



**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: February 4, 2021
FILE NO.: DR-20-10
REQUEST: Approval of a Class I Design Review at 1403 12th Street
PLANNER: Chris Myers, Associate Planner

Planning Manager DSW

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GENERAL INFORMATION

APPLICANT: West Linn-Wilsonville School District, Remo Douglas
22210 SW Stafford Road
Tualatin, OR 97062

CONSULTANT: Keith Liden, Planning Consultant
4021 SW 36th Place
Portland, OR 97221

OWNER: West Linn-Wilsonville School District
22210 SW Stafford Road
Tualatin, OR 97062

SITE LOCATION: 1403 12th Street

SITE SIZE: 3.58 acres

LEGAL DESCRIPTION: Assessor's Map 3S1-2BA Tax 6300

COMP PLAN DESIGNATION: Low-Density Residential

ZONING: Single-Family Residential Detached

APPROVAL CRITERIA: Community Development Code (CDC):
Chapter 11: Single-Family Residential Detached R-10;
Chapter 46: Off-Street Parking, Loading, and Reservoir Areas;
Chapter 55: Design Review; and
Chapter 99: Procedures for Decision Making: Quasi-Judicial.

120-DAY RULE: The application became complete on December 11, 2020. The 120-day period ends April 10, 2021.

PUBLIC NOTICE: Notice was mailed to property owners within 300 feet of the subject property and to all neighborhood associations on December 17, 2020. A sign was placed on the property on December 21, 2020. The notice was also posted on the City's website on December 17, 2020. Therefore, public notice requirements of CDC Chapter 99 have been met.

BACKGROUND

The applicant seeks approval for a Class I Design Review to modify the entry at the front of the building to comply with the Americans with Disabilities Act (ADA) standards as well as increase security for students and staff. New rooftop mechanical equipment is also proposed.

Public comments:

No public comments were submitted.

DECISION

The Community Development Director (designee) approves this application (DR-20-10), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

- 1. Site Plan. With the exception of modifications required by these conditions, the project shall conform to Plan Sheets found in Exhibit PC-1.**
- 2. Engineering Standards. All public improvements and facilities associated with the approved site design, including but not limited to street improvements, driveway approaches, curb cuts, utilities, grading, onsite and offsite stormwater, street lighting, easements, easement locations, and connections for future extension of utilities are subject to conformance with the City Municipal Code and Community Development Code. These must be designed, constructed, and completed prior to issuance of Certificate of Occupancy by the Building Official.**

The provisions of the Community Development Code Chapter 99 have been met.

Chris Myers

Chris Myers, Associate Planner

February 4, 2021

Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of the mailing date. The appeal fee is \$400. The appeal must be filed by an individual who has established standing by submitting comments before the decision date. Approval will lapse 3 years from the effective approval date if the final plat is not recorded.

Mailed this 4th day of February 2021.

Therefore, the 14-day appeal period ends at 4 p.m. on February 18, 2021.

**ADDENDUM
APPROVAL CRITERIA AND FINDINGS
DR-20-10**

This decision adopts the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

I. CHAPTER 11 SINGLE-FAMILY RESIDENTIAL DETACHED, R-10

11.020 PROCEDURES AND APPROVAL PROCESS

C. A conditional use (CDC 11.060) is a use the approval of which is discretionary with the Planning Commission. The approval process and criteria for approval are set forth in Chapter 60 CDC, Conditional Uses. If a use is not listed as a conditional use, it may be held to be a similar unlisted use under the provisions of Chapter 80 CDC. (...)

Staff Finding 1: The R-10 zone lists schools as a conditional use. The applicant is proposing exterior access improvements for Americans with Disabilities Act compliance. This proposal does not expand or alter the Conditional Use Permit. The criterion are met.

11.060 CONDITIONAL USES

The following are uses permitted outright in this zoning district:

(...)

7. Schools

(...)

Staff Finding 2: The applicant is proposing exterior access improvements for Americans with Disabilities Act compliance. This proposal does not expand or alter the Conditional Use Permit. The criteria are met.

11.070 DIMENSIONAL REQUIREMENTS, CONDITIONAL USES

Except as may otherwise be established by this code, the appropriate lot or parcel size for a conditional use shall be determined by the approval authority at the time of consideration of the application based upon the criteria set forth in CDC 60.070(A) and (B). (Ord. 1636 § 9, 2014)

A. Except as may be otherwise provided by the provisions of this code, the following are the requirements for uses within this zone:

1. The minimum front lot line length or the minimum lot width at the front lot line shall be 35 feet.

2. The average minimum lot width shall be 50 feet.

3. The average minimum lot depth shall not be less than 90 feet.

4. Where the use abuts a residential district, except as provided in CDC 58.090(C)(1), the setback distance of the residential zone shall apply.

5. The maximum lot coverage shall be 50 percent, except as provided in CDC 58.090(C)(1)(d).

6. The maximum building height shall be two and one-half stories or 35 feet for any structure located within 50 feet of a low or medium density residential zone, and three and one-half

stories or 45 feet for any structure located 50 feet or more from a low or medium density residential zone.

Staff Finding 3: The applicant proposes no changes to the existing front lot line, average lot depth, or any other dimensional requirements. The proposal does not affect the height, setbacks, or lot coverage. The criteria are met.

II. CHAPTER 46, Off-Street Parking, Loading, and Reservoir Areas

46.090 MINIMUM OFF-STREET PARKING SPACE REQUIREMENTS

(...)

B. Public and semi-public buildings/uses

6. Primary school, middle school, or equivalent private or parochial school.

One space for every employee, plus 1 space for each 1,000 square feet of floor area.

(...)

Staff Finding 4: The applicant's proposal does not change or modify the number of parking spaces on the site. The criteria are met.

CHAPTER 55, DESIGN REVIEW

55.020 CLASSES OF DESIGN REVIEW

A. Class I Design Review. The following are subject to Class I Design Review:

1. Modification of an office, commercial, industrial, public or multi-family structure for purposes of enhancing the aesthetics of the building and not increasing the interior usable space (e.g., covered walkways or entryways, addition of unoccupied features such as cupolas, clock towers, etc.).

(...)

6. Americans with Disability Act compliance that significantly alters the exterior of the building (ramps are exempt).

Staff Finding 5: The applicant proposes the modification of an existing public primary school building to comply with Americans with Disability Act standards. The proposal will significantly alter the exterior of the building and requires Class I Design Review. The criteria are met.

55.090 APPROVAL STANDARDS – CLASS I DESIGN REVIEW

The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:

A. The provisions of the following sections shall be met:

1. CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment, shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.

Staff Finding 6: The applicant is proposing minor exterior improvements for ADA compatible ramp. No heritage or significant trees will be removed and no substantial changes to the site are proposed. The criteria are met.

2. *CDC 55.100(B)(5) and (6), architecture, et al., shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.*

CDC 55.100.B(5) and (6) CDC 55.100(B)(5) and (6), architecture, et al., shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.

Staff Finding 7: The applicant is proposing a minor exterior improvements for an ADA compatible ramp. No exterior architectural construction or changes are proposed and any new materials will replicate exiting materials. The criteria are met.

3. *Pursuant to CDC 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.*

Staff Finding 8: The Director did not require additional information. The criteria are met.

4. *The design standards or requirements identified in the base zone shall apply.*

Staff Finding 9: The Single-Family Residential Detached, R-10 zone does not include any additional design standards or requirements. The criteria are met.

B. An application may be approved only if adequate public facilities will be available to provide service to the property at the time of occupancy.

Staff Finding 10: The City of West Linn Public Facilities Plan confirm adequate public facilities are available. The criteria are met.

PD-1 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only

STAFF CONTACT Chris Myers	PROJECT NO(S). DR-20-10	PRE-APPLICATION NO. PA-20-09
NON-REFUNDABLE FEE(S) \$2,100	REFUNDABLE DEPOSIT(S)	TOTAL \$2,100

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) | <input type="checkbox"/> Time Extension |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1403 12TH STREET	Assessor's Map No.: 3S1 2BA
	Tax Lot(s): 6300
	Total Land Area: 3.58 ac.

Brief Description of Proposal: TO MODIFY THE FRONT BUILDING ENTRY TO COMPLY WITH ADA STANDARDS AND TO PROVIDE ENHANCED BUILDING SECURITY. THIS WILL REQUIRE THE REMOVAL OF 2 TREES. IN ADDITION, NEW ROOFTOP MECHANICAL EQUIPMENT IS PROPOSED.

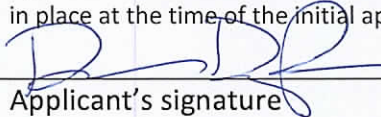

Applicant Name: Remo Douglas, West Linn-Wilsonville School District Phone: **503.673.7988**
(please print)
Address: **22210 SW STAFFORD ROAD** Email: **douglasr@wlwv.k12.or.us**
City State Zip: **TUALATIN, OR 97062**

Owner Name (required): **SAME** Phone:
(please print)
Address: Email:
City State Zip:

Consultant Name: **KEITH LIDEN, PLANNING CONSULTANT** Phone: **503.757.5501**
(please print)
Address: **4021 SW 36TH PLACE** Email: **keith.liden@gmail.com**
City State Zip: **PORTLAND, OR 97221**

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. One complete hard-copy set of application materials must be submitted with this application.
One complete digital set of application materials must also be submitted electronically in PDF format.
If large sets of plans are required in application please submit one set.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	11-3-20 Date		Date
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RECEIVED
11/23/20 by LS 20

WILLAMETTE PRIMARY SCHOOL
Class I Design Review and Tree Removal
November 20, 2020

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APPLICATION SUMMARY

Class I Design Review and tree removal approval to provide a secure and accessible main building entry, remove two trees to accommodate the entry improvements, and to install new rooftop mechanical equipment.

GENERAL INFORMATION

Location

1403 12th Street (3S 1E Section 2 BA, Tax Lot 6300). Its location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is Low Density.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

Applicant and Owner

Remo Douglas, Capital Construction Program Manager
West Linn-Wilsonville School District
22210 SW Stafford Road
Tualatin, OR 97062
503.673.7988
douglasr@wlwv.k12.or.us

Applicant's Representatives

Keith Liden, AICP
4021 SW 36th Place
Portland, OR 97204
503-478-2348
keith.liden@gmail.com

Jim Fitzpatrick, AIA
IBI Group
907 SW Harvey Milk Street
Portland, OR 97205
503.226.6950
jim.fitzpatrick@IBIGroup.com

Plan Sheets

LU0.0	Cover Sheet
LU1.00	Existing Site Conditions
LU1.01	Overall Site Plan
LU3.01	Overall Lower Level Floor Plan
LU3.02	Overall Main Level Floor Plan
LU3.03A	Overall Roof Plan
LU3.03B	Roof Plan Aerial View
LU3.04	Overall Exterior Elevations
LU3.05	Enlarged Entry Plan
LU3.06	Enlarged Entry Elevation
LU3.07	New Entry Rendering
C1100	Existing Conditions & Demolition
C1210	Site, Grading & EC Plan

Figure 1: Vicinity Map



Source: Metro

BACKGROUND INFORMATION

Site Description

The site is developed with Willamette Primary School, including a 73,873 square foot building (52,500 sf footprint plus 5,000 sf covered play area), driveway, parking, and play areas. The entire site is approximately 3.58 acres. The primary entrance to the school faces 12th Street, which runs along the west side of the site (Sheet LU1.00). The existing entry doors are at grade, but once in the lobby, a flight of stairs and a small lift elevator provide access to the main floor.

Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in the following table.

Land Use Summary

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 3S 1E Section 2 BA, Tax Lot 6300 (3.58-acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u>		
North/Northwest	GC	Commercial Retail
South	R10/R7	Single family residences
East	R10	Single family residences
West	R5	Single family residences

PROPOSED IMPROVEMENTS

The proposed improvements to Willamette Primary School include the following:

- A remodeled main building entrance to provide enhanced building security and ADA accessibility. This will include construction of a new ramp on the left (north) side of the existing entry along with new exterior steps. Entry into the school will then be directly to the main floor (LU1.01).
- The ADA ramp at the building entry will require removal of a 16-inch Maple and 28-inch Cedar, which are located (LU1.00 and LU1.01).
- The new ramp and entry will require the removal of decorative clay tiles that are attached to exterior walls at the existing entry. The clay material and method for attaching them will not allow for their removal and reuse.
- In addition to the entry modifications, the administrative offices at the entry will provide enhanced building security (LU3.02, LU3.05 and LU3.06).
- New rooftop heat pump equipment is proposed for improved heating and cooling (LU3.03A and LU3.03B). They will be in addition to existing rooftop units. They will all be buffered from view by the existing trees on the site, their position on the roof, and distance.

SITE DESIGN REVIEW CRITERIA

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11) and Site Design Review evaluation criteria (Chapter 55), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

Chapter 11 Single Family Residential Detached, R-10

Section 11.060 Conditional Uses

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

Section 11.080 Dimensional Requirements, Conditional Uses

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has previously received Conditional Use approval, it has successfully operated on this 3.6-acre site for many years, and the building footprint will not be expanded. The school enrollment capacity will not be changed by the minor site and building modifications proposed. Building setbacks will remain essentially the same, and in total, the modifications will have no meaningful affect on surrounding properties.

The school building site coverage will not change. The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. This proposal will not affect building floor area. All dimensional standards will be satisfied.

Chapter 55 Design Review

Section 55.090 Approval Standards – Class I Design Review

This section lists the applicable criteria in Chapter 55 of the Community Development Code (CDC) including:

- 55.085 Additional Information Required and Waiver of Requirements
- 55.090(B) Adequate public facilities are available
- 55.100(B)(1)-(4) Relationship to the natural and physical environment
- 55.100 (B)(5) and (6) Architecture

CDC 55.085

A preapplication meeting was held on October 21, 2020 with the city planning staff, and the relevant information and CDC criteria were identified. The requested information is provided, and relevant CDC criteria are addressed in the following sections.

CDC 55.090(B)

Adequate public facilities, including public water, sewer, storm drainage, and streets, are available and utilized by the school. The proposed minor site improvements will have no impact upon public facilities, satisfying this criterion. The city staff has determined that a waiver of stormwater treatment requirement is appropriate due to the small amount of new impervious surface (September 28, 2020 memorandum from Amy Pepper).

CDC 55.100

B. Relationship to the Natural and physical Environment

Section 55.100 B. 1. and 2. are not relevant because there are no heritage trees on the site. The impact of removing the two trees noted in this application will not be significant because there will continue to be over 40 mature trees on the site.

Section 55.100 B. 3. is satisfied because the existing grade and the amount of landscaped area will remain virtually unchanged.

Section 55.100 B. 4. is satisfied because the property is essentially flat and geologically stable.

Section 55.100 B. 5. is satisfied because the school building will retain its current setbacks. In addition, the school site is separated from surrounding properties by public streets adding to the total distance between the school use and the homes in the neighborhood.

Section 55.100 B. 6. is met based on the findings below:

- a.* The design of the new building entrance will be consistent with the architectural style of the existing building as shown in the application. As illustrated in Sheet LU3.07, the existing roofline will remain the same, and other than the new ADA ramp, the appearance and proportion of the new entry will be similar to the existing entry. As a primary school in a residential neighborhood, the building has proven to be compatible with its neighbors and is viewed as a neighborhood asset.
- b.* This criterion calls for structures to transition in height and scale on the site and adjoining sites. As noted in the response to Subsection a. above, the primary school has been a fixture within the neighborhood for years. The proposed entry design will blend very well with the existing scale and architecture of the building, and its relationship with the surrounding homes will not change.
- c.* The proposed design of the entry is not proposed to contrast with the existing architecture or exterior finishes. This consistency in architectural style will retain the overall appearance of the existing entry. The proposed rooftop equipment will generally not be visible from any vantage points surrounding the building.
- d.* The human scale of the proposed building will be retained because the changes to the

front entrance will replicate the current scale and general appearance of the existing entrance. The new building entrance is consistent with the architectural style of the building, and it also represents a very minor change to the building's exterior as noted above and on Sheet LU3.07.

- e. This criterion deals with commercial and office buildings and is not relevant to a school use.
- f. As described herein, the renovated building entry will retain the current design of this front façade of the building. The design offers a harmonious complement of architecture and finishes that are similar to the existing entry and therefore retaining the overall pleasing appearance of the school building.
- g. The building entry acknowledges the local climate by retaining the current overhang and its associated weather protection value.
- h. A safe and attractive environment is actually enhanced by the entrance renovation by providing improved accessibility and security. The remainder of the site will continue to maintain the current pedestrian-friendly character of the neighborhood.
- i. This criterion deals with commercial and office buildings and is not relevant to a school use.

COMMUNITY TREE ORDINANCE

The Community Tree Ordinance is found in Sections 8.500 through 8.798 of the West Linn Municipal Code (WLMC). The relevant sections of this ordinance are addressed below.

WLMC 8.510 Definitions

For the purposes of regulation, a "tree" is defined as being a minimum DBH of 6 inches for Oregon White Oak and 12 inches for other species. The trees proposed for removal have a DBH of 16 and 28 inches, and are defined as trees that are covered by the ordinance. They are not "heritage trees" because they have not been designated as such by the West Linn City Council.

WLMC 8.570 Definitions

Subsection A.1. states that "any tree which has been approved for removal through the development review process ... shall not require an additional tree-removal permit." The removal of the two trees is part of this development review action. Assuming approval through the Class I Design Review process, no additional permits will be necessary to remove them.

CONCLUSION

The proposed school improvements satisfy all of the relevant criteria as demonstrated above.

WEST LINN - WILSONVILLE SCHOOL DISTRICT

Willamette Primary School PROJECT 19050.009

1403 12th Street,
West Linn, OR 97068

SHEET INDEX

LU0.0	COVER
LU1.00	EXISTING SITE CONDITIONS
LU1.01	OVERALL SITE PLAN
LU3.01	OVERALL LOWER LEVEL FLOOR PLAN
LU3.02	OVERALL MAIN LEVEL FLOOR PLAN
LU3.03A	OVERALL ROOF PLAN
LU3.03B	ROOF PLAN AERIAL VIEW
LU3.04	OVERALL EXTERIOR ELEVATIONS
LU3.05	ENLARGED ENTRY PLAN
LU3.06	ENLARGED ENTRY ELEVATION
LU3.07	NEW ENTRY RENDERING
C1100	EXISTING CONDITIONS & DEMOLITION
C1210	SITE, GRADING & EC PLAN

WEST LINN - WILSONVILLE SCHOOL DISTRICT



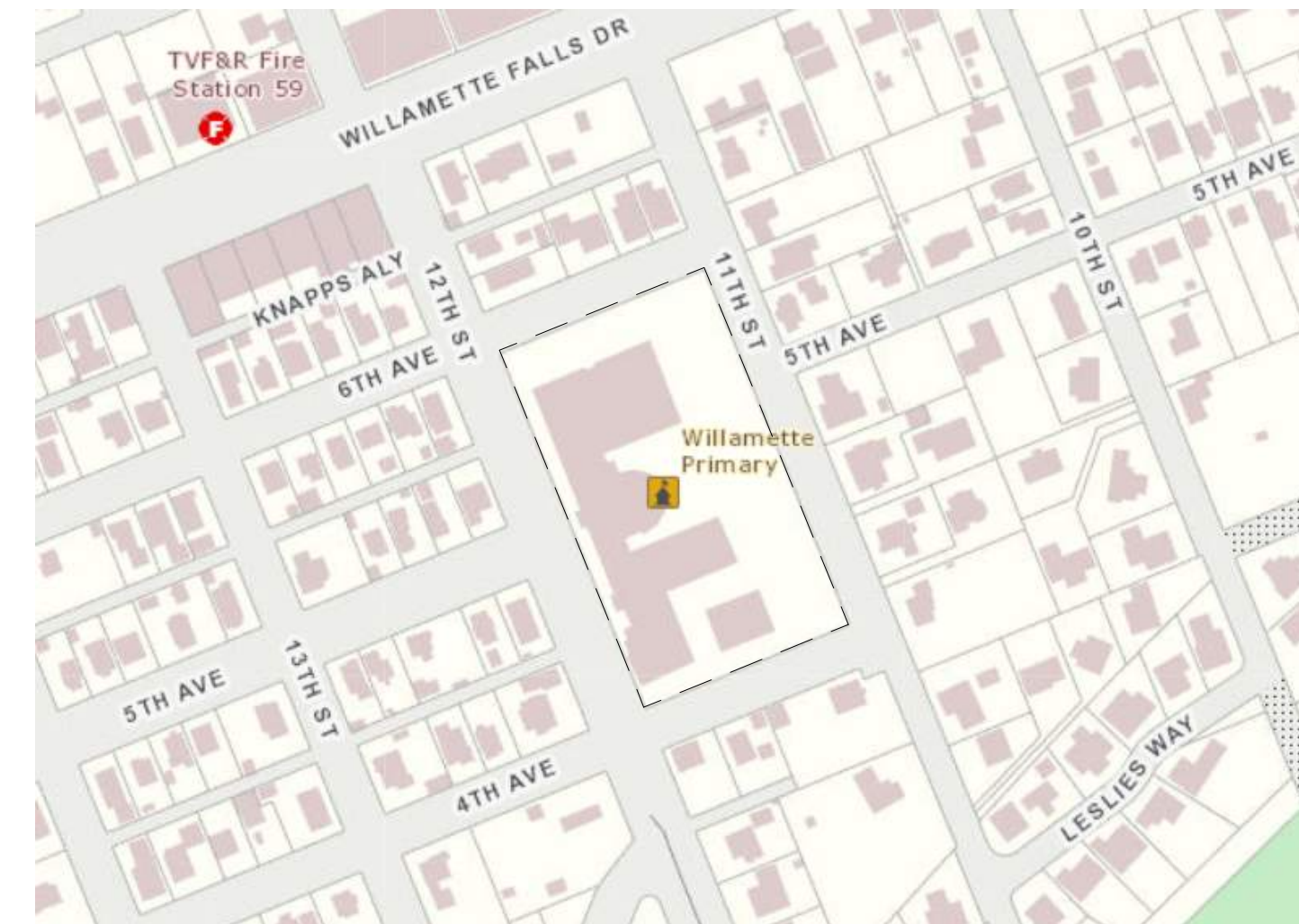
No.	DESCRIPTION	DATE
1	LAND USE	2020-11-13

Willamette Primary School
PROJECT 19050.009
1403 12th Street,
West Linn, OR 97068

ANNOTATION SYMBOLS:

Room Tags Room Name [A101]	Door Tag 101	Section Marker 1 Ref A101	North Arrow True North Project North
Wall Tags W?	Window Tag 101	Elevation Datum Marker Level -00' 00"	Elevation Marker 1 Ref A101
Ceiling Tags C?	Keynote Tag ?	Titelmark 1 View Name Scale: 1:100	Revision Tags A
Roof Tags R?	Equipment Tag XX	Grid XX	
Finish Tags F?	Stair Tags XX 20R @ 1' - 0"		

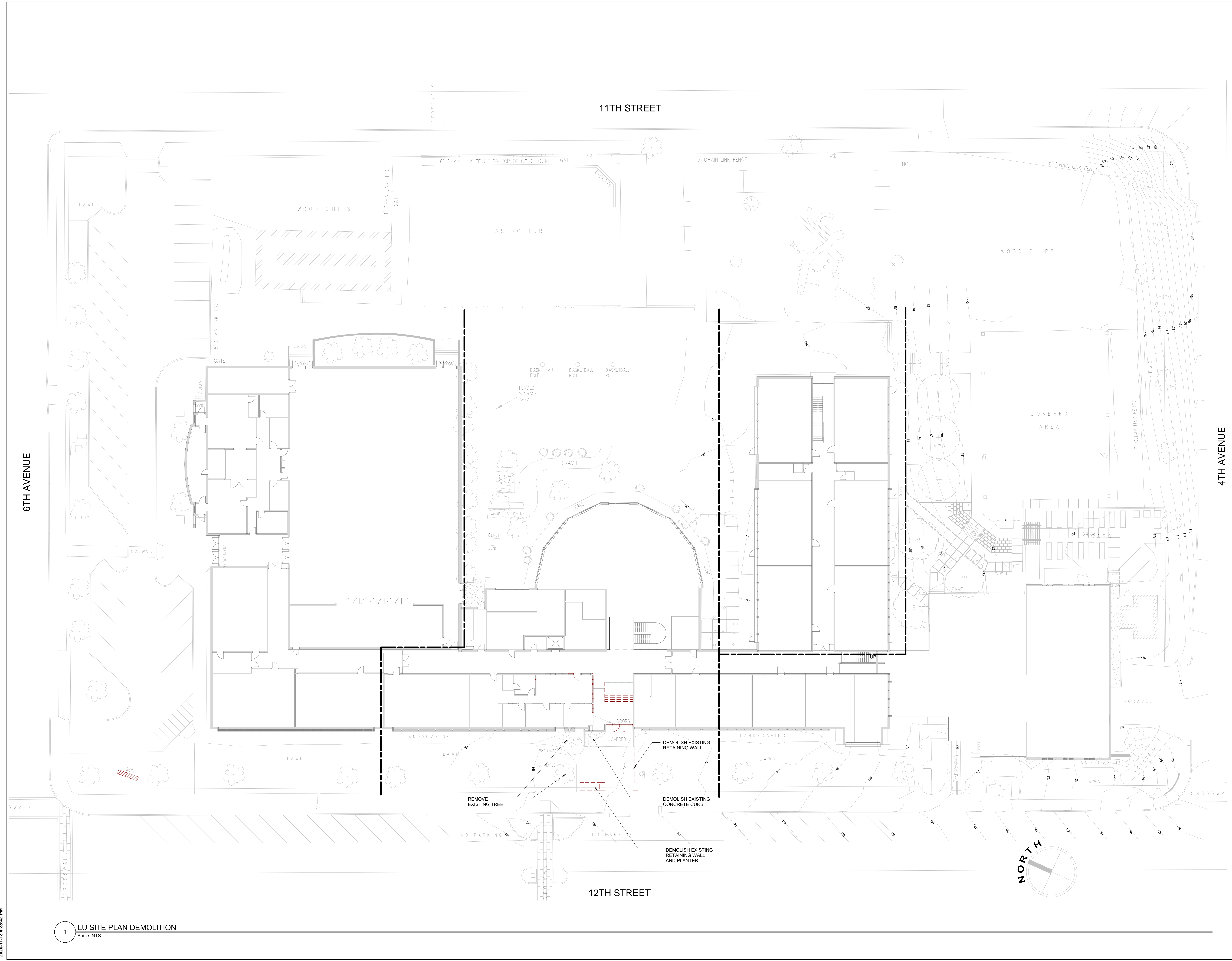
VICINITY MAP:



& ANGLE	DN DOWN	GALV GALVANIZED	NIC NOT IN CONTRACT	SJ SEISMIC JOINT
AB AND	DP DAMPROOFING	GB GRAB BAR	NOM NOMINAL	SM SHEET METAL
AB ANCHOR BOLT	DR DOOR	GC GENERAL CONTRACTOR	NS NELSON STUD	SQ SQUARE
ACT ACOUSTICAL CEILING TILE	DS DOWNSPOUT	GL GLASS	NTS NOT TO SCALE	SS STAINLESS STEEL
ADD ADDENDUM	DTL DETAIL	GND GROUND	OA OVERALL	STD STANDARD
AESS ARCHITECTURAL EXPOSED STRUCTURAL STEEL	DWG DRAWING	GVP GYPSUM VENEER PLASTER	OC ON CENTER	STL STEEL
AFF ABOVE FINISH FLOOR	E EXISTING	GWB GYPSUM WALL BOARD	OD OUTSIDE DIAMETER	STOR STORAGE
ALS AREA LIGHT STANDARD	EA EACH	HB HOSE BIBB	OD OVERFLOW DRAIN	STRUCT STRUCTURAL
ALUM ALUMINUM	EF EXHAUST FAN	HC HANDICAP	OFCI OWNER FURNISHED CONTRACTOR INSTALLED	SUSP SUSPENDED
ANOD ANODIZED	EJ EXPANSION JOINT	HM HOLLOW METAL	OFOI OWNER FURNISHED OWNER INSTALLED	T TEMPERED GLAZING
BD BOARD	EL ELEVATION	HPC HIGH PERFORMANCE COATING	OH OVERHEAD	T&G TONGUE AND GROOVE
BLDG BUILDING	ELEC ELECTRICAL	HVAC HEATING, VENTILATION, AND AIR CONDITIONING	OPNG OPENING	TM TO MATCH
BLKG BLOCKING	ENGR ENGINEER	HW HOT WATER	OPP OPPOSITE	TC TOP OF CURB
BM BENCH MARK	EOS EDGE OF SLAB	INSUL INSULATION	OS OUTSIDE	TEL TELEPHONE
BOT BOTTOM	EQ EQUAL	INT INTERIOR	PL PROPERTY LINE	THK THICK
BTWN BETWEEN	EQUIP EQUIPMENT	JAN JANITOR	PLAS PLASTER	TJ TOOL JOINT
C CHANNEL	ES EACH SIDE	JST JOIST	PLYWD PLYWOOD	TO TOP OF
CB CATCH BASIN	EW EACH WAY	JT JOINT	PSF PER SQUARE FOOT	TOD TOP OF DECK
CCTV CLOSED CIRCUIT TELEVISION	EXP EXPANSION	L LENGTH	PT PRESSURE TREATED	TOS TOP OF STRUCTURE
CG CORNER GUARD	EXT EXTERIOR	LAV LAVATORY	PVMT PAVEMENT	TP TOILET PAPER
CIP CAST IN PLACE CONCRETE	FA FIRE ALARM	LB LAG BOLT	R RADIUS	TS TUBE STEEL
CJ CONTROL JOINT	FD FLOOR DRAIN	LKR LOCKER	RCP REFLECTED CEILING PLAN	TYP TYPICAL
CL CENTERLINE	FDN FOUNDATION	LS LANDSCAPING	RD ROOF DRAIN	UNFIN UNFINISHED
CLG CEILING	FE FIRE EXTINGUISHER	LVR LOUVER	REF REFERENCE	UNO UNLESS NOTED OTHERWISE
CLR CLEAR	FEC FIRE EXTINGUISHER CABINET	MATL MATERIAL	REFR REFRIGERATOR	VB VAPOR BARRIER
CMU CONCRETE MASONRY UNIT	FECB FIRE EXTINGUISHER CABINET WITH BLANKET	MAX MAXIMUM	REQ'D REQUIRED	VERT VERTICAL
CONT CONTINUOUS	FF FINISH FLOOR	MB MARKERBOARD	REV REVISE OR REVISION	VEST VESTIBULE
CORR CORRIDOR	FIN FINISH	MECH MECHANICAL	RM ROOM	VFY VERIFY
CR CLASSROOM	FL FLOOR	MED MEDIUM	RO ROUGH OPENING	W/ WITH
CSJ CONSTRUCTION JOINT	FO FACE OF	MEZZ MEZZANINE	SAHTS SELF-ADHERED HIGH TEMPERATURE SHEET	W/O WITHOUT
CSMT CASEMENT	FOC FACE OF CONCRETE	MFR MANUFACTURER	SAM SELF-ADHERED MEMBRANE	WC WATER CLOSET
CT CERAMIC TILE	FOF FACE OF FINISH	MIN MINIMUM	SC SOLID CORE	WD WOOD
CTR CENTER	FOM FACE OF MASONRY	MIR MIRROR	SECT SECTION	WF WIDE FLANGE
DBL DOUBLE	FOS FACE OF STUD	MISC MISCELLANEOUS	SF SQUARE FOOT	WH WATER HEATER
DF DRINKING FOUNTAIN	FRT FIRE RETARDANT TREATED	MTD MOUNTED	SHT SHEET	WP WATERPROOFING
DIAG DIAGONAL	FTG FOOTING	MTL METAL	SHTG SHEATHING	WRB WATER-RESISTIVE BARRIER
DIM DIMENSION	FURR FURRING	N NEW	SHWR SHOWER	WT WEIGHT
DISP DISPENSER	GA GAUGE	NA NOT APPLICABLE	SIM SIMILAR	

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PROJECT NO: 128803	
SHEET NUMBER LU0.0	ISSUE 1



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PROJECT
 Willamette Primary School
 PROJECT 19050.009
 1403 12th Street,
 West Linn, OR 97068

PROJECT NO: 126803
DRAWN BY: Author
CHECKED BY: Checker
PROJECT MGR: Designer
APPROVED BY: Approver

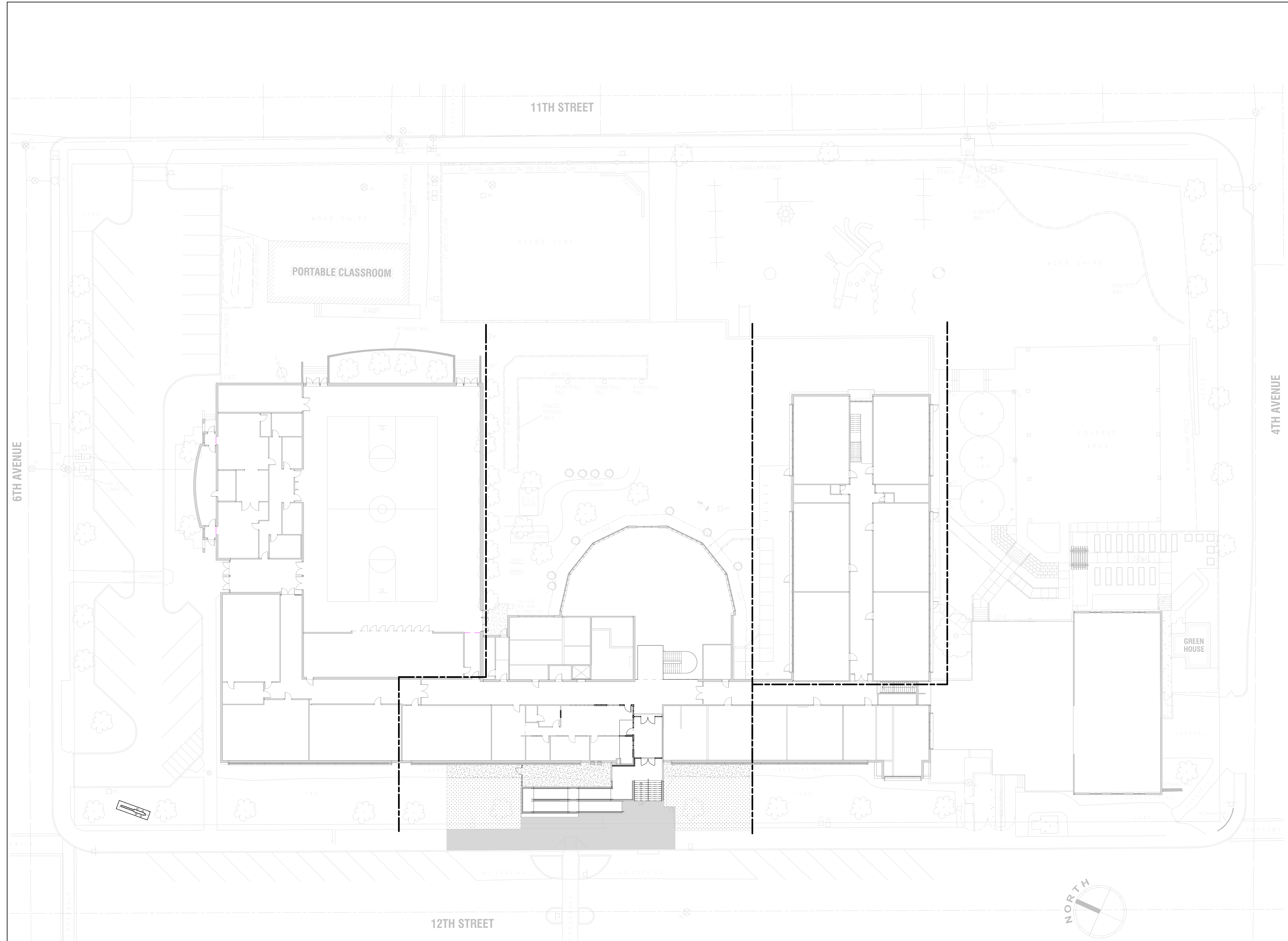
SHEET TITLE
 EXISTING SITE CONDITIONS

SHEET NUMBER LU1.00
ISSUE 1

1 **LU SITE PLAN DEMOLITION**
 Scale: NTS

2020-11-13 4:35:42 PM

IBI 19050/126803 - Safety and Security Group # 2420203/SafetySecurity_Willamette_2020.rvt



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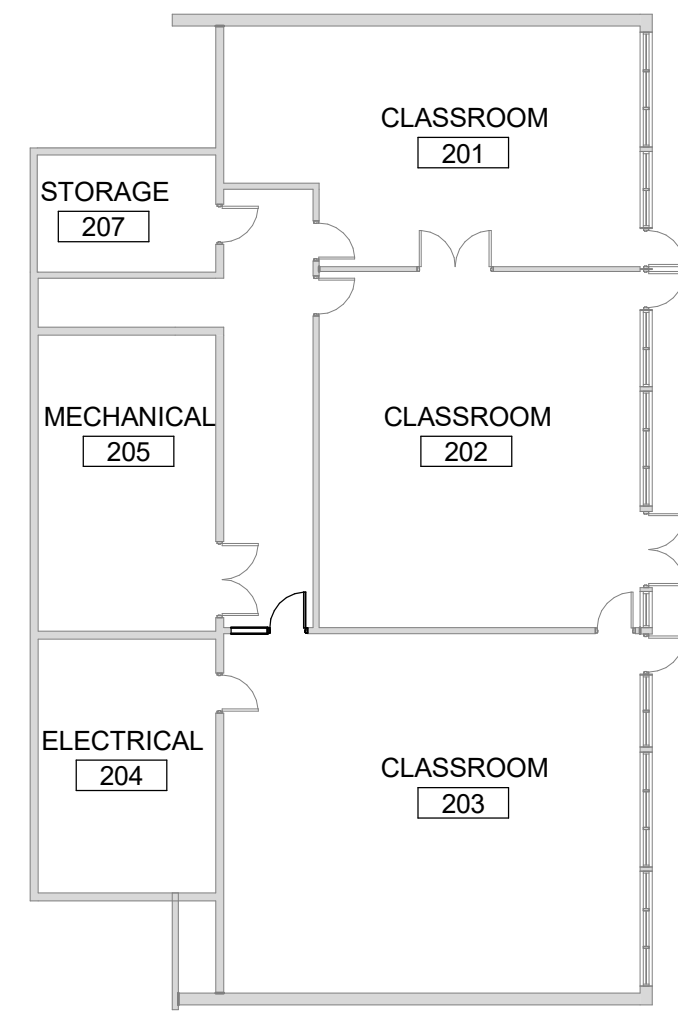
SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
LU1.01
 ISSUE
1

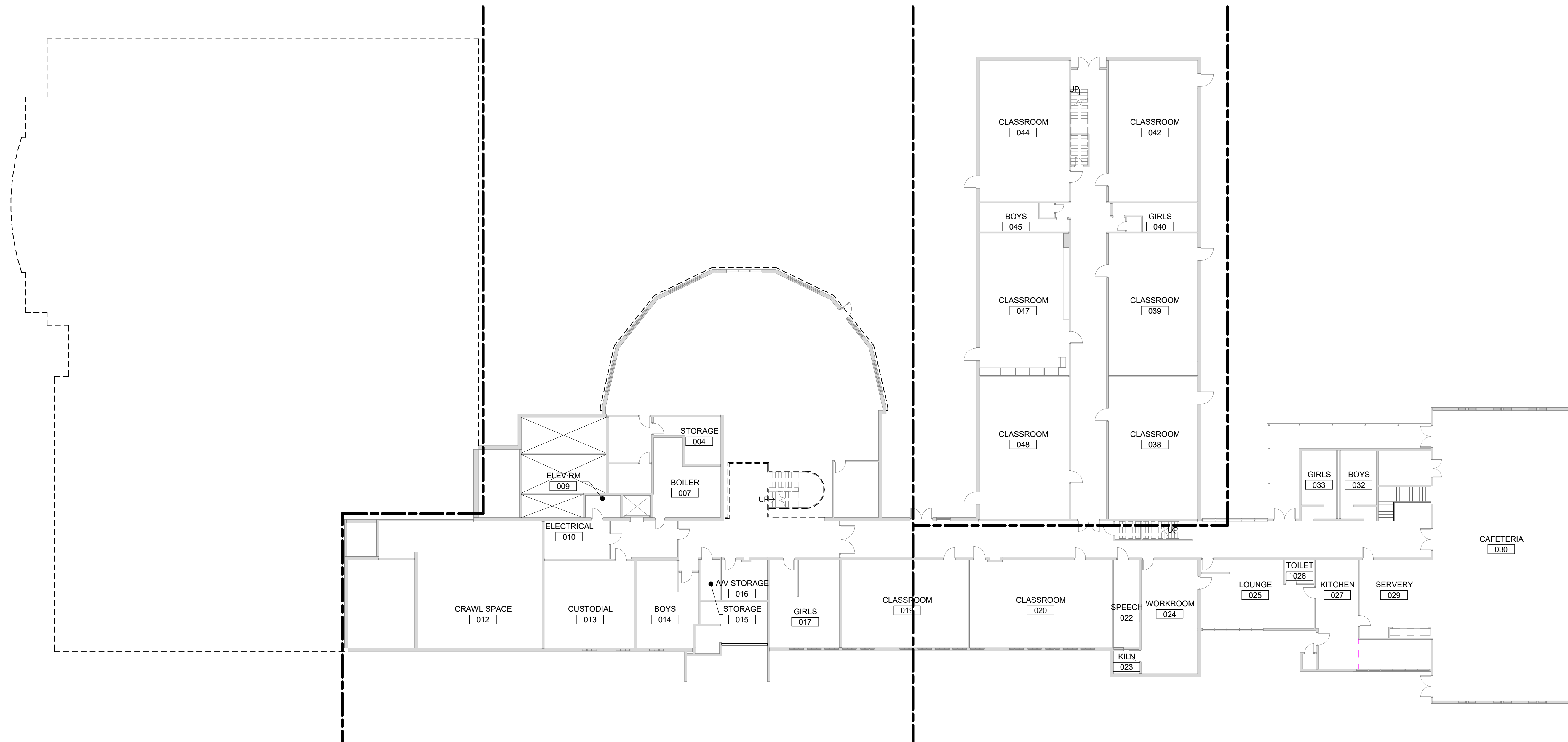
1 LU SITE PLAN
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2 LEVEL 01 OVER ALL FLOOR PLAN
Scale: NTS



1 LOWER LEVEL OVERALL FLOOR PLAN
Scale: NTS

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SHEET TITLE
OVERALL LOWER LEVEL FLOOR PLAN

SHEET NUMBER
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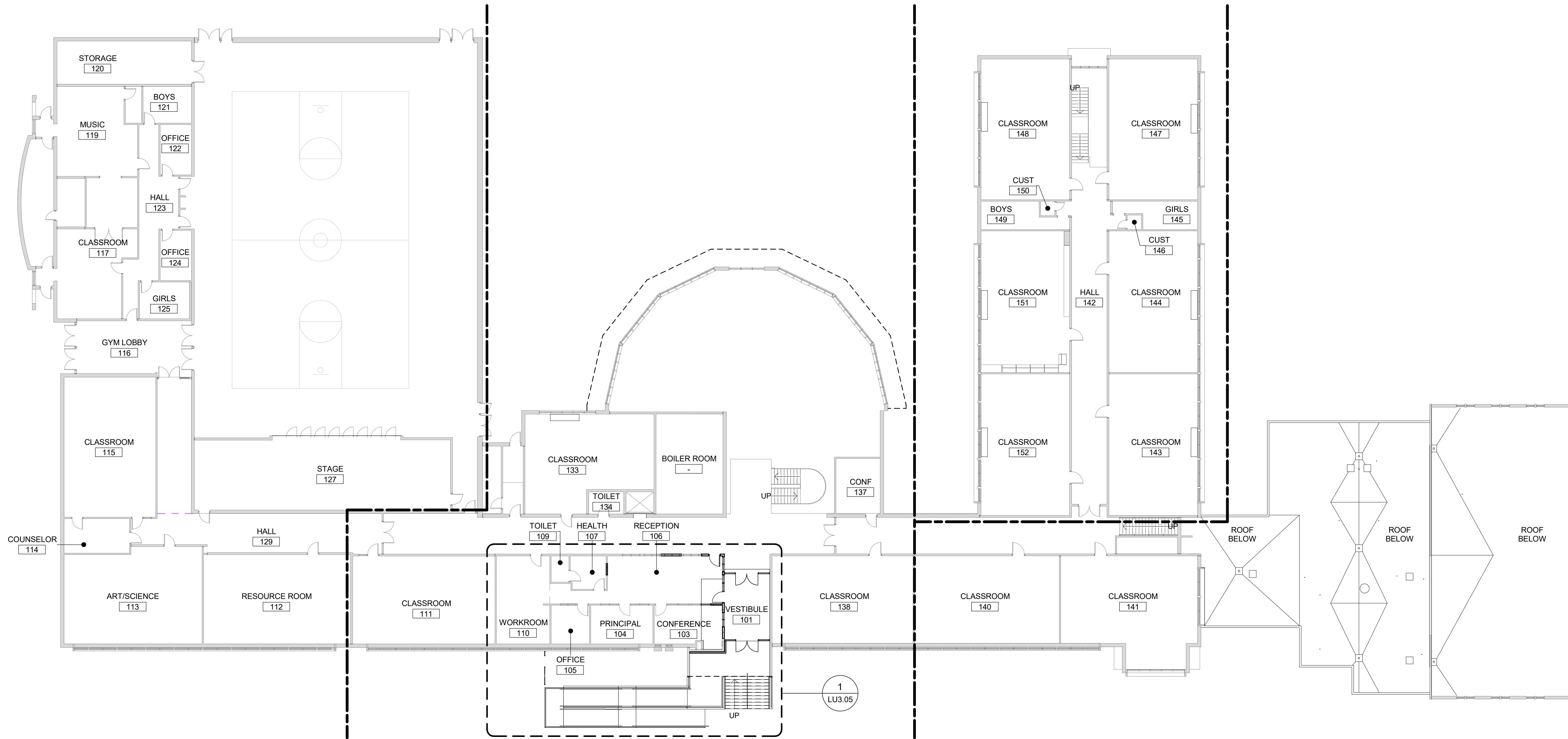
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SHEET TITLE
OVERALL MAIN LEVEL FLOOR PLAN

SHEET NUMBER
LU3.02
 ISSUE
1



1 LU MAIN LEVEL OVERALL FLOOR PLAN
 Scale: NTS

2020-11-13 4:35:46 PM

IBI 3607126803 - Safety and Security Group # 2420203SafetySecurity_Willamette_2020.rvt

Technical Data Sheet for ACU-3A,3B

Job Information	Technical Data Sheet
Job Name	Willamette Primary
Date	8/24/2020
Submitted By	Melanie Rainey
Software Version	08.31
Unit Tag	ACU-3A,3B



Model Number	Voltage V/Hz/Phase	Design Cooling Capacity UOM_OSelected_Coil otal	AHRI360 Standard Efficiency		ASHRAE 90.1
			EER	IEER	
DP5007A	208/60/3	89691	12.8	19.3	ASHRAE 90.1-2016 compliant

Unit	
Model Number:	DP5007A
Model Type:	Heat Pump
Heat Type:	Hot Water
Energy Recovery:	None
Application:	Variable Air Volume, Single Zone (Mixed Air or 100% OA)
Controls:	Refrigeration only
Outside Air:	0-100% Economizer with Drybulb Control
Altitude:	0 ft
Approval:	cETLus

Physical				
Dimensions and Weight				
Length	Height	Width	Weight	
91.0 in	56.8 in	96.5 in	2078 lb	
Corner Weights				
L1	L2	L3	L4	
366 lb	300 lb	636 lb	776 lb	

Technical Data Sheet for ACU-RAH-2

Job Information	Technical Data Sheet
Job Name	Willamette Primary
Date	8/24/2020
Submitted By	Melanie Rainey
Software Version	08.31
Unit Tag	ACU-RAH-2



Model Number	Voltage V/Hz/Phase	Design Cooling Capacity UOM_OSelected_Coil otal	AHRI360 Standard Efficiency		ASHRAE 90.1
			EER	IEER	
DPS012A	208/60/3	145043	11	17.5	ASHRAE 90.1-2016 compliant

Unit	
Model Number:	DPS012A
Model Type:	Heat Pump
Heat Type:	Gas
Energy Recovery:	None
Application:	Variable Air Volume, Single Zone (Mixed Air or 100% OA)
Controls:	Refrigeration only
Outside Air:	0-100% Economizer with Drybulb Control
Altitude:	0 ft
Approval:	cETLus

Physical				
Dimensions and Weight				
Length	Height	Width	Weight	
91.0 in	56.8 in	96.5 in	2482 lb	
Corner Weights				
L1	L2	L3	L4	
400 lb	357 lb	813 lb	912 lb	



Submittal Data Sheet
5.0 Ton VRV-IVS Heat Pump - RXTQ60TAVJUA

Project: Willamette Primary
Submitted by: Melanie Rainey of AIR REPS LLC - OREGON on 8/25/2020
Submitted to: No Engineer Name Specified
Type: ACCU-6



OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 1
Power Supply Connections:	
Min. Circuit Amps MCA (A):	29.1
Max Overcurrent Protection (MOP) (A):	35
Rated Load Amps RLA(A):	23.2
Dimensions (HxWxD) (in):	52-15/16 x 35-7/16 x 12-5/8
Net Weight (lb):	225



Submittal Data Sheet
8 Ton, 230V VRV IV X HP - RXYQ96XATJA

Project: Willamette Primary
Submitted by: Melanie Rainey of AIR REPS LLC - OREGON on 8/25/2020
Submitted to: No Engineer Name Specified
Type: ACCU-1, ACCU-3, ACCU-4, ACCU-7



OUTDOOR UNIT DETAILS

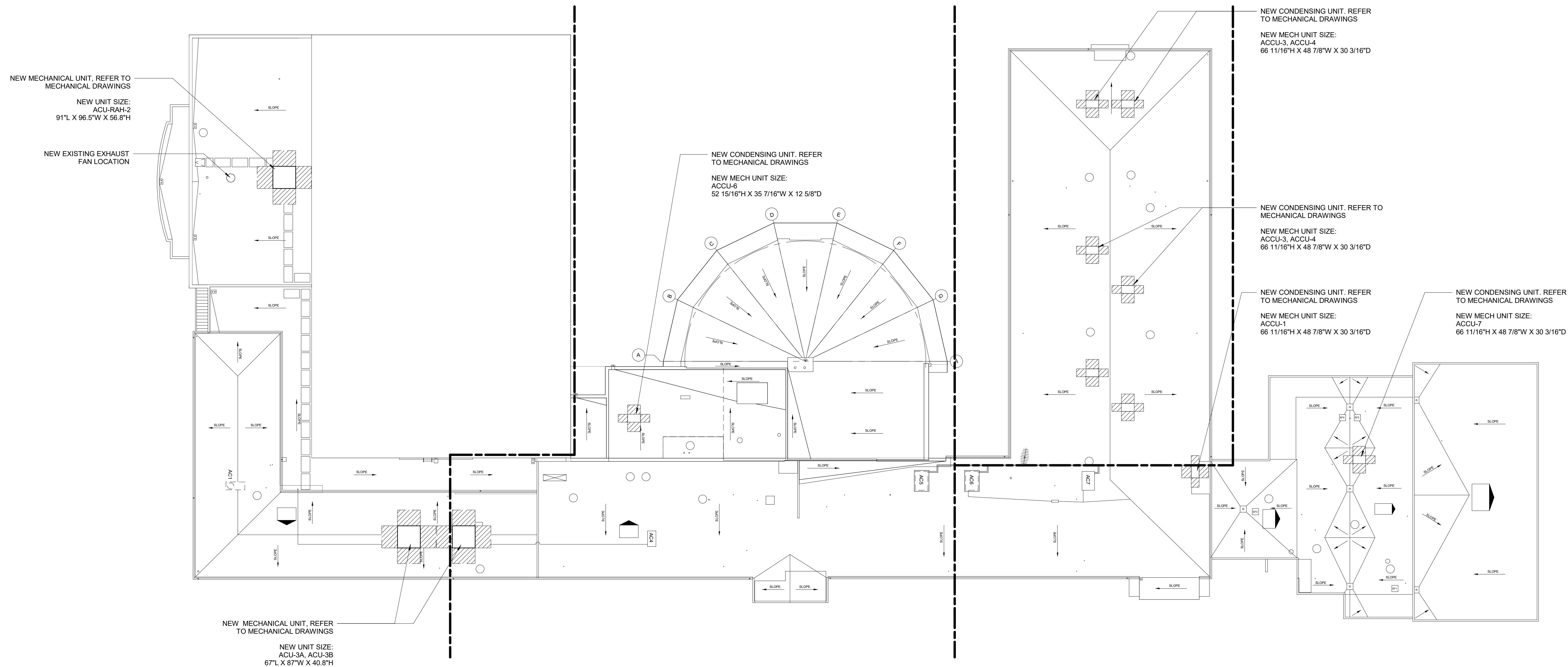
Power Supply (V/Hz/Ph):	208-230 / 60 / 3
Power Supply Connections:	L1, L2, L3 Ground
Min. Circuit Amps MCA (A):	36.3
Max Overcurrent Protection (MOP) (A):	45
Rated Load Amps RLA(A):	23.8
Dimensions (Height) (in):	66-11/16
Dimensions (Width) (in):	48-7/8
Dimensions (Depth) (in):	30-3/16
Net Weight (lb):	525

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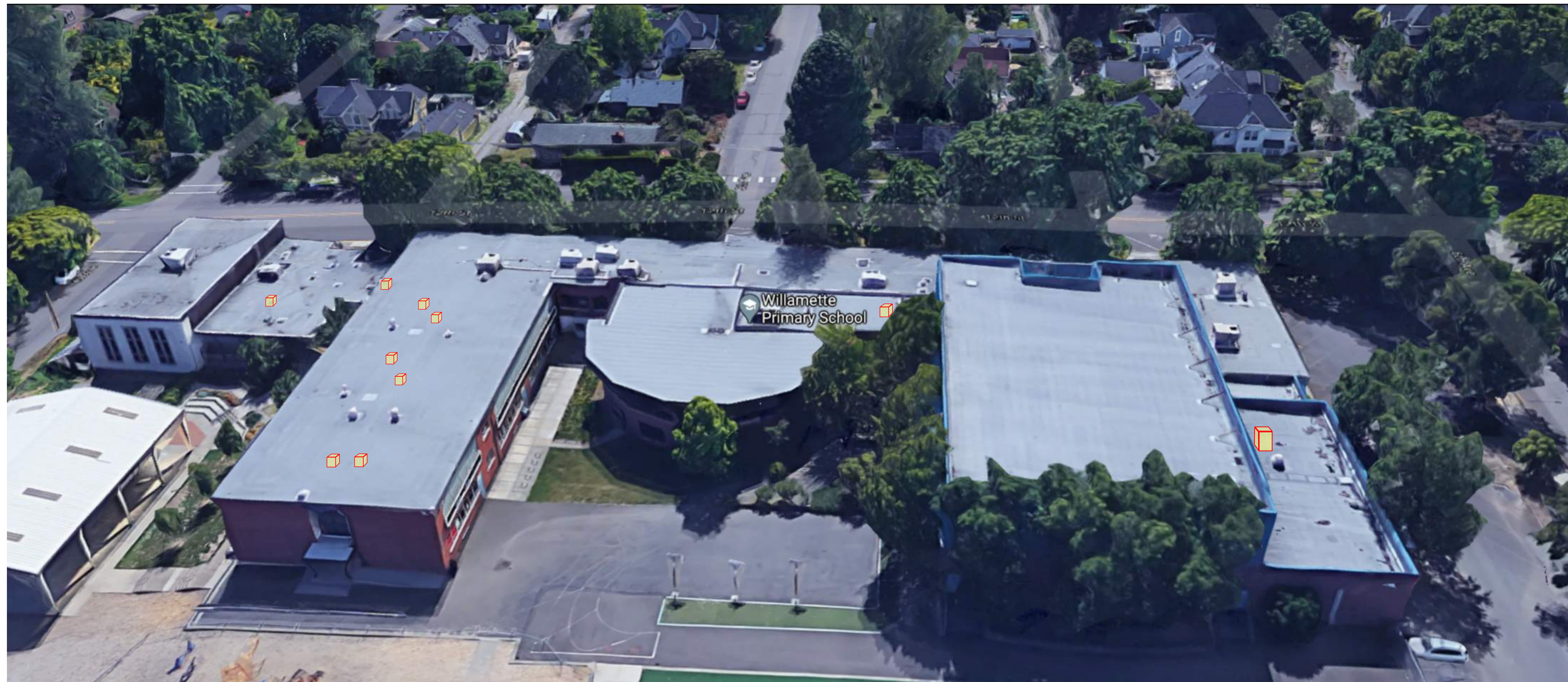
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PROJECT 19050.009
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PROJECT NO:
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PROJECT MGR: Designer
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SHEET TITLE
OVERALL ROOF PLAN

SHEET NUMBER
LU3.03A
ISSUE
1

1 LU ROOF OVERALL PLAN
Scale: 1/16" = 1'-0"



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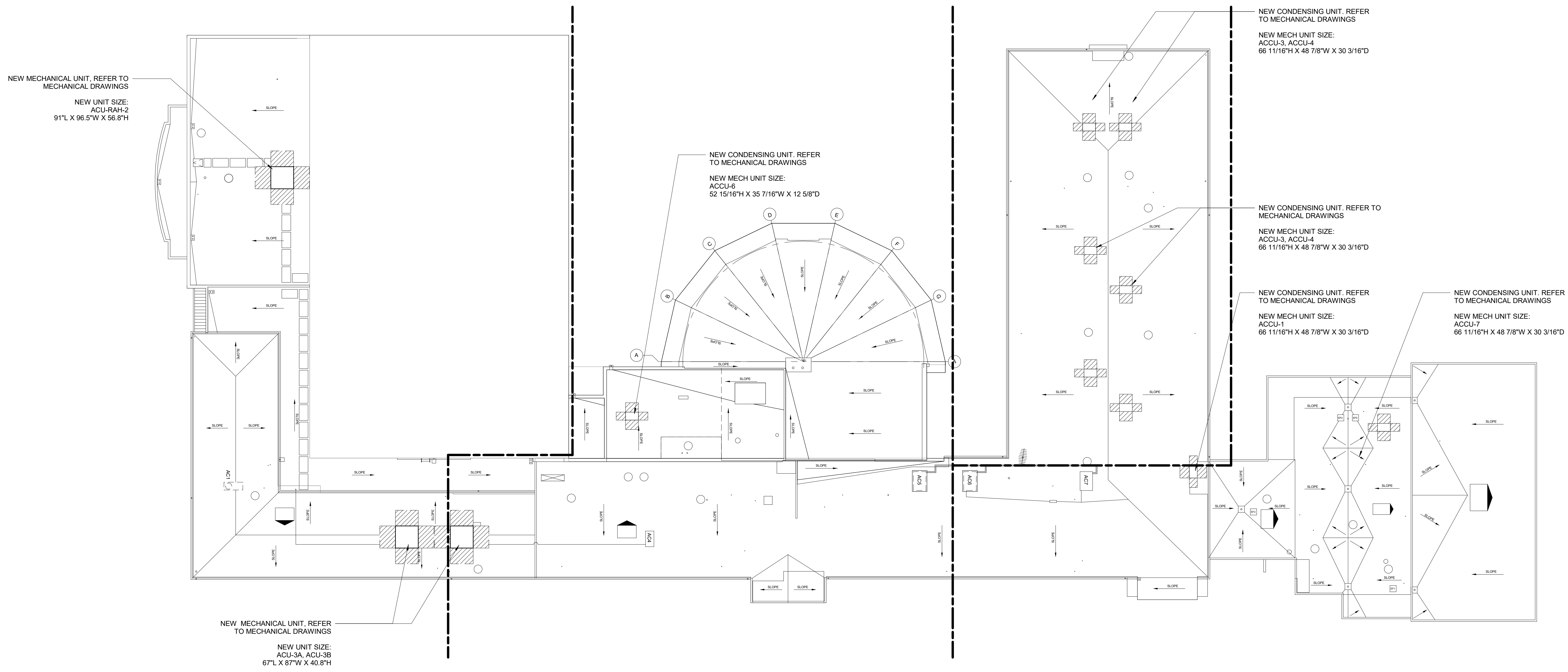
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SHEET TITLE
ROOF PLAN AERIAL VIEW

SHEET NUMBER
LU3.03B
 ISSUE
1



1 LU ROOF OVERALL PLAN AERIAL
 Scale: 1/16" = 1'-0"

2020-11-13 4:35:46 PM

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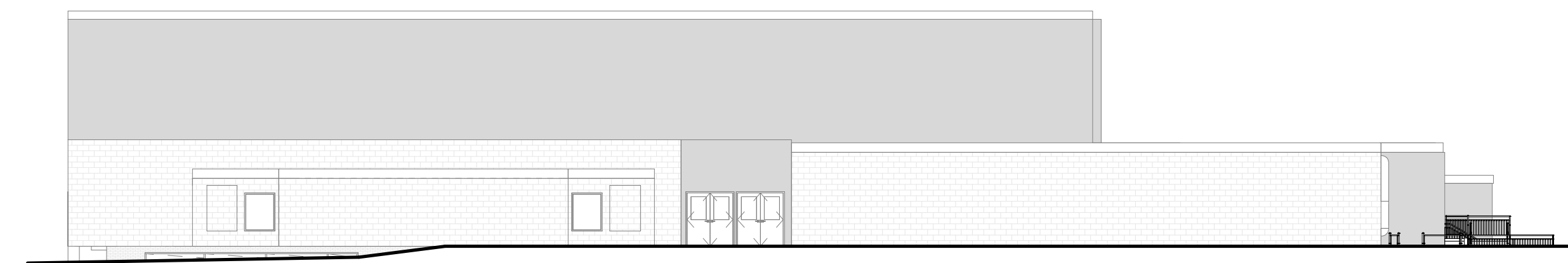
PROJECT NO:
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 PROJECT MGR: Designer
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SHEET TITLE
**OVERALL EXTERIOR
 ELEVATIONS**

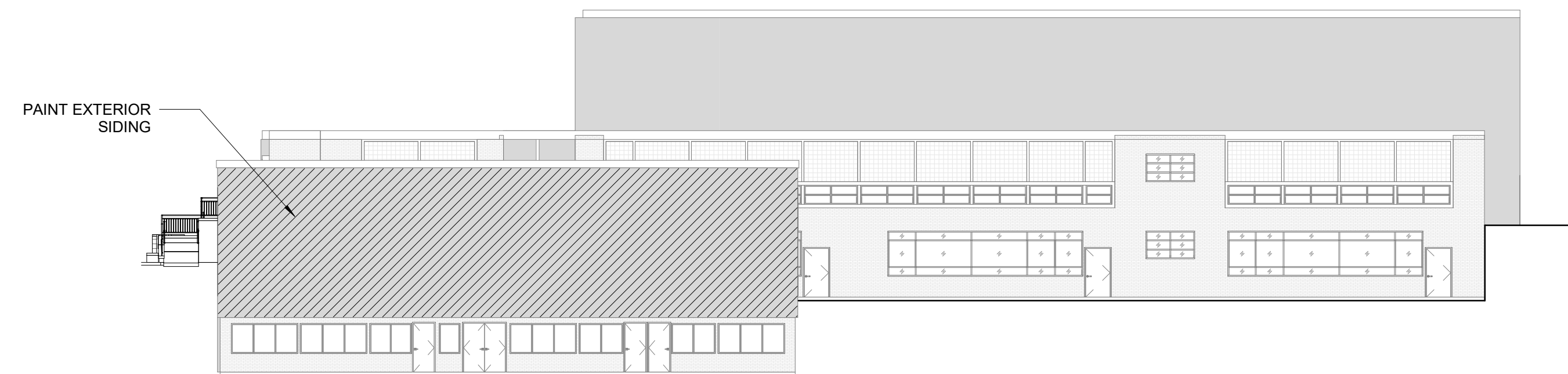
SHEET NUMBER
LU3.04
 ISSUE
1



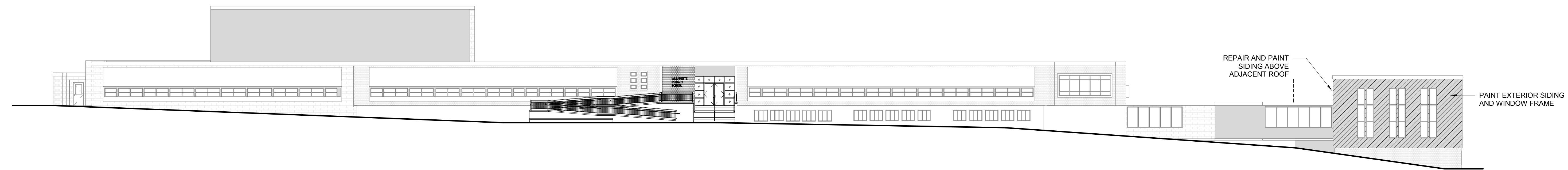
4 -LU EAST ELEVATION
 Scale: 1/16" = 1'-0"



3 -LU WEST ELEVATION
 Scale: 1/16" = 1'-0"



2 -LU SOUTH ELEVATION
 Scale: 1/16" = 1'-0"



1 -LU 12TH STREET ELEVATION
 Scale: 1/16" = 1'-0"

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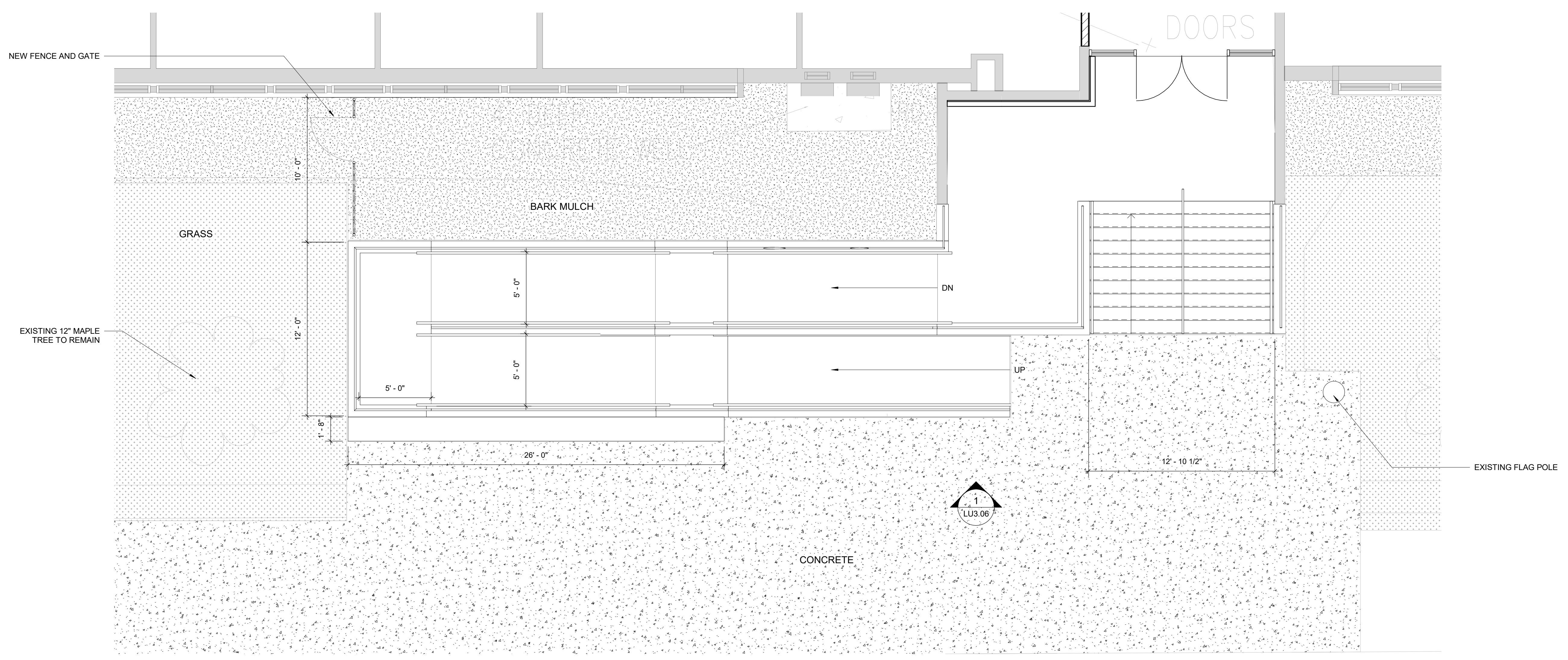
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PROJECT MGR: Designer	

SHEET TITLE
ENLARGED ENTRY PLAN

SHEET NUMBER LU3.05	ISSUE 1
-------------------------------	-------------------



1 LU MAIN LEVEL ENLARGED ENTRY PLAN
 Scale: 1/4" = 1'-0"

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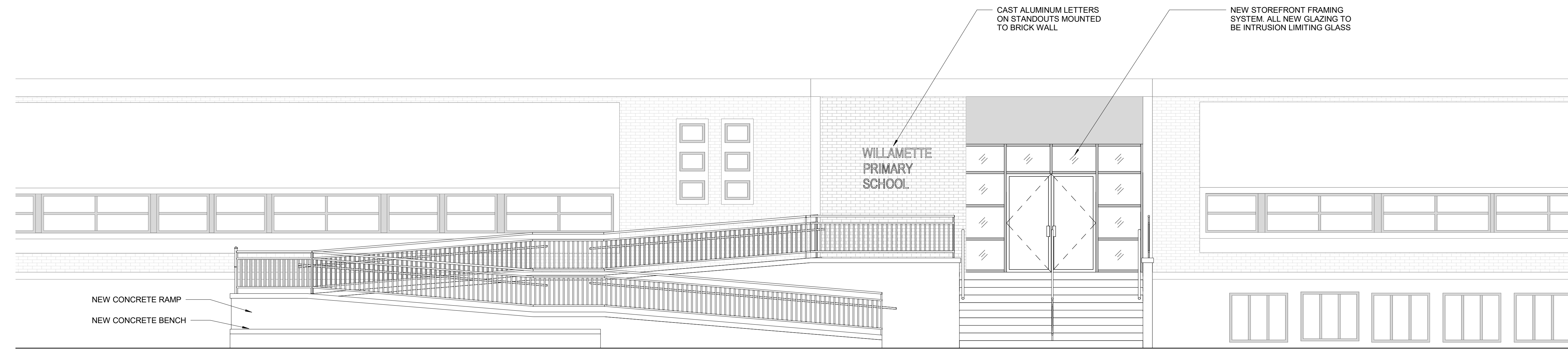
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SHEET TITLE
ENLARGED ENTRY ELEVATION

SHEET NUMBER
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1 **LU ENLARGED ENTRY ELEVATION**
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SHEET TITLE
NEW ENTRY RENDERING

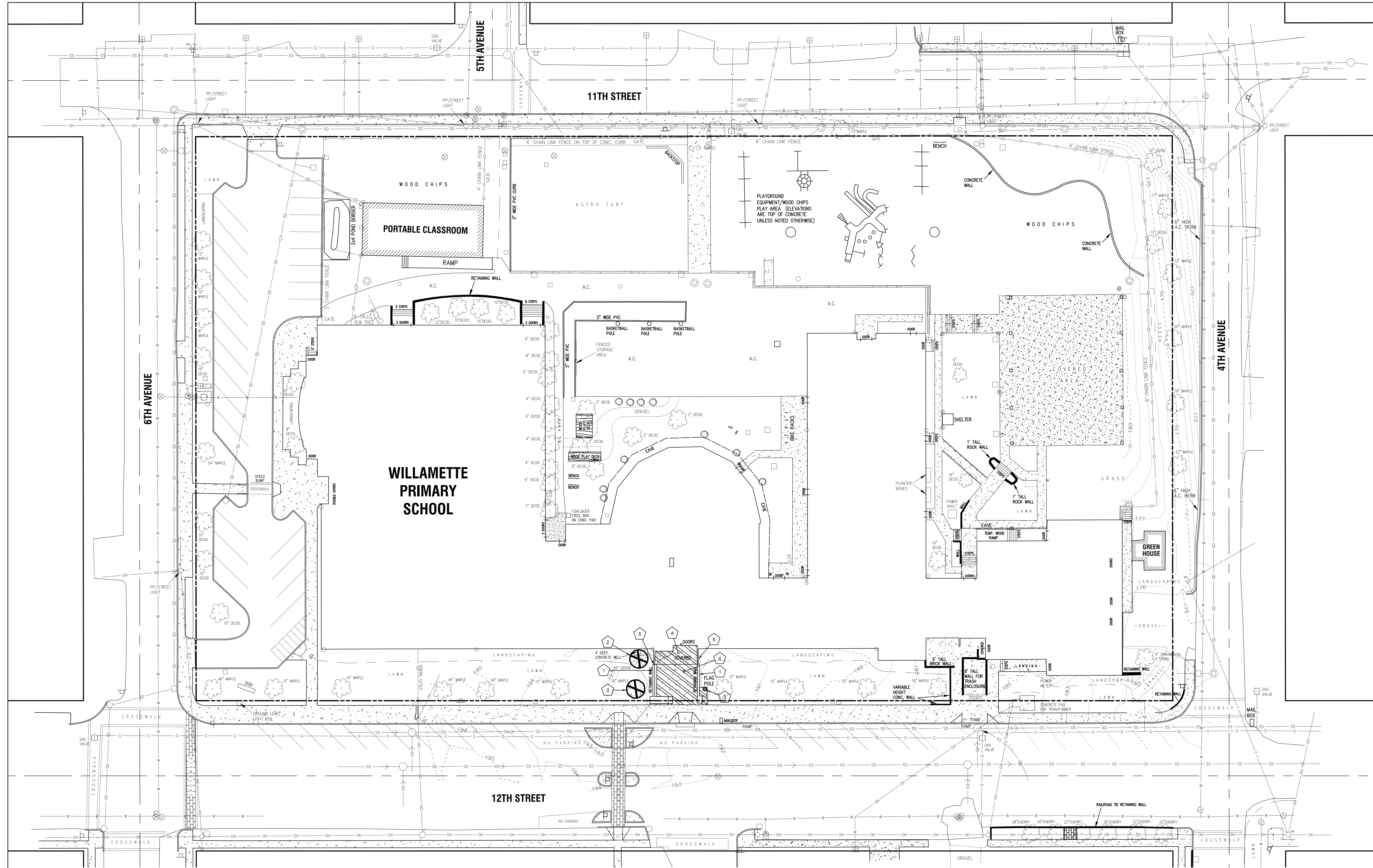
SHEET NUMBER LU3.07	ISSUE 1
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EXISTING ENTRY



PROPOSED NEW ENTRY



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FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

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- ONLY VISIBLE UTILITIES HAVE BEEN SHOWN. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- FROM FIELD SURVEY TAKEN IN DECEMBER 2003 AND JANUARY, 2004.
- BASIS OF ELEVATIONS IS GPS DATUM TRANSFER FROM "TERM" N.G.S. GPS STATION LOCATED IN OREGON CITY, ELEVATION = 37.95 (NAVD '88).
- THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND SHOULD NOT BE CONSTRUED AS SUCH. PROPERTY LINES SHOWN ARE BASED ON EXISTING MONUMENTS AND SURVEYS OF RECORD.

DEMOLITION KEY NOTES

- REMOVE EXISTING RETAINING WALL AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- REMOVE EXISTING TREE AND DISPOSE OF OFF-SITE.
- REMOVE AND REINSTALL EXISTING FLAG POLE.
- REMOVE EXISTING CONCRETE AND BASE ROCK TO NEAREST JOINT. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- PROTECT EXISTING BUILDING OVERHANG AND WALLS.

LEGEND

TREE, TYPE AND SIZE AS NOTED	CLEANOUT	STORM SEWER LINE
FIRE HYDRANT	GAS METER	WATER LINE
WATER METER	WATER VALVE	GAS LINE
SANITARY/STORM SEWER MANHOLE	ROOF DRAIN	SANITARY SEWER LINE
STORM DRAIN CATCH BASIN (CB)	WATER BOX	TELEPHONE LINE
UTILITY POLE	SPRINKLER VALVE	OVERHEAD POWER LINE
UTILITY POLE ANCHOR	SHRUB	FENCE LINE
TREE TO BE REMOVED	CONCRETE	

811
 Know what's below.
 Call before you dig.

SCALE: 1" = 20' FT

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PROJECT
 Willamette Primary School
 Safety & Security Group #2
 1403 12TH STREET
 WEST LINN, OR 97068

PROJECT NO: 20644

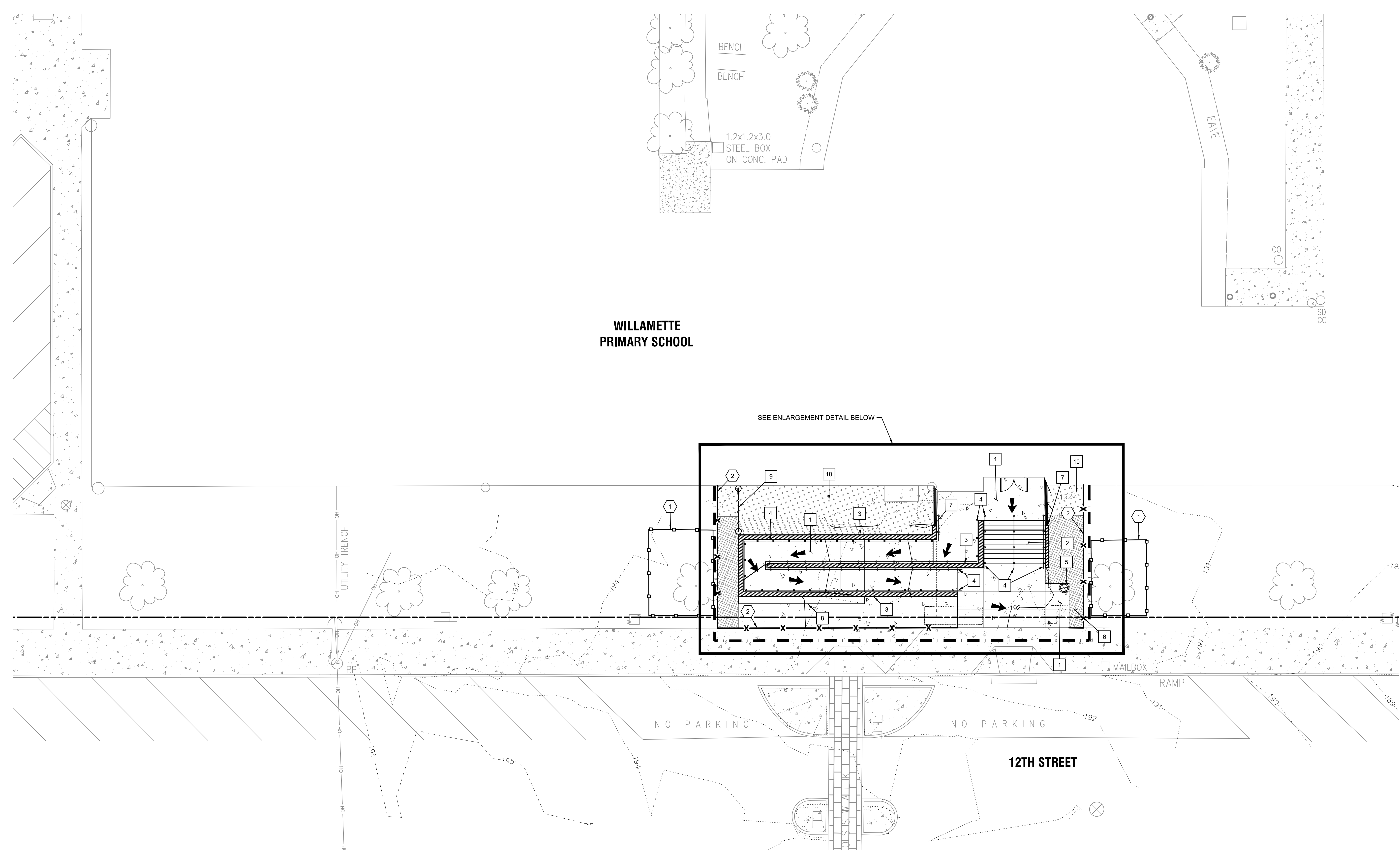
DRAWN BY: JGW **CHECKED BY:** ARD

PROJECT MGR: BKF **APPROVED BY:**

SHEET TITLE
EXISTING CONDITIONS & DEMOLITION PLAN

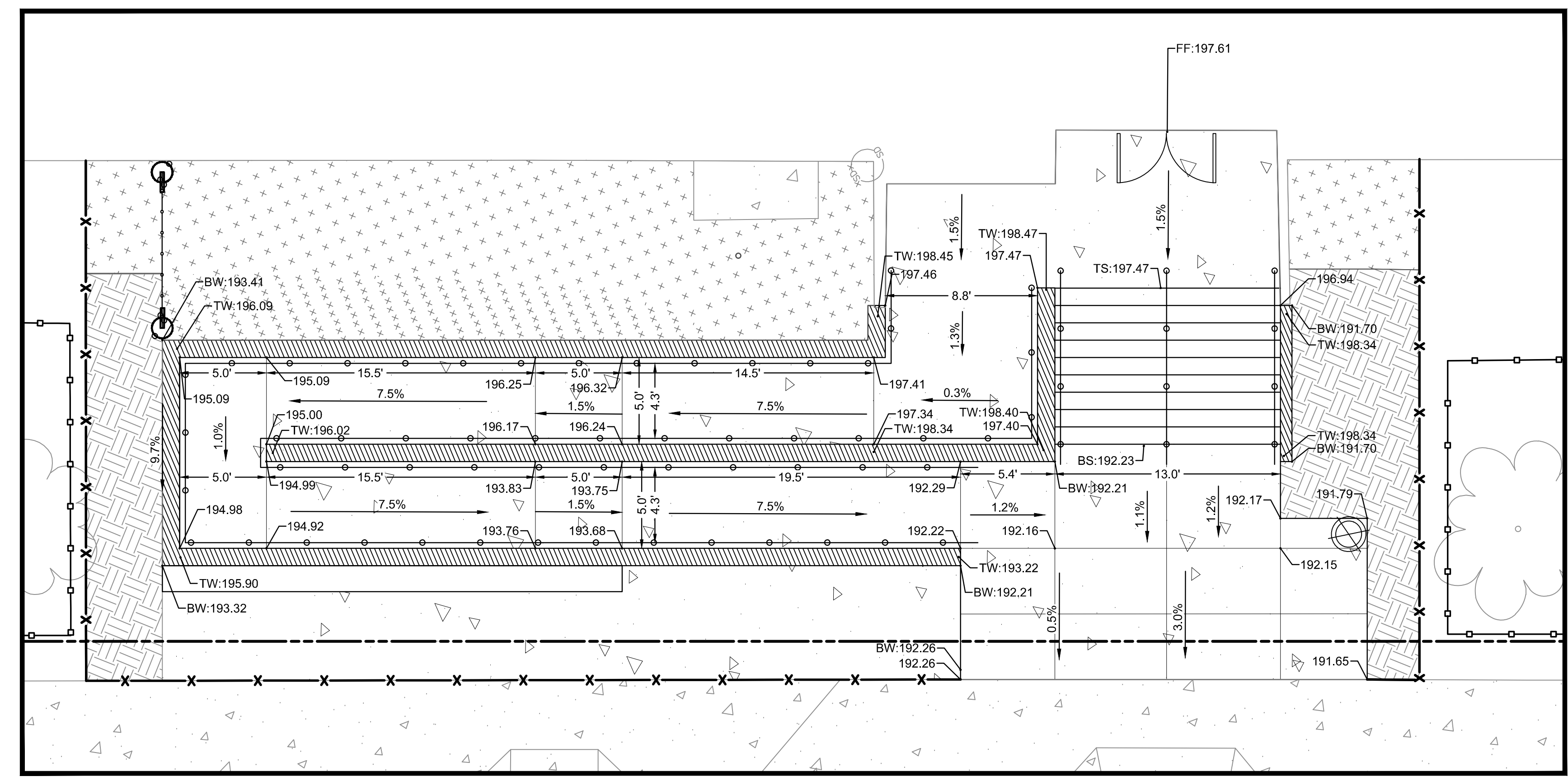
SHEET NUMBER
C1100

ISSUE

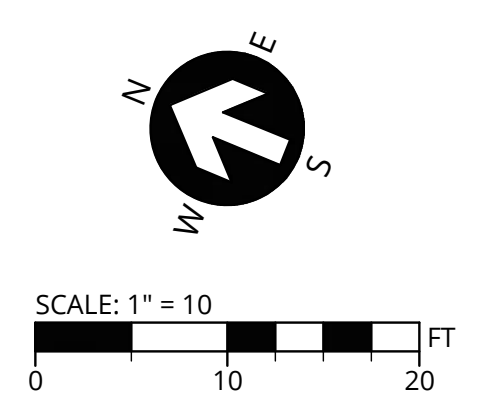


**WILLAMETTE
PRIMARY SCHOOL**

12TH STREET



ENLARGEMENT DETAIL
SCALE: 1" = 5'



LEGEND

	PROPOSED RETAINING WALL
	PROPOSED VEGETATION
	PROPOSED CONCRETE
	PROPOSED MULCH
	PROPOSED CONCRETE SCORING
	PROPOSED HANDRAIL
	PROPOSED TREE PROTECTION FENCE
	PROPOSED SILT FENCING
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED SURFACE RUN-OFF FLOW ARROW
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION ABBREVIATIONS
	BS BOTTOM STEP
	TS TOP STEP

- CONSTRUCTION KEY NOTES**
- 1 PROPOSED CONCRETE PAVING.
 - 2 PROPOSED STAIRS, 12" TREAD - 9 TOTAL STEPS
 - 3 PROPOSED WALL.
 - 4 PROPOSED HANDRAIL.
 - 5 REPLACE EXISTING FLAG POLE IN NEW CONCRETE PAVING.
 - 6 RESEED ALL LAWN AREAS DISTURBED BY ALL CONSTRUCTION ACTIVITIES.
 - 7 CONNECT PROPOSED RETAINING WALL TO EXISTING WALL. STRUCTURAL TO CONFIRM EXISTING WALL CAN SUPPORT THE ADDITIONAL LOAD FOR THE IMPROVEMENTS.
 - 8 PROPOSED BENCH.
 - 9 PROPOSED GATE.
 - 10 INSTALL BARK MULCH.

- EROSION CONTROL KEY NOTES**
- 1 INSTALL TREE PROTECTION FENCING
 - 2 INSTALL SILT FENCING

CLIENT
**WEST LINN /
WILSONVILLE SCHOOL
DISTRICT**
2755 SW BORLAND RD
TUALATIN, OR 97062
503 673 7988

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ISSUES

NOT FOR
CONSTRUCTION

CONSULTANTS

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

SEAL

SELECT CONSULTANT TYPE

IBI GROUP
907 SW Harvey Milk Street
Portland, OR 97205, USA
tel 503 226 8950 fax 503 273 9192
ibigroup.com

PROJECT
**Willamette Primary School
Safety & Security Group #2**
1403 12TH STREET
WEST LINN, OR 97068

PROJECT NO: 20644
DRAWN BY: JGW
PROJECT MGR: BKF
SHEET TITLE

CHECKED BY: ARD
APPROVED BY:
811
Know what's below.
Call before you dig.

SITE, GRADING &
EROSION CONTROL
PLAN

SHEET NUMBER
C1210
ISSUE

PD-2 COMPLETENESS LETTER



CITY OF
West Linn

December 11, 2020

West Linn-Wilsonville School District
Attn: Remo Douglas
22210 SW Stafford Road
Tualatin, OR. 97221

SUBJECT: DR-20-10 Application for a Class I Design Review at 1403 12th Street. Modification of the front building entry to comply with ADA standards and to improve building security. New rooftop mechanical equipment is proposed.

Mr. Douglas:

You submitted this application on November 23, 2020. The Planning Department has reviewed the submitted materials and has deemed the application to be **complete**. The city has 120 days to exhaust all local review; that period ends April 10, 2021.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

Please contact me at 503-742-6062, or by email at cmyers@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Chris Myers

Chris Myers
Associate Planner

PD-3 AFFADAVIT AND NOTICE PACKET



**AFFIDAVIT OF NOTICE
Type B**

We, the undersigned do hereby certify that, in the interest of the party initiating a proposed land use, the following took place on the dates indicated below:

PROJECT

File No.: **DR-20-10** Scheduled Decision Date: **Planning Manager Decision no earlier than 12/31/20**
Applicant's Name: **West Linn-Wilsonville SD Willamette Primary School** Development Name: **1403 12th Street**

MAILED NOTICE

As required by CDC Section 99.080, notices were mailed at least 14 days before the decision date to:

1	Remo Douglas, WLWV representative	12/17/20	<i>Lynn Schroder</i>
2	Keith Liden, applicant consultant	12/17/20	<i>Lynn Schroder</i>
3	WLWVSD Board	12/17/20	<i>Lynn Schroder</i>
4	Willamette NA	12/17/20	<i>Lynn Schroder</i>
5	COWL Engineering	12/17/20	<i>Lynn Schroder</i>

WEBSITE

Notice was posted on the City's website before the decision date.

12/17/20	<i>Lynn Schroder</i>
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SIGN

A sign was posted on the property at least 10 days before the decision date.

12/21/2020	<i>Chris Myers</i>
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FINAL DECISION

Notice of final decision was mailed to the applicant, all other parties with standing, and posted on the City's website.

12/5/2020	<i>Lynn Schroder</i>
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**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION
FILE NO. DR-20-10**

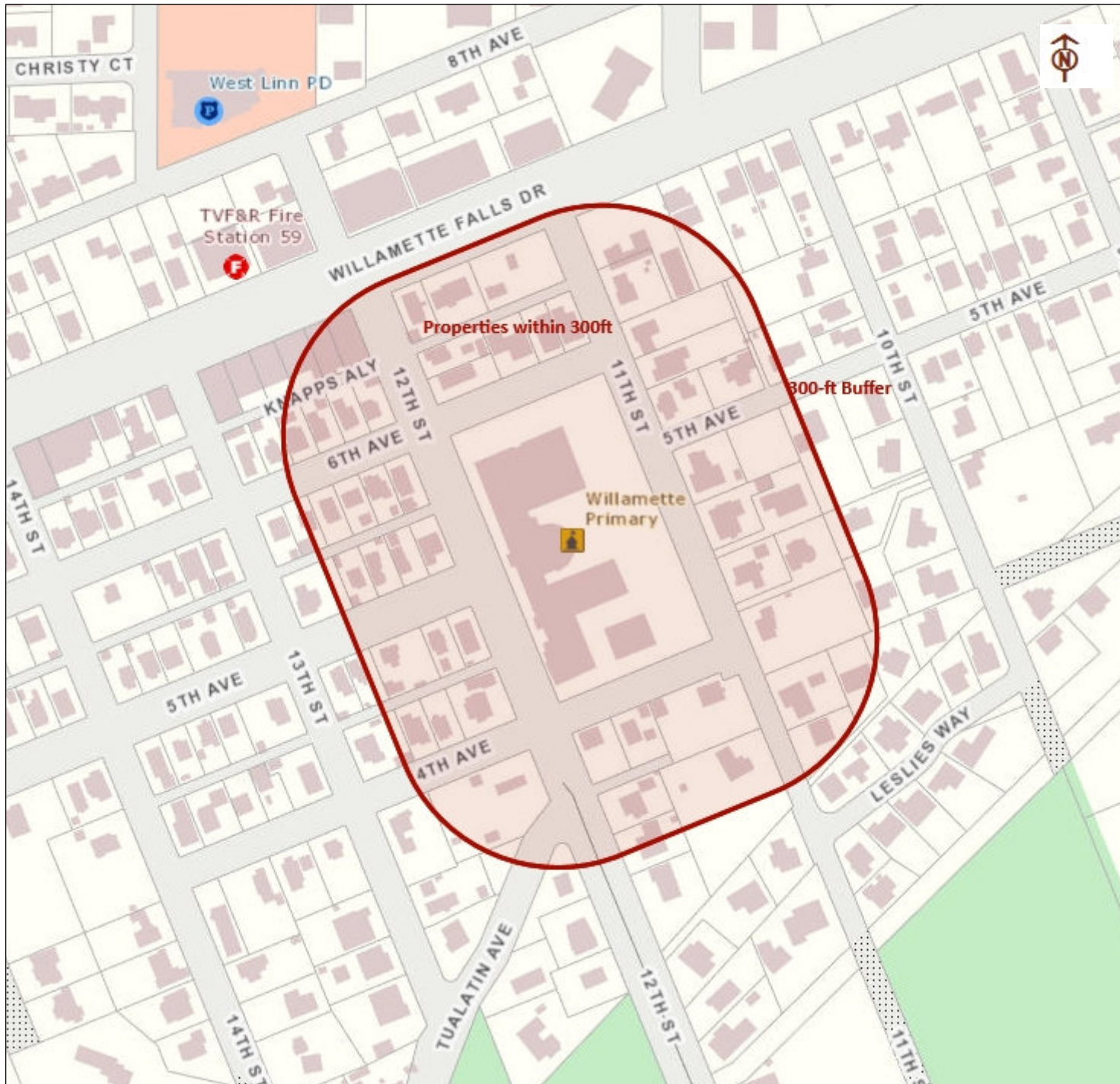
The West Linn Planning Manager is considering a request for a Class I Design Review File No. DR-20-10 located at 1403 12th Street. (Tax Lot 6300 of Clackamas County Assessor's Map 3S1 2BA). The proposal includes improvements to the entry at Willamette Elementary School including ADA compliant entry ramps and enhanced security.

The decision will be based on the approval criteria in Chapter 19, 46, and 55 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov/cdc>.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site <https://westlinnoregon.gov/planning/1403-12th-street-class-1-design-review-willamette-primary> or copies may be obtained for a minimal charge per page. A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on December 31, 2020. Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline.** For further information, please contact Chris Myers, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503)742-6062, cmyers@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. **It is important to submit all testimony in response to this notice.** Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

300-foot Notification Map for DR-20-10



Legend

- City Limit
- ⋯ Unimproved ROW
- Parks and Open Space
- City Owned Property

0 0.06 0.11 Miles



1: 4,514



Notes

This map was automatically generated using Geocortex Essentials.



**NOTICE OF UPCOMING
PLANNING MANAGER DECISION**

**PROJECT # DR-20-10
MAIL: 12/17/20 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets and land use application notice, and to address the concerns of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.