

**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: April 16, 2019

FILE NO.: MIS-19-01

REQUEST: Approval for an enlargement of a non-conforming structure (single-family home) to expand the size/footprint at 4680 Alder Street.

PLANNER: Darren Wyss, Associate Planner


Planning Manager 

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GENERAL INFORMATION

APPLICANT: Lindsey Jones, 18505 SE Lincoln Street, Portland, OR 97233

OWNER: Charlotte and Dennis Duncan 4680 Alder Street, West Linn, OR 97068

SITE LOCATION: 4680 Alder Street

SITE SIZE: 13,667 square feet

LEGAL DESCRIPTION: Tax Lot 3500 of Clackamas County Assessor's Map 2S 2E 32BB (Lots 6, 7, and 8; Block 11; Sunset City Plat)

COMP PLAN DESIGNATION: Medium-Density Residential

ZONING: R-4.5, Single-Family Residential Detached and Attached/Duplex (4,500 sq. ft. min. lot size)

APPROVAL CRITERIA: Community Development Code (CDC) Chapter 14: R-4.5, Single-Family Residential Detached and Attached/Duplex; Chapter 66: Non-Conforming Structures; Chapter 99: Procedures for Decision Making: Quasi-Judicial.

120-DAY RULE: The application became complete on March 22, 2019. The 120-day period therefore ends on July 20, 2019.

PUBLIC NOTICE: Notice was mailed to property owners within 300 feet of the subject property and to all neighborhood associations on March 27, 2019. A sign was placed on the property on April 1, 2019. The notice was also posted on the City's website on March 27, 2019. Therefore, public notice requirements of CDC Chapter 99 have been met.

EXECUTIVE SUMMARY

The applicant seeks approval for an enlargement of a non-conforming single-family home, located at 4680 Alder Street (Lots 6, 7, and 8; Block 11; Sunset City Plat), in the Sunset Neighborhood. The home straddles Lots 7 and 8 and the existing non-conformity is the rear-yard setback (west side of home) of seven-foot two-inches (7'2") when the underlying R-4.5 zone requires a 20-foot setback. The applicant proposes an expansion of the home to the south towards the side property line (separating Lots 7 and 6) an additional 13 feet 6 inches. This addition will not increase the non-conformity for the rear-yard setback as the new construction will be a minimum of 10 feet 3 inches from the property line. All other dimensional standards, setbacks, lot coverage, and other provisions of the underlying R-4.5 zone are met.

Public comments:

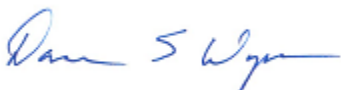
No public comments were received by the close of the comment period (April 11, 2019 at 4:00pm).

DECISION

The Planning Manager (designee) approves this application (MIS-19-01), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Site Plan.** The final design submitted for building permits shall conform to the submitted Plan sheets (Exhibit PD-4) and be confirmed by hub and tack survey.

The provisions of the Community Development Code Chapter 99 have been met.



Darren Wyss, Associate Planner

April 17, 2019

Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is \$400. The appeal must be filed by an individual who has established standing by submitting comments prior to the decision date. Approval will lapse 3 years from effective approval date if a building permit is not submitted.

Mailed this 17th day of April, 2019.

Therefore, the 14-day appeal period ends at 5 p.m., on May 1, 2019.

ADDENDUM
APPROVAL CRITERIA AND FINDINGS
MISC-19-01

This decision adopts the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

Chapter 14: SINGLE-FAMILY RESIDENTIAL ATTACHED AND DETACHED/DUPLEX, R-4.5
14.030 PERMITTED USES

The following are uses permitted outright in this zoning district:

- 1. Single-family detached residential unit.*

Staff Finding 1: The applicant proposes an enlargement of an existing non-conforming single-family detached home on the property. Single family detached homes are permitted uses in the R-10 zone. This criteria is met.

14.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS

Except as may be otherwise provided by the provisions of this code, the following are the requirements for uses within this zone:

A. The minimum lot size shall be:

- 1. for a single-family detached unit, 4,500 square feet.*

(...)

Staff Finding 2: The subject property, Taxlot 5900, is 13,667 square feet and comprised of three legal lots of record (Lots 6, 7, and 8; Block 11; Sunset City Plat). The existing non-conforming home sits on Lots 7 and 8, which combined are 8,677 square feet. Lot 6 is 5,000 square feet. The criteria are met.

B. The minimum front lot line length or the minimum lot width at the front lot line shall be 35 feet.

C. The average minimum lot width shall be 35 feet.

Staff Finding 3: The subject property, Taxlot 5900, is comprised of three legal lots of record (Lots 6, 7, and 8; Block 11; Sunset City Plat). The existing non-conforming home sits on Lots 7 and 8, which combined have a front lot line width and average minimum width of 86 feet. Lot 6 has a front lot line width and average minimum width of 50 feet. The criteria are met.

D. The minimum yard dimensions or minimum building setback area from the lot line shall be:

- 1. For the front yard, 20 feet; except for steeply sloped lots where the provisions of CDC [41.010](#) shall apply.*
- 2. For an interior side yard, five feet.*
- 3. For a side yard abutting a street, 15 feet.*

4. For a rear yard, 20 feet.

Staff Finding 4: The subject property, Taxlot 5900, is comprised of three legal lots of record (Lots 6, 7, and 8; Block 11; Sunset City Plat). The applicant proposes an enlargement of an existing non-conforming home sited on Lots 7 and 8. After enlargement the accessory structure will be setback 48 feet from the front property line (east), 25 feet from the side-street property line (north), and 6 feet 10 inches from the side property line (south). The rear yard setback is currently 7 feet 2 inches. The applicant proposes an addition that will extend the accessory structure to the south and have a minimum rear yard setback of 10 feet 3 inches, thus requiring the application for enlargement of a non-conforming structure. The criteria are met.

- F. *The maximum building height shall be 35 feet, except for steeply sloped lots in which case the provisions of Chapter [41](#) CDC shall apply.*
- G. *The maximum lot coverage shall be 40 percent.*
- H. *The minimum width of an accessway to a lot which does not abut a street or a flag lot shall be 15 feet.*
- I. *The maximum floor area ratio shall be 0.45. Type I and II lands shall not be counted toward lot area when determining allowable floor area ratio, except that a minimum floor area ratio of 0.30 shall be allowed regardless of the classification of lands within the property. That 30 percent shall be based upon the entire property including Type I and II lands. Existing residences in excess of this standard may be replaced to their prior dimensions when damaged without the requirement that the homeowner obtain a non-conforming structures permit under Chapter [66](#) CDC.*
- J. *The sidewall provisions of Chapter [43](#) CDC shall apply.*

Staff Finding 5: The existing home will be 22 feet in height after the proposed addition. The lot coverage will be 20.4% after the proposed addition. The existing home is 944 square feet. The proposed addition is 324 square feet for a total of 1,268 square feet. The property (Lots 7 and 8) is 8,677 square feet, which yields an FAR of 14.6%. No changes are proposed to the property's access. The proposal is exempt from Chapter 43 as the gable ends are facing the side lot line. The criteria are met.

II. CHAPTER 66, NON-CONFORMING STRUCTURES

66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS

- A. *An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC [99.060\(B\)](#) and CDC [65.120](#) through [65.140](#).*

Staff Finding 6: The non-conforming structure (single-family home) does not contain a non-conforming use. The use of the property is residential, which is a permitted or conforming use in the R-10 zone. The criteria is not applicable.

B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

1. If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.

Staff Finding 7: The applicant proposes an enlargement of an existing non-conforming single-family home, which is a conforming use in the R-10 zone. The enlargement does not meet all provisions of the code, as the rear yard setback for the existing home is 7 feet 2 inches, not meeting the required 20 foot setback. In this circumstance, the criteria of CDC 66.080.B.2 applies. Design review is not applicable to single-family homes per CDC 55.025.A. The criteria is met.

2. If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards.

a. The enlargement or alteration will not change the non-conformity; and

Staff Finding 8: The applicant proposes an enlargement of an existing non-conforming single-family home, which requires Planning Director review and approval. The rear yard setback for the existing accessory structure is 7 feet 2 inches. The rear yard setback of the addition to the home will be a minimum of 10 feet 3 inches. The enlargement will not change or increase the non-conformity. The criteria is met.

b. All other applicable ordinance provisions will be met.

Staff Finding 9: Please see Staff Findings 1 through 5. The criteria is met.

PD-1 AFFADAVIT AND NOTICE PACKET

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. MISC-19-01 Applicant's Name Lindsey Jones - Aligned Design
Development Name _____
Scheduled Meeting/Decision Date 4-11-19

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A _____

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. School District/ Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) _____ (signed) _____
- F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/ posted:

Findings (published date) _____ (signed) _____
City's website (posted date) _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 4-1-2019 (signed) [Signature]

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B

- A. The applicant (date) 3-27-19 (signed) S. Shroyer
- B. Affected property owners (date) 3-27-19 (signed) S. Shroyer
- C. School District/ Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) 3-27-19 (signed) S. Shroyer
- E. Affected neighborhood assns. (date) 3-27-19 (All) (signed) S. Shroyer

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.

Date: 3-27-19 (signed) S. Shroyer

STAFF REPORT mailed to applicant, City Council/ Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) 4-17-2019 (signed) [Signature]

**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION
FILE NO. MIS-19-01**

The West Linn Planning Manager is considering a request for an Enlargement of a Non-Conforming Structure (single-family home) to expand the size/footprint at 4680 Alder St.

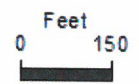
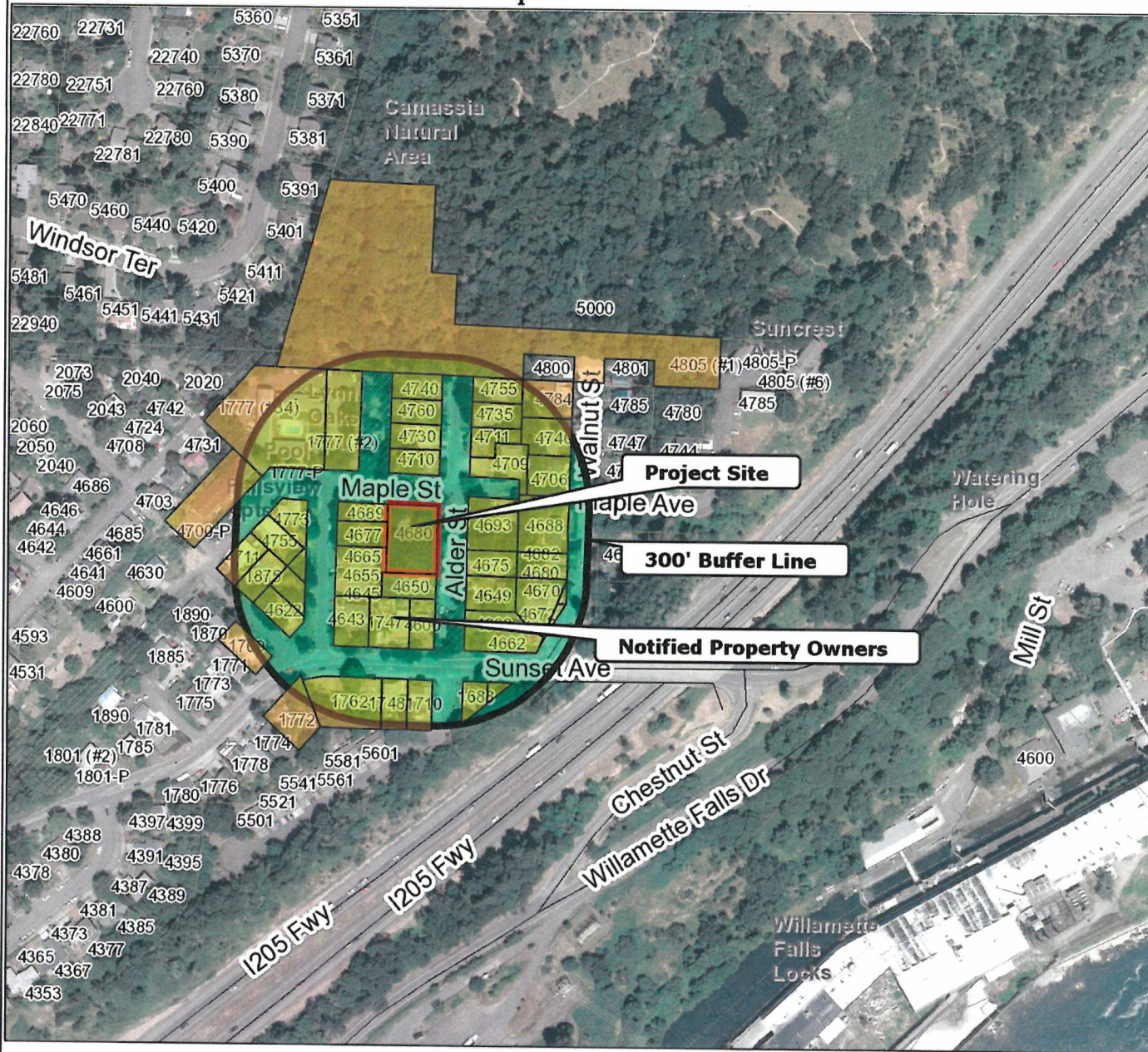
The decision will be based on the approval criteria in Chapters 14 and 66 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov/cdc>.

You have received this notice because County records indicate that you own property within 300 feet of this property (Tax Lot 3500 of Clackamas County Assessor's Map 22E 31BB) or as otherwise required by Chapter 99 of the CDC.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site <https://westlinnoregon.gov/planning/4680-alder-street-expansion-non-conforming-structure> or copies may be obtained for a minimal charge per page. A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on April 11, 2019. Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline.** For further information, please contact Darren Wyss, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503) 742-6064, dwyss@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. **It is important to submit all testimony in response to this notice.** Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

4680 Alder Street Notification Map



Scale 1:3,600 - 1 in = 300 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: SSHROYER
Date Created: 22-Mar-19 10:26 AM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.



CITY OF West Linn

CITY OF WEST LINN NOTICE OF UPCOMING PLANNING MANAGER DECISION

**PROJECT # MISC-19-01
MAIL: 3/27/19 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

PD-2 COMPLETENESS LETTER



CITY OF
West Linn

March 22, 2019

Charlotte and Dennis Duncan
4680 Alder Street
West Linn, OR 97068

SUBJECT: Non-Conforming Structure Expansion at 4680 Alder Street (MISC-19-01)

Charlotte and Dennis:

Your application submitted on March 12, 2019 has been deemed **complete**. The city has 120 days to exhaust all local review; that period ends July 20, 2019.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

Please contact me at 503-742-6064, or by email at dwyss@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Darren Wyss
Associate Planner

PD-3 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

| For Office Use Only | | |
|-------------------------------------|----------------------------------|--------------------|
| STAFF CONTACT: <i>Darren Wyss</i> | PROJECT NO(S): <i>MISC-19-01</i> | |
| NON-REFUNDABLE FEE(S): <i>1000-</i> | REFUNDABLE DEPOSIT(S) | TOTAL: <i>1000</i> |

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

| | |
|---|-----------------------------------|
| Site Location/Address: <i>4680 ALDER ST</i> | Assessor's Map No.: 22E31BB |
| | Tax Lot(s): <i>3500</i> |
| | Total Land Area: <i>13,667 SF</i> |

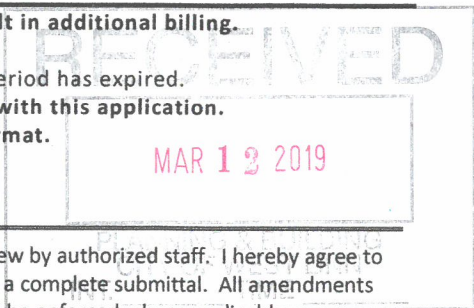
Brief Description of Proposal: *ADDITION TO SOUTH OF BUILDING, REMODEL WEST HALF OF MAIN LEVEL*

| | |
|--|--|
| Applicant Name: <i>LINDSEY JONES</i> <small>(please print)</small> | Phone: <i>503.606.6100</i> |
| Address: <i>18505 SE LINCOLN ST</i> | Email: <i>HELLO@ALIGNEDDESIGNPDX.COM</i> |
| City State Zip: <i>PORTLAND, OR 97233</i> | |

| | |
|---|--|
| Owner Name (required): <i>CHARLOTTE & DENNIS DUNCAN</i> <small>(please print)</small> | Phone: <i>503.884.5879</i> |
| Address: <i>4680 ALDER ST.</i> | Email: <i>charlotte.a.duncan@gmail.com</i> |
| City State Zip: <i>WEST LINN, OR 97068</i> | |

| | |
|--|--------|
| Consultant Name: <small>(please print)</small> | Phone: |
| Address: | Email: |
| City State Zip: | |

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
 - The owner/applicant or their representative should be present at all public hearings.
 - A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
 - Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.
- * No CD required / ** Only one hard-copy set needed



The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

[Signature] _____ *3-12-19* _____ *[Signature]* _____ *12 MAR 2019* _____
 Applicant's signature Date Owner's signature (required) Date



Lindsey Jones, LEED AP
(503) 606-6100
hello@aligneddesignpdx.com

Applicant: Lindsey Jones
Aligned Design
18505 SE Lincoln St.
Portland, OR 97233

Owner: Charlotte & Dennis Duncan
4680 Alder St.
West Linn, OR 97068

February 28, 2019

Project Address: 4680 Alder St., West Linn, OR 97068

Darren,

In response to your request for a narrative describing compliance with 66.080.A and 66.080.B, please see below:

Project Description:

The intent of this project is to allow the Owners to age-in-place with a master on the main. This is to be achieved through a remodel and addition to existing 1.5 story single family residence with basement. Remodel to include kitchen updating and reconfiguring the south-west corner of the main level. Addition to be located off south-facing exterior wall and will include a master suite.

Existing Conditions:

The original 1920 home was built at an angle to the property line. At its closest point (the south-west corner), the house is 7'-2" from the west property line. This is within the 20' required rear setback area.

Proposed Conditions:

To fit a Master Suite on the main, we are proposing an addition along the south-facing wall. At its closest point (the south-west corner), it will be 10'-5" from the west property line. It will not encroach into the required side setback.

66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS

A. An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC [99.060\(B\)](#) and CDC [65.120](#) through [65.140](#).

Response: N/A – Existing and proposed use are conforming.

B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

1. If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.

Response: N/A.

2. If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC [99.060\(B\)](#) is required subject to the following standards.

a. The enlargement or alteration will not change the non-conformity; and

Response: The proposed addition at the south-facing wall of the structure will not change the conformity of the building. The existing non-conforming area encroaches to 7'-2" away from the west property line. The proposed addition will remain outside of this line and will be 10'-5" from the west property line.

b. All other applicable ordinance provisions will be met.

Response: The proposed addition complies with all other aspects of the zoning code, including:

| | |
|-------------------------|---|
| LOT SIZE: | 0.31 ACRES (+/-13,667 SF) |
| LOT COVERAGE MAX: | 13,667 SF * 40% = 5,467 SF |
| LOT COVERAGE ACTUAL: | 944 SF (E) HOUSE+ 324 SF (N) ADDITION = 1,268 SF (9%) |
| FAR MAX: | 13,667 SF * 45% = 6,150 SF ALLOWED |
| FAR ACTUAL: | 1,771 SF (13%) |
| MAX. BUILDING HEIGHT: | 35' |
| ACTUAL BUILDING HEIGHT: | 22' (E) HOUSE |



Lindsey Jones, LEED AP
(503) 606-6100
hello@aligneddesignpdx.com

| | | |
|------------------|---------------------|---|
| <i>SETBACKS:</i> | <i>FRONT:</i> | <i>20 ft. req'd, 55 ft. actual existing</i> |
| | <i>REAR:</i> | <i>20 ft. req'd, 7'-2" actual existing</i> |
| | <i>SIDES:</i> | <i>5 ft. req'd, 7 ft. proposed to future PL</i> |
| | <i>STREET SIDE:</i> | <i>15 ft. req'd, 25 ft. actual existing</i> |
| <i>SIDEWALL:</i> | <i>N/A</i> | |

Thank you for your review. Please call at (503) 606-6100 or email me at hello@aligneddesignpdx.com with any questions.

Sincerely,

Lindsey Jones

Date

Alder Remodel

4680 Alder St., West Linn, OR 97068

ABBREVIATIONS

| | |
|-------|-----------------------------|
| AFF | ABOVE FINISHED FLOOR |
| BLKG | BLOCKING |
| BOT | BOTTOM |
| CLST | CLOSET |
| CLG | CEILING |
| CL | CENTERLINE |
| COL | COLUMN |
| CONC | CONCRETE |
| CONT | CONTINUOUS |
| DEMO | DEMOLISH/DEMOLITION |
| DIA | DIAMETER |
| DBL | DOUBLE |
| DN | DOWN |
| DS | DOWNSPOUT |
| (E) | EXISTING |
| ELEC | ELECTRICAL |
| EQ | EQUAL |
| FLR | FLOOR |
| FO | FLOOR OF |
| GALV | GALVANIZED |
| GYP | GYPSUM WALL BOARD |
| HT | HEIGHT |
| LYR | LAYER |
| MFR | MANUFACTURER |
| MSTR | MASTER |
| (N) | NEW |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| PT | PRESSURE TREATED |
| REQ'D | REQUIRED |
| S/C | SMOKE/CARBON MONOXIDE ALARM |
| SIM | SIMILAR |
| SOG | SLAB ON GRADE |
| SS | STAINLESS STEEL |
| TO | TOP OF |
| TYP | TYPICAL |
| UNO | UNLESS NOTED OTHERWISE |
| VFY | VERIFY |
| VOS | VERIFY ON SITE |
| WIN | WINDOW |
| WRB | WEATHER RESISTIVE BARRIER |

ENERGY REQUIREMENTS

- THE FOLLOWING IS TO COMPLY WITH 'CHAPTER 11 - ENERGY EFFICIENCY' OF THE 2017 OREGON RESIDENTIAL SPECIALTY CODE.
- ADDITION IS 305 SF (<40% HEATED FLOOR AREA AND <800 SF).
A. 'PRESCRIPTIVE ENVELOPE REQUIREMENTS, TABLE N1101.1(1) - N/A.
- ADDITIONAL MEASURES LISTED BELOW PER TABLE 'N1101.1(2) OF THE 2017 'ORSC'. (SMALL ADDITION MEASURE - CHOOSE ONE)
A. ENVELOPE ENHANCEMENT MEASURE: #2 - UPGRADED FEATURES.
EXTERIOR WALLS - U-0.057 / R-23
FRAMED FLOORS - U-0.026 / R-38
WINDOWS - U-0.28 (AVERAGE UA)
- ALL AIR INFILTRATIONS IN THE NEW EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

SHEET LIST

| Sheet # | Sheet Name |
|---------|------------------------------|
| A0.0 | Cover Sheet |
| A1.0 | Existing Plans |
| A1.1 | Proposed Floor Plan |
| A1.2 | Framing Plans |
| A2.0 | Proposed Exterior Elevations |
| A3.0 | Building Sections |
| A5.0 | Interior Elevations |
| A6.0 | Details |

PROJECT DIRECTORY

OWNER
DENNIS & CHARLOTTE
4680 ALDER ST.
WEST LINN, OR 97068

DESIGNER
ANGELA WRIGHT
DWELLWRIGHT
503.914.9182

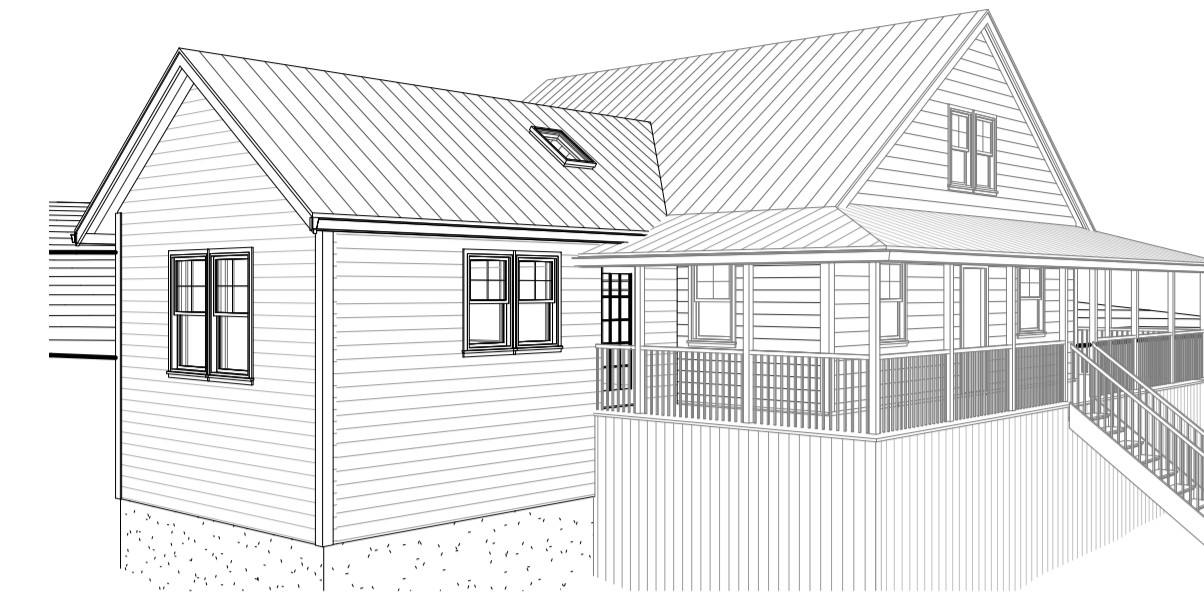
DRAFTSPERSON
LINDSEY JONES
ALIGNED DESIGN
503.606.6100

ENGINEER

GENERAL CONTRACTOR



④ View from SW



③ View from SE



② Vicinity Map
1/8" = 1'-0"

GENERAL NOTES

- COMPLY WITH ALL CITY OF PORTLAND EROSION CONTROL REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING INFORMATION SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, CONTACT DESIGNER IN WRITING IMMEDIATELY.
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODE, THE JURISDICTION HAVING AUTHORITY AND THE BUILDING OWNER.
- CONTRACTOR SHALL FOLLOW DIMENSIONED DRAWING INFORMATION AND NOT SCALE DRAWINGS FOR ANY REASON.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE 'INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- CONTRACTOR SHALL APPLY, OBTAIN, AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTION ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE PROJECT, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WORK OR EQUIPMENT WHICH IS NOT SPECIFICALLY IDENTIFIED OR SPECIFIED, BUT WHICH IS NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK CALLED FOR IN THE DRAWINGS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, SAFETY PROCEDURES AND METHODS TO PROTECT THE LIFE, HEALTH AND SAFETY OF WORKERS, SUBCONTRACTORS, SUPPLIERS AND THE PUBLIC ON ALL WORK RELATED TO THIS PROJECT, IN FULL CONFORMANCE WITH OSHA REQUIREMENTS.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- THE LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING EXCAVATION TO PREVENT DAMAGE TO EXISTING UTILITIES. SHOULD UTILITIES NEED TO BE RELOCATED TO ACCOMMODATE THE NEW WORK, SUCH RELOCATION SHALL BE COMPLETED IMMEDIATELY TO MINIMIZE INTERRUPTION OF SERVICE(S).
- CONTRACTOR SHALL ARRANGE FOR ALL TEMPORARY SERVICES SUCH AS POWER, WATER, REFUSE AND SANITATION. CONTRACTOR SHALL ALSO ENSURE THAT THE ADJOINING RIGHT OF WAY IS KEPT CLEAR AND CLEAN OF DIRT AND DEBRIS.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
- THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTOR.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH., PLUMBING, ELECTRICAL AND OTHER SUB-CONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ie, ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.

SITE INFORMATION:
PROJECT ADDRESS: 4680 ALDER ST.
PARCEL NUMBER: 00576282
LEGAL DESCRIPTION: NW 1/4, NW 1/4, SEC. 31, T2S, R2E, W.M. CLACKAMAS COUNTY, OREGON CITY OF WEST LINN

TAX LOT: 3500
SITE AREA: 13,667 SF (0.31 ac)

BUILDING CODE ANALYSIS:
BUILDING CODE: 2017 OREGON RESIDENTIAL SPECIALTY CODE (BASED ON THE 2015 IRC)
STRUCTURAL CODE: 2014 OREGON STRUCTURAL SPECIALTY CODE (BASED ON THE 2009 IBC)
OCCUPANCY: RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: V-B NON-RATED
LATERAL DESIGN: ENGINEERED LATERAL DESIGN
SPRINKLER: N/A
DESIGN LOADS:

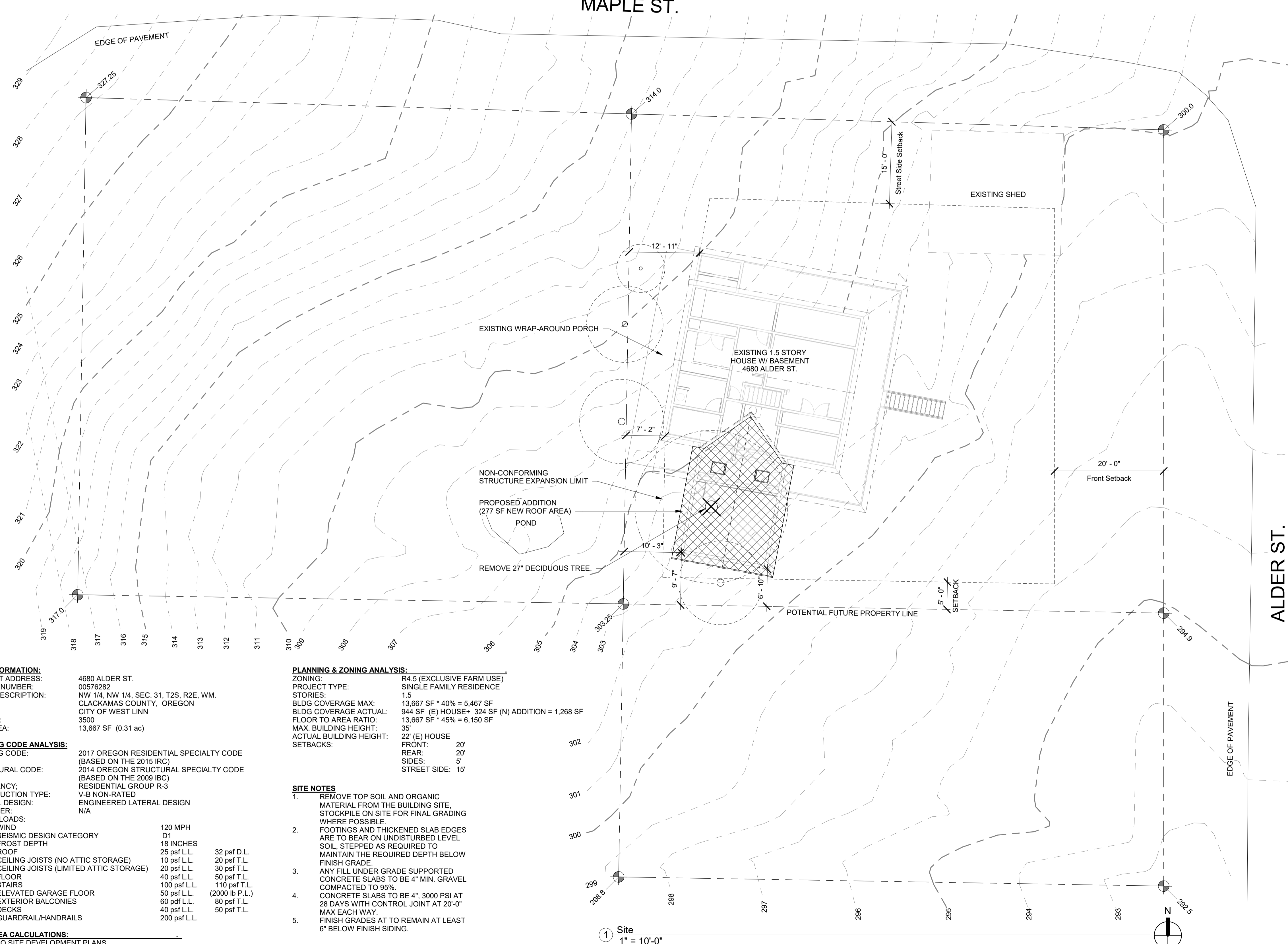
| | |
|--|----------------------------|
| WIND | 120 MPH |
| SEISMIC DESIGN CATEGORY | D1 |
| FROST DEPTH | 18 INCHES |
| ROOF | 25 psf L.L. 32 psf D.L. |
| CEILING JOISTS (NO ATTIC STORAGE) | 10 psf L.L. 20 psf T.L. |
| CEILING JOISTS (LIMITED ATTIC STORAGE) | 20 psf L.L. 30 psf T.L. |
| FLOOR | 40 psf L.L. 50 psf T.L. |
| STAIRS | 100 psf L.L. 110 psf T.L. |
| ELEVATED GARAGE FLOOR | 50 psf L.L. (2000 lb P.L.) |
| EXTERIOR BALCONIES | 60 psf L.L. 80 psf T.L. |
| DECKS | 40 psf L.L. 50 psf T.L. |
| GUARDRAIL/HANDRAILS | 200 psf L.L. |

SITE AREA CALCULATIONS:
REFER TO SITE DEVELOPMENT PLANS

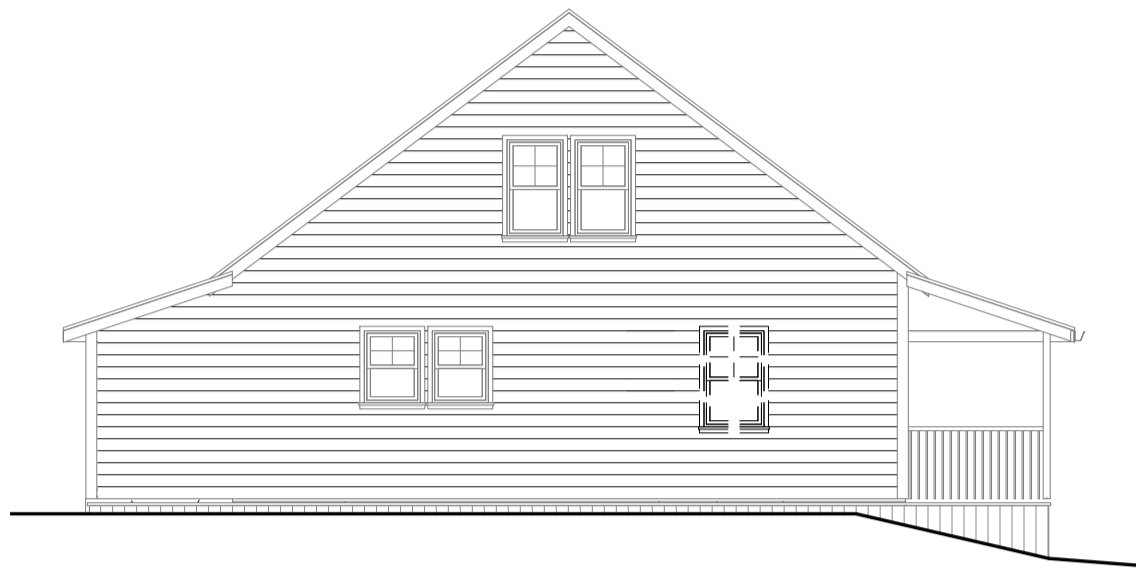
PLANNING & ZONING ANALYSIS:
ZONING: R4.5 (EXCLUSIVE FARM USE)
PROJECT TYPE: SINGLE FAMILY RESIDENCE
STORIES: 1.5
BLDG COVERAGE MAX: 13,667 SF * 40% = 5,467 SF
BLDG COVERAGE ACTUAL: 944 SF (E) HOUSE + 324 SF (N) ADDITION = 1,268 SF
FLOOR TO AREA RATIO: 13,667 SF * 45% = 6,150 SF
MAX BUILDING HEIGHT: 35'
ACTUAL BUILDING HEIGHT: 22' (E) HOUSE
SETBACKS: FRONT: 20'
REAR: 20'
SIDES: 5'
STREET SIDE: 15'

SITE NOTES

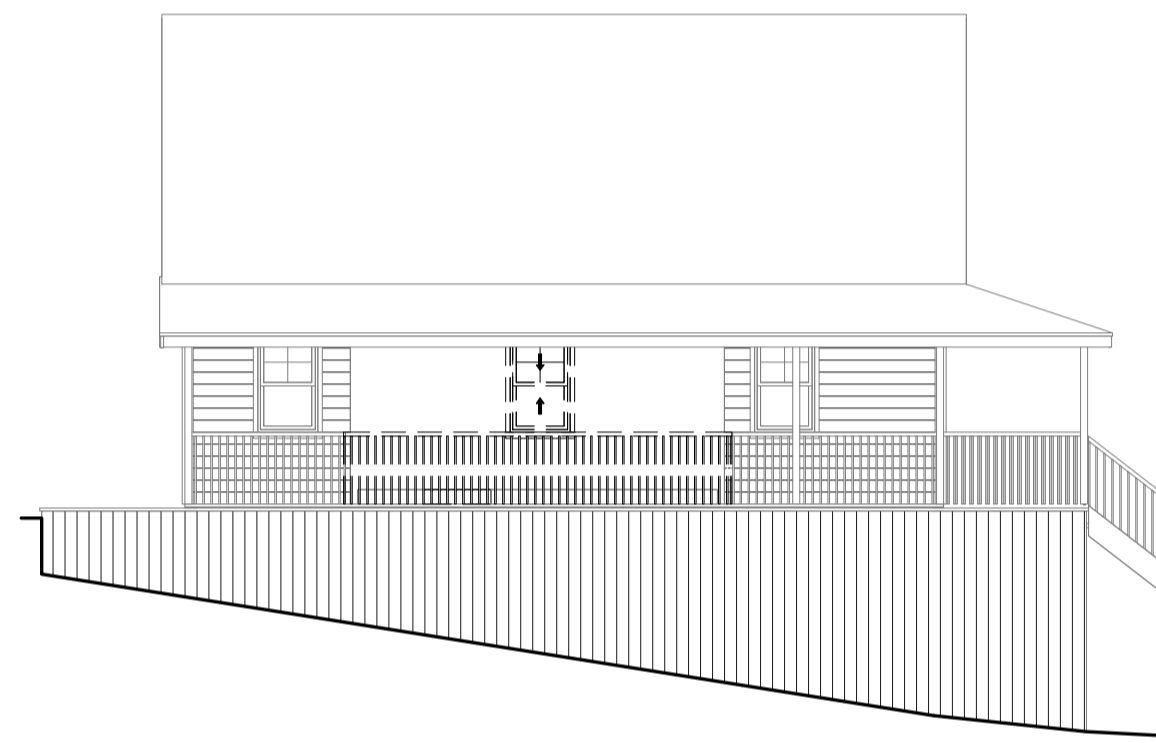
- REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE, STOCKPILE ON SITE FOR FINAL GRADING WHERE POSSIBLE.
- FOOTINGS AND THICKENED SLAB EDGES ARE TO BEAR ON UNDISTURBED LEVEL SOIL, STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
- ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" MIN. GRAVEL COMPACTED TO 95%.
- CONCRETE SLABS TO BE 4", 3000 PSI AT 28 DAYS WITH CONTROL JOINT AT 20'-0" MAX EACH WAY.
- FINISH GRADES AT TO REMAIN AT LEAST 6" BELOW FINISH SIDING.



① Site
1" = 10'-0"



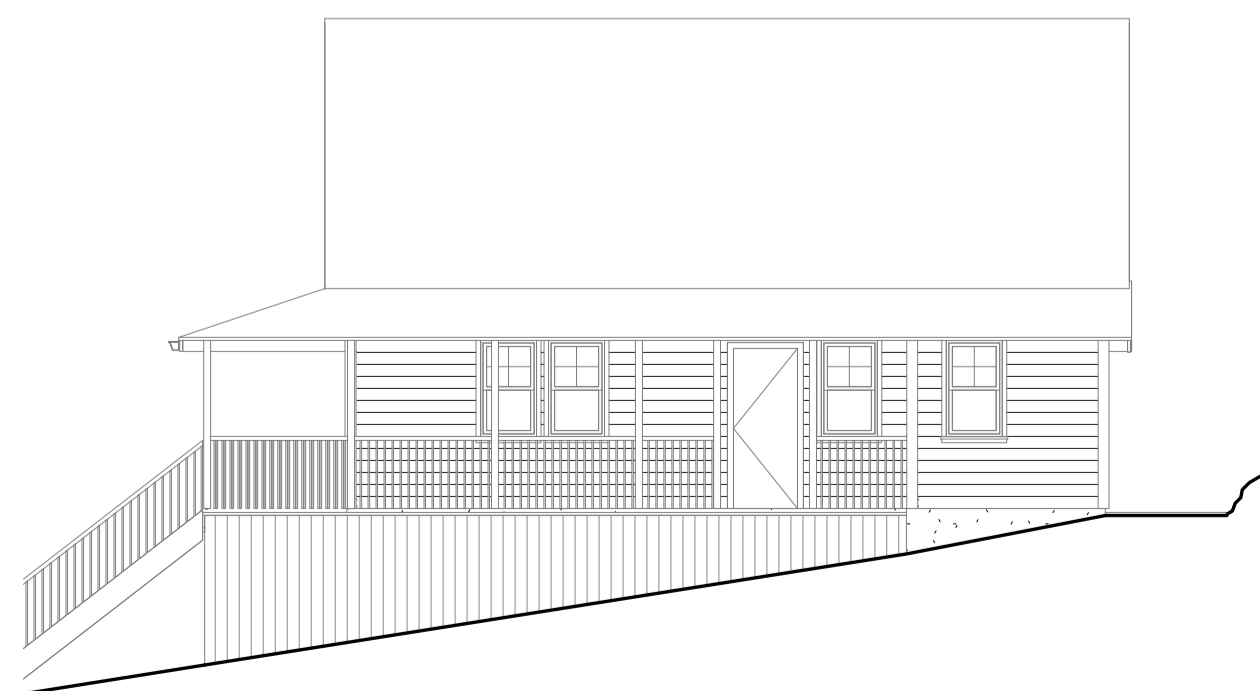
5 Existing West Elevation
1/8" = 1'-0"



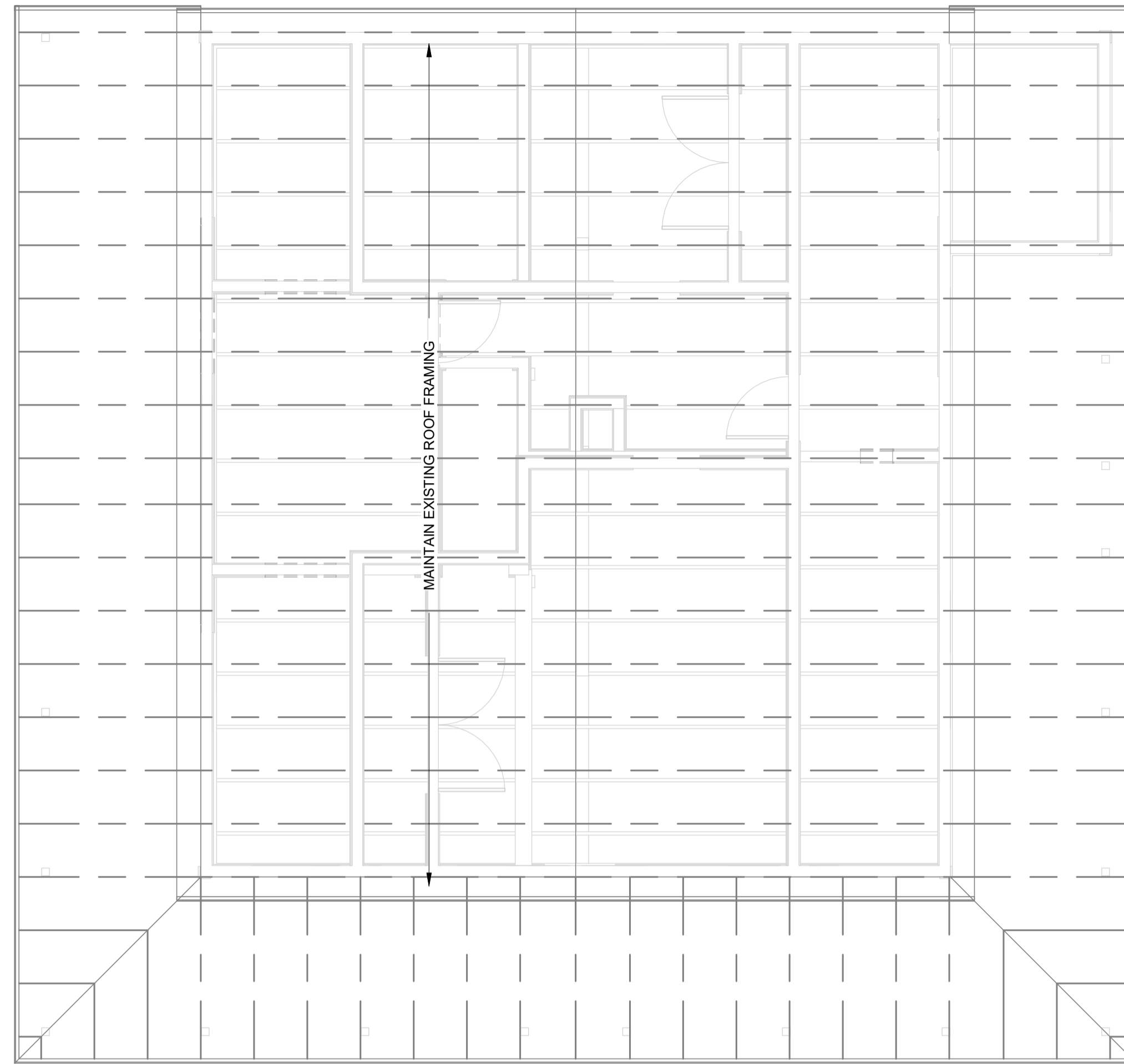
6 Existing South Elevation
1/8" = 1'-0"



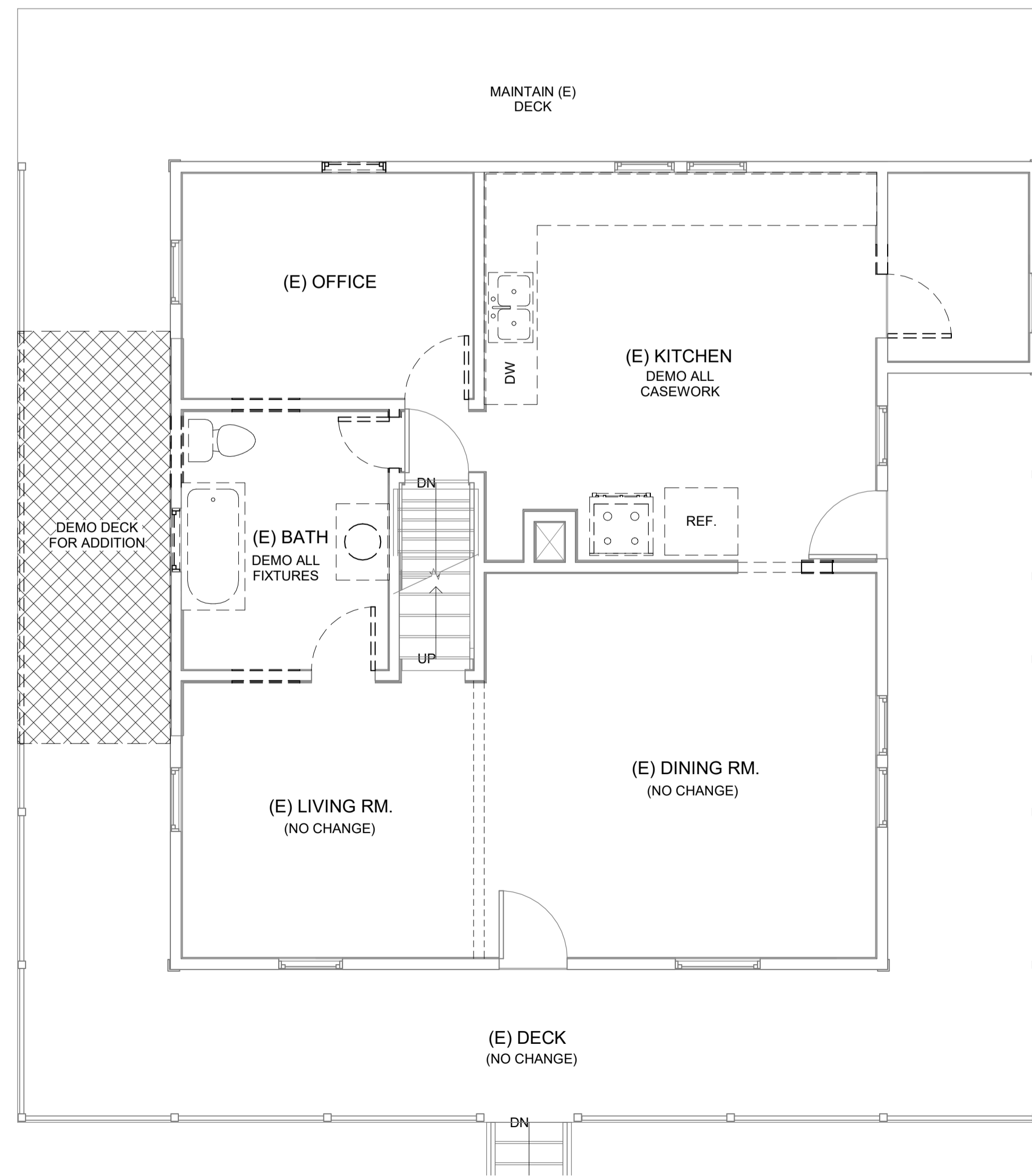
7 Existing East Elevation
1/8" = 1'-0"



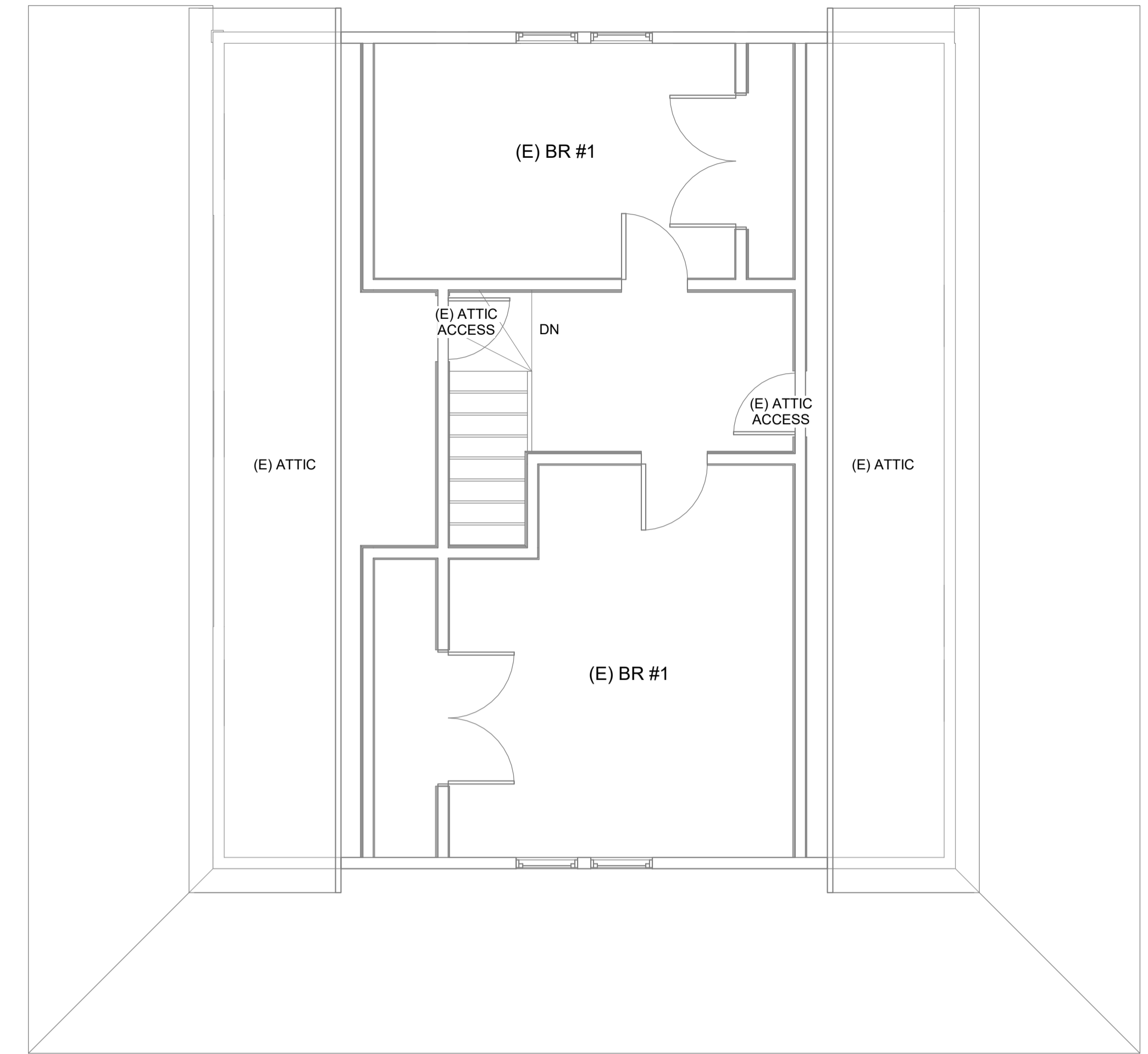
8 Existing North Elevation
1/8" = 1'-0"



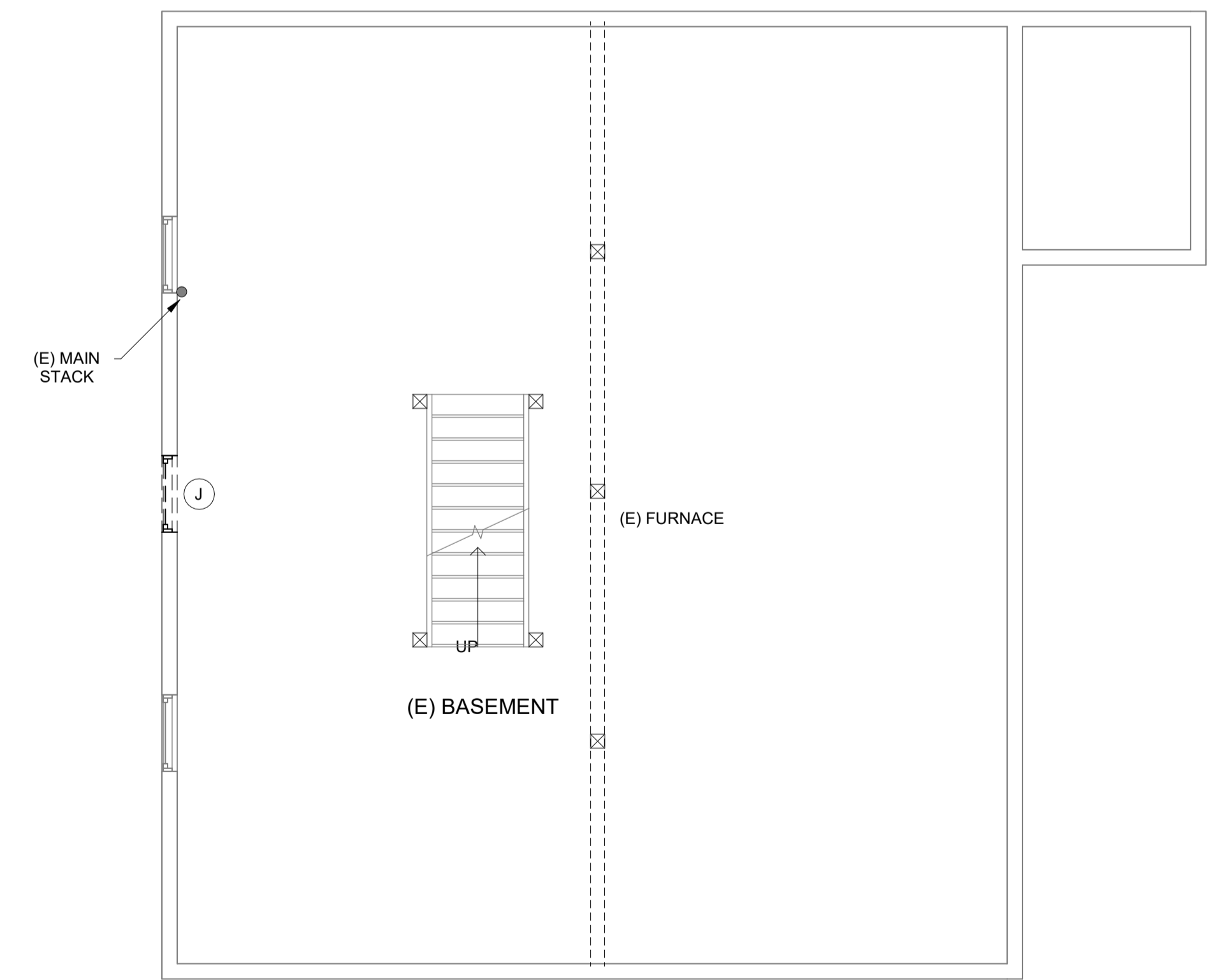
4 Existing Roof Plan
1/4" = 1'-0"



2 Existing First Floor Plan
1/4" = 1'-0"

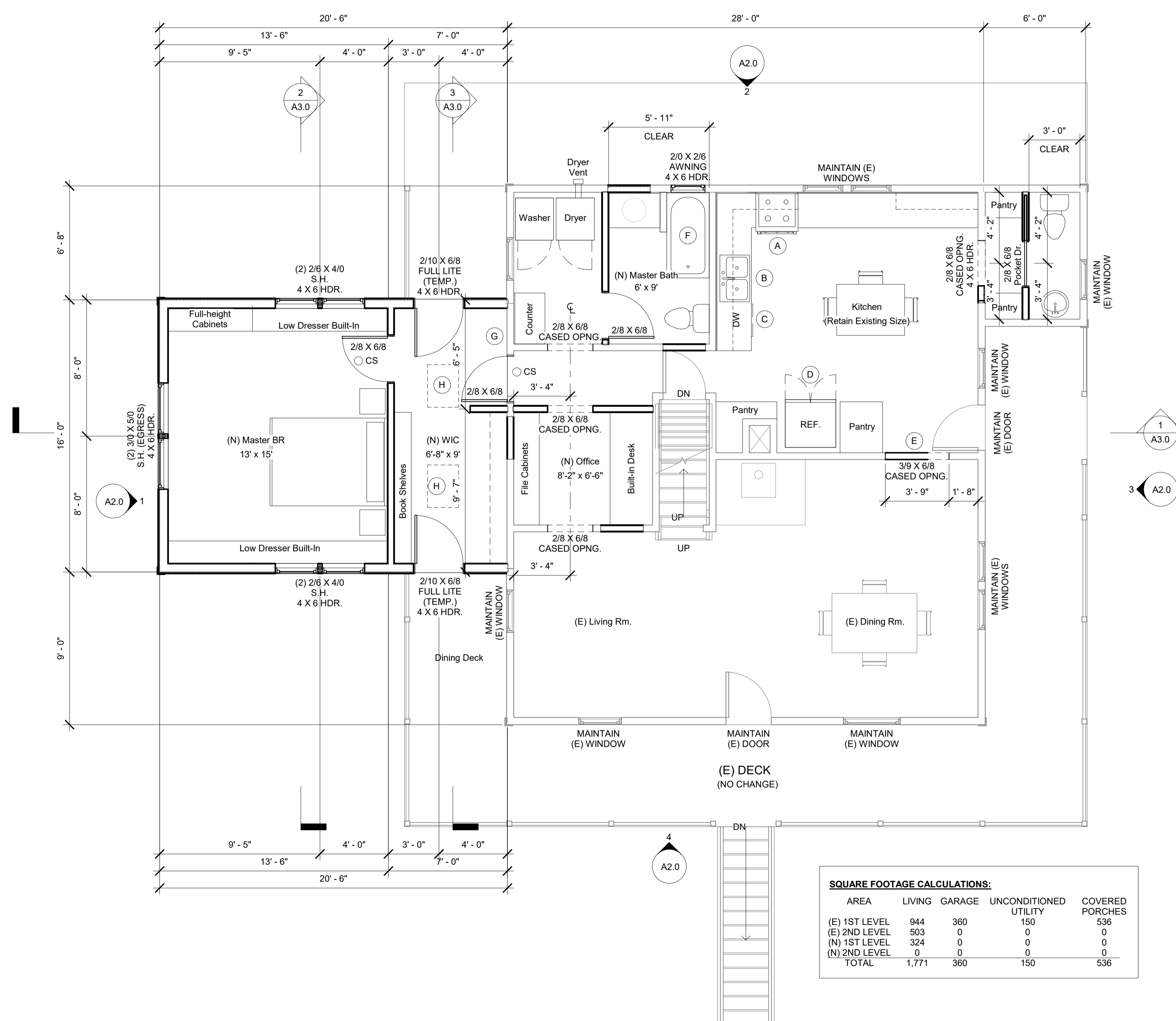


3 Existing Second Floor Plan
1/4" = 1'-0"



1 Existing Foundation Plan
1/4" = 1'-0"

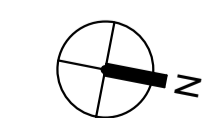
Proposed Floor Plan

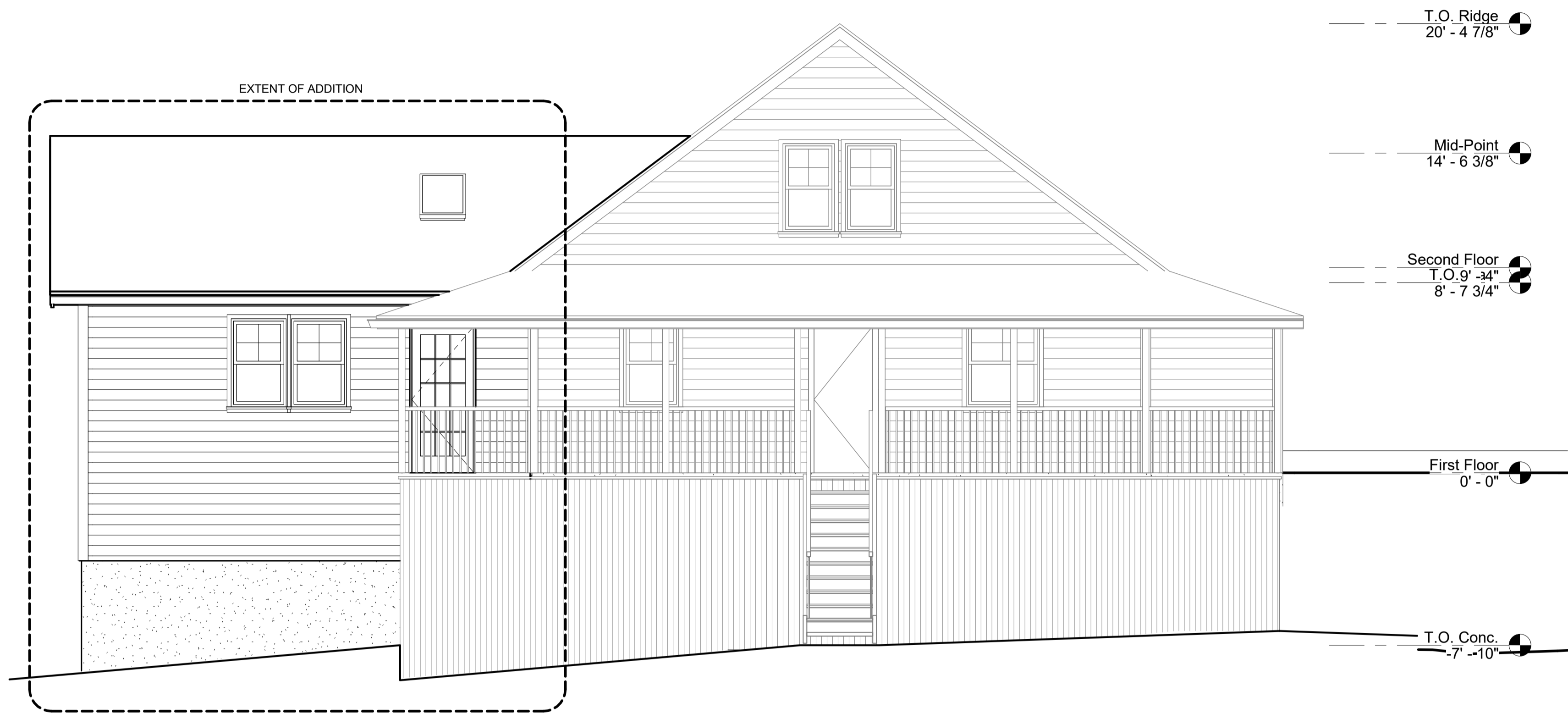


SQUARE FOOTAGE CALCULATIONS:

| AREA | LIVING | GARAGE | UNCONDITIONED UTILITY | COVERED PORCHES |
|---------------|--------------|------------|-----------------------|-----------------|
| (E) 1ST LEVEL | 944 | 360 | 150 | 536 |
| (E) 2ND LEVEL | 503 | 0 | 0 | 0 |
| (N) 1ST LEVEL | 324 | 0 | 0 | 0 |
| (N) 2ND LEVEL | 0 | 0 | 0 | 0 |
| TOTAL | 1,771 | 360 | 150 | 536 |

1 First Floor Plan
1/4" = 1'-0"





④ East Elevation
1/4" = 1'-0"



③ North Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



① South Elevation
1/4" = 1'-0"