

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT: <i>Darren Wyss</i>	PROJECT NO(S): <i>MISC-19-01</i>	
NON-REFUNDABLE FEE(S): <i>1000-</i>	REFUNDABLE DEPOSIT(S)	TOTAL: <i>1000</i>

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: <i>4680 ALDER ST</i>	Assessor's Map No.: 22E31BB
	Tax Lot(s): <i>3500</i>
	Total Land Area: <i>13,667 SF</i>

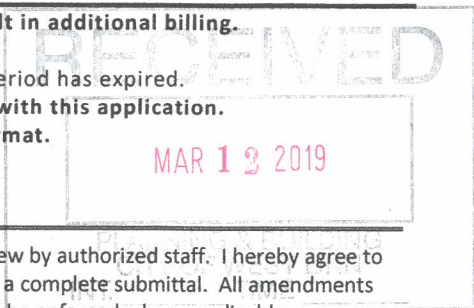
Brief Description of Proposal: *ADDITION TO SOUTH OF BUILDING, REMODEL WEST HALF OF MAIN LEVEL*

Applicant Name: <i>LINDSEY JONES</i> <small>(please print)</small>	Phone: <i>503.606.6100</i>
Address: <i>18505 SE LINCOLN ST</i>	Email: <i>HELLO@ALIGNEDDESIGNPDX.COM</i>
City State Zip: <i>PORTLAND, OR 97233</i>	

Owner Name (required): <i>CHARLOTTE & DENNIS DUNCAN</i> <small>(please print)</small>	Phone: <i>503.884.5879</i>
Address: <i>4680 ALDER ST.</i>	Email: <i>charlotte.a.duncan@gmail.com</i>
City State Zip: <i>WEST LINN, OR 97068</i>	

Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
 - The owner/applicant or their representative should be present at all public hearings.
 - A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
 - Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.
- * No CD required / ** Only one hard-copy set needed



The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

[Signature] _____ *3-12-19* _____ *[Signature]* _____ *12 MAR 2019* _____
 Applicant's signature Date Owner's signature (required) Date



Lindsey Jones, LEED AP
(503) 606-6100
hello@aligneddesignpdx.com

Applicant: Lindsey Jones
Aligned Design
18505 SE Lincoln St.
Portland, OR 97233

Owner: Charlotte & Dennis Duncan
4680 Alder St.
West Linn, OR 97068

February 28, 2019

Project Address: 4680 Alder St., West Linn, OR 97068

Darren,

In response to your request for a narrative describing compliance with 66.080.A and 66.080.B, please see below:

Project Description:

The intent of this project is to allow the Owners to age-in-place with a master on the main. This is to be achieved through a remodel and addition to existing 1.5 story single family residence with basement. Remodel to include kitchen updating and reconfiguring the south-west corner of the main level. Addition to be located off south-facing exterior wall and will include a master suite.

Existing Conditions:

The original 1920 home was built at an angle to the property line. At its closest point (the south-west corner), the house is 7'-2" from the west property line. This is within the 20' required rear setback area.

Proposed Conditions:

To fit a Master Suite on the main, we are proposing an addition along the south-facing wall. At its closest point (the south-west corner), it will be 10'-5" from the west property line. It will not encroach into the required side setback.

66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS

A. *An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC [99.060\(B\)](#) and CDC [65.120](#) through [65.140](#).*

Response: N/A – Existing and proposed use are conforming.

B. *An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:*

1. *If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.*

Response: N/A.

2. *If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC [99.060\(B\)](#) is required subject to the following standards.*

a. *The enlargement or alteration will not change the non-conformity; and*

Response: The proposed addition at the south-facing wall of the structure will not change the conformity of the building. The existing non-conforming area encroaches to 7'-2" away from the west property line. The proposed addition will remain outside of this line and will be 10'-5" from the west property line.

b. *All other applicable ordinance provisions will be met.*

Response: The proposed addition complies with all other aspects of the zoning code, including:

LOT SIZE:	0.31 ACRES (+/-13,667 SF)
LOT COVERAGE MAX:	13,667 SF * 40% = 5,467 SF
LOT COVERAGE ACTUAL:	944 SF (E) HOUSE+ 324 SF (N) ADDITION = 1,268 SF (9%)
FAR MAX:	13,667 SF * 45% = 6,150 SF ALLOWED
FAR ACTUAL:	1,771 SF (13%)
MAX. BUILDING HEIGHT:	35'
ACTUAL BUILDING HEIGHT:	22' (E) HOUSE



Lindsey Jones, LEED AP
(503) 606-6100
hello@aligneddesignpdx.com

<i>SETBACKS:</i>	<i>FRONT:</i>	<i>20 ft. req'd, 55 ft. actual existing</i>
	<i>REAR:</i>	<i>20 ft. req'd, 7'-2" actual existing</i>
	<i>SIDES:</i>	<i>5 ft. req'd, 7 ft. proposed to future PL</i>
	<i>STREET SIDE:</i>	<i>15 ft. req'd, 25 ft. actual existing</i>
<i>SIDEWALL:</i>	<i>N/A</i>	

Thank you for your review. Please call at (503) 606-6100 or email me at hello@aligneddesignpdx.com with any questions.

Sincerely,

Lindsey Jones

Date

Alder Remodel

4680 Alder St., West Linn, OR 97068

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
BLKG	BLOCKING
BCOT	BOTTOM
CLST	CLOSET
CLG	CEILING
CL	CENTERLINE
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DEMO	DEMOLISH/DEMOLITION
DIA	DIAMETER
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
(E)	EXISTING
ELEC	ELECTRICAL
EQ	EQUAL
FLR	FLOOR
FO	FACE OF
GALV	GALVANIZED
GYP	GYP SUM WALL BOARD
HT	HEIGHT
LYR	LAYER
MFR	MANUFACTURER
MSFR	MASTER
(N)	NEW
NTS	NOT TO SCALE
OC	ON CENTER
PT	PRESSURE TREATED
REQ'D	REQUIRED
S/C	SMOKE/CARBON MONOXIDE ALARM
SIM	SIMILAR
SOG	SLAB ON GRADE
SS	STAINLESS STEEL
TO	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VFY	VERIFY
VOS	VERIFY ON SITE
WIN	WINDOW
WRB	WEATHER RESISTIVE BARRIER

GENERAL NOTES

- COMPLY WITH ALL CITY OF PORTLAND EROSION CONTROL REQUIREMENT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COORDINATING INFORMATION SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, CONTACT DESIGNER IN WRITING IMMEDIATELY.
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODE, THE JURISDICTION HAVING AUTHORITY AND THE BUILDING OWNER.
- CONTRACTOR SHALL FOLLOW DIMENSIONED DRAWING INFORMATION AND NOT SCALE DRAWINGS FOR ANY REASON.
- ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE, UNIFORM BUILDING CODE OF ANY APPLICABLE STATE, COUNTY OR LOCAL JURISDICTION.
- CONTRACTOR SHALL APPLY, OBTAIN, AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTION ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE PROJECT, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WORK OR EQUIPMENT WHICH IS NOT SPECIFICALLY IDENTIFIED OR SPECIFIED, BUT WHICH IS NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK CALLED FOR IN THE DRAWINGS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, SAFETY PROCEDURES AND METHODS TO PROTECT THE LIFE, HEALTH AND SAFETY OF WORKERS, SUBCONTRACTORS, SUPPLIERS AND THE PUBLIC ON ALL WORK RELATED TO THIS PROJECT, IN FULL CONFORMANCE WITH OSHA REQUIREMENTS.
- SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
- THE LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING EXCAVATION TO PREVENT DAMAGE TO EXISTING UTILITIES. SHOULD UTILITIES NEED TO BE RELOCATED TO ACCOMMODATE THE NEW WORK, SUCH RELOCATION SHALL BE COMPLETED IMMEDIATELY TO MINIMIZE INTERRUPTION OF SERVICE(S).
- CONTRACTOR SHALL ARRANGE FOR ALL TEMPORARY SERVICES SUCH AS POWER, WATER, REFUSE AND SANITATION. CONTRACTOR SHALL ALSO ENSURE THAT THE ADJOINING RIGHT OF WAY IS KEPT CLEAR AND CLEAN OF DIRT AND DEBRIS.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
- THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTOR.
- VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH., PLUMBING, ELECTRICAL AND OTHER SUB-CONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
- PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
- ENGINEERED PRODUCTS (ie, ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.

ENERGY REQUIREMENTS

- THE FOLLOWING IS TO COMPLY WITH 'CHAPTER 11 - ENERGY EFFICIENCY' OF THE 2017 OREGON RESIDENTIAL SPECIALTY CODE.
 - ADDITION IS 305 SF (<40% HEATED FLOOR AREA AND <800 SF).
 - PREScriptive ENVELOPE REQUIREMENTS, TABLE N1101.1(1) - N/A.
 - ADDITIONAL MEASURES LISTED BELOW PER TABLE 'N1101.1(2) OF THE 2017 'ORSC'. (SMALL ADDITION MEASURE - CHOOSE ONE)
 - ENVELOPE ENHANCEMENT MEASURE: #2 - UPGRADED FEATURES.

EXTERIOR WALLS - U-0.057 / R-23
FRAMED FLOORS - U-0.026 / R-38
WINDOWS - U-0.28 (AVERAGE UA)
- ALL AIR INFILTRATIONS IN THE NEW EXTERIOR ENVELOPE SHALL BE SEALED INCLUDING WINDOW AND DOOR FRAMES, WALLS, FOUNDATIONS, VENTING AND UTILITY PENETRATIONS. ACCESS DOORS TO CRAWL SPACE AND ATTIC AREAS TO HAVE THE SAME EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

SHEET LIST

Sheet #	Sheet Name
A0.0	Cover Sheet
A1.0	Existing Plans
A1.1	Proposed Floor Plan
A1.2	Framing Plans
A2.0	Proposed Exterior Elevations
A3.0	Building Sections
A5.0	Interior Elevations
A6.0	Details

PROJECT DIRECTORY

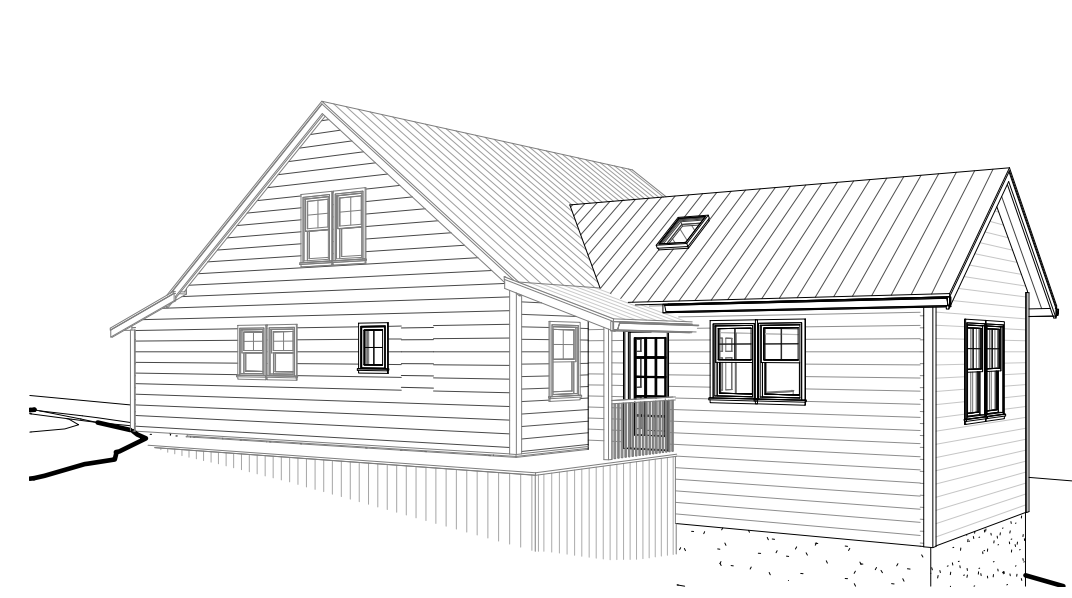
OWNER
DENNIS & CHARLOTTE
4680 ALDER ST.
WEST LINN, OR 97068

DESIGNER
ANGELA WRIGHT
DWELLWRIGHT
503.914.9182

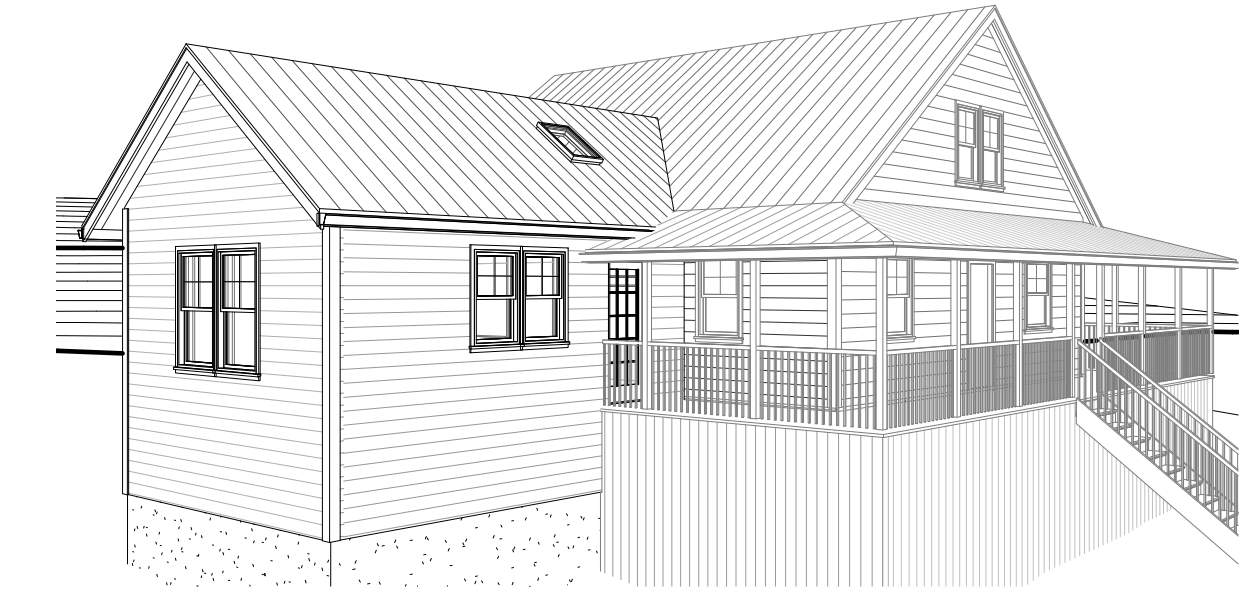
DRAFTSPERSON
LINDSEY JONES
ALIGNED DESIGN
503.606.6100

ENGINEER

GENERAL CONTRACTOR



④ View from SW



③ View from SE



② Vicinity Map
1/8" = 1'-0"



SITE INFORMATION:
PROJECT ADDRESS: 4680 ALDER ST.
PARCEL NUMBER: 00576282
LEGAL DESCRIPTION: NW 1/4, NW 1/4, SEC. 31, T2S, R2E, W.M. CLACKAMAS COUNTY, OREGON CITY OF WEST LINN 3500 13,667 SF (0.31 ac)

BUILDING CODE ANALYSIS:
BUILDING CODE: 2017 OREGON RESIDENTIAL SPECIALTY CODE (BASED ON THE 2015 IRC)
STRUCTURAL CODE: 2014 OREGON STRUCTURAL SPECIALTY CODE (BASED ON THE 2005 IBC)
OCCUPANCY: RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE: V-B NON-RATED
LATERAL DESIGN: ENGINEERED LATERAL DESIGN
SPRINKLER: N/A
DESIGN LOADS:

WIND	120 MPH
SEISMIC DESIGN CATEGORY	D1
FROST DEPTH	18 INCHES
ROOF	25 psf L.L. 32 psf D.L.
CEILING JOISTS (NO ATTIC STORAGE)	10 psf L.L. 20 psf T.L.
CEILING JOISTS (LIMITED ATTIC STORAGE)	20 psf L.L. 30 psf T.L.
FLOOR	40 psf L.L. 50 psf T.L.
STAIRS	100 psf L.L. 110 psf T.L.
ELEVATED GARAGE FLOOR	50 psf L.L. (2000 lb P.L.)
EXTERIOR BALCONIES	60 psf L.L. 80 psf T.L.
DECKS	40 psf L.L. 50 psf T.L.
GUARDRAIL/HANDRAILS	200 psf L.L.

SITE AREA CALCULATIONS:
REFER TO SITE DEVELOPMENT PLANS

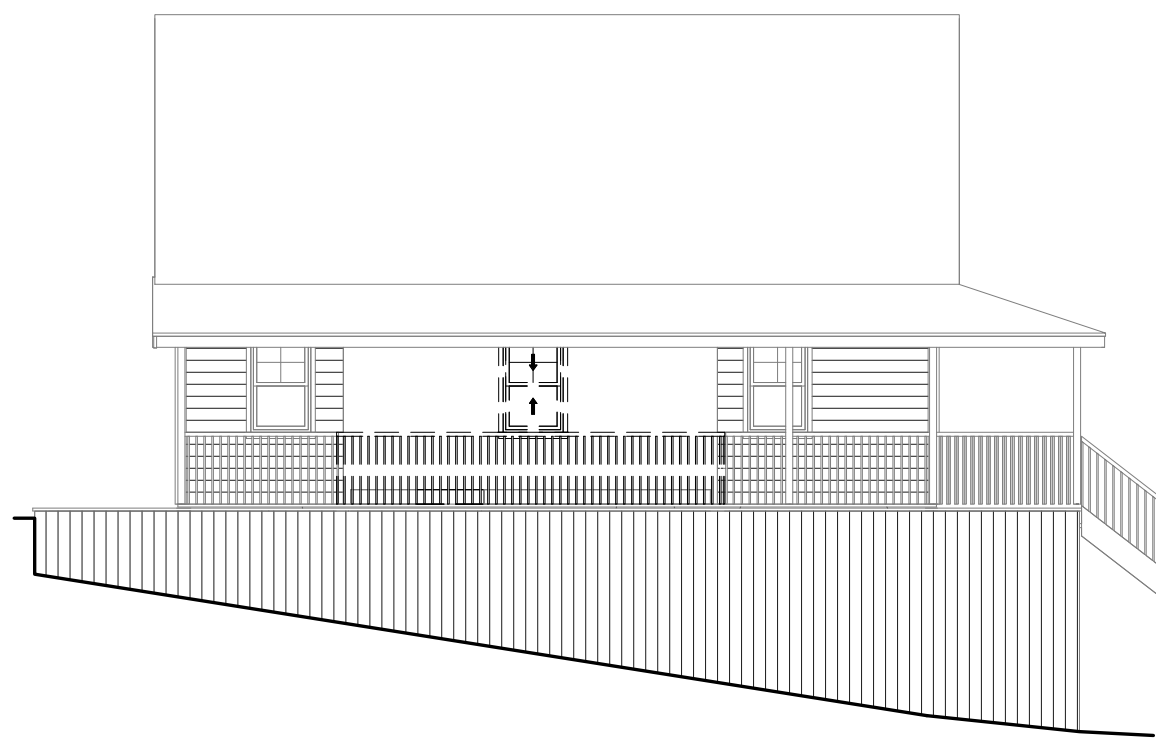
PLANNING & ZONING ANALYSIS:
ZONING: R4.5 (EXCLUSIVE FARM USE)
PROJECT TYPE: SINGLE FAMILY RESIDENCE
STORIES: 1.5
BLDG COVERAGE MAX: 13,667 SF * 40% = 5,467 SF
BLDG COVERAGE ACTUAL: 944 SF (E) HOUSE + 324 SF (N) ADDITION = 1,268 SF
FLOOR TO AREA RATIO: 13,667 SF * 45% = 6,150 SF
MAX BUILDING HEIGHT: 35'
ACTUAL BUILDING HEIGHT: 22' (E) HOUSE
SETBACKS: FRONT: 20'
REAR: 20'
SIDES: 5'
STREET SIDE: 15'

- SITE NOTES**
- REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE, STOCKPILE ON SITE FOR FINAL GRADING WHERE POSSIBLE.
 - FOOTINGS AND THICKENED SLAB EDGES ARE TO BEAR ON UNDISTURBED LEVEL SOIL, STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
 - ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" MIN. GRAVEL COMPACTED TO 95%.
 - CONCRETE SLABS TO BE 4", 3000 PSI AT 28 DAYS WITH CONTROL JOINT AT 20'-0" MAX EACH WAY.
 - FINISH GRADES AT TO REMAIN AT LEAST 6" BELOW FINISH SIDING.

① Site
1" = 10'-0"



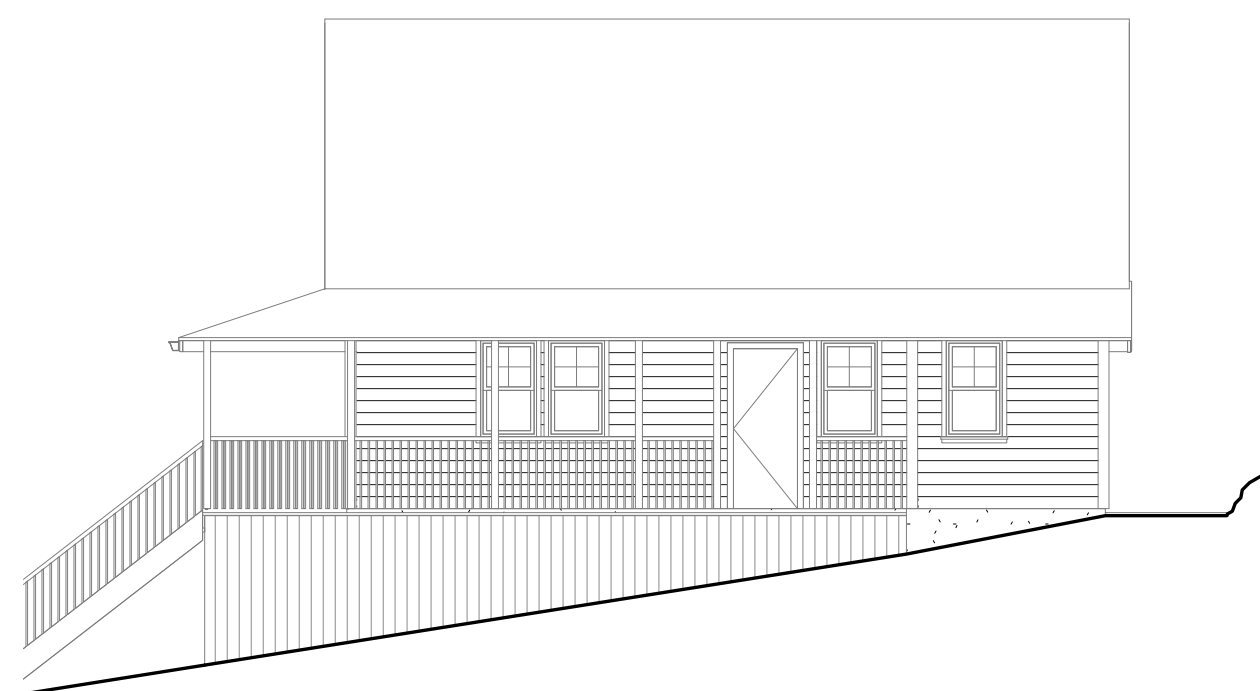
5 Existing West Elevation
1/8" = 1'-0"



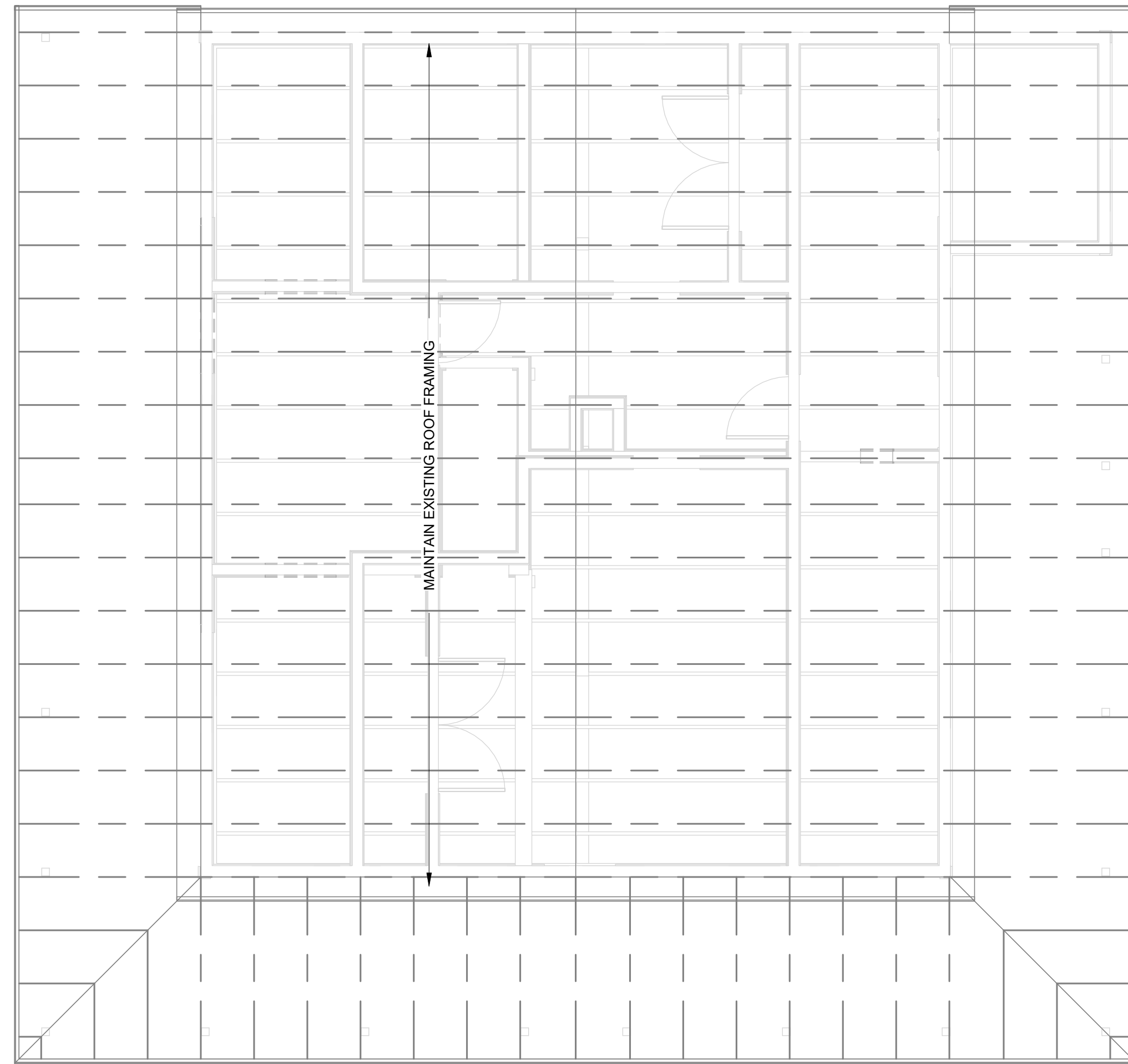
6 Existing South Elevation
1/8" = 1'-0"



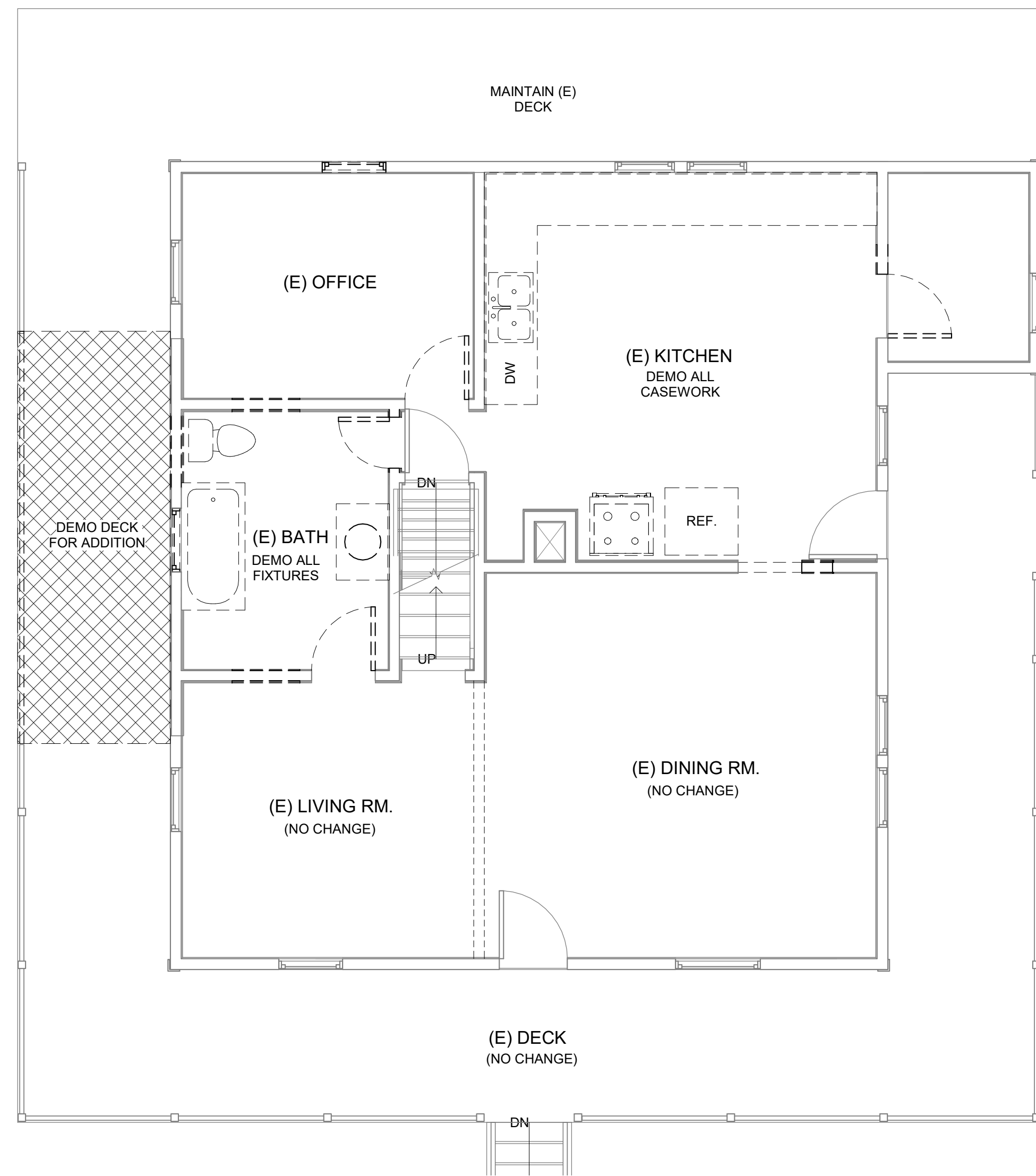
7 Existing East Elevation
1/8" = 1'-0"



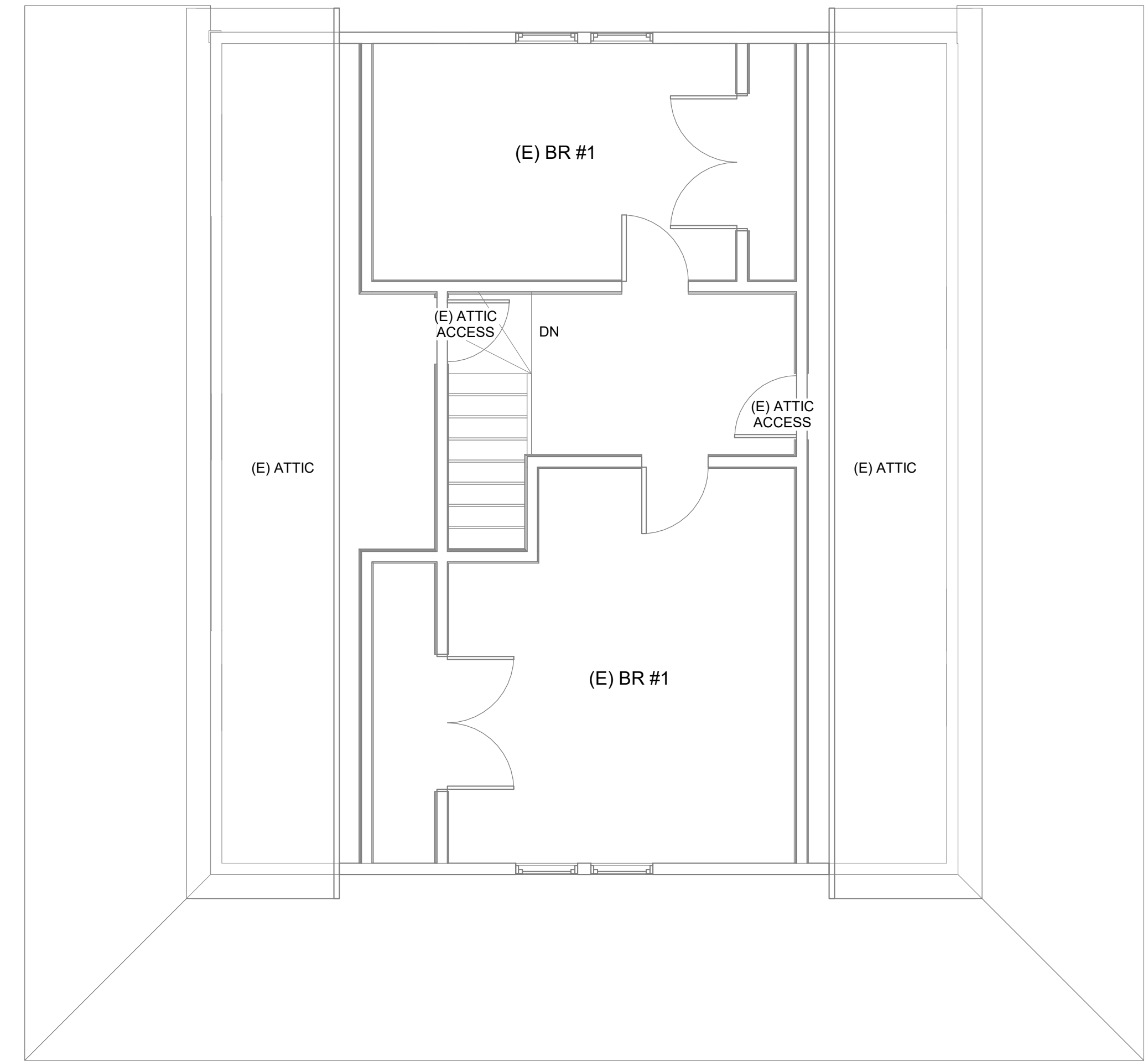
8 Existing North Elevation
1/8" = 1'-0"



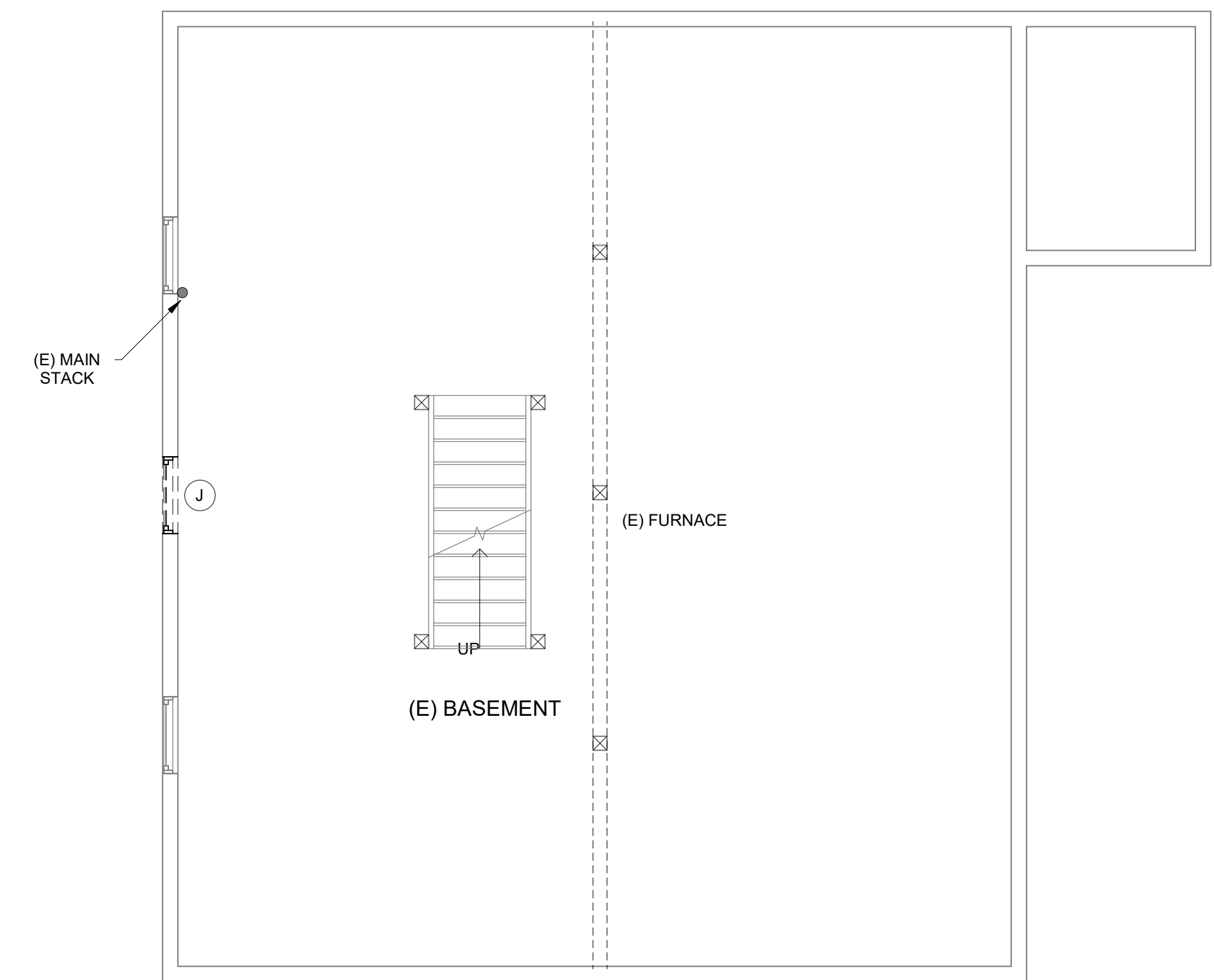
4 Existing Roof Plan
1/4" = 1'-0"



2 Existing First Floor Plan
1/4" = 1'-0"

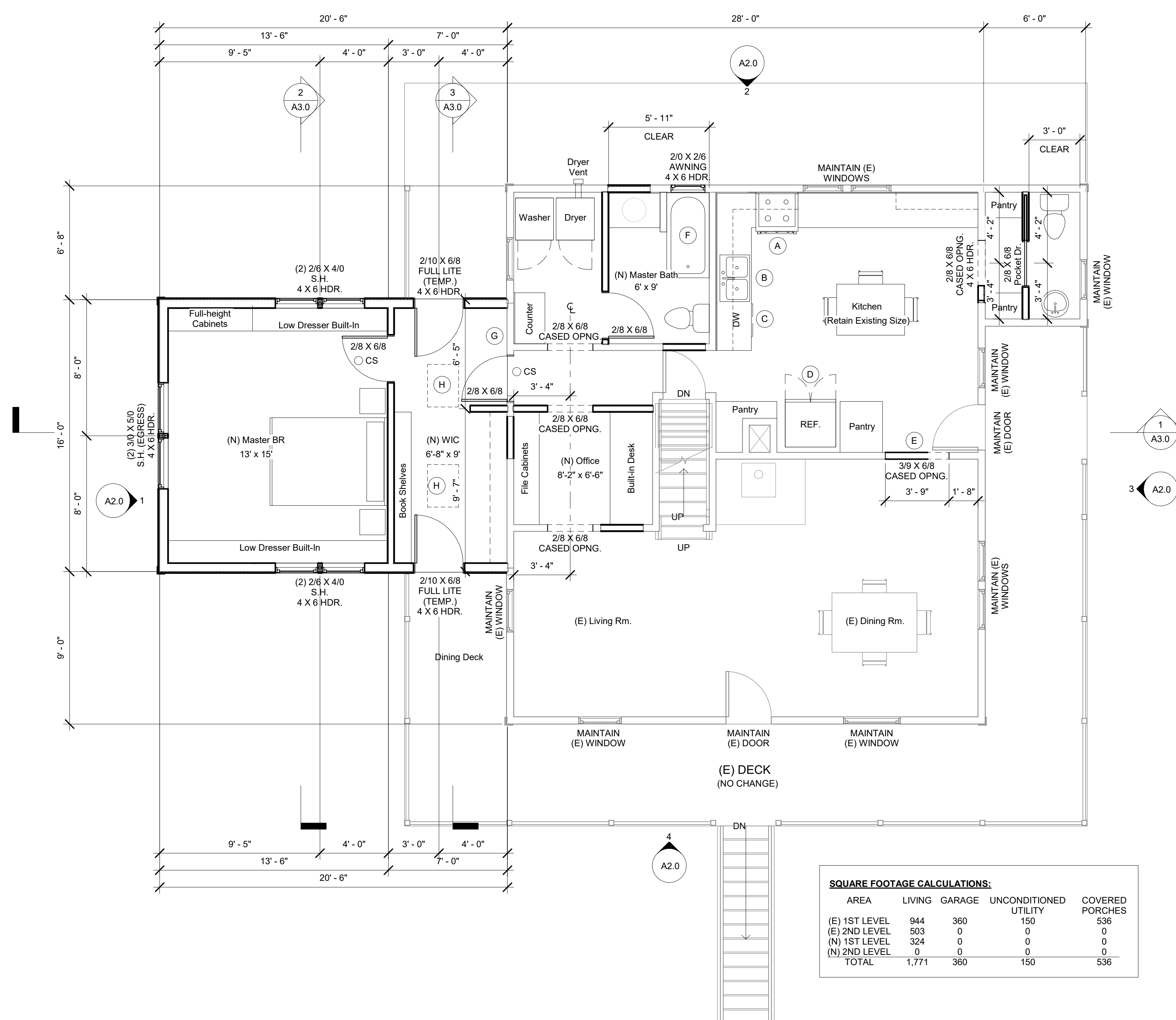


3 Existing Second Floor Plan
1/4" = 1'-0"



1 Existing Foundation Plan
1/4" = 1'-0"

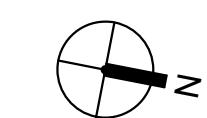
Proposed Floor Plan

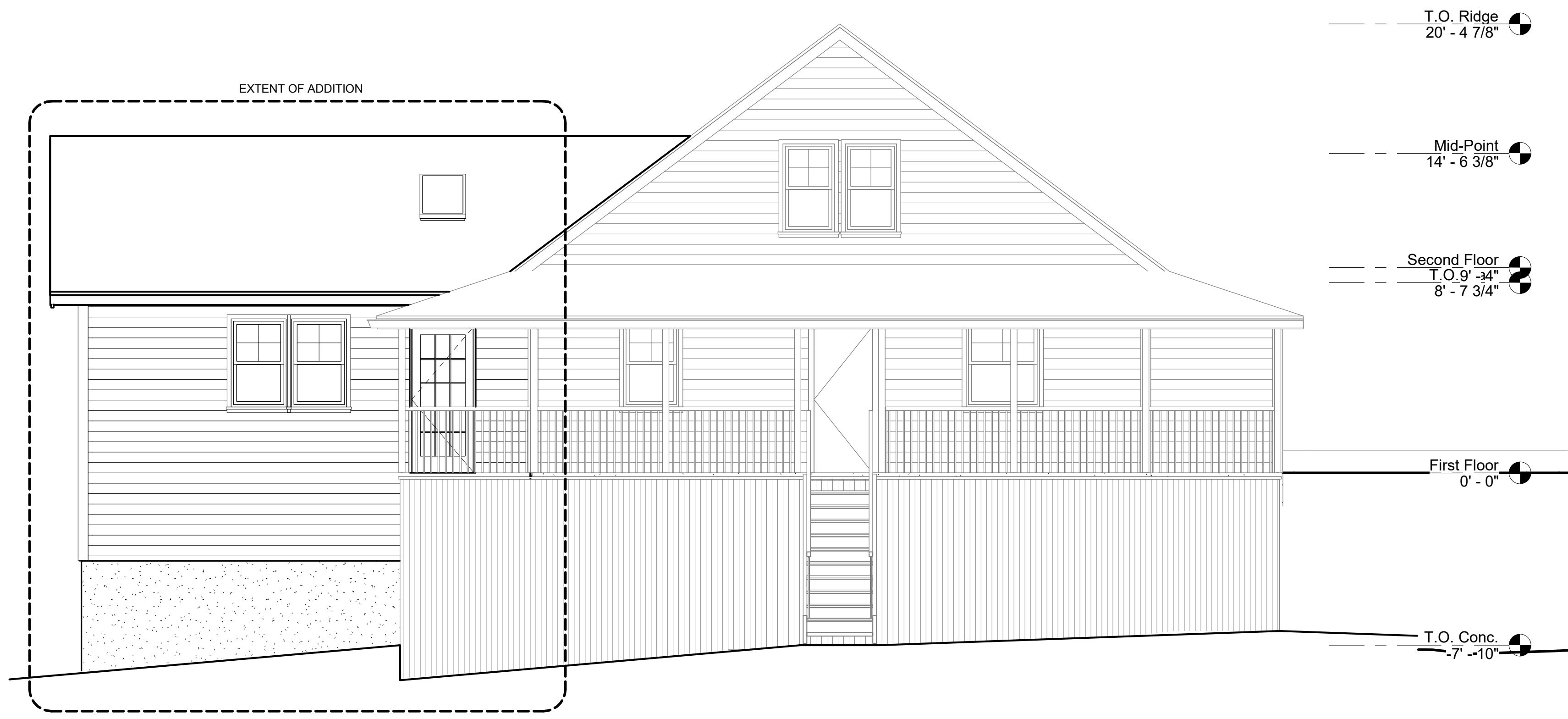


SQUARE FOOTAGE CALCULATIONS:

AREA	LIVING	GARAGE	UNCONDITIONED UTILITY	COVERED PORCHES
(E) 1ST LEVEL	944	360	150	536
(E) 2ND LEVEL	503	0	0	0
(N) 1ST LEVEL	324	0	0	0
(N) 2ND LEVEL	0	0	0	0
TOTAL	1,771	360	150	536

1 First Floor Plan
1/4" = 1'-0"





④ East Elevation
1/4" = 1'-0"



③ North Elevation
1/4" = 1'-0"



② West Elevation
1/4" = 1'-0"



① South Elevation
1/4" = 1'-0"