

## DEVELOPMENT REVIEW APPLICATION

**For Office Use Only**

STAFF CONTACT <b>Chris Myers</b>	PROJECT NO(S). <b>DR-20-10</b>	PRE-APPLICATION NO. <b>PA-20-09</b>
NON-REFUNDABLE FEE(S) <b>\$2,100</b>	REFUNDABLE DEPOSIT(S)	TOTAL <b>\$2,100</b>

**Type of Review** (Please check all that apply):

- |                                                                |                                                                           |                                                                          |
|----------------------------------------------------------------|---------------------------------------------------------------------------|--------------------------------------------------------------------------|
| <input type="checkbox"/> Annexation (ANX)                      | <input type="checkbox"/> Historic Review                                  | <input type="checkbox"/> Subdivision (SUB)                               |
| <input type="checkbox"/> Appeal and Review (AP)                | <input type="checkbox"/> Legislative Plan or Change                       | <input type="checkbox"/> Temporary Uses                                  |
| <input type="checkbox"/> Conditional Use (CUP)                 | <input type="checkbox"/> Lot Line Adjustment (LLA)                        | <input type="checkbox"/> Time Extension                                  |
| <input checked="" type="checkbox"/> Design Review (DR)         | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR)                                  |
| <input type="checkbox"/> Easement Vacation                     | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures           | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities    | <input type="checkbox"/> Planned Unit Development (PUD)                   | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)    |
| <input type="checkbox"/> Final Plat or Plan (FP)               | <input type="checkbox"/> Pre-Application Conference (PA)                  | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)      |
| <input type="checkbox"/> Flood Management Area                 | <input type="checkbox"/> Street Vacation                                  | <input type="checkbox"/> Zone Change                                     |
| <input type="checkbox"/> Hillside Protection & Erosion Control |                                                                           |                                                                          |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

<b>Site Location/Address:</b> <b>1403 12<sup>TH</sup> STREET</b>	Assessor's Map No.: <b>3S1 2BA</b>
	Tax Lot(s): <b>6300</b>
	Total Land Area: <b>3.58 ac.</b>

**Brief Description of Proposal: TO MODIFY THE FRONT BUILDING ENTRY TO COMPLY WITH ADA STANDARDS AND TO PROVIDE ENHANCED BUILDING SECURITY. THIS WILL REQUIRE THE REMOVAL OF 2 TREES. IN ADDITION, NEW ROOFTOP MECHANICAL EQUIPMENT IS PROPOSED.**



**Applicant Name:** Remo Douglas, West Linn-Wilsonville School District (please print)      Phone: **503.673.7988**  
**Address:** **22210 SW STAFFORD ROAD**      Email: **douglasr@wlwv.k12.or.us**  
**City State Zip:** **TUALATIN, OR 97062**

**Owner Name** (required): **SAME** (please print)      Phone:  
 Address:      Email:  
 City State Zip:

**Consultant Name:** **KEITH LIDEN, PLANNING CONSULTANT** (please print)      Phone: **503.757.5501**  
**Address:** **4021 SW 36<sup>TH</sup> PLACE**      Email: **keith.liden@gmail.com**  
**City State Zip:** **PORTLAND, OR 97221**

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A decision may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. One complete hard-copy set of application materials must be submitted with this application.  
 One complete digital set of application materials must also be submitted electronically in PDF format.  
 If large sets of plans are required in application please submit one set.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

 Applicant's signature	11-3-20 Date	 Owner's signature (required)	RECEIVED 11/23/20 by LS Date
-------------------------------------------------------------------------------------------------------------	-----------------	----------------------------------------------------------------------------------------------------------------------	------------------------------------

**WILLAMETTE PRIMARY SCHOOL**  
**Class I Design Review and Tree Removal**  
*November 20, 2020*

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**APPLICATION SUMMARY**

Class I Design Review and tree removal approval to provide a secure and accessible main building entry, remove two trees to accommodate the entry improvements, and to install new rooftop mechanical equipment.

**GENERAL INFORMATION**

**Location**

1403 12<sup>th</sup> Street (3S 1E Section 2 BA, Tax Lot 6300). Its location is shown in Figure 1.

**Comprehensive Plan and Zoning Designations**

The Comprehensive Plan designation is Low Density.

Consistent with the Comprehensive Plan, the property is zoned Single Family Residential Detached (R10).

**Applicant and Owner**

Remo Douglas, Capital Construction Program Manager  
West Linn-Wilsonville School District  
22210 SW Stafford Road  
Tualatin, OR 97062  
503.673.7988  
[douglasr@wlwv.k12.or.us](mailto:douglasr@wlwv.k12.or.us)

## Applicant's Representatives

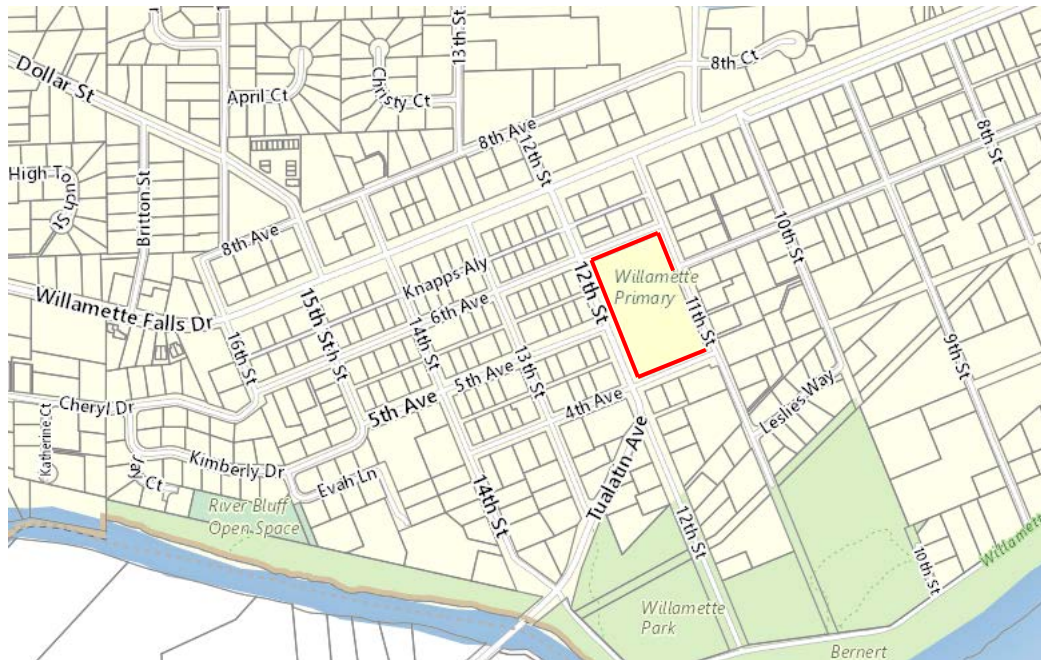
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## Plan Sheets

LU0.0	Cover Sheet
LU1.00	Existing Site Conditions
LU1.01	Overall Site Plan
LU3.01	Overall Lower Level Floor Plan
LU3.02	Overall Main Level Floor Plan
LU3.03A	Overall Roof Plan
LU3.03B	Roof Plan Aerial View
LU3.04	Overall Exterior Elevations
LU3.05	Enlarged Entry Plan
LU3.06	Enlarged Entry Elevation
LU3.07	New Entry Rendering
C1100	Existing Conditions & Demolition
C1210	Site, Grading & EC Plan

**Figure 1: Vicinity Map**



Source: Metro

## BACKGROUND INFORMATION

### Site Description

The site is developed with Willamette Primary School, including a 73,873 square foot building (52,500 sf footprint plus 5,000 sf covered play area), driveway, parking, and play areas. The entire site is approximately 3.58 acres. The primary entrance to the school faces 12<sup>th</sup> Street, which runs along the west side of the site (Sheet LU1.00). The existing entry doors are at grade, but once in the lobby, a flight of stairs and a small lift elevator provide access to the main floor.

### Surrounding Area Description

The zoning designations and current land use of the surrounding area are summarized in the following table.

**Land Use Summary**

<i>Properties in the Vicinity</i>	<i>Zone Designation</i>	<i>Land Use</i>
<u>Subject Property</u> 3S 1E Section 2 BA, Tax Lot 6300 (3.58-acre school site owned by school district)	R10	Primary School building, ancillary facilities, and parking.
<u>Surrounding Properties</u>		
North/Northwest	GC	Commercial Retail
South	R10/R7	Single family residences
East	R10	Single family residences
West	R5	Single family residences

## PROPOSED IMPROVEMENTS

The proposed improvements to Willamette Primary School include the following:

- A remodeled main building entrance to provide enhanced building security and ADA accessibility. This will include construction of a new ramp on the left (north) side of the existing entry along with new exterior steps. Entry into the school will then be directly to the main floor (LU1.01).
- The ADA ramp at the building entry will require removal of a 16-inch Maple and 28-inch Cedar, which are located (LU1.00 and LU1.01).
- The new ramp and entry will require the removal of decorative clay tiles that are attached to exterior walls at the existing entry. The clay material and method for attaching them will not allow for their removal and reuse.
- In addition to the entry modifications, the administrative offices at the entry will provide enhanced building security (LU3.02, LU3.05 and LU3.06).
- New rooftop heat pump equipment is proposed for improved heating and cooling (LU3.03A and LU3.03B). They will be in addition to existing rooftop units. They will all be buffered from view by the existing trees on the site, their position on the roof, and distance.

## **SITE DESIGN REVIEW CRITERIA**

The relevant review criteria in the City of West Linn Community Development Code (CDC) include the Single Family Residential Detached, R-10 requirements (Chapter 11) and Site Design Review evaluation criteria (Chapter 55), Comprehensive Plan policies, and Design Review (Chapter 55). These criteria are addressed below.

### **Chapter 11 Single Family Residential Detached, R-10**

#### **Section 11.060 Conditional Uses**

This section lists schools as a conditional use in the R-10 zone. The school building, play area, and parking are located within this zone. Schools are allowed as a conditional use in the R10 zone.

#### **Section 11.080 Dimensional Requirements, Conditional Uses**

This section gives the Planning Commission the authority to determine the appropriate dimensional requirements to satisfy Conditional Use criteria in Chapter 60. The primary school has previously received Conditional Use approval, it has successfully operated on this 3.6-acre site for many years, and the building footprint will not be expanded. The school enrollment capacity will not be changed by the minor site and building modifications proposed. Building setbacks will remain essentially the same, and in total, the modifications will have no meaningful affect on surrounding properties.

The school building site coverage will not change. The maximum floor area ratio (FAR) allowed in the R-10 zone is 0.45. This proposal will not affect building floor area. All dimensional standards will be satisfied.

### **Chapter 55 Design Review**

#### **Section 55.090 Approval Standards – Class I Design Review**

This section lists the applicable criteria in Chapter 55 of the Community Development Code (CDC) including:

- 55.085 Additional Information Required and Waiver of Requirements
- 55.090(B) Adequate public facilities are available
- 55.100(B)(1)-(4) Relationship to the natural and physical environment
- 55.100 (B)(5) and (6) Architecture

#### **CDC 55.085**

A preapplication meeting was held on October 21, 2020 with the city planning staff, and the relevant information and CDC criteria were identified. The requested information is provided, and relevant CDC criteria are addressed in the following sections.

## **CDC 55.090(B)**

Adequate public facilities, including public water, sewer, storm drainage, and streets, are available and utilized by the school. The proposed minor site improvements will have no impact upon public facilities, satisfying this criterion. The city staff has determined that a waiver of stormwater treatment requirement is appropriate due to the small amount of new impervious surface (September 28, 2020 memorandum from Amy Pepper).

## **CDC 55.100**

### **B. Relationship to the Natural and physical Environment**

*Section 55.100 B. 1. and 2.* are not relevant because there are no heritage trees on the site. The impact of removing the two trees noted in this application will not be significant because there will continue to be over 40 mature trees on the site.

*Section 55.100 B. 3.* is satisfied because the existing grade and the amount of landscaped area will remain virtually unchanged.

*Section 55.100 B. 4.* is satisfied because the property is essentially flat and geologically stable.

*Section 55.100 B. 5.* is satisfied because the school building will retain its current setbacks. In addition, the school site is separated from surrounding properties by public streets adding to the total distance between the school use and the homes in the neighborhood.

*Section 55.100 B. 6.* is met based on the findings below:

- a.* The design of the new building entrance will be consistent with the architectural style of the existing building as shown in the application. As illustrated in Sheet LU3.07, the existing roofline will remain the same, and other than the new ADA ramp, the appearance and proportion of the new entry will be similar to the existing entry. As a primary school in a residential neighborhood, the building has proven to be compatible with its neighbors and is viewed as a neighborhood asset.
- b.* This criterion calls for structures to transition in height and scale on the site and adjoining sites. As noted in the response to Subsection a. above, the primary school has been a fixture within the neighborhood for years. The proposed entry design will blend very well with the existing scale and architecture of the building, and its relationship with the surrounding homes will not change.
- c.* The proposed design of the entry is not proposed to contrast with the existing architecture or exterior finishes. This consistency in architectural style will retain the overall appearance of the existing entry. The proposed rooftop equipment will generally not be visible from any vantage points surrounding the building.
- d.* The human scale of the proposed building will be retained because the changes to the

front entrance will replicate the current scale and general appearance of the existing entrance. The new building entrance is consistent with the architectural style of the building, and it also represents a very minor change to the building's exterior as noted above and on Sheet LU3.07.

- e. This criterion deals with commercial and office buildings and is not relevant to a school use.
- f. As described herein, the renovated building entry will retain the current design of this front façade of the building. The design offers a harmonious complement of architecture and finishes that are similar to the existing entry and therefore retaining the overall pleasing appearance of the school building.
- g. The building entry acknowledges the local climate by retaining the current overhang and its associated weather protection value.
- h. A safe and attractive environment is actually enhanced by the entrance renovation by providing improved accessibility and security. The remainder of the site will continue to maintain the current pedestrian-friendly character of the neighborhood.
- i. This criterion deals with commercial and office buildings and is not relevant to a school use.

## **COMMUNITY TREE ORDINANCE**

The Community Tree Ordinance is found in Sections 8.500 through 8.798 of the West Linn Municipal Code (WLMC). The relevant sections of this ordinance are addressed below.

### **WLMC 8.510 Definitions**

For the purposes of regulation, a "tree" is defined as being a minimum DBH of 6 inches for Oregon White Oak and 12 inches for other species. The trees proposed for removal have a DBH of 16 and 28 inches, and are defined as trees that are covered by the ordinance. They are not "heritage trees" because they have not been designated as such by the West Linn City Council.

### **WLMC 8.570 Definitions**

Subsection A.1. states that "any tree which has been approved for removal through the development review process ... shall not require an additional tree-removal permit." The removal of the two trees is part of this development review action. Assuming approval through the Class I Design Review process, no additional permits will be necessary to remove them.

## **CONCLUSION**

The proposed school improvements satisfy all of the relevant criteria as demonstrated above.

WEST LINN - WILSONVILLE SCHOOL DISTRICT

# Willamette Primary School PROJECT 19050.009

1403 12th Street,  
West Linn, OR 97068

## SHEET INDEX

LU0.0	COVER
LU1.00	EXISTING SITE CONDITIONS
LU1.01	OVERALL SITE PLAN
LU3.01	OVERALL LOWER LEVEL FLOOR PLAN
LU3.02	OVERALL MAIN LEVEL FLOOR PLAN
LU3.03A	OVERALL ROOF PLAN
LU3.03B	ROOF PLAN AERIAL VIEW
LU3.04	OVERALL EXTERIOR ELEVATIONS
LU3.05	ENLARGED ENTRY PLAN
LU3.06	ENLARGED ENTRY ELEVATION
LU3.07	NEW ENTRY RENDERING
C1100	EXISTING CONDITIONS & DEMOLITION
C1210	SITE, GRADING & EC PLAN

WEST LINN -  
WILSONVILLE SCHOOL  
DISTRICT



2755 SW BORLAND ROAD  
TUALATIN, OR 97062  
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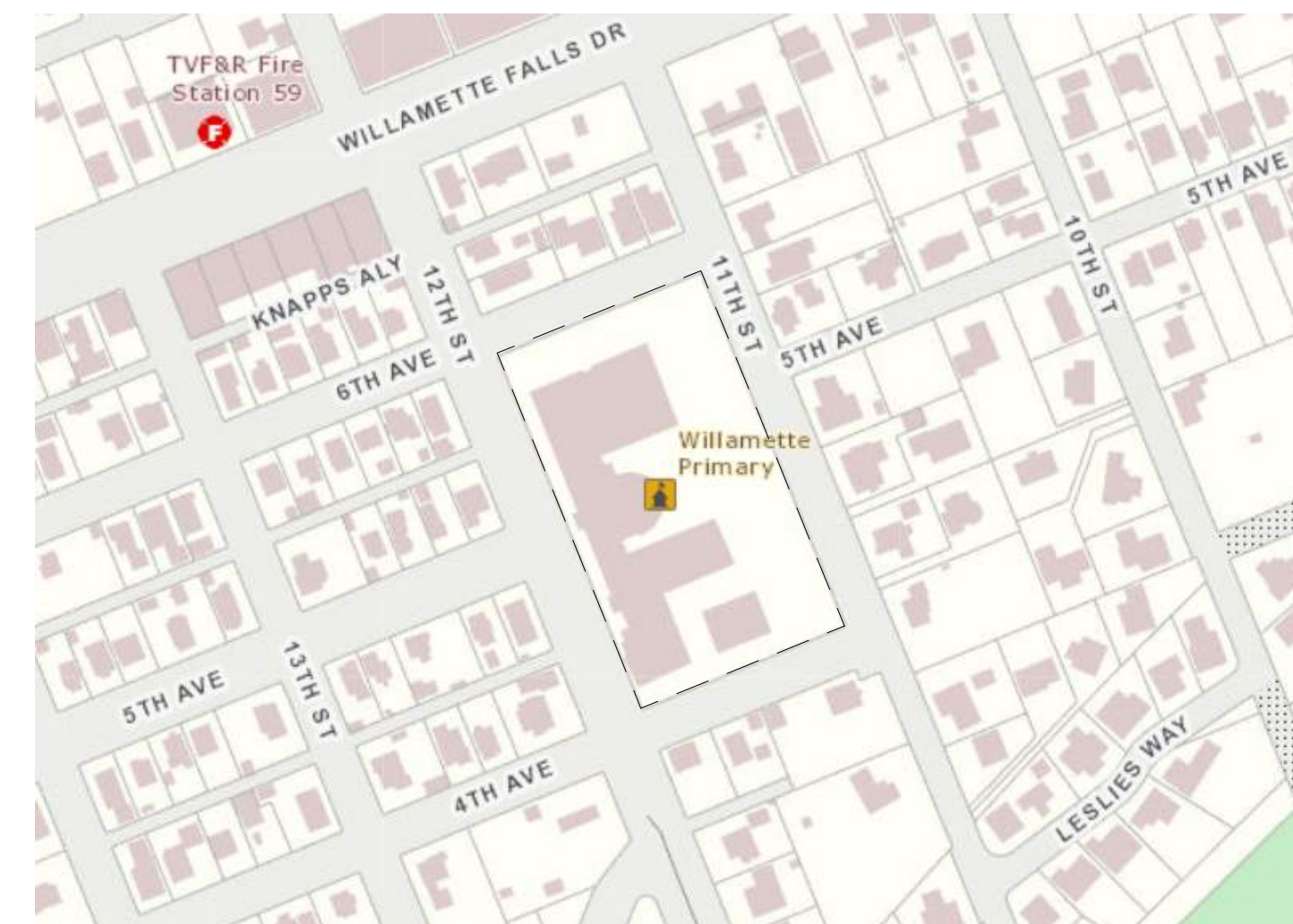
ISSUES		
No.	DESCRIPTION	DATE
1	LAND USE	2020-11-13

Willamette Primary School  
 PROJECT 19050.009  
 1403 12th Street,  
 West Linn, OR 97068

### ANNOTATION SYMBOLS:

<b>Room Tags</b>	<b>Door Tag</b>	<b>Section Marker</b>	<b>North Arrow</b>
Room Name [A101]	[101]	[1 Ref] A101	True North Project North
<b>Wall Tags</b>	<b>Window Tag</b>	[1 Ref] A101	<b>Elevation Datum Marker</b>
[W?]	[101]	[1 Ref] A101	Level: -00' 00"
<b>Ceiling Tags</b>	<b>Keynote Tag</b>	[1 Ref] A101	<b>Titlemark</b>
[?]	[?]	[1 Ref] A101	[1] View Name Scale: 1:100
<b>Roof Tags</b>	<b>Equipment Tag</b>	[1 Ref] A101	<b>Revision Tags</b>
[?]	[XX]	[1 Ref] A101	[X]
<b>Finish Tags</b>	<b>Stair Tags</b>	[1 Ref] A101	
[?]	[XX] 20R @ 1' - 0"	[1 Ref] A101	
		[1 Ref] A101	
		[1 Ref] A101	

### VICINITY MAP:

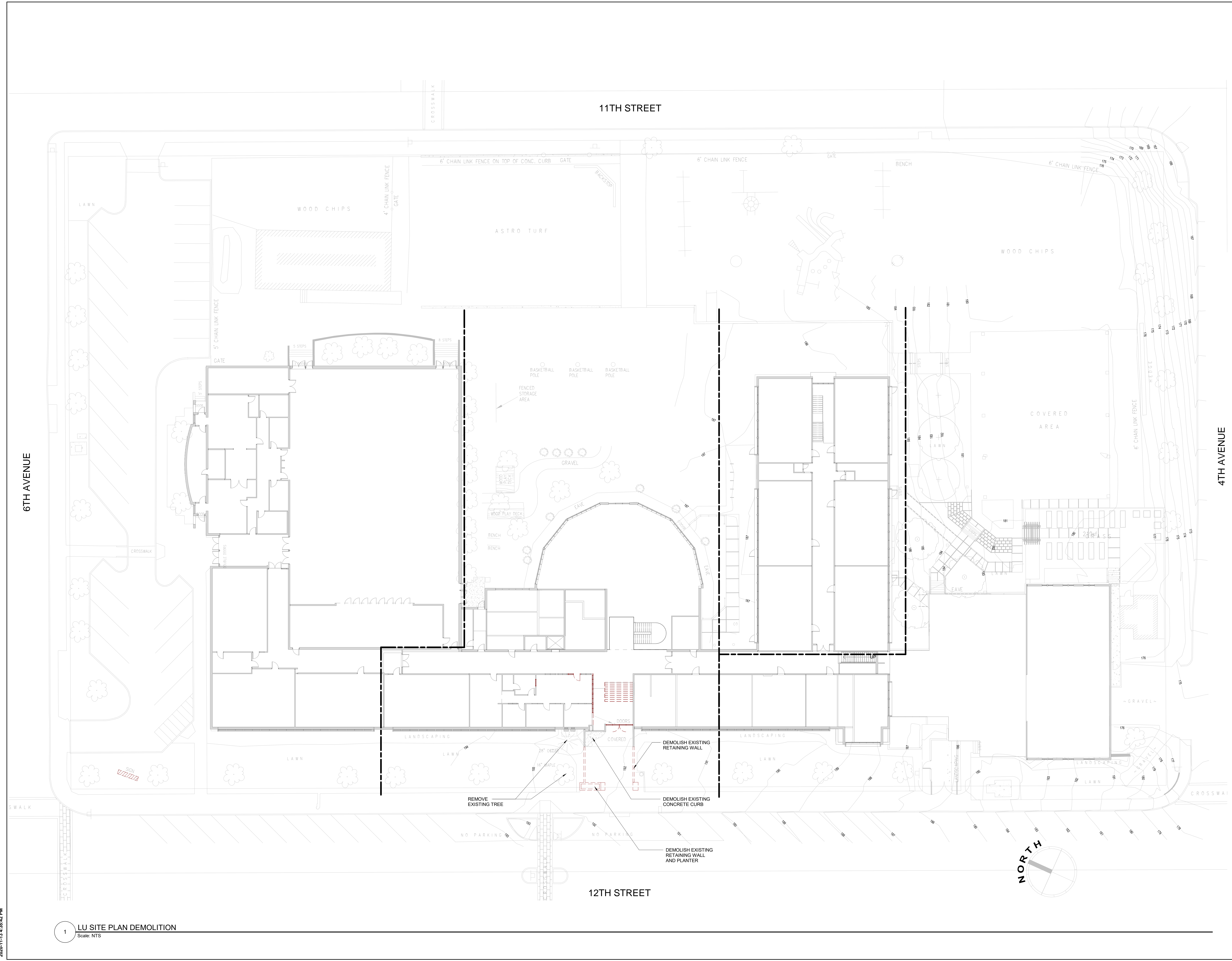


& ANGLE	DN DOWN	GALV GALVANIZED	NIC NOT IN CONTRACT	SJ SEISMIC JOINT
AB AND	DP DAMPROOFING	GB GRAB BAR	NOM NOMINAL	SM SHEET METAL
AB ANCHOR BOLT	DR DOOR	GC GENERAL CONTRACTOR	NS NELSON STUD	SQ SQUARE
ACT ACOUSTICAL CEILING TILE	DS DOWNSPOUT	GL GLASS	NTS NOT TO SCALE	SS STAINLESS STEEL
ADD ADDENDUM	DTL DETAIL	GND GROUND	OA OVERALL	STD STANDARD
AESS ARCHITECTURAL EXPOSED STRUCTURAL STEEL	DWG DRAWING	GVP GYPSUM VENEER PLASTER	OC ON CENTER	STL STEEL
AFF ABOVE FINISH FLOOR	E EXISTING	GWB GYPSUM WALL BOARD	OD OUTSIDE DIAMETER	STOR STORAGE
ALS AREA LIGHT STANDARD	EA EACH	HB HOSE BIBB	OD OVERFLOW DRAIN	STRUCT STRUCTURAL
ALUM ALUMINUM	EF EXHAUST FAN	HC HANDICAP	OFCI OWNER FURNISHED CONTRACTOR INSTALLED	SUSP SUSPENDED
ANOD ANODIZED	EJ EXPANSION JOINT	HM HOLLOW METAL	OFOI OWNER FURNISHED OWNER INSTALLED	T TEMPERED GLAZING
BD BOARD	EL ELEVATION	HPC HIGH PERFORMANCE COATING	OH OVERHEAD	T&G TONGUE AND GROOVE
BLDG BUILDING	ELEC ELECTRICAL	HVAC HEATING, VENTILATION, AND AIR CONDITIONING	OPNG OPENING	TM TO MATCH
BLKG BLOORING	ENGR ENGINEER	HW HOT WATER	OPP OPPOSITE	TC TOP OF CURB
BM BENCH MARK	EOS EDGE OF SLAB	INSUL INSULATION	OS OUTSIDE	TEL TELEPHONE
BOT BOTTOM	EQ EQUAL	INT INTERIOR	PL PROPERTY LINE	THK THICK
BTWN BETWEEN	EQUIP EQUIPMENT	JAN JANITOR	PLAS PLASTER	TJ TOOL JOINT
C CHANNEL	ES EACH SIDE	JST JOIST	PLYWD PLYWOOD	TO TOP OF
CB CATCH BASIN	EW EACH WAY	JT JOINT	PSF PER SQUARE FOOT	TOD TOP OF DECK
CCTV CLOSED CIRCUIT TELEVISION	EXP EXPANSION	L LENGTH	PT PRESSURE TREATED	TOS TOP OF STRUCTURE
CG CORNER GUARD	EXT EXTERIOR	LAV LAVATORY	PVMT PAVEMENT	TP TOILET PAPER
CIP CAST IN PLACE CONCRETE	FA FIRE ALARM	LB LAG BOLT	R RADIUS	TS TUBE STEEL
CJ CONTROL JOINT	FD FLOOR DRAIN	LKR LOCKER	RCP REFLECTED CEILING PLAN	TYP TYPICAL
CL CENTERLINE	FDN FOUNDATION	LS LANDSCAPING	RD ROOF DRAIN	UNFIN UNFINISHED
CLG CEILING	FE FIRE EXTINGUISHER	LVR LOUVER	REF REFERENCE	UNO UNLESS NOTED OTHERWISE
CLR CLEAR	FEC FIRE EXTINGUISHER CABINET	MATL MATERIAL	REFR REFRIGERATOR	VB VAPOR BARRIER
CMU CONCRETE MASONRY UNIT	FECB FIRE EXTINGUISHER CABINET WITH BLANKET	MAX MAXIMUM	REQ'D REQUIRED	VERT VERTICAL
CONT CONTINUOUS	FF FINISH FLOOR	MB MARKERBOARD	REV REVISE OR REVISION	VEST VESTIBULE
CORR CORRIDOR	FIN FINISH	MECH MECHANICAL	RM ROOM	VFY VERIFY
CR CLASSROOM	FL FLOOR	MED MEDIUM	RO ROUGH OPENING	W/ WITH
CSJ CONSTRUCTION JOINT	FO FACE OF	MEZZ MEZZANINE	SAHTS SELF-ADHERED HIGH TEMPERATURE SHEET	W/O WITHOUT
CSMT CASEMENT	FOC FACE OF CONCRETE	MFR MANUFACTURER	SAM SELF-ADHERED MEMBRANE	WC WATER CLOSET
CT CERAMIC TILE	FOF FACE OF FINISH	MIN MINIMUM	SC SOLID CORE	WD WOOD
CTR CENTER	FOM FACE OF MASONRY	MIR MIRROR	SECT SECTION	WF WIDE FLANGE
DBL DOUBLE	FOS FACE OF STUD	MISC MISCELLANEOUS	SF SQUARE FOOT	WH WATER HEATER
DF DRINKING FOUNTAIN	FRT FIRE RETARDANT TREATED	MTD MOUNTED	SHT SHEET	WP WATERPROOFING
DIAG DIAGONAL	FTG FOOTING	MTL METAL	SHTG SHEATHING	WRB WATER-RESISTIVE BARRIER
DIM DIMENSION	FURR FURRING	N NEW	SHWR SHOWER	WT WEIGHT
DISP DISPENSER	GA GAUGE	NA NOT APPLICABLE	SIM SIMILAR	

## LAND USE

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SHEET NUMBER LU0.0	ISSUE 1





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NO.	DESCRIPTION	DATE
1	LAND USE	2020-11-13

CONSULTANTS

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PROJECT  
**Willamette Primary School**  
**PROJECT 19050.009**  
 1403 12th Street,  
 West Linn, OR 97068

PROJECT NO:  
 126803  
 DRAWN BY: Author  
 PROJECT MGR: Designer  
 CHECKED BY: Checker  
 APPROVED BY: Approver

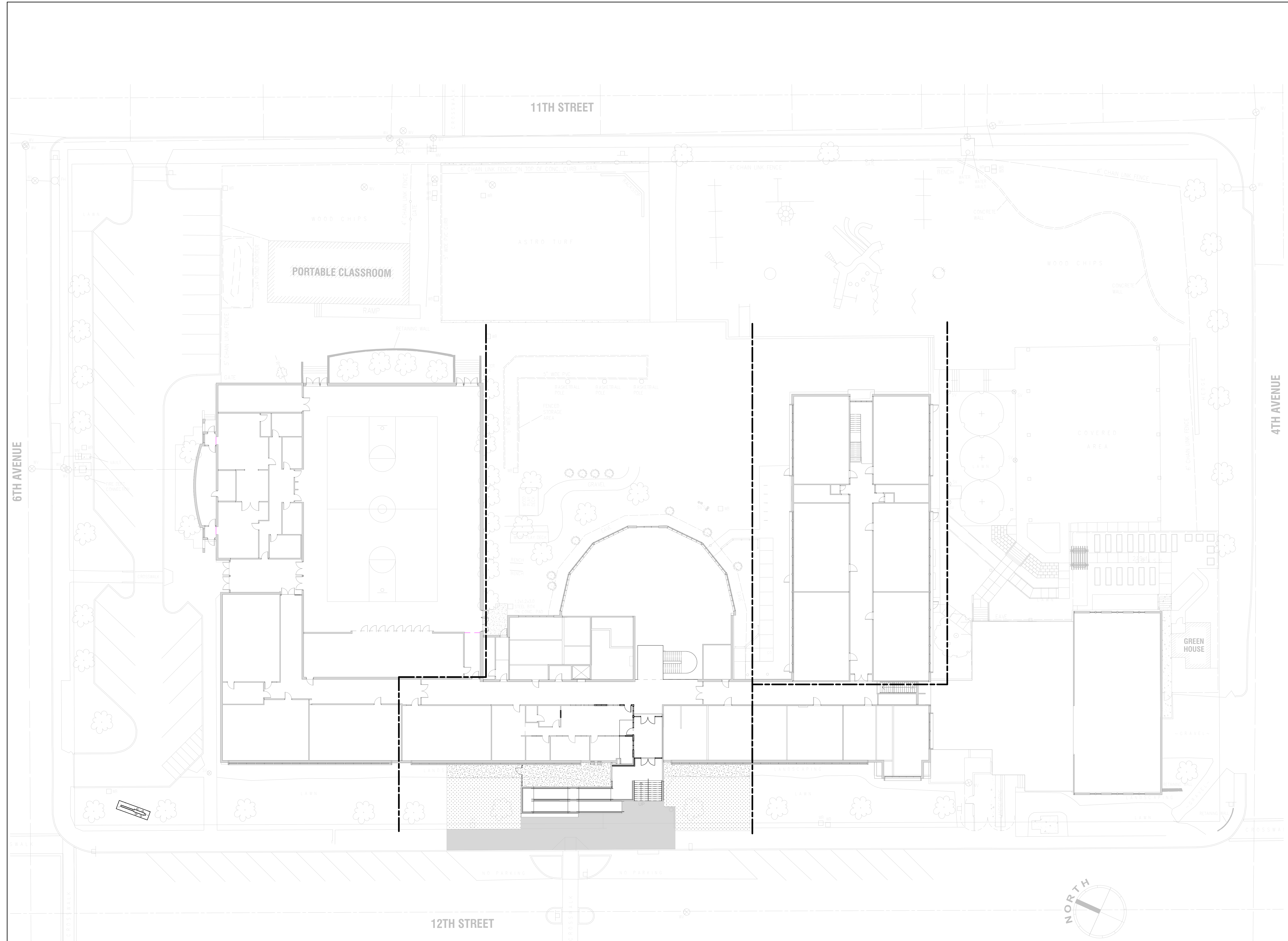
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SHEET NUMBER  
**LU1.00**  
 ISSUE  
**1**

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 126803  
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 APPROVED BY: Approver

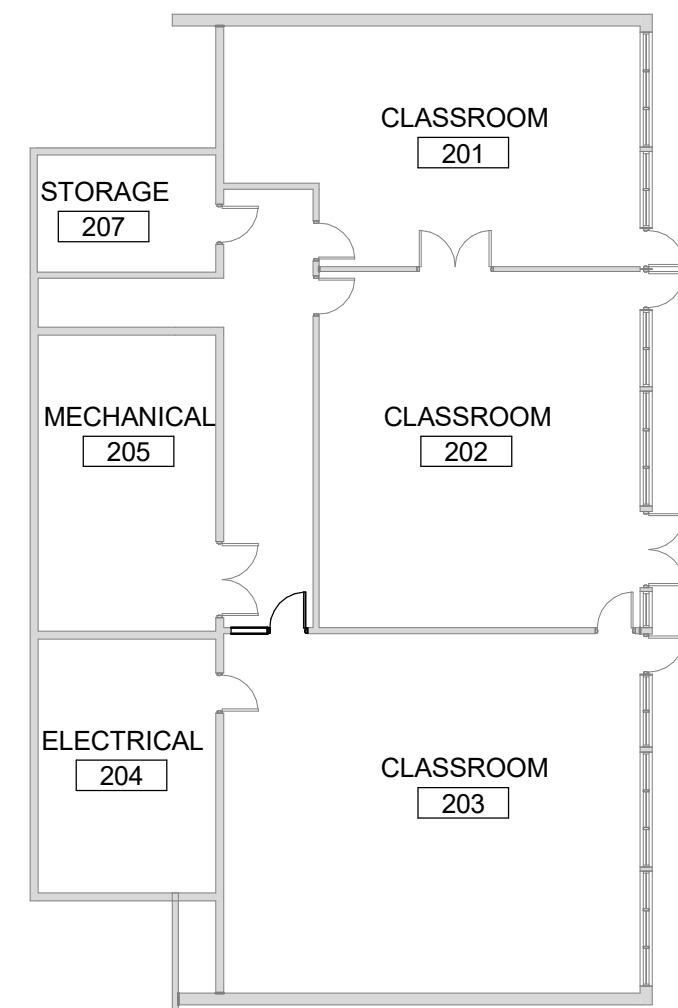
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**OVERALL SITE PLAN**

SHEET NUMBER  
**LU1.01**  
 ISSUE  
**1**

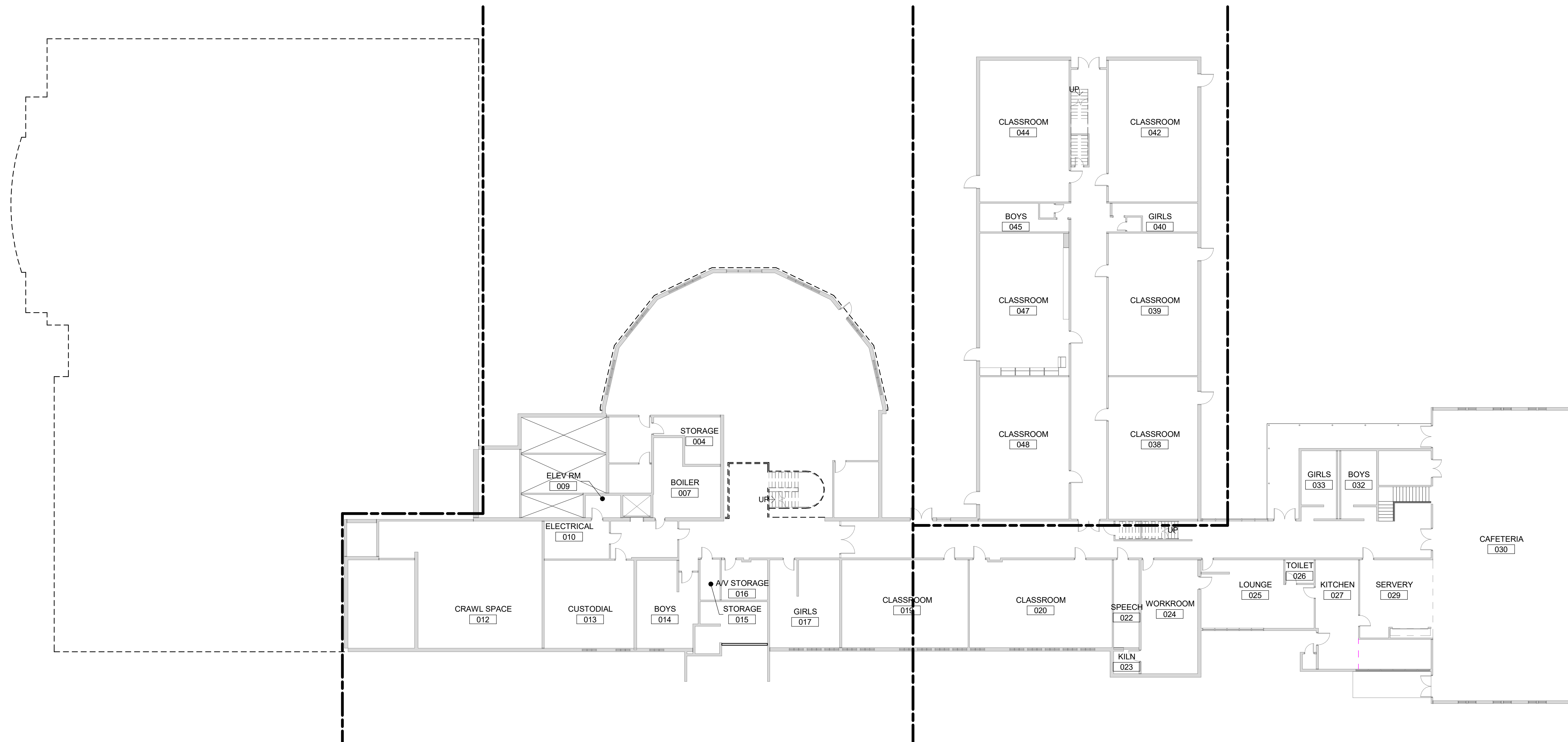
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2 LEVEL 01 OVER ALL FLOOR PLAN  
Scale: NTS



1 LOWER LEVEL OVERALL FLOOR PLAN  
Scale: NTS

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1403 12th Street,  
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PROJECT NO:  
126803  
DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT MGR: Designer  
APPROVED BY: Approver

SHEET TITLE  
**OVERALL LOWER LEVEL FLOOR PLAN**

SHEET NUMBER  
**LU3.01**  
ISSUE  
**1**

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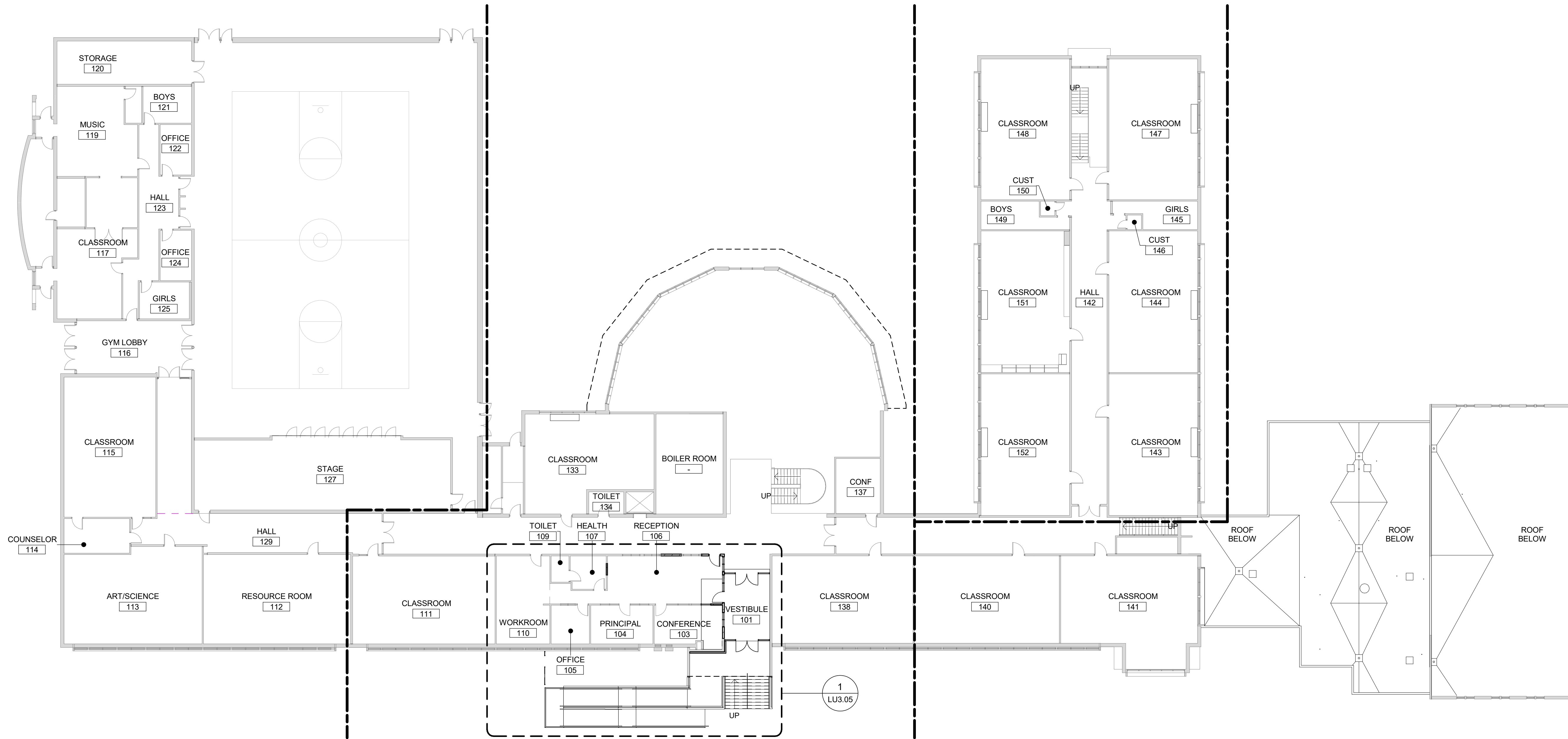
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PROJECT  
**Willamette Primary School**  
**PROJECT 19050.009**  
 1403 12th Street,  
 West Linn, OR 97068

PROJECT NO:  
 126803  
 DRAWN BY: Author  
 PROJECT MGR: Designer  
 CHECKED BY: Checker  
 APPROVED BY: Approver

SHEET TITLE  
**OVERALL MAIN LEVEL FLOOR PLAN**

SHEET NUMBER  
**LU3.02**  
 ISSUE  
**1**



**1 LU MAIN LEVEL OVERALL FLOOR PLAN**  
 Scale: NTS

2020-11-13 4:35:46 PM

IBI 3607126803 - Safety and Security Group # 210203SafetySecurity\_Willamette\_2020.rvt

Technical Data Sheet for ACU-3A,3B

Job Information	Technical Data Sheet
Job Name	Willamette Primary
Date	8/24/2020
Submitted By	Melanie Rainey
Software Version	08.31
Unit Tag	ACU-3A,3B



Model Number	Voltage V/Hz/Phase	Design Cooling Capacity UOM_Selected_Coil_etal	AHRI360 Standard Efficiency		ASHRAE 90.1
			EER	IEER	
DP5007A	208/60/3	89691	12.8	19.3	ASHRAE 90.1-2016 compliant

Unit	
Model Number:	DP5007A
Model Type:	Heat Pump
Heat Type:	Hot Water
Energy Recovery:	None
Application:	Variable Air Volume, Single Zone (Mixed Air or 100% OA)
Controls:	Refrigeration only
Outside Air:	0-100% Economizer with Drybulb Control
Altitude:	0 ft
Approval:	cETLus

Physical				
Dimensions and Weight				
Length	Height	Width	Weight	
91.0 in	56.8 in	96.5 in	2078 lb	
Corner Weights				
L1	L2	L3	L4	
366 lb	300 lb	636 lb	776 lb	

Technical Data Sheet for ACU-RAH-2

Job Information	Technical Data Sheet
Job Name	Willamette Primary
Date	8/24/2020
Submitted By	Melanie Rainey
Software Version	08.31
Unit Tag	ACU-RAH-2



Model Number	Voltage V/Hz/Phase	Design Cooling Capacity UOM_Selected_Coil_etal	AHRI360 Standard Efficiency		ASHRAE 90.1
			EER	IEER	
DPS012A	208/60/3	145043	11	17.5	ASHRAE 90.1-2016 compliant

Unit	
Model Number:	DPS012A
Model Type:	Heat Pump
Heat Type:	Gas
Energy Recovery:	None
Application:	Variable Air Volume, Single Zone (Mixed Air or 100% OA)
Controls:	Refrigeration only
Outside Air:	0-100% Economizer with Drybulb Control
Altitude:	0 ft
Approval:	cETLus

Physical				
Dimensions and Weight				
Length	Height	Width	Weight	
91.0 in	56.8 in	96.5 in	2482 lb	
Corner Weights				
L1	L2	L3	L4	
400 lb	357 lb	813 lb	912 lb	



Submittal Data Sheet  
5.0 Ton VRV-IVS Heat Pump - RXTQ60TAVJUA

Project: Willamette Primary  
Submitted by: Melanie Rainey of AIR REPS LLC - OREGON on 8/25/2020  
Submitted to: No Engineer Name Specified  
Type: ACCU-6



OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 1
Power Supply Connections:	
Min. Circuit Amps MCA (A):	29.1
Max Overcurrent Protection (MOP) (A):	35
Rated Load Amps RLA(A):	23.2
Dimensions (HxWxD) (in):	52-15/16 x 35-7/16 x 12-5/8
Net Weight (lb):	225



Submittal Data Sheet  
8 Ton, 230V VRV IV X HP - RXYQ96XATJA

Project: Willamette Primary  
Submitted by: Melanie Rainey of AIR REPS LLC - OREGON on 8/25/2020  
Submitted to: No Engineer Name Specified  
Type: ACCU-1, ACCU-3, ACCU-4, ACCU-7



OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 3
Power Supply Connections:	L1, L2, L3 Ground
Min. Circuit Amps MCA (A):	36.3
Max Overcurrent Protection (MOP) (A):	45
Rated Load Amps RLA(A):	23.8
Dimensions (Height) (in):	66-11/16
Dimensions (Width) (in):	48-7/8
Dimensions (Depth) (in):	30-3/16
Net Weight (lb):	525

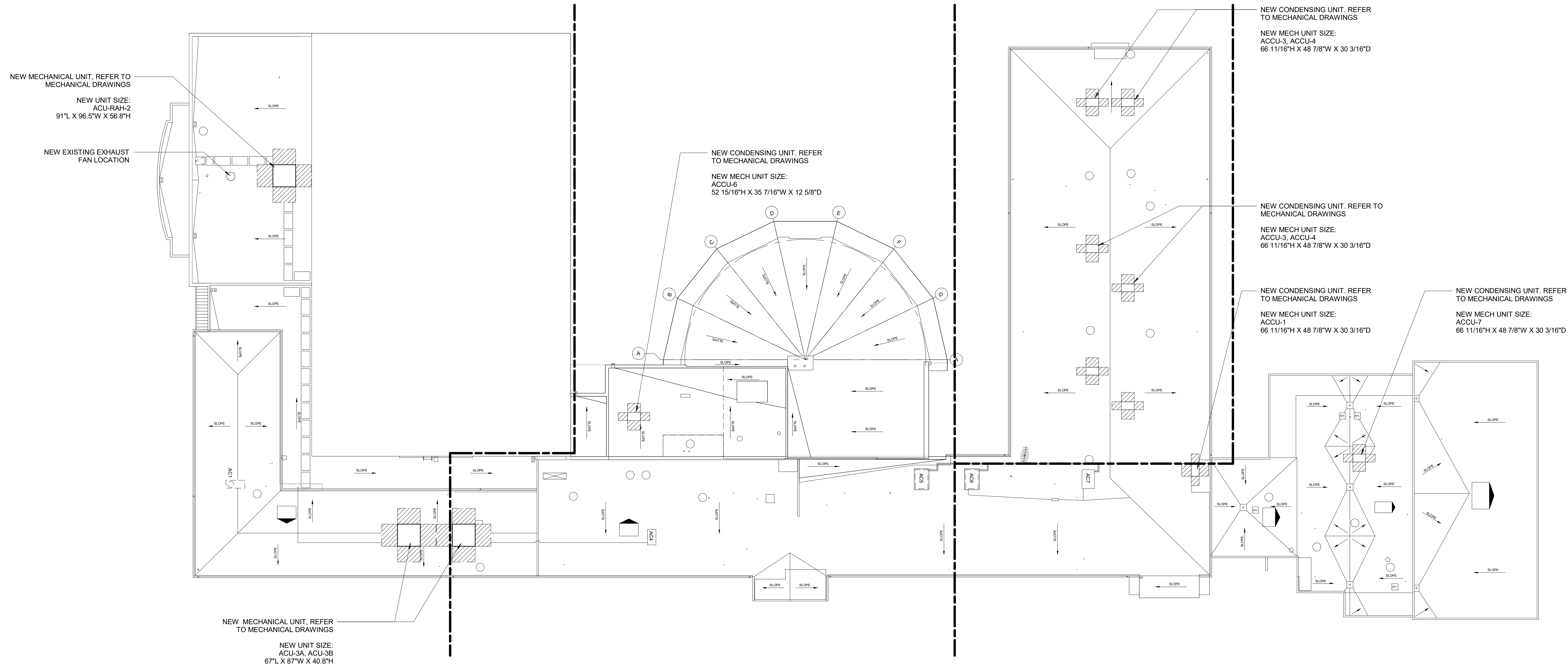
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CHECKED BY: Checker  
PROJECT MGR: Designer  
APPROVED BY: Approver

SHEET TITLE  
OVERALL ROOF PLAN

SHEET NUMBER  
LU3.03A  
ISSUE  
1

1 LU ROOF OVERALL PLAN  
Scale: 1/16" = 1'-0"



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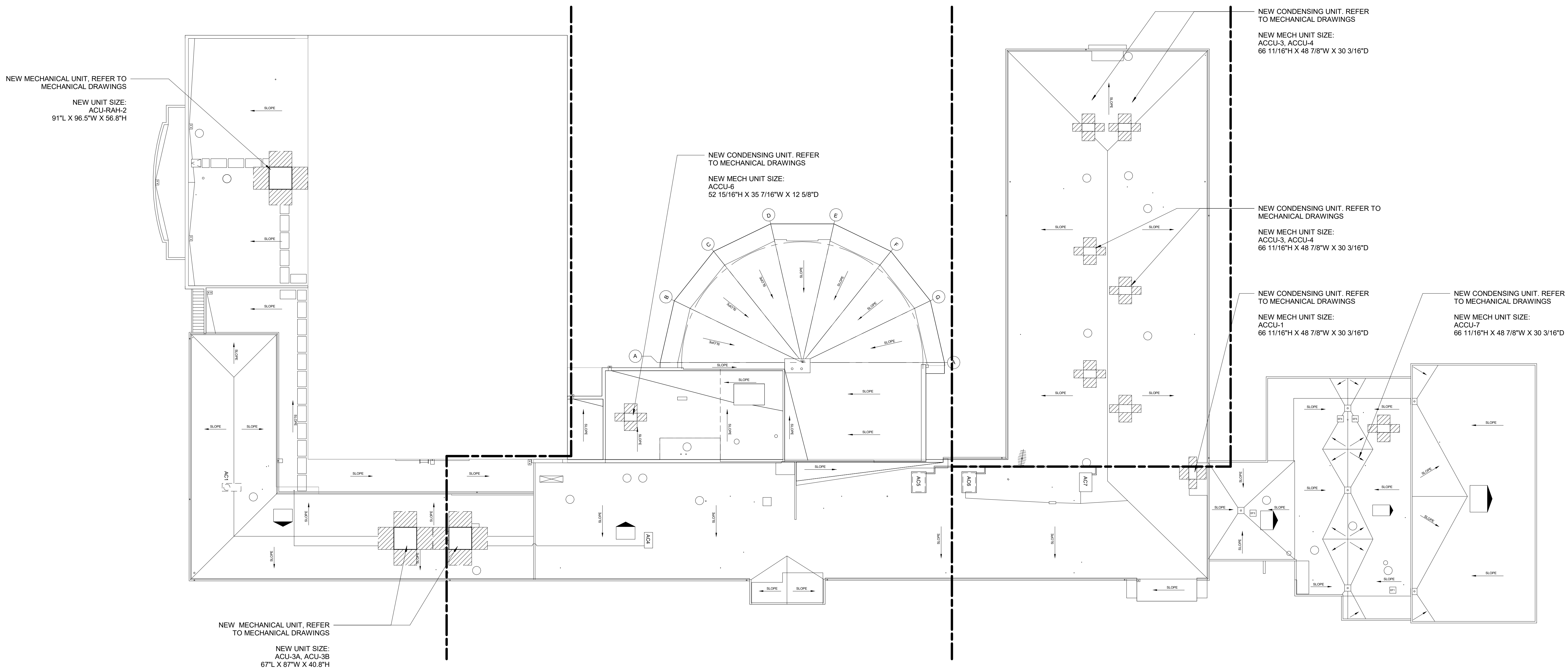
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SHEET TITLE  
**ROOF PLAN AERIAL VIEW**

SHEET NUMBER  
**LU3.03B**  
 ISSUE  
**1**



1 LU ROOF OVERALL PLAN AERIAL  
 Scale: 1/16" = 1'-0"

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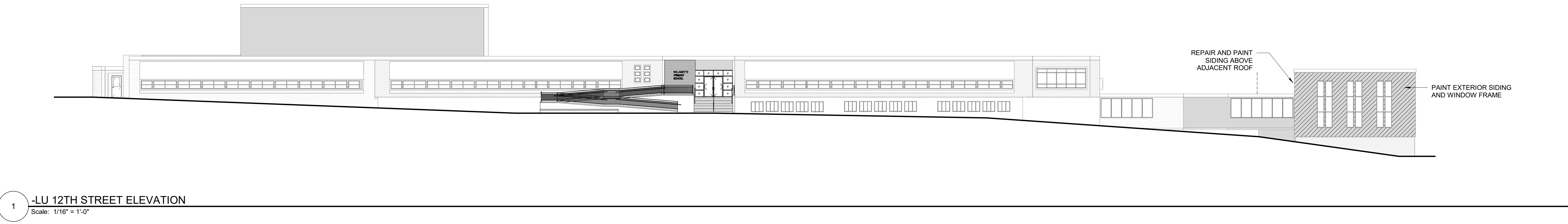
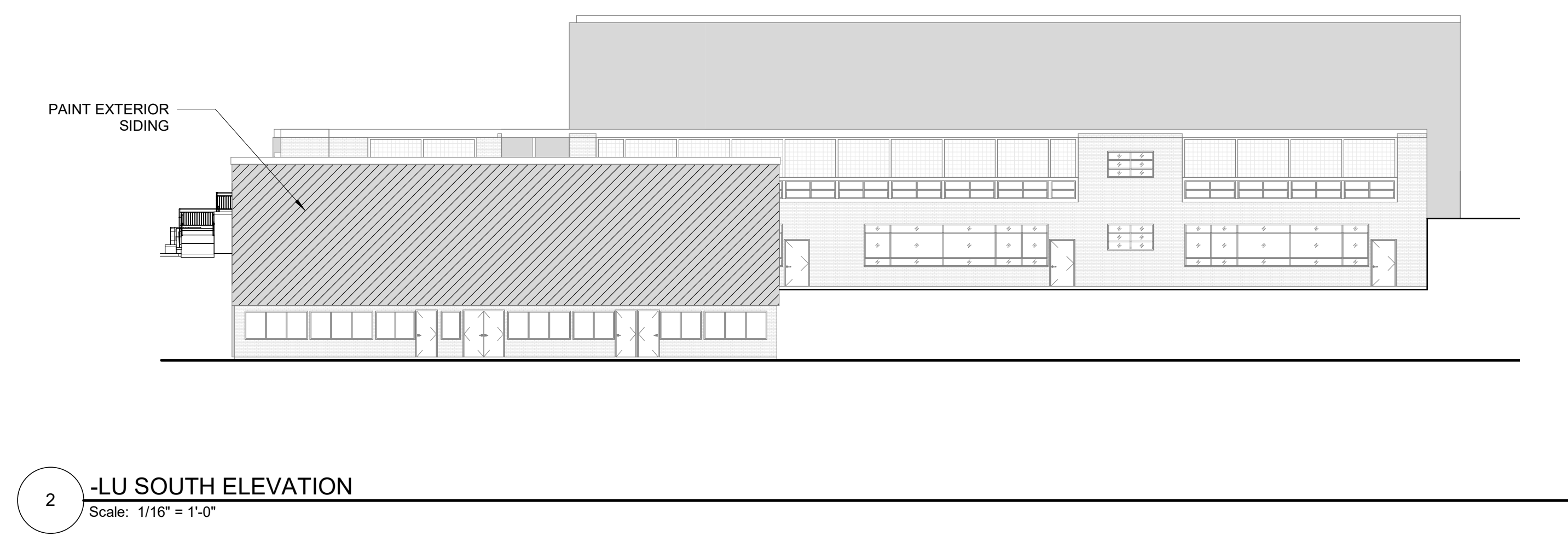
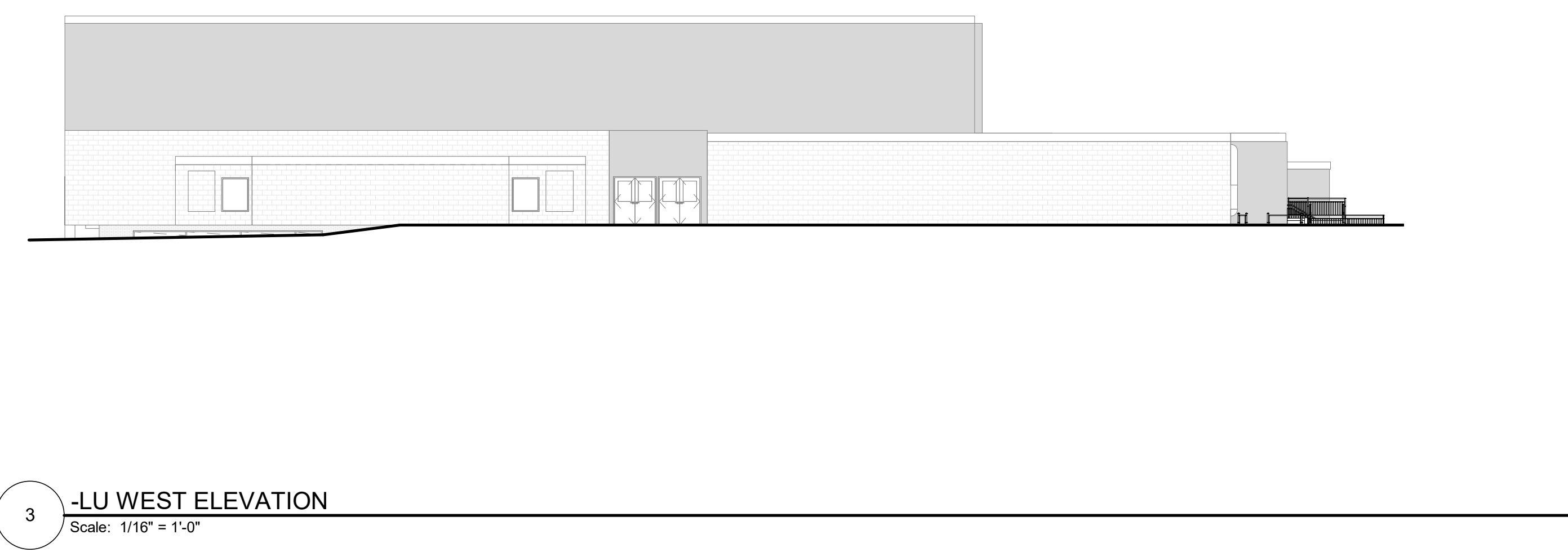
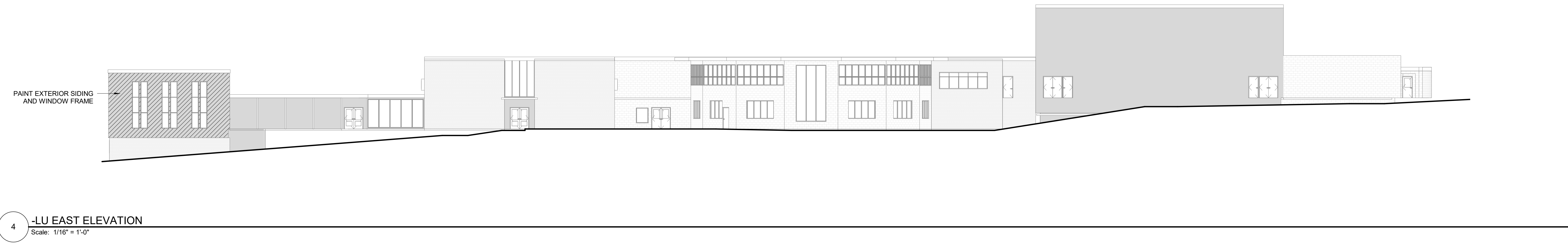
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SHEET TITLE  
**OVERALL EXTERIOR ELEVATIONS**

SHEET NUMBER  
**LU3.04**  
 ISSUE  
**1**







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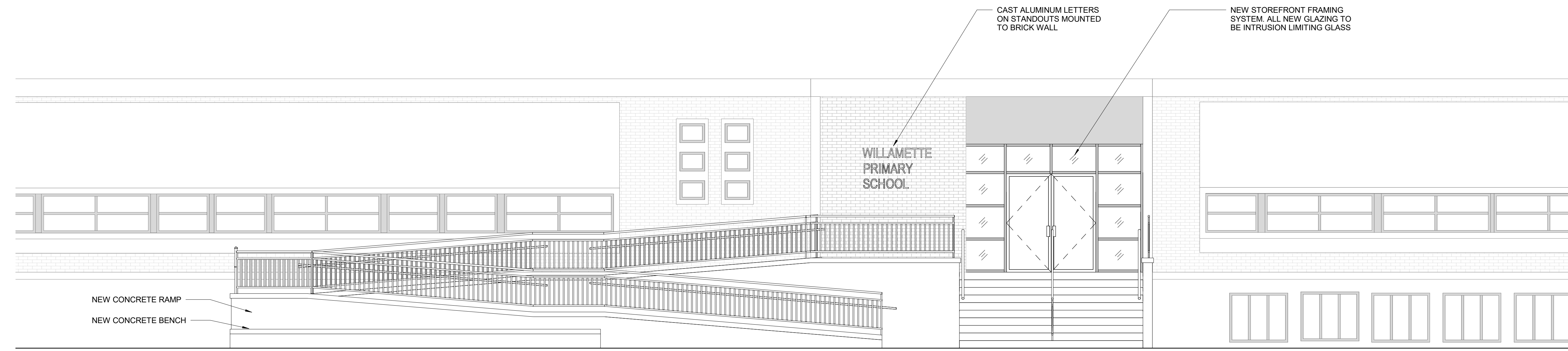
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SHEET TITLE  
**ENLARGED ENTRY ELEVATION**

SHEET NUMBER  
**LU3.06**  
 ISSUE  
**1**



1 **LU ENLARGED ENTRY ELEVATION**  
 Scale: 1/4" = 1'-0"

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EXISTING ENTRY



PROPOSED NEW ENTRY

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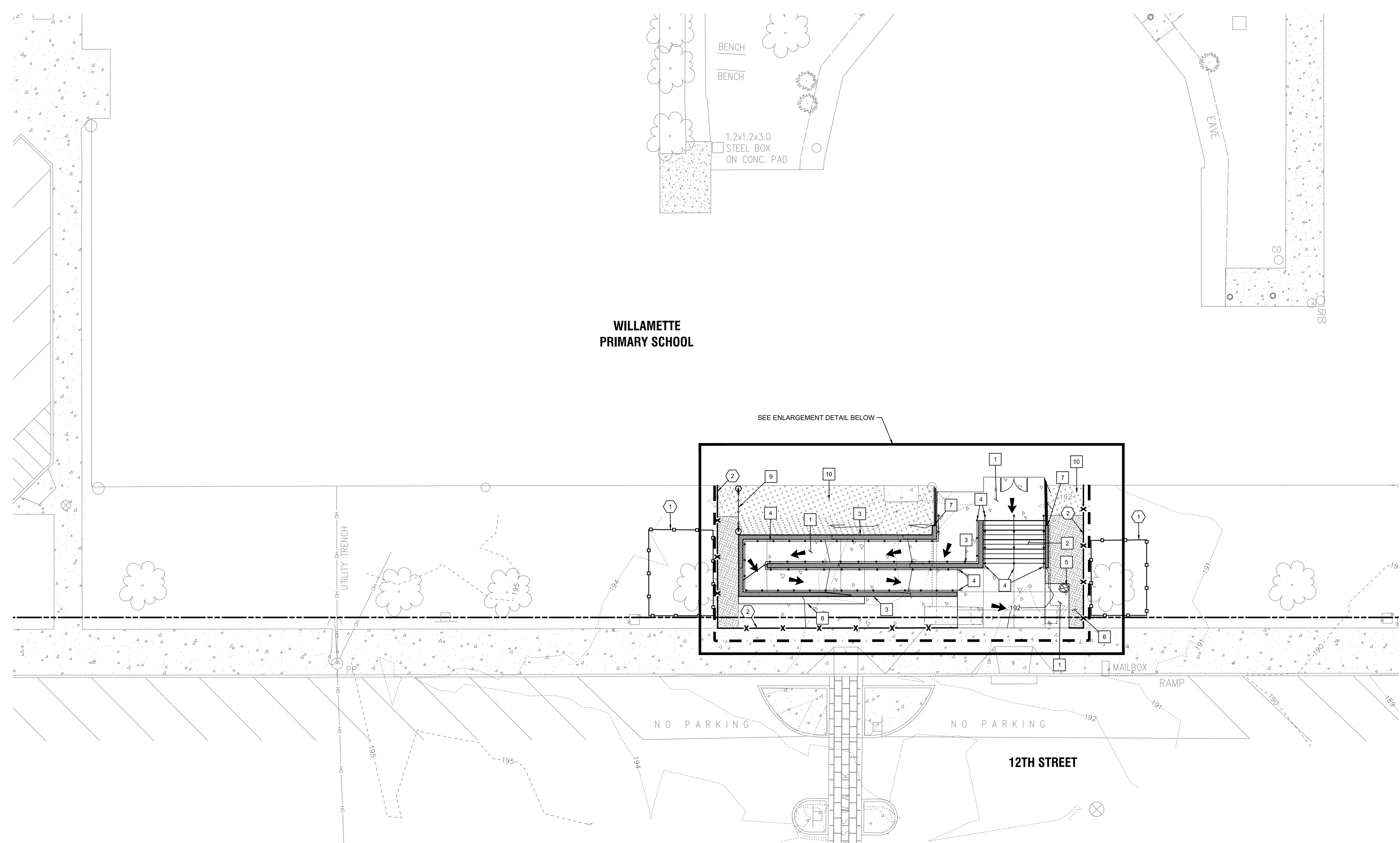
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SHEET TITLE  
**NEW ENTRY RENDERING**

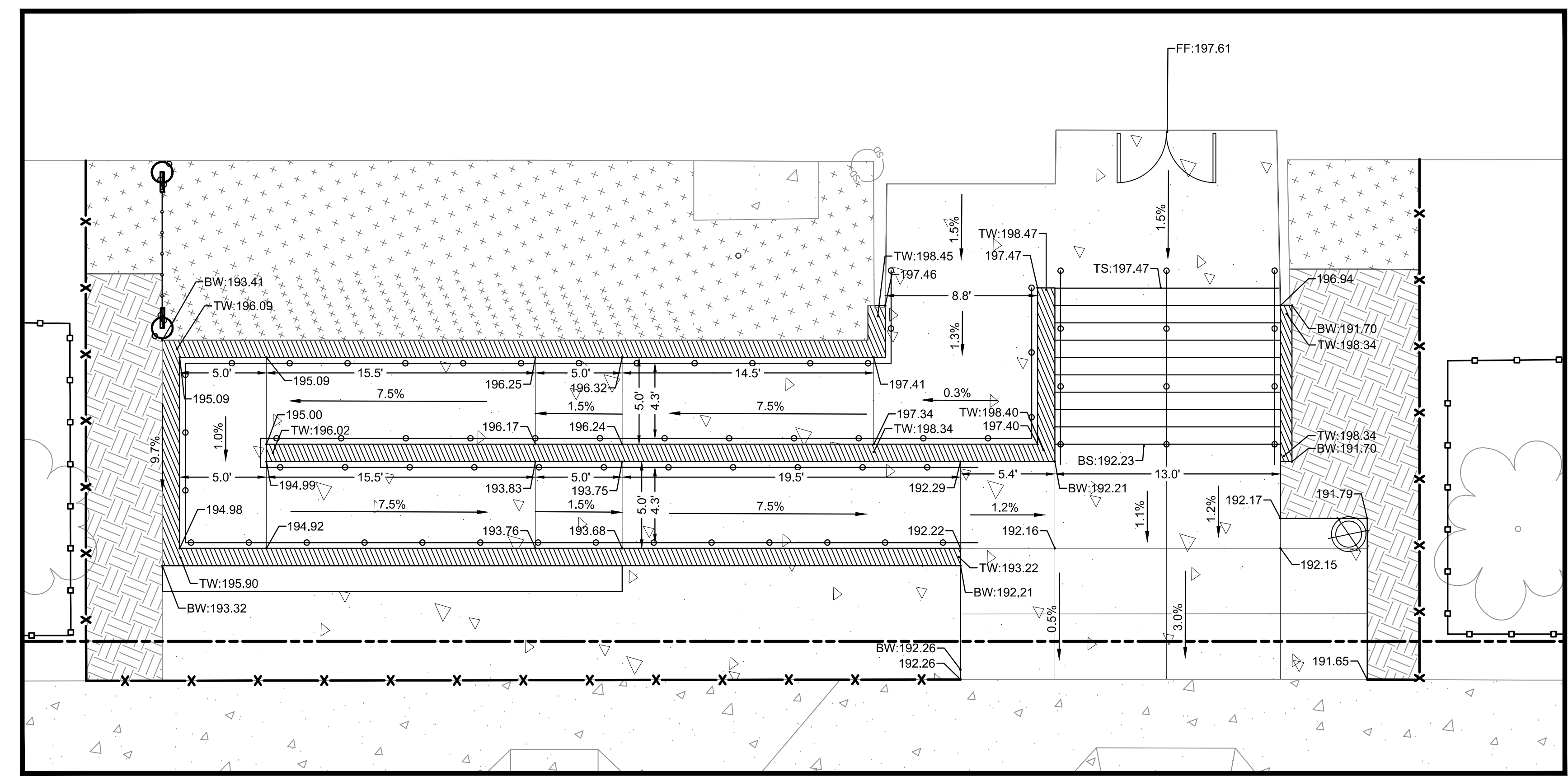
SHEET NUMBER <b>LU3.07</b>	ISSUE <b>1</b>
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**WILLAMETTE  
PRIMARY SCHOOL**

SEE ENLARGEMENT DETAIL BELOW



**ENLARGEMENT DETAIL**  
SCALE: 1" = 5'

- LEGEND**
- PROPOSED RETAINING WALL
  - PROPOSED VEGETATION
  - PROPOSED CONCRETE
  - PROPOSED MULCH
  - PROPOSED CONCRETE SCORING
  - PROPOSED HANDRAIL
  - PROPOSED TREE PROTECTION FENCE
  - PROPOSED SILT FENCING
  - PROPOSED LIMITS OF DISTURBANCE
  - PROPOSED SURFACE RUN-OFF FLOW ARROW
  - PROPOSED SLOPE
  - PROPOSED SPOT ELEVATION ABBREVIATIONS  
BS BOTTOM STEP  
TS TOP STEP

- CONSTRUCTION KEY NOTES**
- 1 PROPOSED CONCRETE PAVING.
  - 2 PROPOSED STAIRS, 12" TREAD - 9 TOTAL STEPS
  - 3 PROPOSED WALL.
  - 4 PROPOSED HANDRAIL.
  - 5 REPLACE EXISTING FLAG POLE IN NEW CONCRETE PAVING.
  - 6 RESEED ALL LAWN AREAS DISTURBED BY ALL CONSTRUCTION ACTIVITIES.
  - 7 CONNECT PROPOSED RETAINING WALL TO EXISTING WALL. STRUCTURAL TO CONFIRM EXISTING WALL CAN SUPPORT THE ADDITIONAL LOAD FOR THE IMPROVEMENTS.
  - 8 PROPOSED BENCH.
  - 9 PROPOSED GATE.
  - 10 INSTALL BARK MULCH.

- EROSION CONTROL KEY NOTES**
- 1 INSTALL TREE PROTECTION FENCING
  - 2 INSTALL SILT FENCING

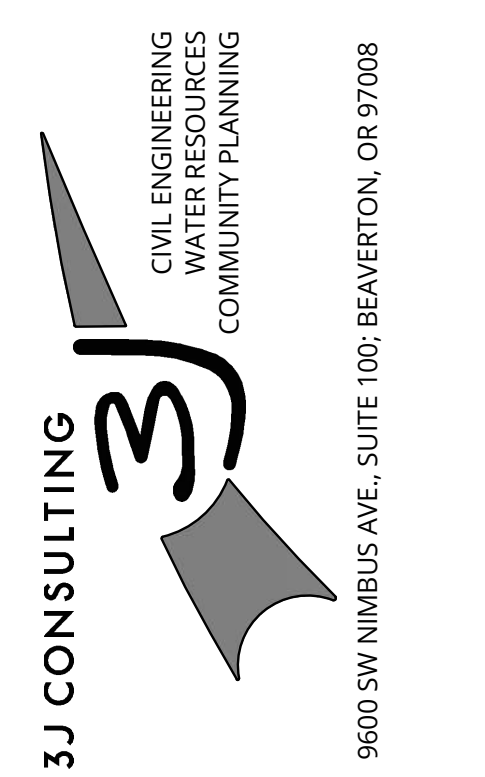
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**PROJECT NO:** 20644

**DRAWN BY:** JGW **CHECKED BY:** ARD

**PROJECT MGR:** BKF **APPROVED BY:**

**SHEET TITLE**  
SITE, GRADING &  
EROSION CONTROL  
PLAN

**SHEET NUMBER**  
C1210



SCALE: 1" = 5'