line)	NEW
(Dashed line)	REMOVE
(Double line)	EXISTING TO REMAIN
(Thick solid line)	AREA NOT IN SCOPE
(Hatched pattern)	FURRING/SHOWING/FRAMING AT FLOOR & CEILING

- GENERAL FLOOR PLAN NOTES**
1. PROVIDE FALSE FLOOR IN AREAS AS REQUIRED. TO RAISE FLOOR UP TO SUB FLOOR ELEVATION. SUB FLOOR ELEVATION BETWEEN ROOMS OF THE SAME FLOOR LEVEL, SHALL BE AT THE SAME ELEVATION. PROVIDE FLOORING AND TRANSITIONS AS SHOWN ON FINISH SCHEDULE AND FINISH LIBRARY.
 2. ALL PARTITIONS TO BE CONSTRUCTED W/ 5/8" TYPE "X" GYPSUM BOARD.
 3. INSTALL BATT INSULATION IN WALL TYPES INDICATED, CONTINUE INSULATION 12" LATERALLY IN TRUSS BAYS ABOVE SALES OFFICES, RESTROOMS, CONFERENCE ROOMS & CONERGE OFFICES.
 4. ALL DOORS IN SALES CENTER ARE TO BE 2 PANEL, WOOD DOORS PER STANDARD TBI SPECIFICATIONS, EXCEPT STOREFRONT ENTRY AND GLAZED OFFICE DOORS.

- KEY NOTES:**
- CONCRETE**
 C-2 CONCRETE CUTTING - SAWCUT TRENCH FOR DATA AND ELECTRIC TO SUPPLY ISPT. COORDINATE WITH FABRICATOR'S SHOP DRAWINGS AND ARCHITECTURAL PLANS
 C-5 32"x32" CONCRETE FOOTING
- MASONRY**
 M-11 20"x20" FULLY GROUTED MASONRY PIER
- OPENINGS**
 D-3 STOREFRONT: 6063-T5 EXTRUDED ALUMINUM, THERMALLY BROKEN FRAMES GLASS 1 DARK BRONZE FINISH, MECHANICALLY JOINTED AT THE CORNERS WITH STAINLESS STEEL SCREWS. WINDOW GLAZING HELD IN PLACE WITH EXTRUDED ALUMINUM SNAP-IN STOPS REMOVABLE FOR RE-GLAZING. DOORS TO HAVE INTEGRAL CLOSERS AND LATERAL PULLS.
 D-4 INSTALL PAN FLASHING, Z' PROFILE UNDER STOREFRONT, FLASHING TO BE CONTINUOUS. END TO END INCLUSIVE OF THRESHOLD AND HEMMED AT EACH END OF EVERY STOREFRONT ASSEMBLY.
 D-10 BLACK COLSTOCK WRAPPED POST
- ROUGH CARPENTRY KEYNOTES**
 RC-4 HEADERS OVER FRAMELESS GLASS WALLS TO BE 8'-0" A.F.F.
 RC-5 CEILING TO BE FURRED-DOWN BY 2X'S
 RC-6 RECESSES IN CEILING TO MATCH ACOUSTICAL PANELS - SEE 7/SO-4
 RC-8 PIERS/PILASTERS AT HOSPITALITY ARE TO BE 25 5/8" TO FACE OFF DRYPWALL
 RC-11 GYP BD. SOFFIT AND WALL RETURN AT STOREFRONT. PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF CABLE MOUNTED SIGNS.
- SPECIALTY**
 SP-1 GLAZED OFFICE PARTITIONS - 1/2" CLEAR TEMPERED GLASS WITH CLEAR SEALANT AT JOINTS
- ARCHITECTURAL WOODWORK/CASEWORK**
 AW-1 6"x6" PRESSURE TREATED POST
- EXTERIOR IMPROVEMENTS**
 AC-1 ACCESSIBILITY CLEARANCE, SEE 12/SO-9
 AC-2 DOOR CLEARANCE, SEE 13/SO-9



CITY USE

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A Division of The Brothers

PROJECT/SHEET NO.	MODEL/PROJECT	ELEVATION NAME	SCALE
SO-1	COMMUNITY	FOUNDATION PLAN, FLOOR PLAN, LIFE SAFETY PLAN, NOTES & DETAILS	2024 W x 12' 0" (MAX) 1/4" = 1' 0" (1/8" MAX IF USED)

DATE	BY	CHKD.	DATE

PROJECT/SHEET NO. **SO-1**

MODEL/PROJECT **COMMUNITY**

ELEVATION NAME **FOUNDATION PLAN, FLOOR PLAN, LIFE SAFETY PLAN, NOTES & DETAILS**

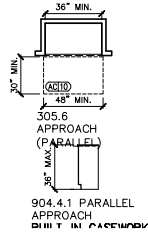
SCALE **2024 W x 12' 0" (MAX)
1/4" = 1' 0" (1/8" MAX IF USED)**

SHEET NUMBER **SO-1**

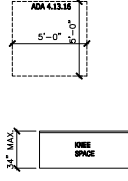
--- HAND SET

SERIAL # **2016.3**

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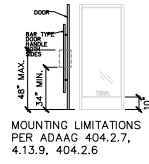


904.4.1 PARALLEL APPROACH (PARALLEL)

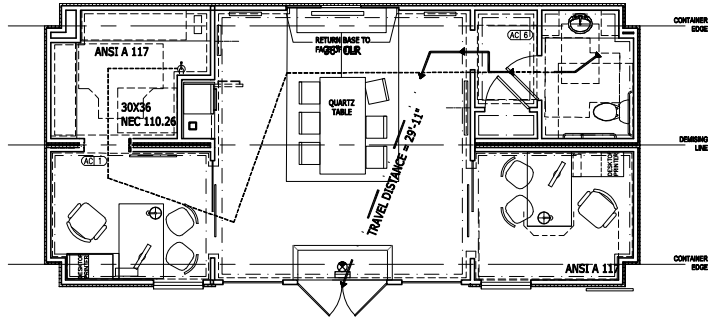
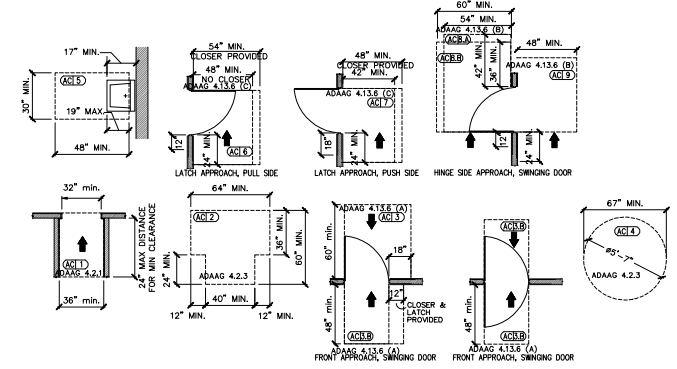


ANSI 902.3 HEIGHT MANAGERS DESK

2 ACCESSIBILITY CLEARANCES
Scale: N.T.S.



MOUNTING LIMITATIONS PER ADAAG 404.2.7, 4.13.9, 404.2.6



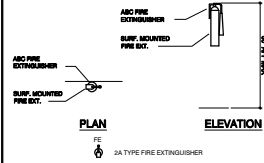
1 LIFE SAFETY PLAN
Scale: 1/4" = 1'-0"

OCCUPANT LOAD		IBC TABLE 1004.1.2
REINFORCEMENT @ 60 GROSS SF/OCCUPANT	=	888 CS/900 = 11
STORAGE, STOCK & SHIPPING AREAS @	=	29/900 = 1
300 GROSS SF/OCCUPANT		
TOTAL OCCUPANTS	=	12

TRAVEL DISTANCE		IBC TABLE 1017.2
MAX ALLOWABLE	=	200 FT.
MAX DESIGNED DISTANCE	=	29 FT 11"

REQUIRED # OF EXITS		IBC TABLE 1006.3.2.1
REQUIRED	=	1 EXITS
PROVIDED	=	1 EXITS

COMMON PATH OF EGRESS TRAVEL DISTANCE		IBC TABLE 1006.3.2.1
MAXIMUM ALLOWABLE	=	75 FEET
PROVIDED	=	19 FEET



FIRE EXTINGUISHERS SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH IFC 905.10, NFPA 10 & OSHA 1910.157. LOCATION OF FIRE EXTINGUISHERS TO BE DETERMINED BY FIRE MARSHALL.

FIRE EXTINGUISHER NOTES:
G.C. TO PROVIDE AND INSTALL (1) PORTABLE FIRE EXTINGUISHER FOR EVERY 1,000 S.F. OF FLOOR AREA.
ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED AND READILY ACCESSIBLE. (ACTUAL LOCATION T.B.D. IN FIELD BY G.C. & APPROVED BY FIRE MARSHALL.)

MAX. TRAVEL DISTANCE TO EXTINGUISHER		NFPA 10 TABLE 906.3(1)
MAXIMUM ALLOWABLE	=	75 FEET
PROVIDED	=	31 FEET

FIRE EXTINGUISHER NOTE:
PROVIDE FIRE EXTINGUISHERS HAVING A MINIMUM RATING OF 2A, FOR EVERY 1,000 S.F. OF FLOOR AREA. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75' TOP MOUNT AT < 60' A.F.F.

2A RATED FIRE EXTINGUISHER (SUITABLE FOR LIGHT HAZARD PROTECTIONS, SUCH AS OFFICE, S.A.S.E.)
FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATH OF TRAVEL, INCLUDING ALL EXITS. MAXIMUM TRAVEL DISTANCE TO EACH FE SHALL BE 75'

FIRE EXTINGUISHERS IN EXISTING BUILDING:
EXISTING FIRE EXTINGUISHERS AND CABINETS MAY BE RECHARGED & REFURNISHED AND REINSTALLED IN APPROXIMATE LOCATION AS DIRECTED BY LOCAL FIRE INSPECTION OFFICER IN LIEU OF PURCHASING NEW FIRE EXTINGUISHERS. HOWEVER, IF REQUIRED CONTRACTOR ALSO SHALL PROVIDE AND INSTALL ADDITIONAL FIRE EXTINGUISHERS TO MEET CURRENT BUILDING CODES.

LIFE SAFETY LEGEND	
	COMMON PATH OF EGRESS TRAVEL (CPET)
	ILLUMINATED EXIT SIGN
	EGRESS LIGHT WALL PACK
	FIRE EXTINGUISHER
	EMERGENCY LIGHT CONNECTED TO BATTERY BACKUP
	EMERGENCY LIGHT

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PROJECT/SUBJECT	DATE

PROJECT	DATE	ELEVATION NAME	SCALE

COMMUNITY

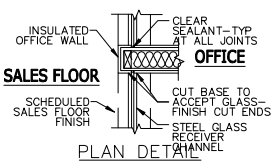
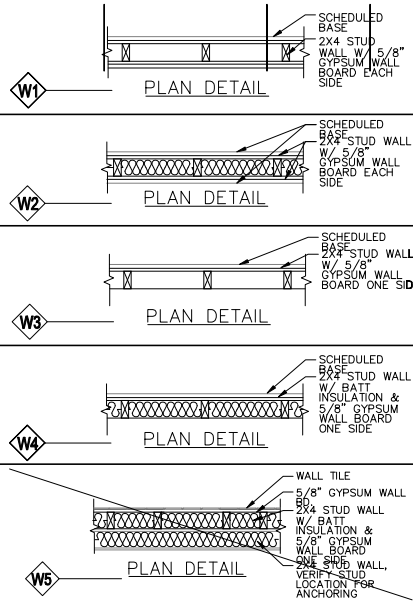
LOT# **SO-1.1**

DEMOLITION FLOOR PLAN & NOTES

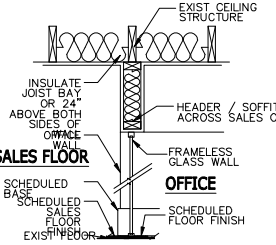
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HAND SET

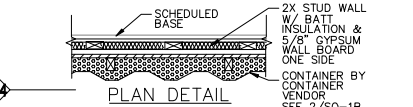
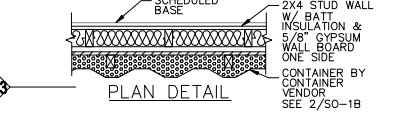
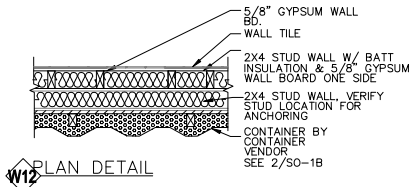
SERIAL # **2016.3**



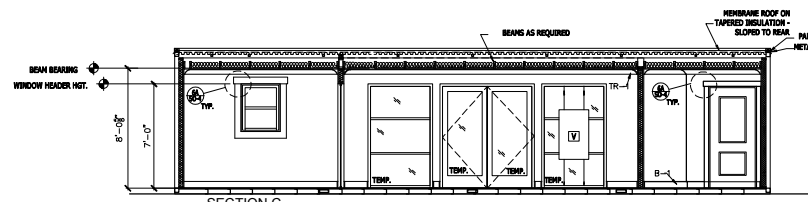
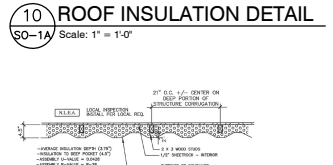
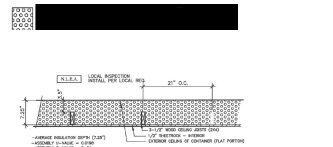
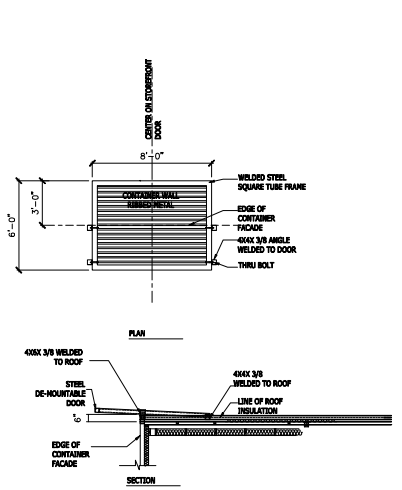
8 GLASS WALL
Scale: 1" = 1'-0"



7 GLASS WALL
Scale: 1" = 1'-0"



9 AWNING DETAIL
Scale: 1" = 1'-0"



8 LONGITUDINAL SECTION
Scale: 1" = 1'-0"

TOLL ARCHITECTURE
A Division of Trill Brothers

PROJECT ISSUE NAME	SHEET DATE
MODEL PROJECT	REVISION TABLE
ELEVATION NAME	DATE
SCALE	ENTRY

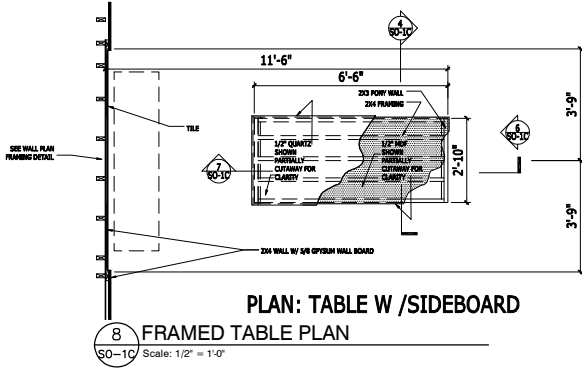
PROJECT	COMMUNITY
LOT#	LOT#
DESCRIPTION	FRAMING DETAILS
SHEET #	2016.3

SO-1A

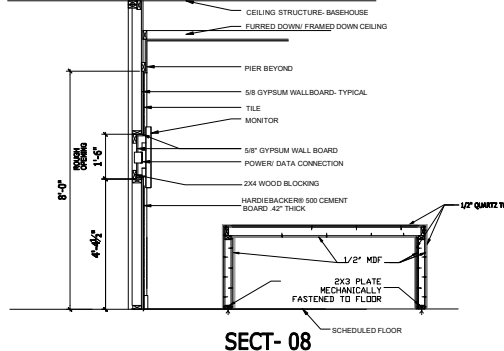
DATE: Tuesday, January 19, 2021 - 12:41:06 pm

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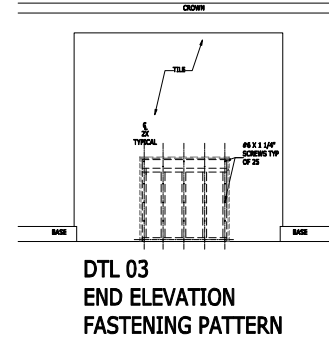
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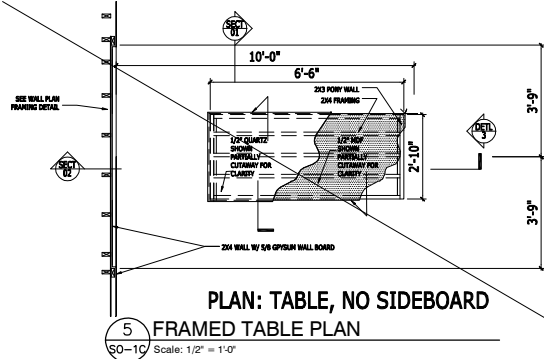
8 FRAMED TABLE PLAN Scale: 1/2" = 1'-0"



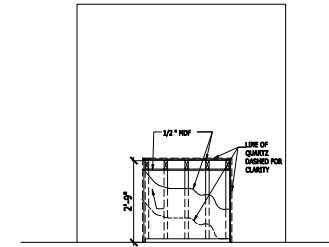
7 FRAMED TABLE LONGITUDINAL SECTION Scale: 1/2" = 1'-0"



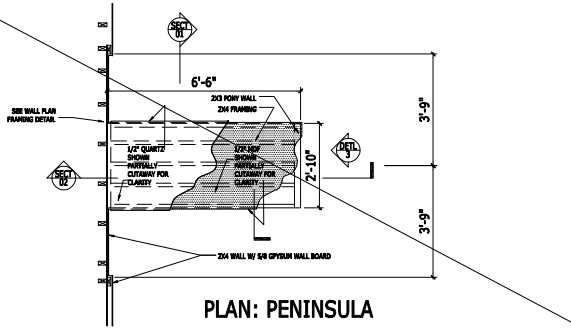
6 FRAMED TABLE END ELEVATION Scale: 1/2" = 1'-0"



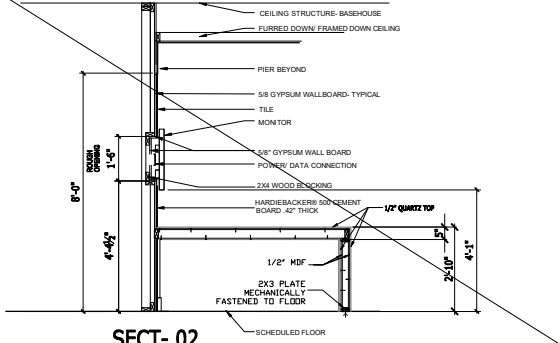
5 FRAMED TABLE PLAN Scale: 1/2" = 1'-0"



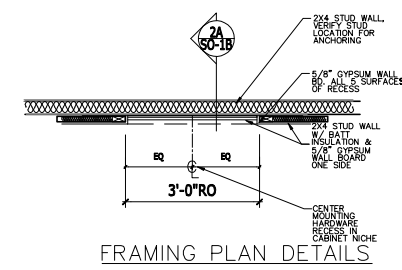
4 FRAMED TABLE SECTION DETAIL Scale: 1/2" = 1'-0"



3 IMPACT WALL PENINSULA TABLE PLAN Scale: 1/2" = 1'-0"



2 IMPACT WALL PENINSULA TABLE SECTION Scale: 1/2" = 1'-0"



1 IMPACT WALL FRAMING PLAN Scale: 1/2" = 1'-0"

ACH LOT# COMMUNITY

FRAMING DETAILS

SHEET NAME

SO-1C

PROJECT/SUBJECT	COMMUNITY														
SUBJECT	FRAMING DETAILS														
REVISION TABLE	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			NO.	DATE	DESCRIPTION									
NO.	DATE	DESCRIPTION													
ELEVATION NAME															
SCALE															

TOLL ARCHITECTURE A Division of The Brothers

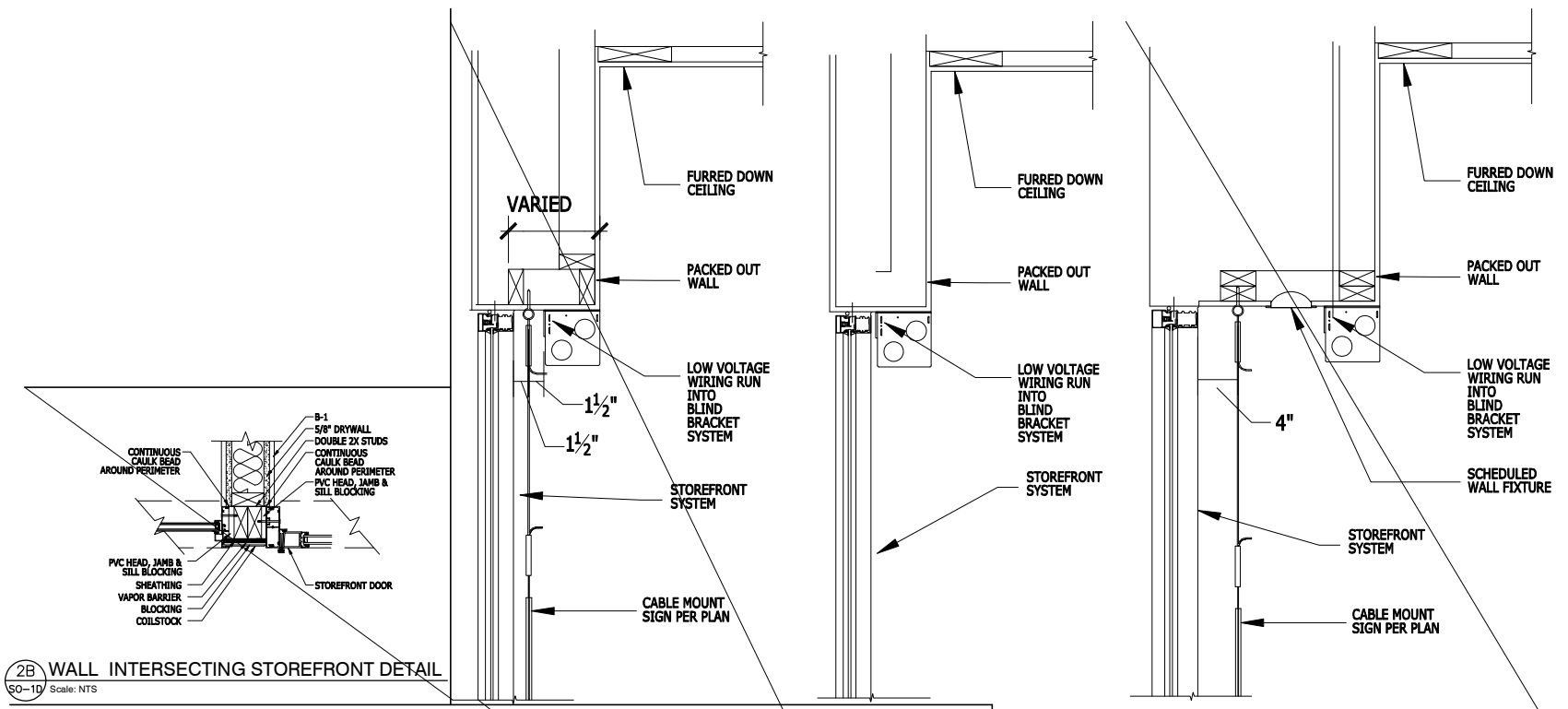
CITY USE

DATE: Tuesday, January 19, 2021 - 12:41:11 pm

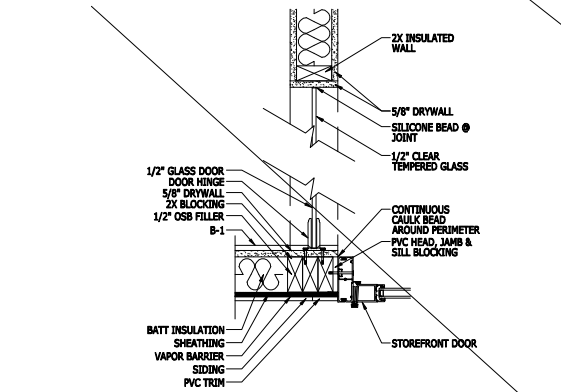
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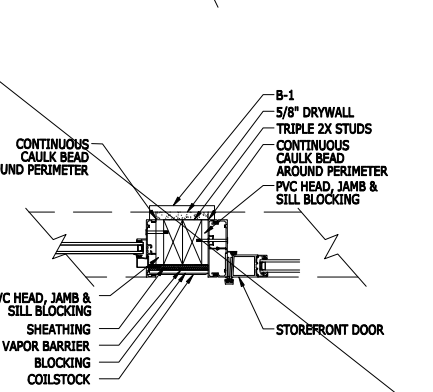
2B WALL INTERSECTING STOREFRONT DETAIL
SO-1D Scale: NTS



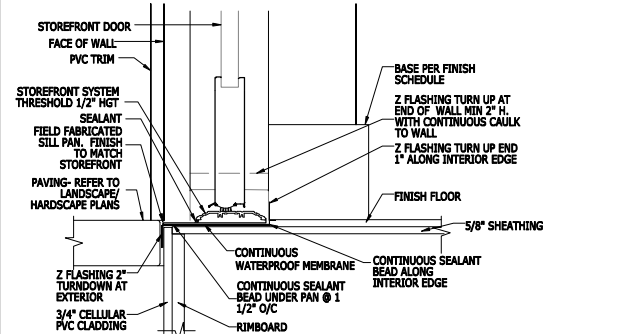
2A GLASS DOOR INTERSECTING STOREFRONT DETAIL
SO-1D Scale: NTS



2 STOREFRONT PIER ASSEMBLY DETAIL
SO-1D Scale: NTS



3 STOREFRONT SOFFIT DETAIL
SO-1D Scale: N.T.S.



1 STOREFRONT THRESHOLD
SO-1D Scale: NTS



CITY USE

PROJECT/SUBJECT: _____
SHEET NO: _____
REVISION TABLE: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____

TOLL ARCHITECTURE
A Division of T&B Brothers

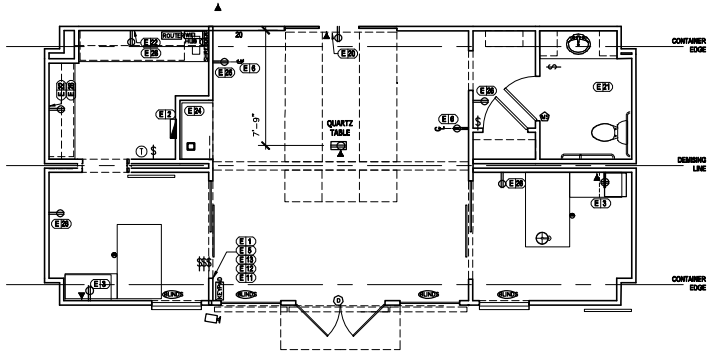
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MODEL/PROJECT: _____
ELEVATION NAME: _____
SCALE: _____
DATE: _____
DRAWN BY: _____
CHECKED BY: _____

COMMUNITY LOT# _____

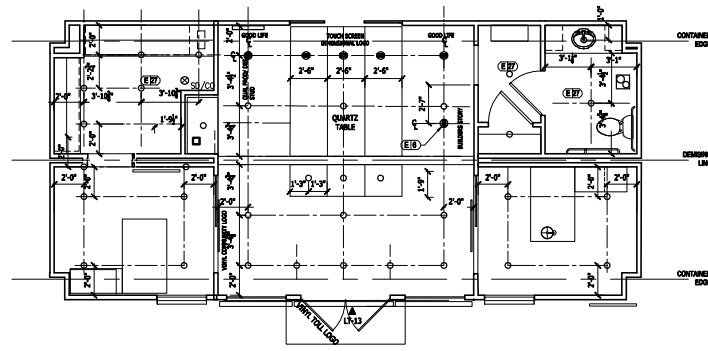
SHEET DESCRIPTION: **FRAMING DETAILS**
HAND SET
SERIAL # 2016.3

SO-1D

SHEET NAME



1 ELECTRICAL & LOW VOLTAGE LAYOUT
 SO-2 Scale: 1/4" = 1'-0"



2 LIGHTING PLAN
 SO-2 Scale: 1/4" = 1'-0"

KEY NOTES:

ELECTRICAL KEYNOTES

E-1 VERIFY 12" WIDE CLEAR SPACE ON WALL EQUAL TO HOUSE SWITCH AND ALARM PANEL.

E-2 BREAKER PANEL LOCATION

E-3 INSTALL ELECTRIC AND DATA OUTLET AT MANAGER'S DESK 3'-0" FROM REAR WALL, 16" A.F.F.

E-4 FLOOR MOUNT ELECTRICAL AND DATA OUTLET. COORDINATE WITH FURNITURE.

E-5 PERGOLA SWITCH

E-6 CENTER LIGHT ON DISPLAY SIGNAGE, COORDINATE WITH 'DISPLAY PLAN'

E-7 FEATURE FIXTURE OVER ISPT, CUSTOM SIZE, VENDOR INFO AND OPTIONS LISTED ON TNET (LINK)

E-8 LED LIGHTING ON PERGOLA POSTS, COORDINATE WITH LANDSCAPE DESIGNER. CONNECT TO LANDSCAPE LOW VOLTAGE CIRCUIT.

E-9 UNDERGROUND CONDUIT(S) FOR CATS & ELECTRIC

E-10 OUTLET & CATS CABLE OUTLET AT 16" A.F.F. FOR COMPUTER HARDWARE IN CABINET.

E-11 HOUSE MASTER SWITCH

E-12 SALE OFFICE MASTER SWITCH

E-13 ALARM KEYPAD

E-14 SEPARATE PHONE LINE FOR FAX MACHINE @24" A.F.F.

E-15 JUNCTION BOX

E-16 STUB UP POWER AND/OR DATA. PROVIDE WHIP LENGTH SUFFICIENT TO CONNECT TO OUTLET IN TABLE

E-20 OUTLET HIGH SPEED INTERNET CABLE LINE, AND CATS CABLE OUTLET @ 60" A.F.F. CENTERED ON WALL.

E-21 EXHAUST FAN TO VENT TO EXTERIOR

E-22 OUTLET ABOVE COUNTER

E-23 EMERGENCY BATTERY BACKUP INVERTER TO BE INSTALLED BELOW ELECTRICAL PANEL

E-24 OUTLET BELOW COUNTER FOR REFRIGERATOR.

E-25 OUTLET FOR DESKTOP PRINTER.

E-26 RECEPTACLE WITH ENGRAVED/EMBOSED LABEL POWERED THROUGH AUTO-OFF CIRCUIT

E-27 LIGHTING POWERED THROUGH AUTO-OFF CIRCUIT, INCLUDE MOTION SENSOR

GENERAL ELECTRICAL NOTES

1. PROVIDE JUNCTION BOX FOR CABINET LIGHTING AS REQUIRED.
2. ALL WALL MOUNTED OUTLET COVERS TO BE WHITE.
3. ELECTRICIANS SHALL VERIFY EQUIPMENT QUANTITY, LOCATIONS, AND CONFORM TO ALL STATE AND LOCAL CODES.
4. UNLESS NOTED OTHERWISE, SET THE BOTTOM OF WALL BOXES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR (A.F.F.):
 - 4.1. DUPLEX, PHONE JACKS & CAT 5 CABLE 14"
 - 4.2. DUPLEX & CAT 5 CABLE RECEPTACLE OVER COUNTERTOPS 48"
 - 4.3. DUPLEX RECEPTACLE IN BATH OR OVER WAINTELS 38"
 - 4.4. SWITCHES 48"
 - 4.5. THERMOSTAT 48"
5. PROVIDE G.F.I. CIRCUITS IN BATH, KITCHEN AND HOSPITALITY AREAS AS REQUIRED.
6. OFFICE & WORKROOM LIGHTS CONNECTED TO OCCUPANCY SENSORS.
7. WATTAGE OF LIGHTING IN PRIMARY DAYLIT AREA: 130 W

HVAC NOTE

1. PROJECT MANAGER/ CONSTRUCTION MANAGER TO REVIEW PROPOSED SALES OFFICE FLOOR PLAN WITH THEIR HVAC CONTRACTOR TO DESIGN AND INSTALL A SEPARATE HVAC SYSTEM FOR THE SALES OFFICE.
2. CEILING SURROUNDING ISPT TABLE TO BE CLEAR OF ANY HVAC VENTS. RETURN / SUPPLY VENTS TO BE LOCATED AT PERIMETER OF ROOM.

LOW VOLTAGE SCHEDULE

MARK	FIXTURE TYPE
⊕	DOOR SENSOR
⊖	MOTION SENSOR
⊕	AMPLIFIER
⊖	WIRELESS MUR
ROUTER	ROUTER
●	PANIC BUTTON
⊖	CAMERA
⊖	DEDICATED SECURITY MONITOR
⊖	BLURBS
⊖	ALARM PANEL
⊖	ELECTRIC EYE

ELECTRICAL SCHEDULE

MARK	FIXTURE TYPE
⊕-1A	3PC PERIMET LIGHT:
⊖-2	RECESSED DOWNLIGHT
⊖-3	RECESSED DOWNLIGHT EMERGENCY LIGHT CONNECTED TO BATTERY BACKUP
⊖-4	ADJUSTABLE DOWNLIGHT
⊖-5	EMERGENCY BACKUP INVERTER
⊖-6	PERGOLA LIGHT
⊖-7	LED STRIP LIGHT
⊖-8	EXTERIOR WALL SCIENCE
⊖-9	EYEBALL WALL WASHER
⊖-10	SCIENCE
⊖-11	ADJUSTABLE FLOOD LIGHT
⊖-12	PERGOLA FLOOD LIGHT
⊖-13	PERGOLA WALL WASHER
⊖-14	EXTERIOR REMOTE HEAD
⊖-15	EXIT SIGN
⊖-16	EMERGENCY LIGHT WALL PACK
⊖-17	ETHERNET CONNECTION
⊖-18	PROGRAMMABLE THERMOSTAT
⊖-19	TELEPHONE OUTLET
⊖-20	SWITCH
⊖-21	THREE WAY SWITCH
⊖-22	DUPLEX RECEPTACLE
⊖-23	QUAD RECEPTACLE
⊖-24	FLOOR RECEPTACLE
⊖-25	EXHAUST FAN
⊖-26	ALARM KEYPAD
⊖-27	STORE
⊖-28	SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR
⊖-29	BREAKER PANEL
⊖-30	EMERGENCY BACKUP INVERTER
⊖-31	SUPPLY / RETURN (SEE NOTE TO COORDINATE WITH LIGHTING ONLY. ACTUAL QUANTITY, SIZING AND SPACING BY MECHANICAL ENGINEER.

CITY USE

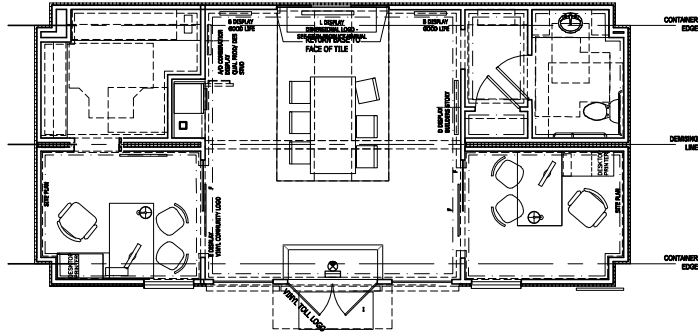
TOLL ARCHITECTURE
 A Division of Toll Brothers

PROJECT/SUBJECT	COMMUNITY
DESIGNER	LOT#
REVISION TABLE	LOT#
DATE	LOT#
ELEVATION NAME	LOT#
SCALE	LOT#
SHEET NAME	LOT#

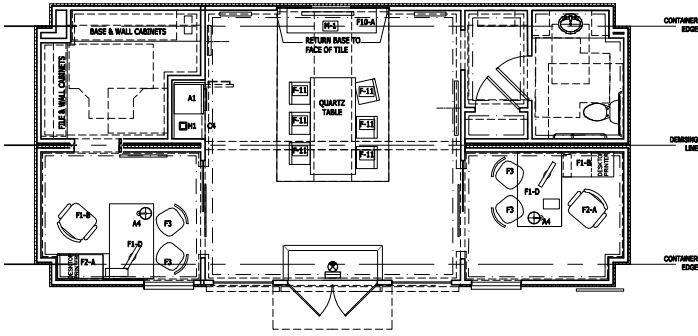
SO-2

SHEET NUMBER

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1 INTERIOR DISPLAY LAYOUT
S0-3 Scale: 1/4" = 1'-0"

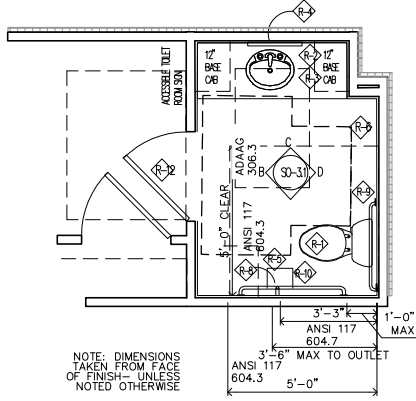


2 INTERIOR FURNITURE/EQUIPMENT LAYOUT
S0-3 Scale: 1/4" = 1'-0"

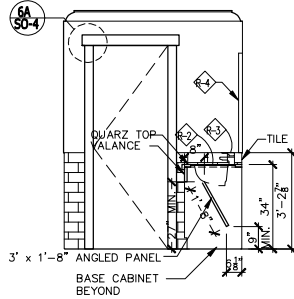
SALES CENTER DISPLAY AND SIGN LEGEND		
LABEL	DESCRIPTION	QUANTITY
A.	QUALITY PRODUCTS DISPLAY	COMBO 1/1/1"
B.	LOCATION ADVERTISES (THE GOOD LIFE) 3 PANEL DISPLAY	2
C.	---	
D.	BUILDER'S STORY DISPLAY	1
E.	COMMUNITY LOGO - VINYL "ETCHED GLASS TEXTURE", "INSIDE GLASS" APPLICATION	1
F.	SAFETY STRIPING - VINYL "ETCHED GLASS TEXTURE", "INSIDE GLASS" APPLICATION	3
G.	IMPACT LOGO (FROM CUSTOMER VENDOR)	
H.	IMPACT OR IMPACT SMALL ABOVE MONITOR	
I.	VR DIMENSIONAL LETTERING	
J.	VR FEATURE WALL ABOVE MONITOR	
K.	TOLL EXTERIOR WALK-OFF MAT (FROM TOLLSTORE)	1
L.	SUPPLEMENTAL ARTWORK OPPORTUNITY BY AM & OR MERCHANDISING	
M.	MESSAGE BOARD	
N.	MORTGAGE BOARD (FROM TOLLSTORE)	
O.	TOLL BROTHERS LOGO	
P.	TESTIMONIAL BANNER - CUSTOMER SPEAK	
Q.	EMPTY	
R.	PROJECT MANAGERS LETTER (FROM TOLLSTORE)	
S.	TOLL GREEN DISPLAY (FROM TOLLSTORE)	
T.	H.U.D. & E.H.O. CERTIFICATE (FROM TOLLSTORE)	
U.	DESIGN STUDIO DISPLAY	COMBO 1/1/1"
V.	OVERALL SITE PLAN DISPLAY	2
W.	CABLE MOUNT QUALITY PRODUCT DISPLAY DOUBLE SIDED (W/LIFESTYLE ART FACING GLASS)	
X.	CABLE MOUNT DESIGN STUDIO DISPLAY DOUBLE SIDED (W/LIFESTYLE ART FACING GLASS)	
Y.	TIN MORTGAGE PLAQUE (TOLLSTORE)	

REFER TO TOLL ARCHITECTURE SALES CENTER PAGE FOR DETAILED INFORMATION

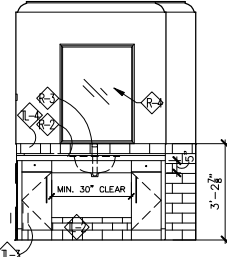
A.CH		LOT#	COMMUNITY	CITY USE
SHEET DESCRIPTION		MODEL/PROJECT	 A Division of Toll Brothers	
DISPLAY / FURNITURE / EQUIPMENT LAYOUT AND SCHEDULES		ELEVATION NAME		
SERIAL # 2016.3		SCALE	2024: 1/4" = 1'-0" (UNO) 2015-18: 1/8" = 1'-0" (UNO) (NOT POSTED)	
HAND SET		SHEET NAME	S0-3	



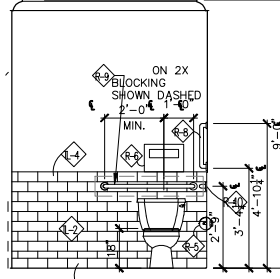
3 RESTROOM LAYOUT
Scale: 1/12" = 1'-0"



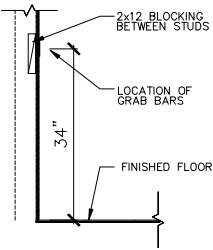
B RESTROOM
Scale: 1/4" = 1'-0"



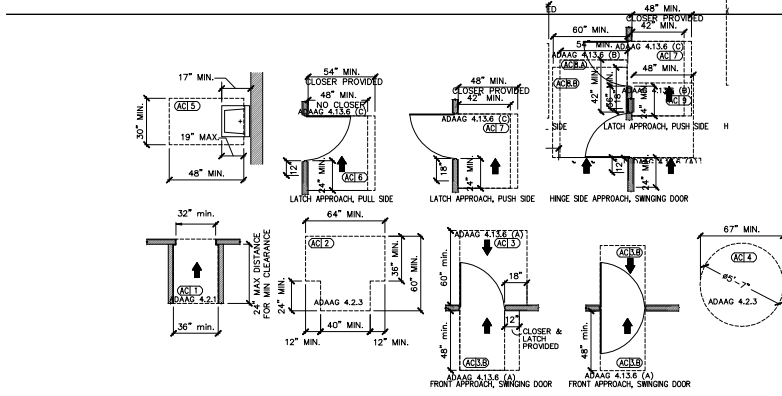
C RESTROOM
Scale: 1/4" = 1'-0"



D RESTROOM
Scale: 1/4" = 1'-0"



2 GRAB BAR BLOCKING DETAIL
Scale: 1/2" = 1'-0"



3 ACCESSIBILITY CLEARANCES
Scale: N.T.S.

1 ACCESSIBLE TOILET SIGN
Scale: 1-1/2" = 1'-0"

TOILET ROOM FINISH SCHEDULE	
WALL FINISH	
TL-2 WALL TILE - RESTROOM:	
FINISH:	TILE
STYLE:	COLOR WHITE - FIELD TILE
COLOR:	ARCTIC WHITE G10
GRID:	OP SIDE BRIGHT WHITE
SPACING:	4" x 8"
TL-3 CROWN TILE - RESTROOM:	
FINISH:	TILE
STYLE:	COLOR WHITE - G10 BASE ANCHORED
COLOR:	ARCTIC WHITE G10
GRID:	OP SIDE BRIGHT WHITE
SPACING:	4" x 12"
TL-4 WALL TILE - RESTROOM:	
FINISH:	TILE
STYLE:	COLOR WHITE - WALLMORF S-4600HD
COLOR:	ARCTIC WHITE G10
GRID:	OP SIDE BRIGHT WHITE
SPACING:	4" x 8"

TOILET ROOM EQUIPMENT SCHEDULE		
MARK	FIXTURE TYPE	INFO
R-1	TOILET	NUMBER: KOHLER NUMBER: CHARMON K-3609-0 (K-3609-T1) ALTK-6418 COLOR: WHITE SIZE: ADA COMPLIANT, ELONGATED BOWL, COMFORT HEIGHT NOTES: ADA COMPLIANT, ELONGATED BOWL, COMFORT HEIGHT
R-2	RESTROOM SINK	NUMBER: KOHLER NUMBER: LADENA 2213-0 WHITE (ADA & TMS COMPLIANT LAV) SIZE: 25-1/4" X 18-1/4" X 8-1/8" NOTES: SINGLE HOLE ACCESSIBLE LAV, UNDERMOUNT
R-3	RESTROOM FAUCET	NUMBER: KOHLER NUMBER: JULY K-18927-4 COLOR: POLISHED CHROME SIZE: SINGLE HOLE, ADA COMPLIANT FAUCET NOTES: SINGLE HOLE, ADA COMPLIANT FAUCET
R-4	MIRROR	RESTROOM HARDWARE NUMBER: KOHLER NUMBER: SATIN NICKEL SIZE: 30"W x 40"H NOTES: MOUNT W/ BOTTOM EDGE OF REFLECTIVE SURFACE @ 40" AFF
R-5	TOILET PAPER DISPENSER	NUMBER: BOBICK NUMBER: B-697 NOTES: ACCESSIBLE TOILET TISSUE DISPENSER WITH HOOD
R-6	TOILET SEAT LID	NUMBER: BOBICK NUMBER: B-221 CLASSIC SERIES NOTES: SURFACE MOUNTED SEAT COVER DISPENSER
R-8	GRAB BARS	NUMBER: BOBICK NUMBER: B-5805 X 18 SIZE: 18" GRAB BAR MOUNT BOTTOM @ 30" - 41" AFF
R-9	GRAB BARS	NUMBER: BOBICK NUMBER: B-5805 X 36 SIZE: 36" L GRAB BAR MOUNT @ 33" - 38" AFF
R-10	GRAB BARS	NUMBER: BOBICK NUMBER: B-5805 X 48 SIZE: 48" L GRAB BAR MOUNT @ 33" - 38" AFF
R-12	COAT HOOK	NUMBER: BOBICK NUMBER: B-542 NOTES: MOUNT @ 40" - 48" AFF
R-13	DOOR BUMPER	NUMBER: BOBICK NUMBER: B-887

TOILET ROOM GENERAL NOTES	
NOTES:	
1.	ALL WALLS FOR TOILET ROOM TO BE INSULATED FLOOR TO 6" ABOVE FINISHED CEILING TO ASSIST WITH SOUND CONTROL, UNLESS NOTED OTHERWISE.
2.	PROVIDE 2X BLOCKING IN WALLS AS REQUIRED FOR ALL GRAB BAR LOCATIONS, TYPICAL.
3.	INSULATE HOT WATER AND DRAIN LINES, TYPICAL.
4.	REFER TO 90-3.1 FOR CLEARANCES MOUNTING HEIGHT OF FIXTURES AND TOILET ACCESSORIES.
5.	REFER TO ACCESSIBILITY GENERAL NOTES FOR ADDITIONAL INFORMATION.
TOILET ROOM DIMENSION NOTES	
ONLY TO CENTERLINE CLEAR SPACE, ETC.	DIMENSION & CODE REF
TO FINISH	

CITY USE

TOLLARCHITECTURE
A Division of Tsa Brothers

PROJECT/SUBJECT	COMMUNITY
SCHEDULE	LOT#
REVISION TABLE	LOT#
DATE	LOT#
ELEVATION NAME	LOT#
SCALE	LOT#
2024 1/19/21 (1/19/21)	LOT#
1/19/21 (1/19/21)	LOT#

RESTROOM LAYOUTS AND SCHEDULES

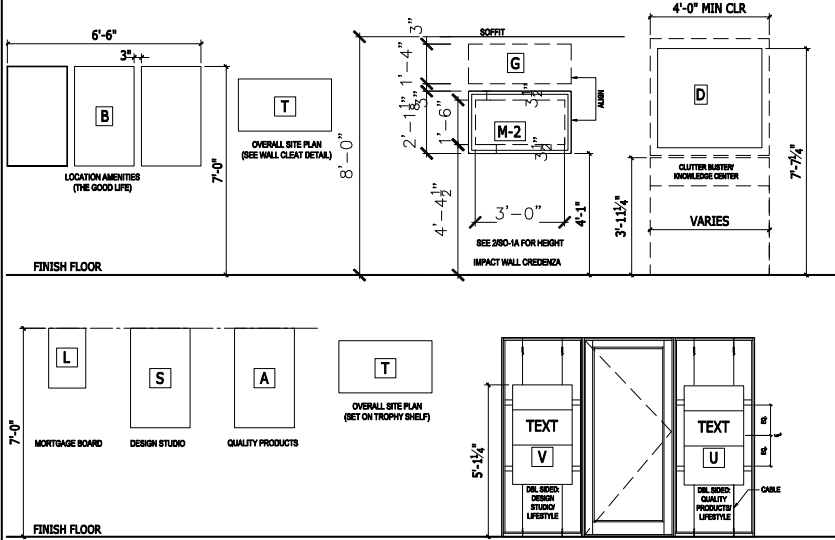
SHEET NAME
SO-3.1

HAND SET
SERIAL # 2016.3

DATE: Tuesday, January 19, 2021 - 12:41:32 pm

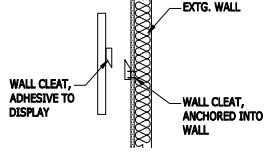
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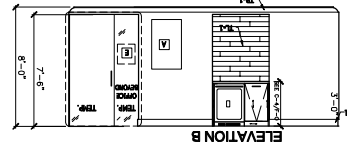


1 SALES OFFICE GRAPHIC MOUNTING HEIGHTS
SO-6 Scale: 1/2"=1'-0"

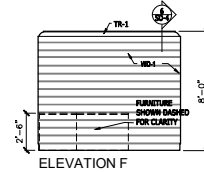
4 WALL CLEAT DETAIL
SO-6 Scale: 1" = 1'-0"



5 LEFT WALL ELEVATION
SO-6 Scale: 1" = 1'-0"



6 WD-1 WALL ELEVATION
SO-6 Scale: 1" = 1'-0"



COMMUNITY

LOT# LOT#

SHEET DESCRIPTION
INTERIOR ELEVATIONS AND DETAILS

MODEL/PROJECT
ELEVATION NAME

PROJECT/SHEET NO.
SHEET DATE

TOLLARCHITECTURE
A Division of Toll Brothers

CITY USE

2024 0119 12 (DWG)
1/19/24 08:21 (SUNDAY) (DWG)

SCALE
2024 0119 12 (DWG)
1/19/24 08:21 (SUNDAY) (DWG)

SHEET NUMBER
SO-6

SHEET NUMBER

SERIAL # 2016.3

HAND SET