
**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: January 3, 2019

FILE NO.: MIS-18-08

REQUEST: Approval for an enlargement of a non-conforming accessory structure (detached garage) to expand the size/footprint at 1344 14th Street.

PLANNER: Darren Wyss, Associate Planner


Planning Manager 

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GENERAL INFORMATION

APPLICANT: Matt Greiner, 8755 SW Citizens Drive, Ste. 201, Wilsonville, OR. 97070

OWNER: Lonny & Kristine Webb, 1344 14th Street, West Linn, OR 97068

SITE LOCATION: 1344 14th Street

SITE SIZE: 27,000 square feet

LEGAL DESCRIPTION: Tax Lot 4500 of Clackamas County Assessor's Map 31E 02BC

COMP PLAN DESIGNATION: Low-Density Residential

ZONING: R-10, Single-Family Residential Detached
(10,000 sq. ft. min. lot size)

APPROVAL CRITERIA: Community Development Code (CDC) Chapter 11: R-10, Single-Family Residential Detached; Chapter 66: Non-Conforming Structures; Chapter 99: Procedures for Decision Making: Quasi-Judicial.

120-DAY RULE: The application became complete on December 11, 2018. The 120-day period therefore ends on April 10, 2019.

PUBLIC NOTICE: Notice was mailed to property owners within 300 feet of the subject property and to all neighborhood associations on December 12, 2018. A sign was placed on the property on December 14, 2018. The notice was also posted on the City's website on December 12, 2018. Therefore, public notice requirements of CDC Chapter 99 have been met.

EXECUTIVE SUMMARY

The applicant seeks approval for an enlargement of a non-conforming detached garage. The single-family home and detached garage are located at 1344 14th Street, in the Willamette Neighborhood. The existing non-conformity is the detached garage has a side-yard setback of five feet when the underlying R-10 zone requires a seven and one-half foot (7.5') setback. The applicant proposes an expansion of the detached garage towards the front property line an additional seven feet. This addition will maintain the non-conforming five foot side-yard setback. All other dimensional standards, setbacks, lot coverage, and other provisions of the underlying R-10 zone are met.

Public comments:

No public comments were received by the close of the comment period (December 26, 2018 at 4:00pm).

DECISION

The Planning Manager (designee) approves this application (MIS-18-08), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Site Plan. The final design submitted for building permits shall conform to the submitted Plan sheets (Exhibit PD-4) and be confirmed by hub and tack survey.**

The provisions of the Community Development Code Chapter 99 have been met.



Darren Wyss, Associate Planner

January 3, 2019

Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is \$400. The appeal must be filed by an individual who has established standing by submitting comments prior to the decision date. Approval will lapse 3 years from effective approval date if a building permit is not submitted.

Mailed this 3rd day of January, 2019.

Therefore, the 14-day appeal period ends at 5 p.m., on January 17, 2019.

**ADDENDUM
APPROVAL CRITERIA AND FINDINGS
MISC-18-08**

This decision adopts the findings for approval contained within the applicant's submittal, with the following exceptions and additions:

Chapter 11: SINGLE-FAMILY RESIDENTIAL DETACHED, R-10

11.030 PERMITTED USES

The following are uses permitted outright in this zoning district:

- 1. Single-family detached residential unit.*

Staff Finding 1: The applicant proposes an enlargement of an existing non-conforming accessory structure (detached garage). A single-family detached home also exists on the property. Single family detached homes are permitted uses in the R-10 zone. This criteria is met.

11.040 ACCESSORY USES

Accessory uses are allowed in this zone as provided by Chapter 34 CDC.

Staff Finding 2: The applicant proposes an enlargement of an existing non-conforming accessory structure (detached garage). Detached garages are permitted uses in the R-10 zone. This criteria is met.

11.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS

Except as may be otherwise provided by the provisions of this code, the following are the requirements for uses within this zone:

- 1. The minimum lot size shall be 10,000 square feet for a single-family detached unit.*
- 2. The minimum front lot line length or the minimum lot width at the front lot line shall be 35 feet.*
- 3. The average minimum lot width shall be 50 feet.*
- 4. Repealed by Ord. 1622*

Staff Finding 3: The subject property is 27,000 square feet with an average width of 180 feet, including a front lot line width of 180 feet. The criteria are met.

- 5. Except as specified in CDC 25.070(C)(1) through (4) for the Willamette Historic District, the minimum yard dimensions or minimum building setback area from the lot line shall be:*
 - a. For the front yard, 20 feet; except for steeply sloped lots where the provisions of CDC 41.010 shall apply.*
 - b. For an interior side yard, seven and one-half feet.*
 - c. For a side yard abutting a street, 15 feet.*

d. For a rear yard, 20 feet.

Staff Finding 4: The applicant proposes an enlargement of an existing non-conforming accessory structure. After enlargement the accessory structure will be setback 91 feet from the front property line, 27.75 feet from the rear property line, and over 150 feet from the south side property line. The north side-yard setback is currently five feet. The applicant proposes an addition that will extend the accessory structure seven-feet and maintain the five-foot setback, thus requiring the application for enlargement of a non-conforming structure. The criteria are met.

6. *The maximum building height shall be 35 feet, except for steeply sloped lots in which case the provisions of Chapter 41 CDC shall apply.*
7. *The maximum lot coverage shall be 35 percent.*
8. *The minimum width of an accessway to a lot which does not abut a street or a flag lot shall be 15 feet.*
9. *The maximum floor area ratio shall be 0.45. Type I and II lands shall not be counted toward lot area when determining allowable floor area ratio, except that a minimum floor area ratio of 0.30 shall be allowed regardless of the classification of lands within the property. That 30 percent shall be based upon the entire property including Type I and II lands. Existing residences in excess of this standard may be replaced to their prior dimensions when damaged without the requirement that the homeowner obtain a non-conforming structures permit under Chapter 66 CDC.*
10. *The sidewall provisions of Chapter 43 CDC shall apply.*

Staff Finding 5: The accessory structure will be 23.5 feet in height after the proposed addition. The lot coverage will be 8.6% after the proposed addition. The existing home is 1,300 square feet for an FAR of 4.8%. Accessory structures do not count towards FAR. No changes are proposed to the property's access. The proposal is exempt from Chapter 43 as the gable ends are facing the side lot line. The criteria are met.

II. CHAPTER 66, NON-CONFORMING STRUCTURES

66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS

A. *An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC 99.060(B) and CDC 65.120 through 65.140.*

Staff Finding 6: The non-conforming structure (garage) does not contain a non-conforming use. The use of the property is residential, which is a permitted or conforming use in the R-10 zone. The criteria is not applicable.

B. *An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:*

1. *If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.*

Staff Finding 7: The applicant proposes an enlargement of an existing non-conforming accessory structure, which is a conforming use in the R-10 zone. The enlargement does not meet all provisions of the code, as the side yard setback for the existing accessory structure is five feet, not meeting the required 7.5 foot setback. In this circumstance, the criteria of CDC 66.080.B.2 applies. Design review is not applicable to detached single-family homes and accessory structures per CDC 55.025.A. The criteria is met.

2. *If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards.*

a. *The enlargement or alteration will not change the non-conformity; and*

Staff Finding 8: The applicant proposes an enlargement of an existing non-conforming accessory structure (detached garage), which requires Planning Director review and approval. The side yard setback for the existing accessory structure is five feet. The side yard setback after the addition to the detached garage will remain five feet. The enlargement will not change or increase the non-conformity. The criteria is met.

b. *All other applicable ordinance provisions will be met.*

Staff Finding 9: Please see Staff Findings 1 through 5. The criteria is met.

PD-1 AFFADAVIT AND NOTICE PACKET

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. MISC-18-08 Applicant's Name Matt Greiner - Rupp Family Builders
Development Name _____
Scheduled Meeting/Decision Date 12-26-18

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) _____ (signed) _____
- F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) _____ (signed) _____
City's website (posted date) _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 12-14-2018 (signed) Dan S W

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B

- A. The applicant (date) 12-12-18 (signed) J. Skroyer
- B. Affected property owners (date) 12-12-18 (signed) J. Skroyer
- C. School District/Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) 12-12-18 (signed) J. Skroyer
(Acc)

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: 12-12-18 (signed) J. Skroyer

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) 1/3/2019 (signed) Dan S W

**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION
FILE NO. MIS-18-08**

The West Linn Planning Manager is considering a request for an Enlargement of a Non-Conforming Accessory Structure (garage) to expand the size/footprint at 1344 14th Street.

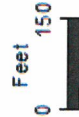
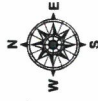
The decision will be based on the approval criteria in Chapters 11 and 66 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov/cdc>.

You have received this notice because County records indicate that you own property within 300 feet of this property (Tax Lot 4500 of Clackamas County Assessor's Map 31E 02BC) or as otherwise required by Chapter 99 of the CDC.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site <https://westlinnoregon.gov/planning/1344-14th-street-enlargement-non-conforming-structure> or copies may be obtained for a minimal charge per page. A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on December 26, 2018.** Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline. For further information, please contact Darren Wyss, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503) 742-6064, dwyss@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. **It is important to submit all testimony in response to this notice.** Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

1344 14th Street Notification Map



Scale 1:3,600 - 1 in = 300 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: SSSHROYER
Date Created: 11-Dec-18 02:13 PM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOutput.



CITY OF
West Linn

**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION**

**PROJECT # MISC-18-08
MAIL: 12/12/18 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

PD-2 COMPLETENESS LETTER



CITY OF
West Linn

December 11, 2018

Matt Greiner
8755 SW Citizens Drive, Suite 201
Wilsonville, OR 97070

SUBJECT: Non-Conforming Structure Expansion at 1344 14th Street (MISC-18-08)

Dear Matt:

Your application submitted on December 4, 2018 has been deemed **complete**. The city has 120 days to exhaust all local review; that period ends April 10, 2019.

Please be aware that determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

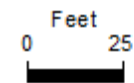
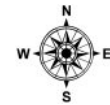
Please contact me at 503-742-6064, or by email at dwyss@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Darren Wyss
Associate Planner

PD-3 PROPERTY MAPS

1344 14th St Aerial



Scale 1:600 - 1 in = 50 ft
Scale is based on 8-1/2 x 11 paper size

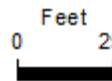
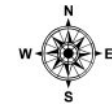
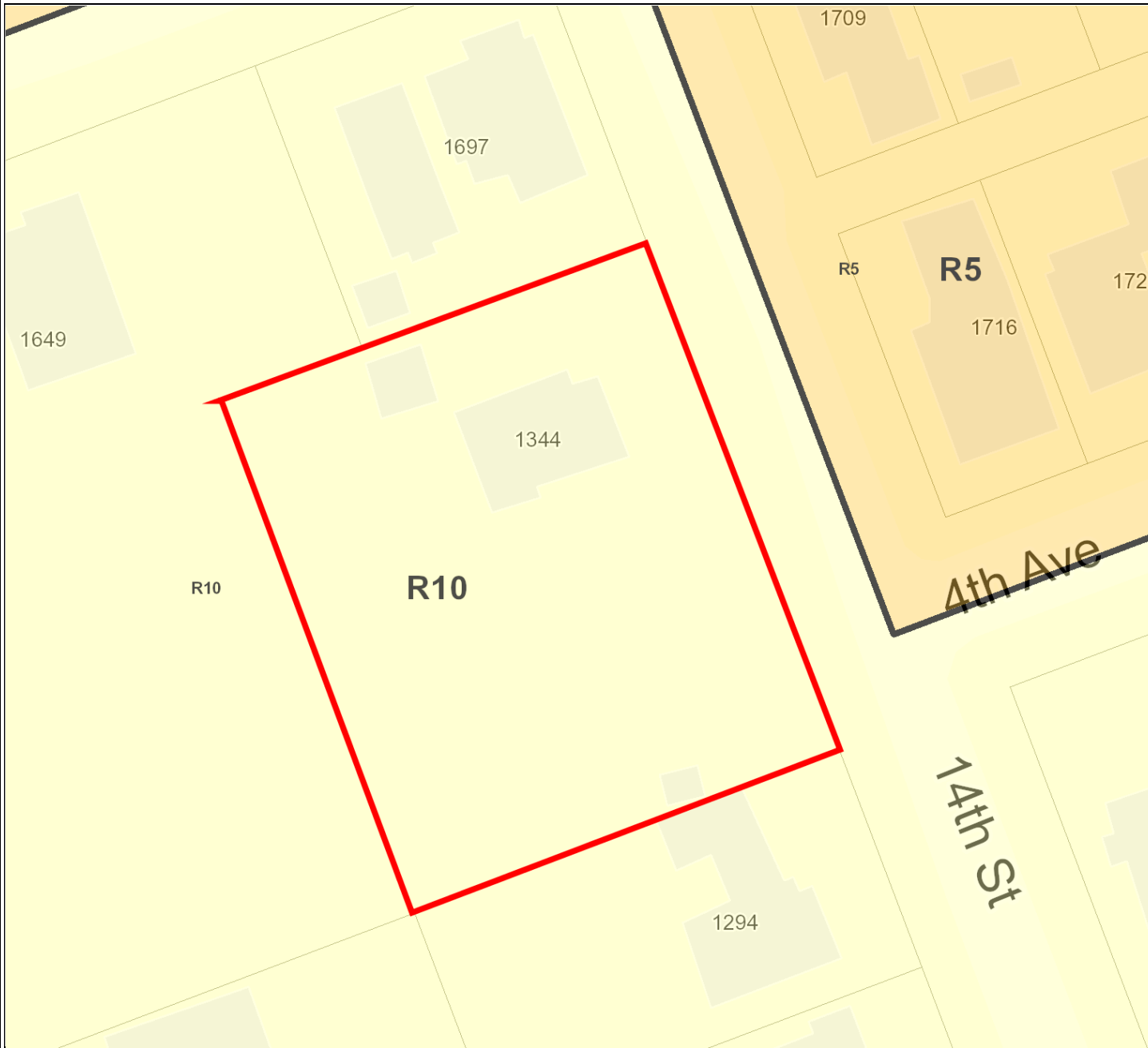


Map created by: DWYSS
Date Created: 14-Dec-18 10:38 AM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.

1344 14th St Zoning



Scale 1:600 - 1 in = 50 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: DWYSS
Date Created: 14-Dec-18 10:37 AM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.

PD-4 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT: <i>Darren Wyss</i>	PROJECT NO(S): <i>MISC-18-08</i>	
NON-REFUNDABLE FEE(S) <i>\$1000-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>\$1000-</i>

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1344 14TH STREET	Assessor's Map No.: 31E02BC04500
	Tax Lot(s):
	Total Land Area: 27,000 SF

Brief Description of Proposal: ENLARGING OF EXISTING NON-CONFORMING DETACHED GARAGE. (NON-CONFORMING SETBACK OF 5'. PROPOSAL OF ADDING 7' TO THE LENGTH OF THE EXISTING WALL IN SETBACK.)

Applicant Name: MATT GREINER <small>(please print)</small>	Phone: 503-866-4281
Address: 8755 SW CITIZENS DRIVE, STE 201	Email: MATTGREINER27@GMAIL.COM
City State Zip: WILSONVILLE, OR 97070	


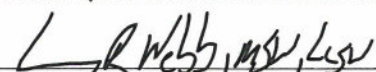
Owner Name (required): LONNY & KRISTINE WEBB <small>(please print)</small>	Phone:
Address: 1344 14TH STREET	Email: lonny.webb@gmail.com
City State Zip: WEST LINN, OR 97068	

Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format.**
If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	<i>11/30/18</i>		<i>11/30/2018</i>
Applicant's signature	Date	Owner's signature (required)	Date

Matt Greiner
8755 SW Citizens Drive, Ste 201
Wilsonville, OR 97070
503-866-4281 cell
November 30, 2018

Darren Wyss
Associate Planner
City of West Linn
22500 Salamo Road
West Linn, OR 97068

Dear Darren Wyss:

Please see the following responses for narrative addressing approval criteria of Chapters 11 & 66 of the West Linn CDC:

66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS

A. An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC 99.060(B) and CDC 65.120 through 65.140.

Response: The structure does not contain a non-conforming use so this criterion is N/A.

B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

1. If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.
2. If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards.
 - a. The enlargement or alteration will not change the non-conformity; and
 - b. All other applicable ordinance provisions will be met. (Ord. 1192, 1987)

Response: Since the proposed enlargement of the accessory garage will be extending one wall 7' along the same plane as the existing wall, which is set at a 5' setback, and the zone requires a

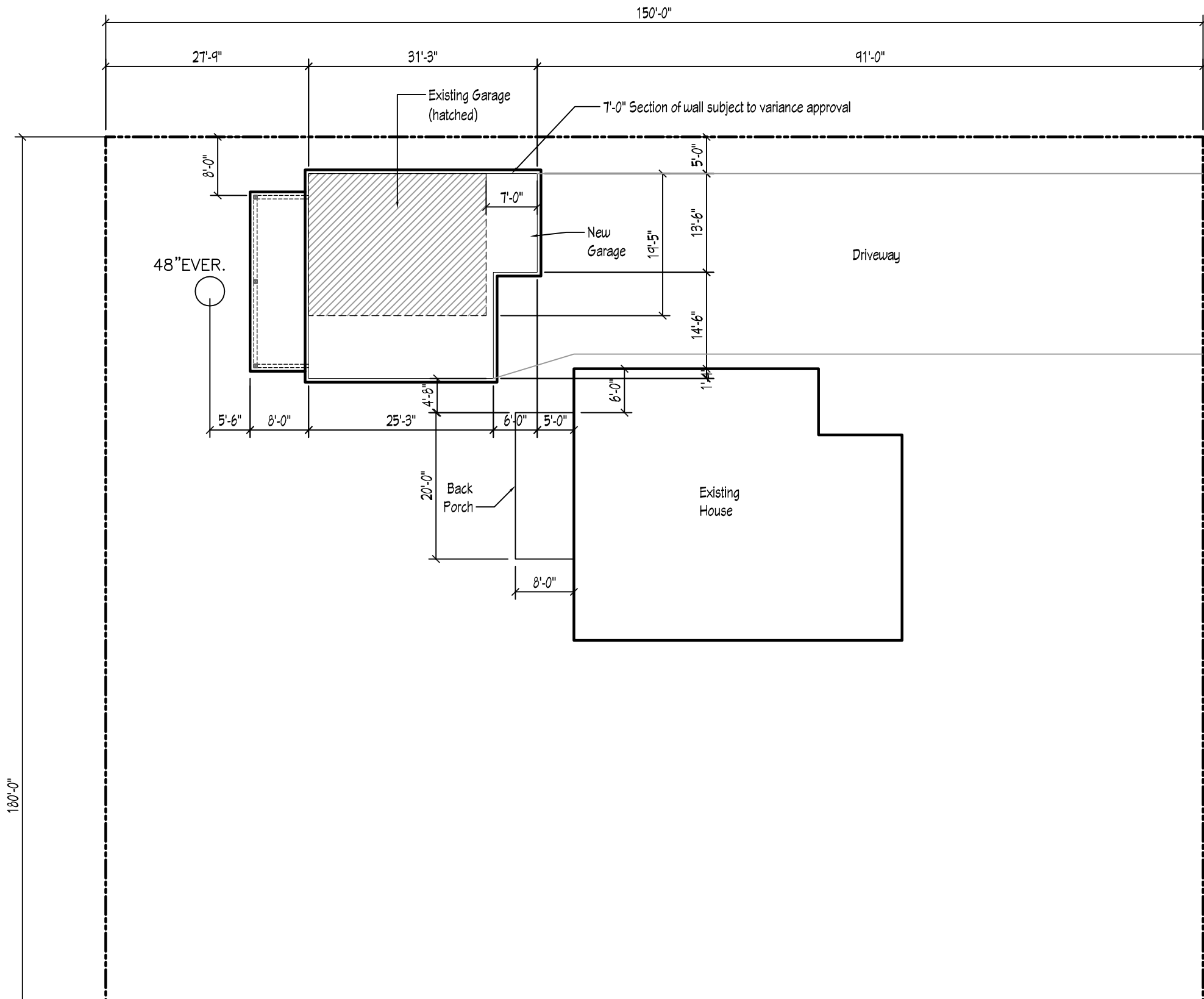
7.5' setback, review and approval by the Planning Director is required. The enlargement will not change the non-conformity. The only element subject to review is this structure's setback from the property line, which is the only element that makes this structure non-conforming.

Since the property is Zoned R-10, the following criteria from Chapter 11 of the West Linn CDC are relevant:

11.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS

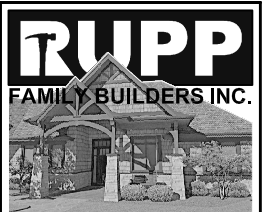
1. 5,000 sf min. lot size required. The lot size is 27,000 sf, therefore this criterion is met.
2. 35 ft. min. front yard width required. The lot width is 180', therefore this criterion is met.
3. 50 ft. min. average lot width required. The average lot width is 180', therefore this criterion is met.
4. N/A
5.
 - a. 20 ft. front yard setback required. The front yard setback to the proposed accessory structure is 91', therefore this criterion is met.
 - b. 7.5 ft. interior side yard setback required. This criterion is subject to administrative approval. Current setback to interior side yard is 5'.
 - c. This criterion is N/A.
 - d. 20 ft. rear setback required. The rear yard setback is 27'-9", therefore this criterion is met.
6. 35 ft. max building height required. The proposed building height is 23'-6", therefore this criterion is met.
7. The existing home (1300 sf) + the proposed building (1035 sf) = 2335 sf / 27,000 sf = 8.6%, therefore this criterion is met.
8. This criterion is N/A.
9. .45 max. floor area ratio required. Existing home (3646 sf) + proposed garage (788 sf) = 3,646 sf / 17,325 sf of buildable area = 21.0%, therefore this criterion is met.
10. This criterion is N/A.

Rev	Date	Details Of Issue	By



14th Street

WEBB
GARAGE



Matt Greiner
Architectural Designer
email: matt@ruppfb.com
ph. 503.866.4281
www.ruppfamilybuilders.com
www.facebook.com/ruppbuilders/

Lonny & Kristine Webb
1344 14th St
West Linn, OR 97068

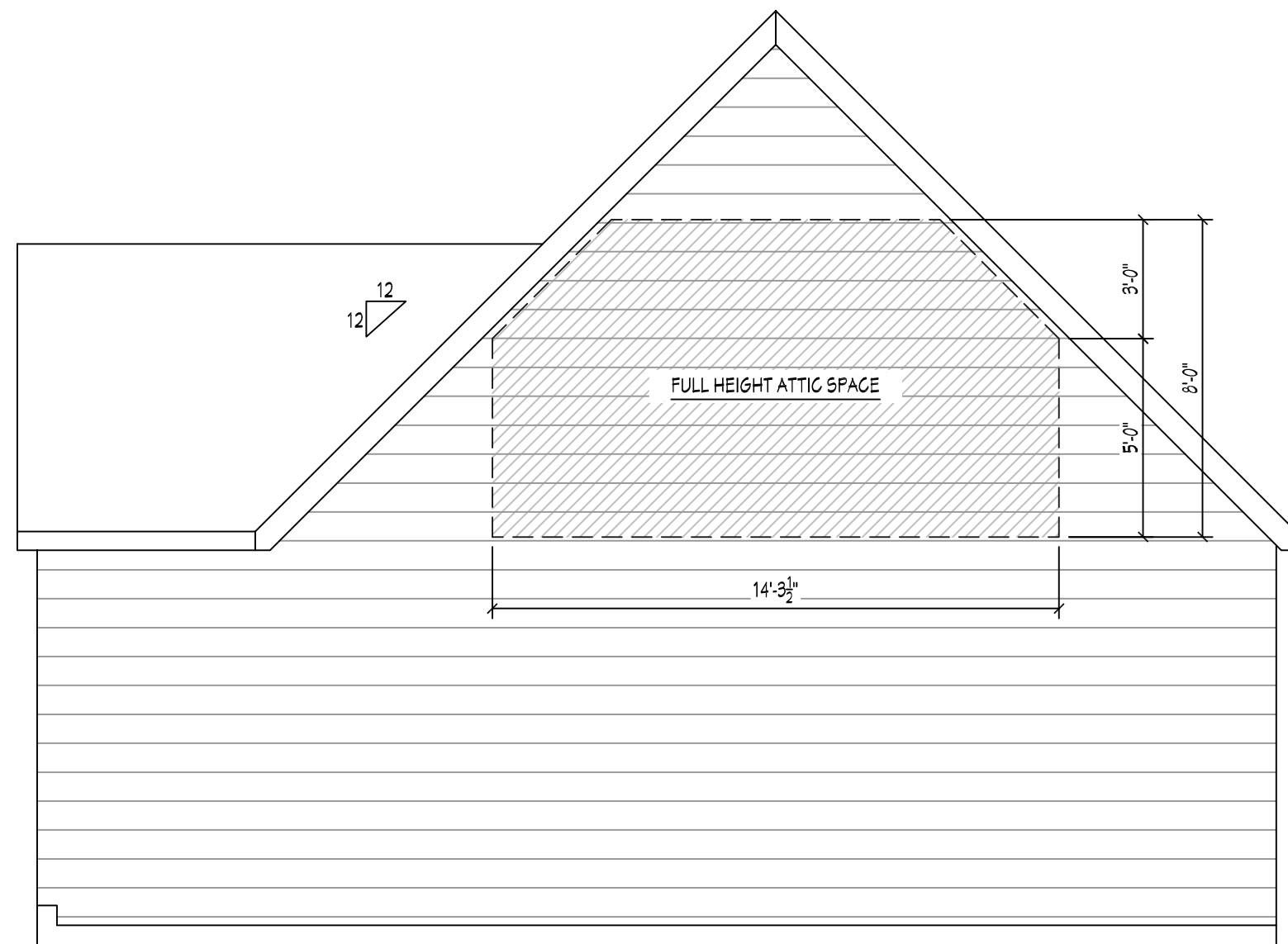
FOR VARIANCE REVIEW

Project # 18-1030
Date 11/26/18
Sheet

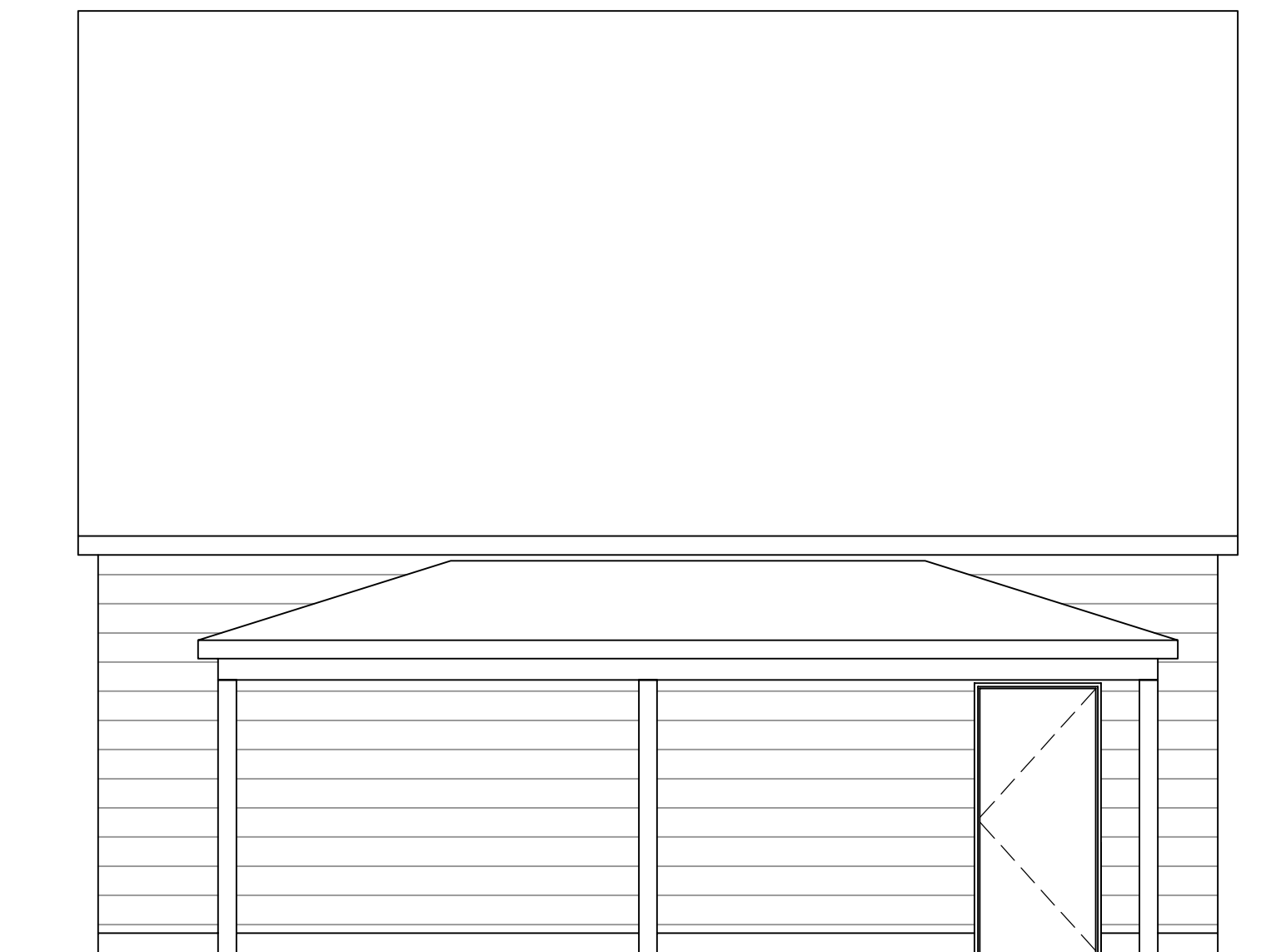
SITE PLAN

1 SITE PLAN
1/6" = 1'-0"

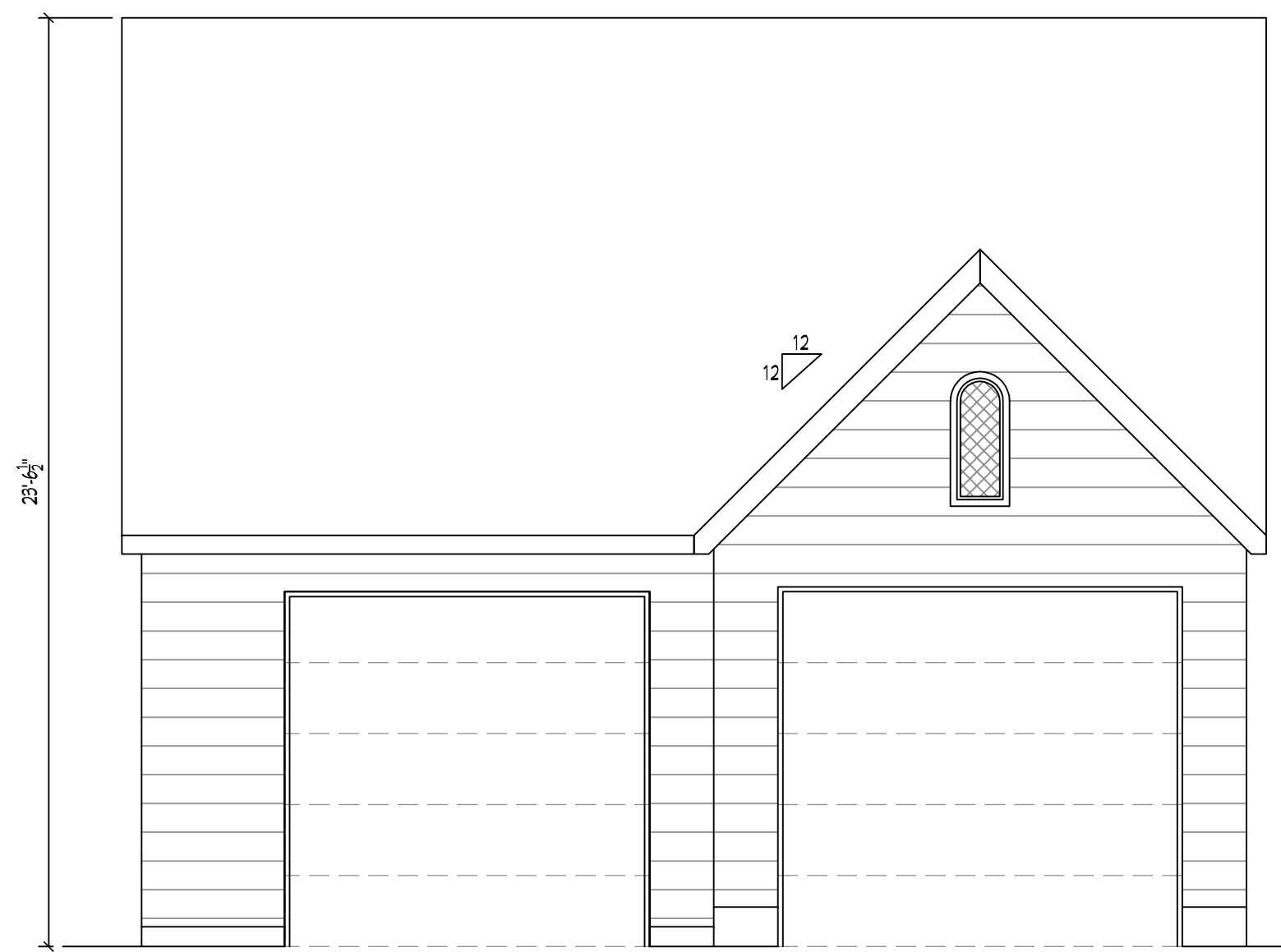
Rev	Date	Details Of Issue	By



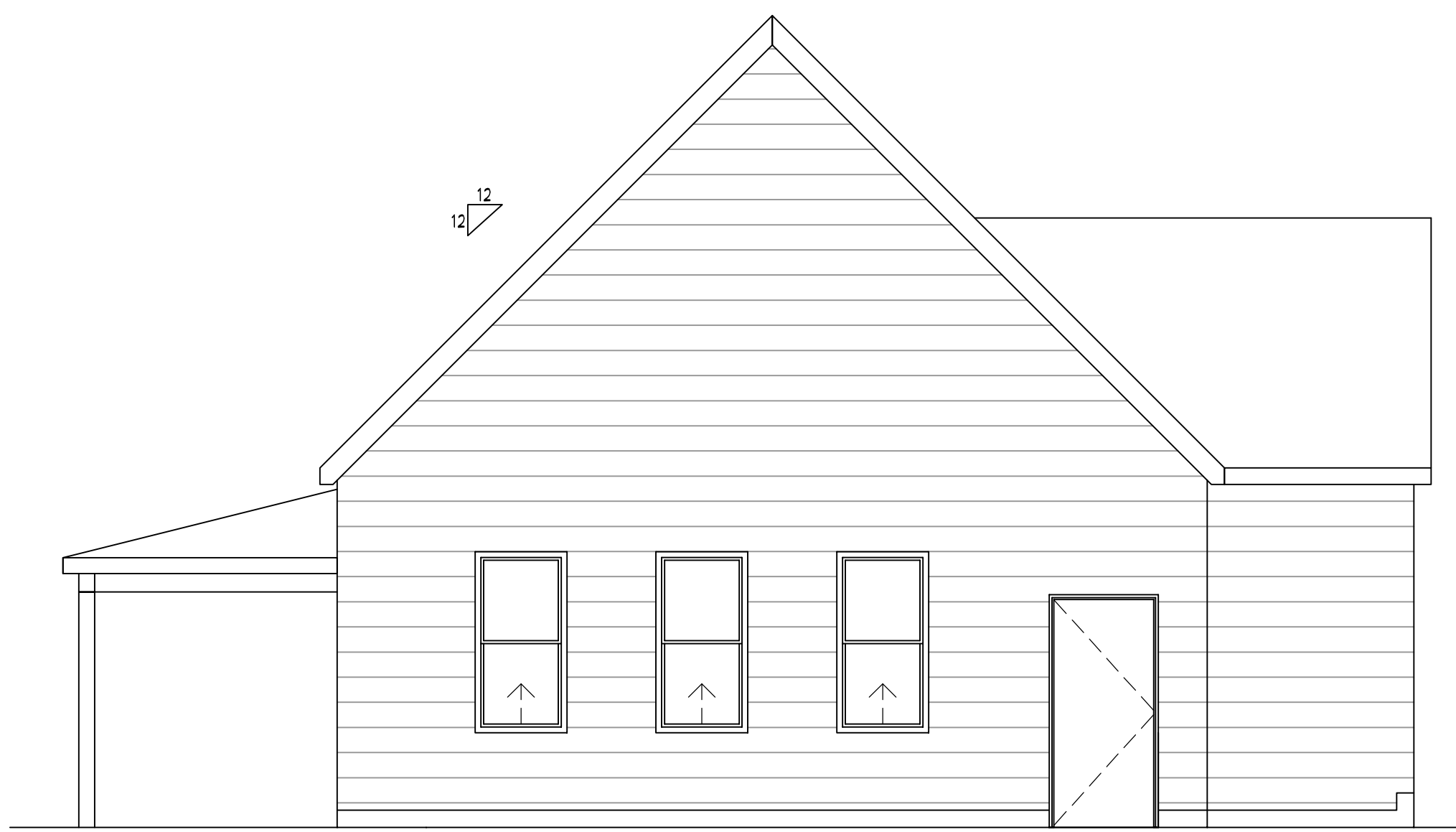
3 RIGHT ELEVATION
1/4" = 1'-0"



2 BACK ELEVATION
1/4" = 1'-0"

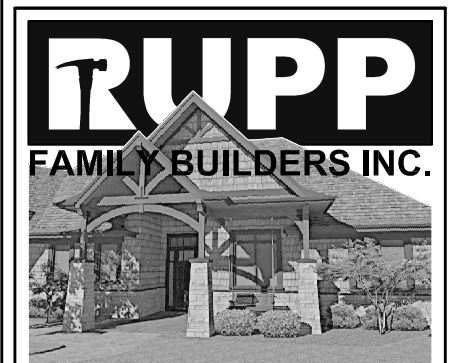


1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

WEBB
GARAGE



Matt Greiner
Architectural Designer
email: matt@ruppfb.com
ph. 503.866.4281
www.ruppfamilybuilders.com
www.facebook.com/ruppbuilders/

Lonny & Kristine Webb
1344 14th Street
West Linn, OR 97068

FINAL PLAN SET

Project # 18-1030
Date 11/29/18
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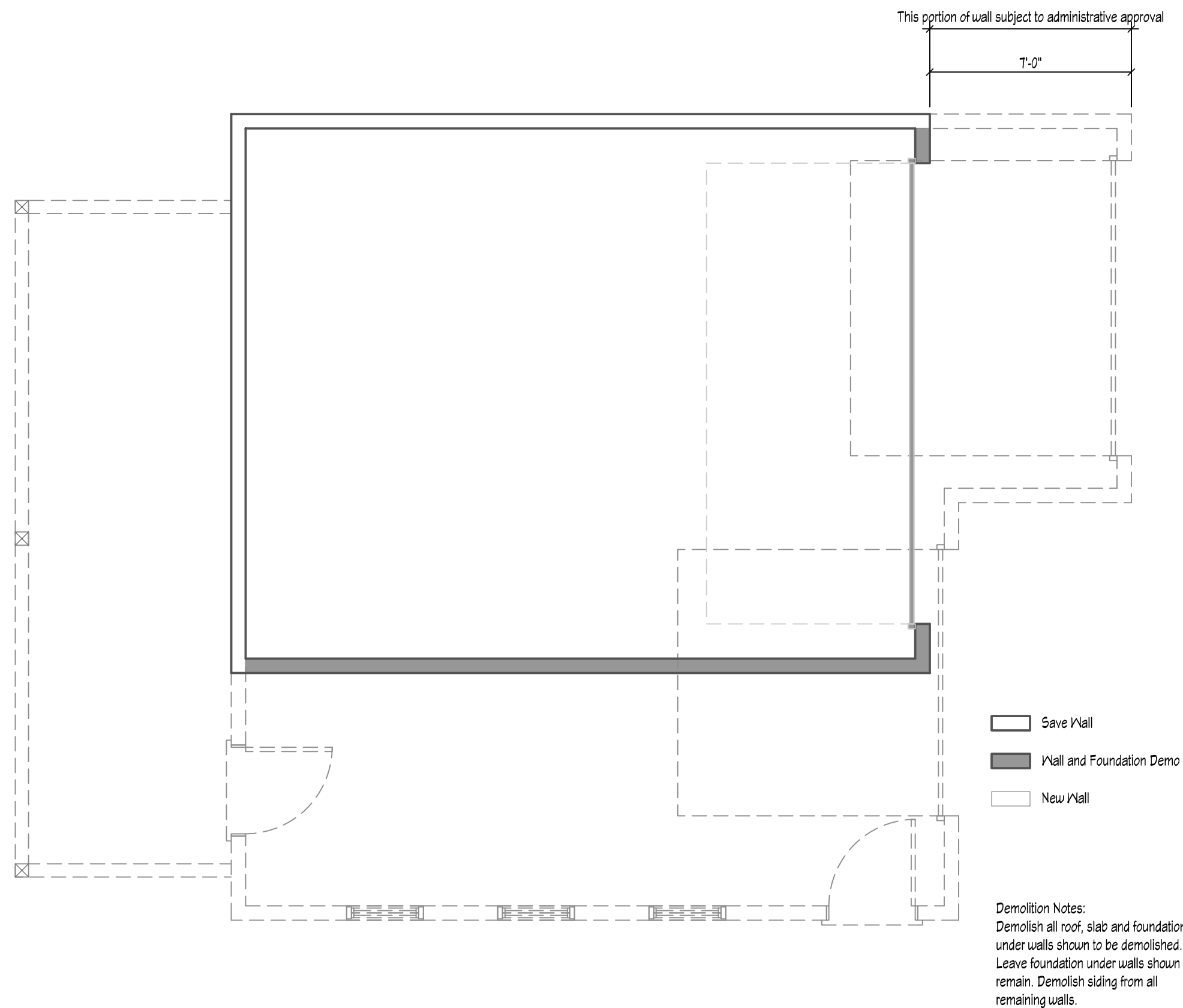
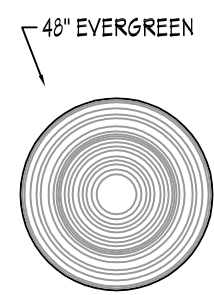
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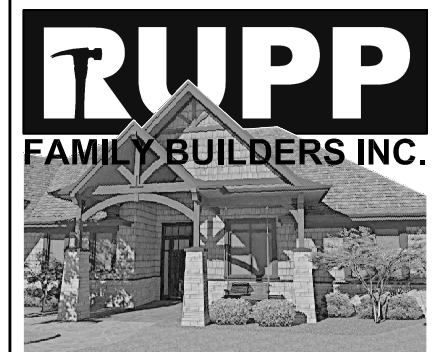
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WEBB GARAGE

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1 EXISTING FLOOR PLAN & DEMOLITION PLAN
1/4" = 1'-0"



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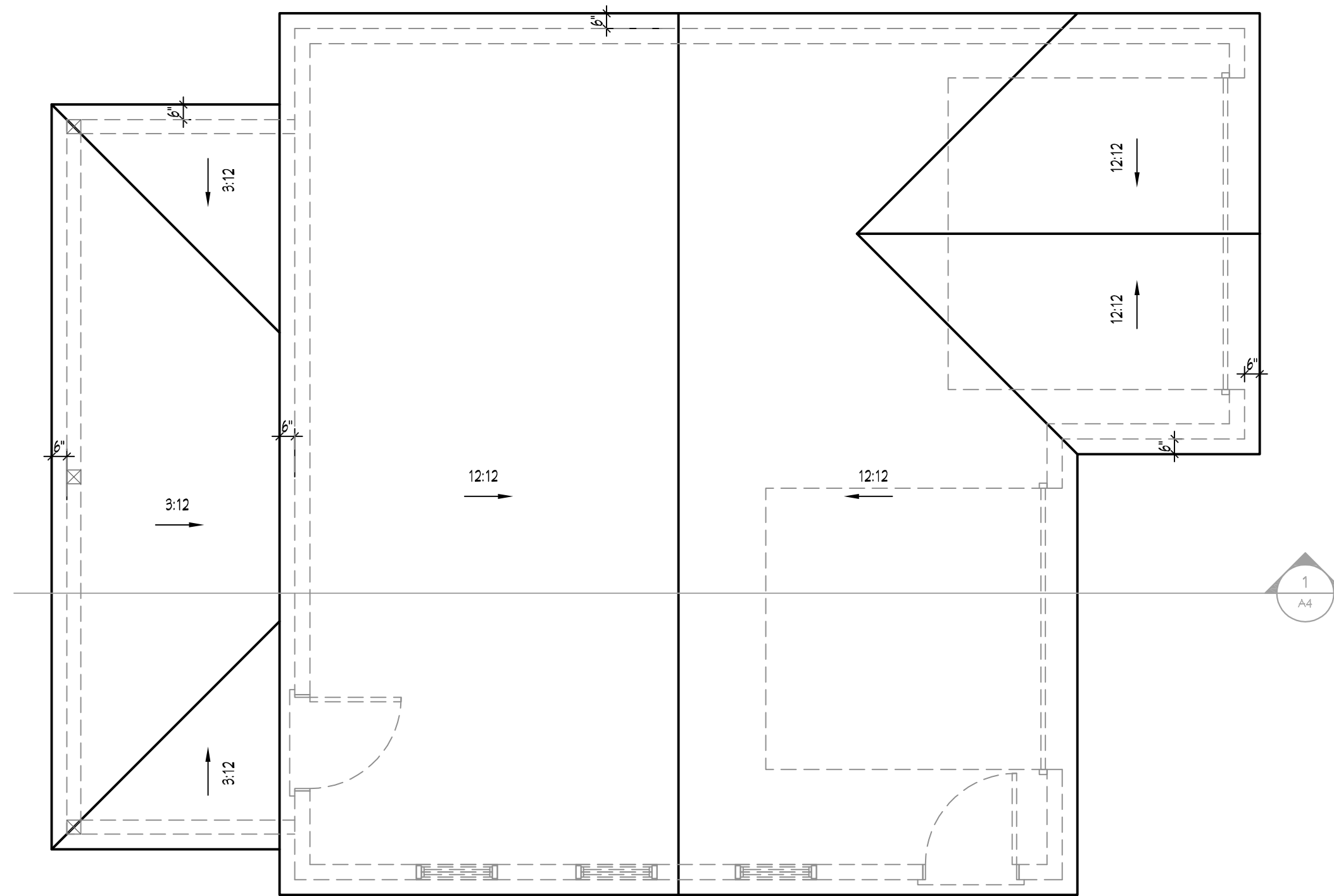
Lonny & Kristine Webb
1344 14th Street
West Linn, OR 97068

FINAL PLAN SET

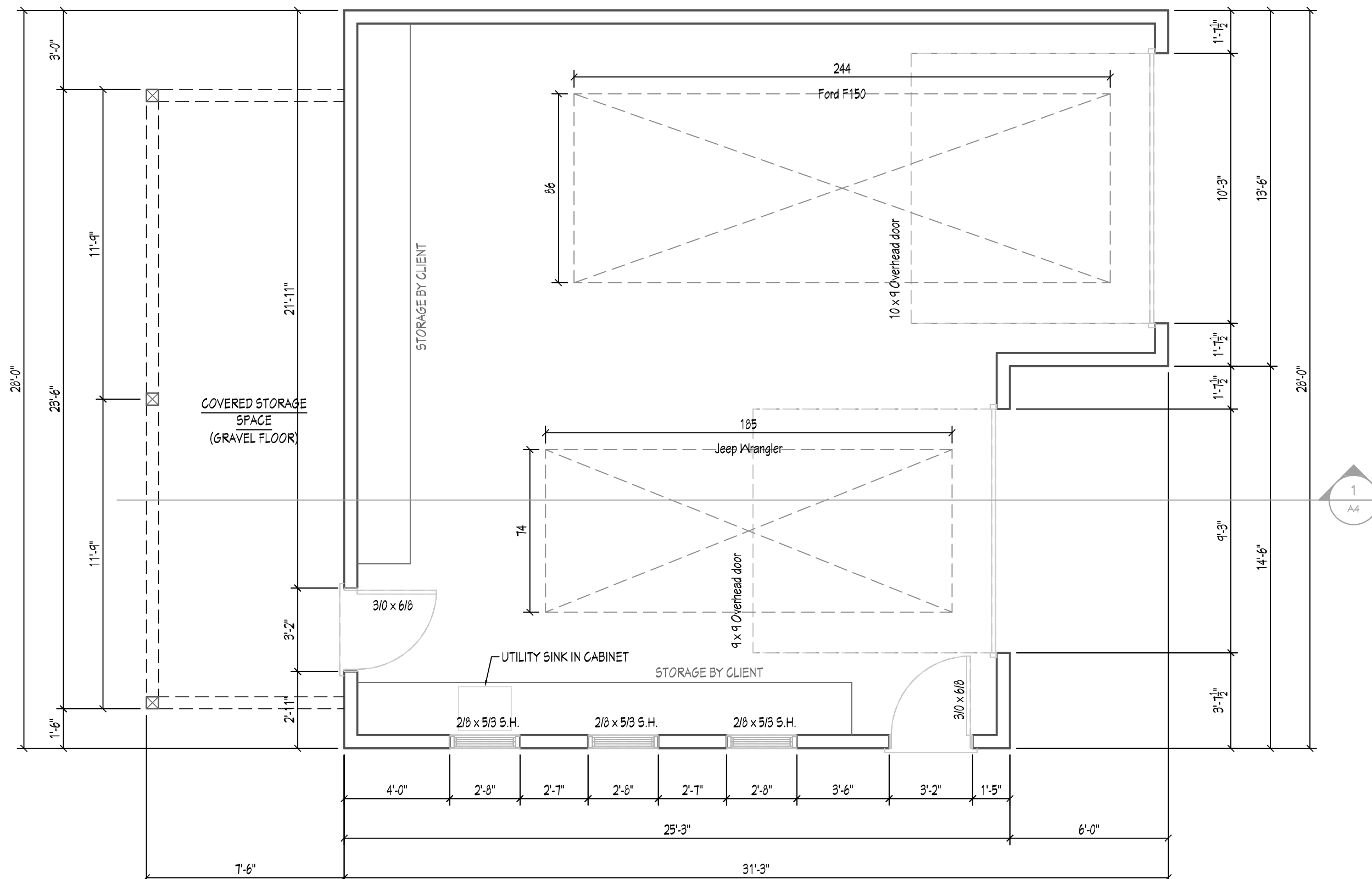
Project # 18-1030
Date 11/29/18
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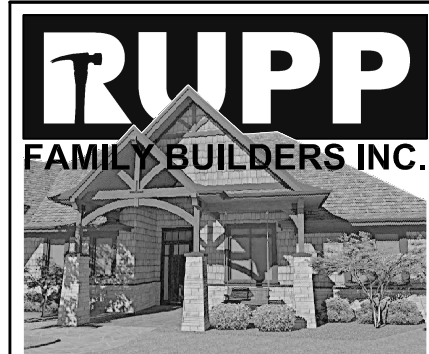


2 ROOF PLAN
1/4" = 1'-0"



1 TWO-CAR GARAGE FLOOR PLAN
1/4" = 1'-0"

WEBB GARAGE



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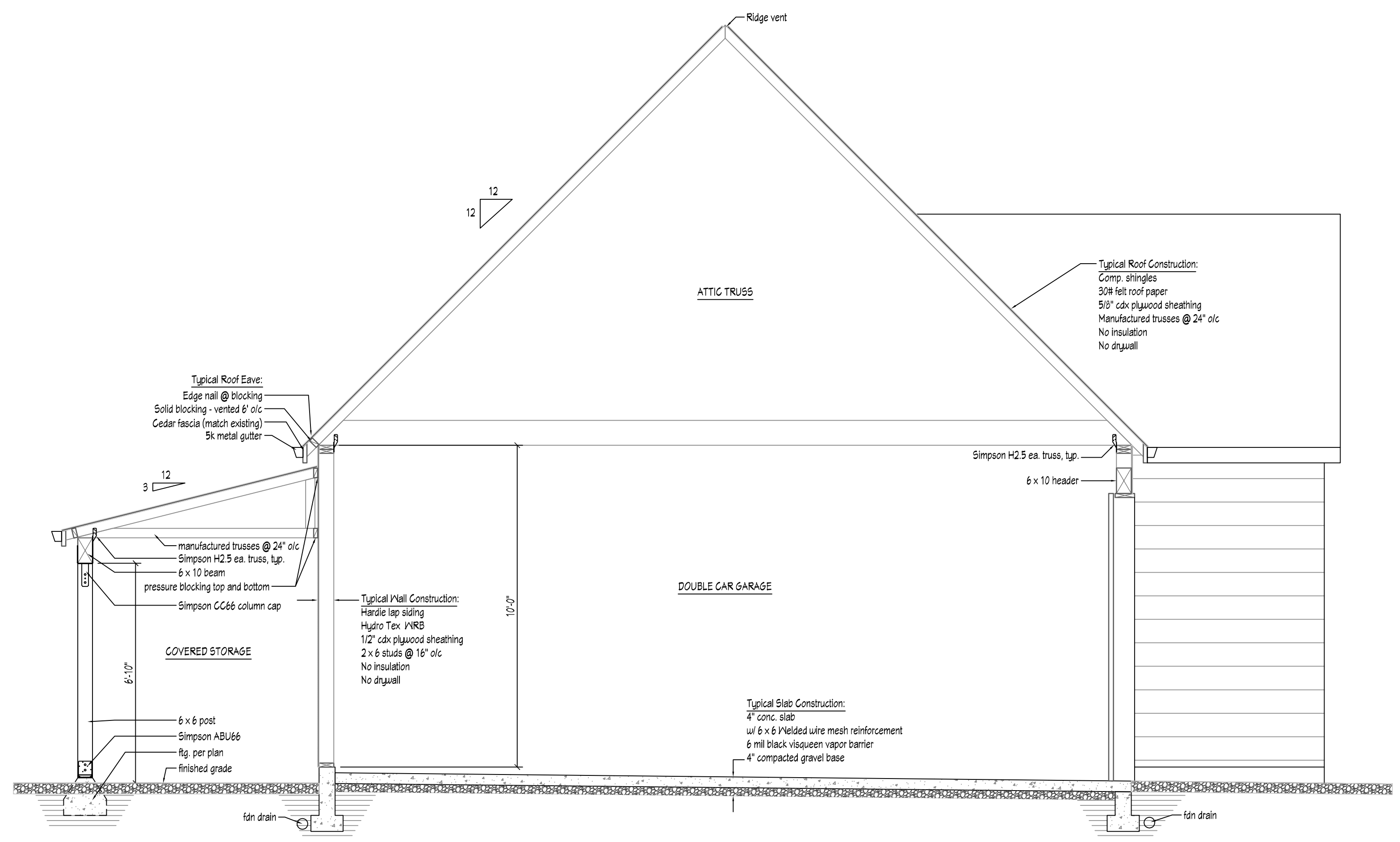
Date 11/29/18

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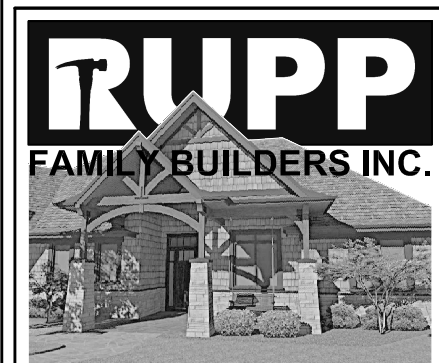
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1 CROSS SECTION
3/8" = 1'-0"

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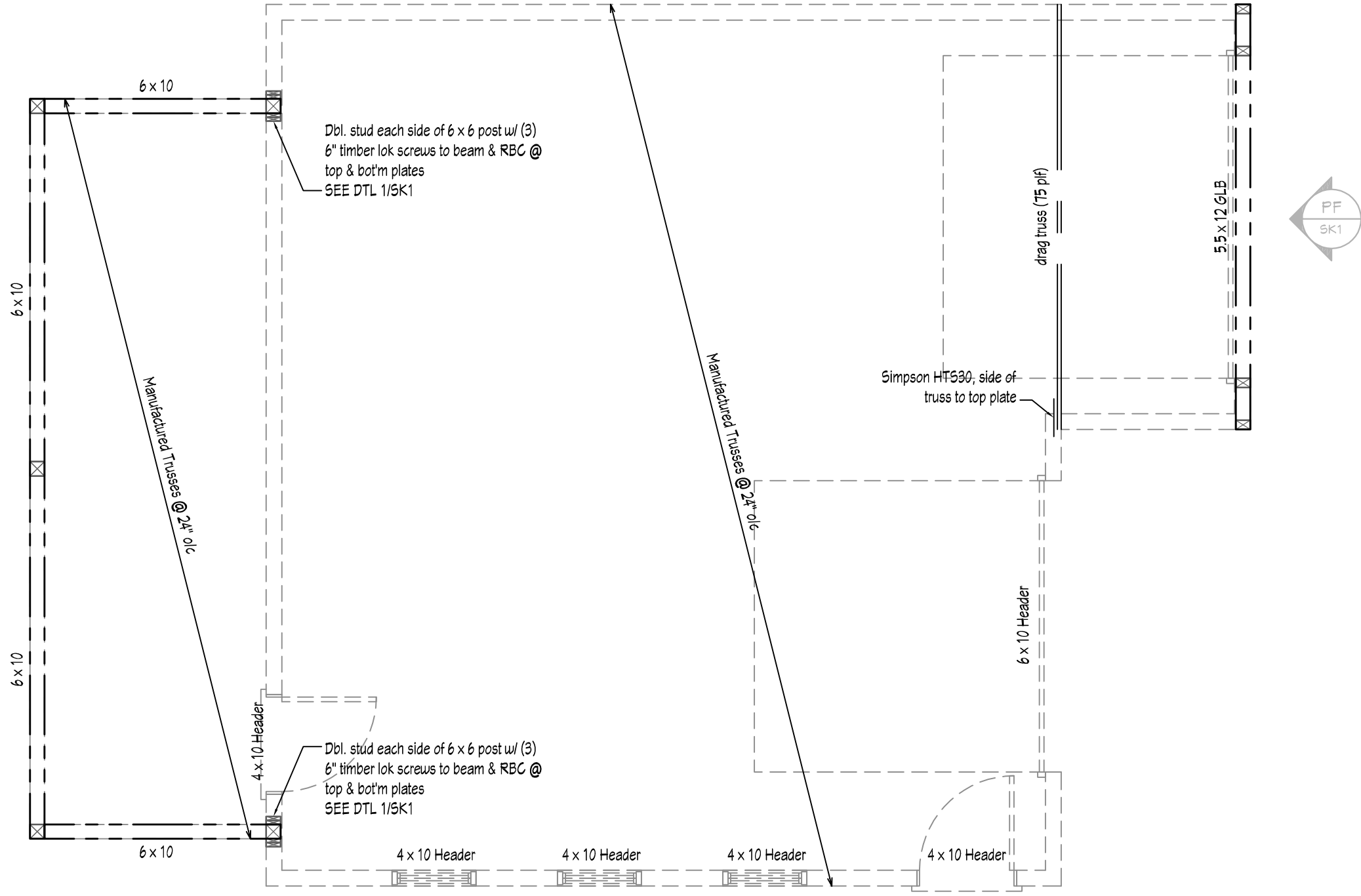
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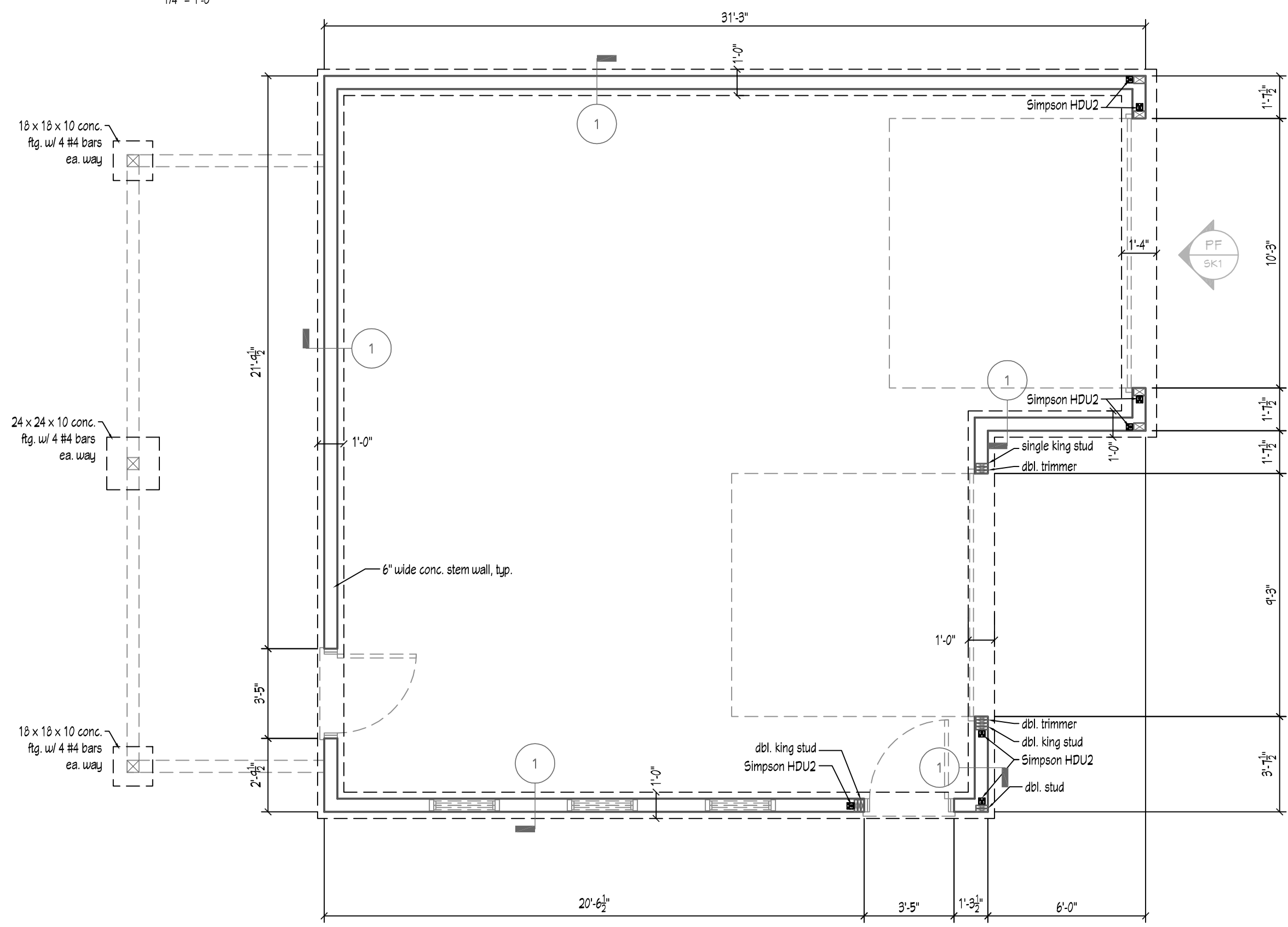
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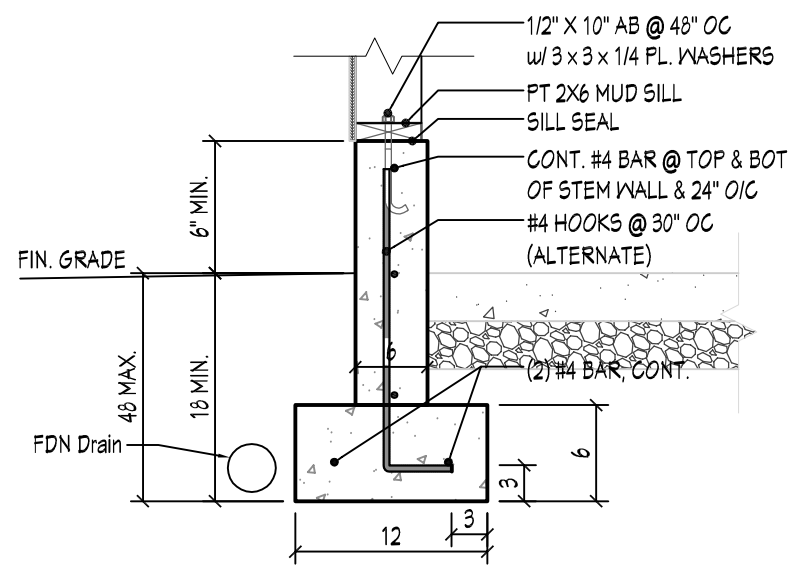
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ROOF FRAMING PLAN
1/4" = 1'-0"

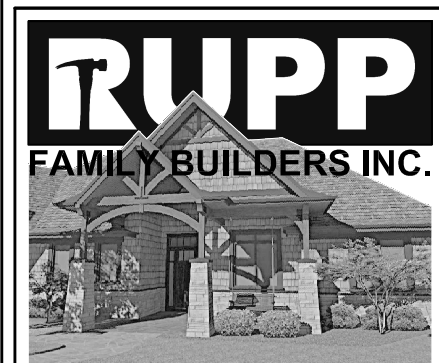


FOUNDATION PLAN
1/4" = 1'-0"



1 TYPICAL FDN DETAIL
3/4" = 1'-0"

WEBB GARAGE



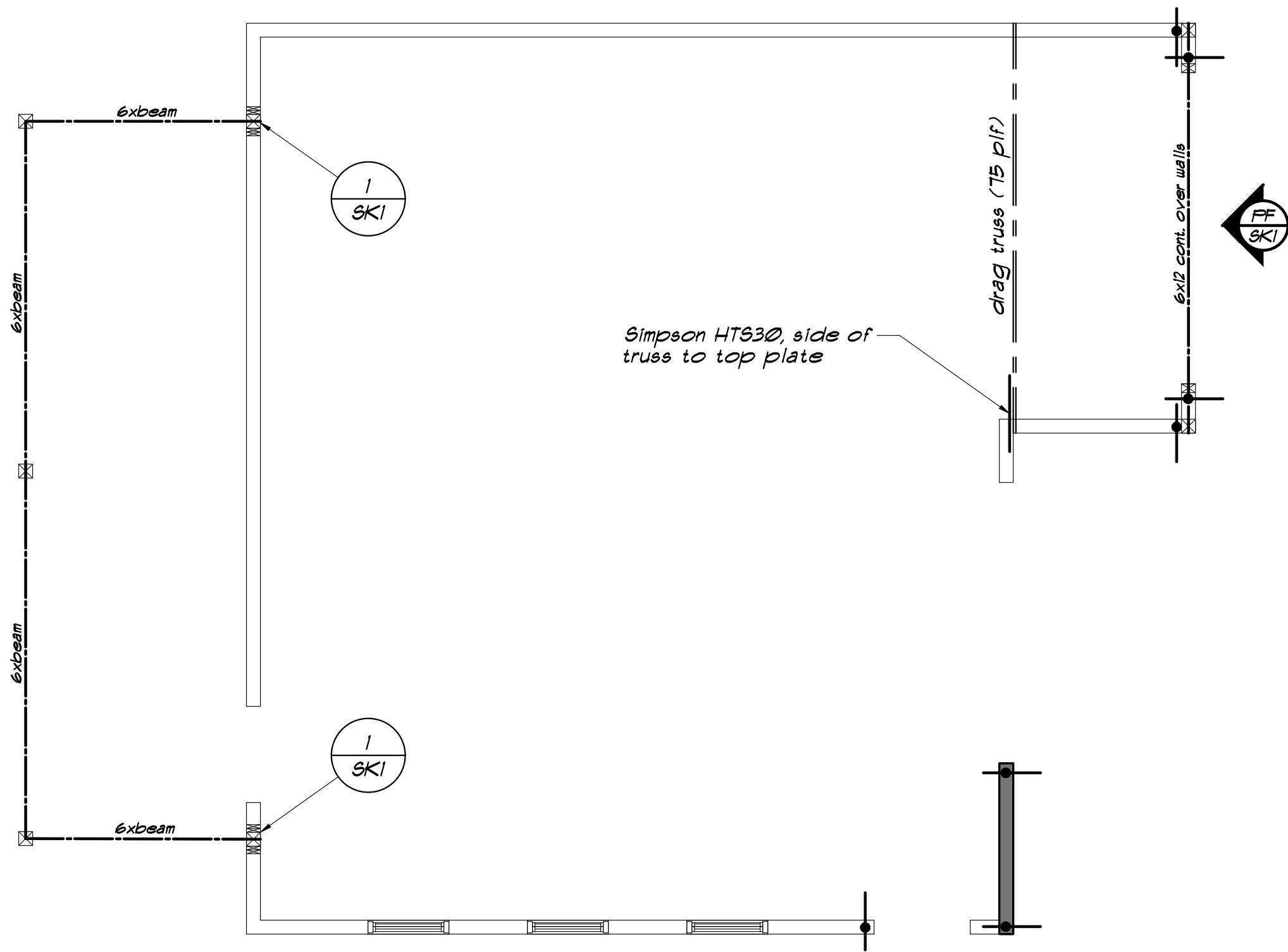
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S1
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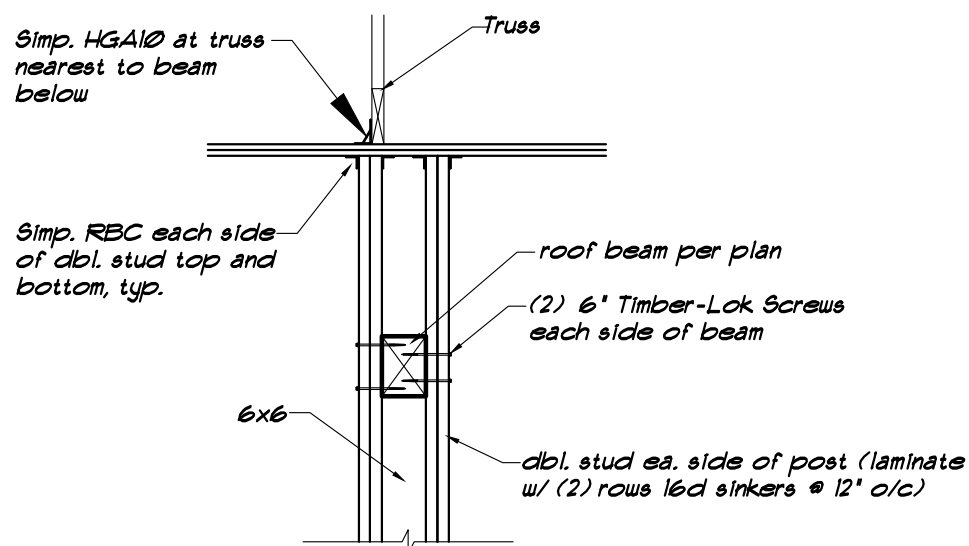


Partial Lateral Bracing Plan
1/4" = 1'-0"

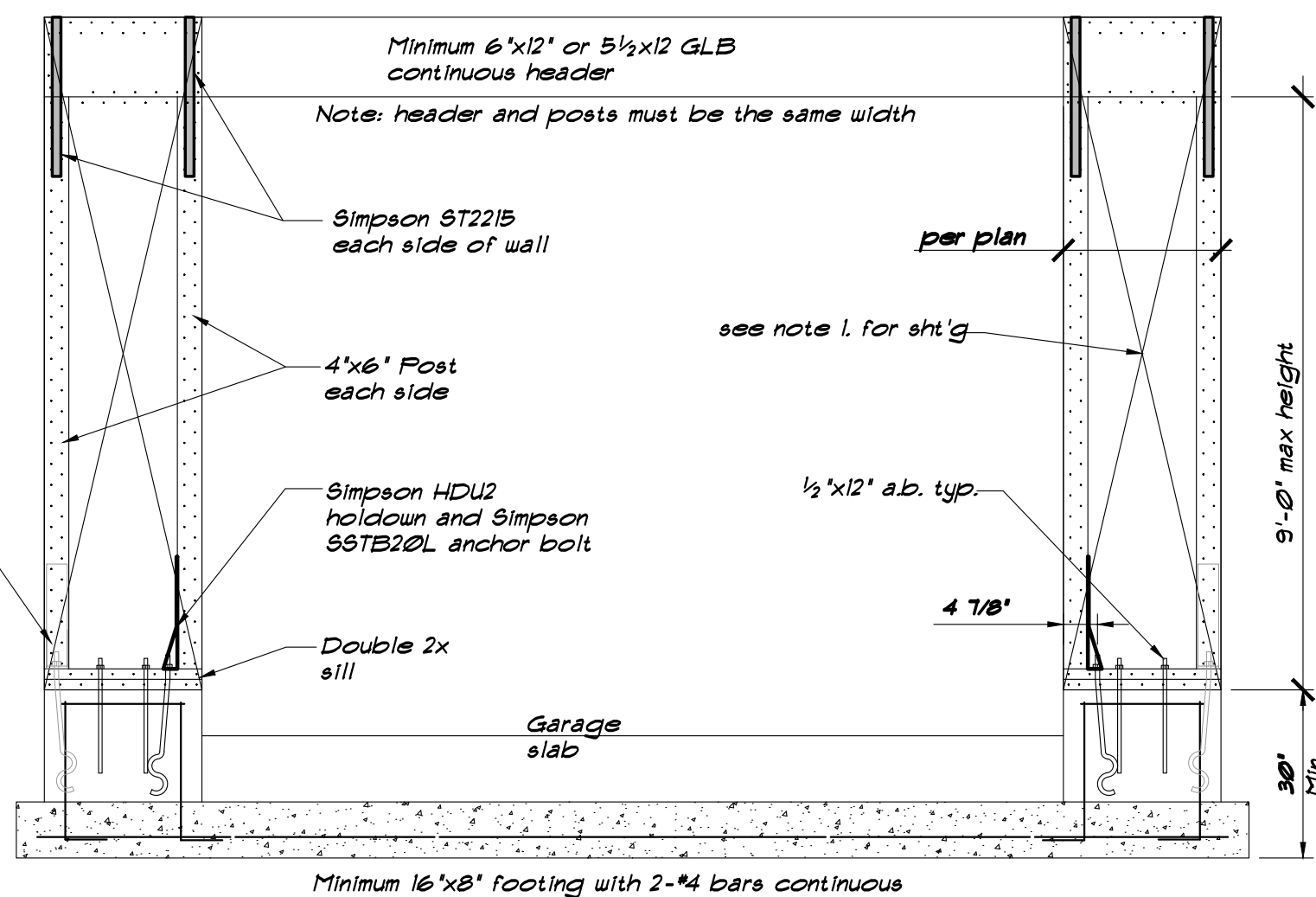
Lateral Bracing Plan Notes

Note:

- All exterior wood framed walls to be continuously sheathed and nailed w/ 8d common nails at 6" o.c. edge, 4" 12" o.c. field nailing minimum, install 1/2"x10" anchor bolts w/ 3"x3"x1/4" plate washers @ 48" o.c., unless noted otherwise.
- Shear Wall to be continuously sheathed and nailed w/ 8d common nails at 4" o.c. edge, 4" 12" o.c. field nailing minimum, install 1/2"x10" anchor bolts w/ 3"x3"x1/4" plate washers @ 32" o.c., unless noted otherwise.
- Simpson HDU2 with SSTB20L



1 Cantilevered Roof Beam Pocket
1/2" = 1'-0"



CONSTRUCTION NOTES:

- Use 7/16" osb sheathing, minimum, on one side of portal frame with 2-rows of 8d nails At 3" o.c. Staggered at all edges and beam/wall joint, 8d nails at 12" o.c. in field.
- Vertical dowels are #4 bars with 6" leg.
- Horizontal wall reinforcement minimum is 1-#4 bar or per holdown requirements whichever is more restrictive.
- Use 2-1/2"x12" anchor bolts minimum per panel.
- The panels at each end of each portal frame must be equal width and height.
- Stemwalls may be cast in-place concrete or CMU.



PORTAL FRAME

N.T.S.

DESIGN CODE:

- 2017 Oregon Residential Specialty Code
- Design Live Loads:
 - Ground Snow Load: 25 psf
 - Floors: 40 psf residential,
 - Wind: 120 mph (exposure B (100 yr, 3 sec gust)
 - Seismic: D

STRUCTURAL SHEATHING

- All sheathing shall be as follows:
 - roof sheathing: ... 7/16" OSB, index 32/16
 - floor: ... 7/8" T&G, index 48/24
 - walls: ... 7/16" OSB, index 32/16
- Floor and roof plywood shall be installed with face grain perpendicular to supports and end joints shall be staggered.
- Provide 1 ply clip per span @ unsupported edge of roof sheathing where support spacing exceeds 16' o.c. unco. as blocked edges.
- Block all wall sheathing with 2 x 4 blocking at all edges.
- All floor sheathing shall be glued to supporting joist w/ subfloor adhesive.

NAILING AND FASTENERS:

- Nailing indicated on plans and details are 'common' nails. Minimum framing nailing shall conform to IBC table 23-11-b-1. See details for additional typical nailing requirements. Substitution of nails other than 'common' is not permitted without prior approval.
- Power driven nails other than 'common' nails may be used if data is submitted and approved prior to use.
- Plywood nailing shall be as follows:
 - roof sheathing: ... 8d at 6" o.c. at all panel edges 8d at 12" o.c. at all intermediate supports
 - floor sheathing: ... 8d at 6" o.c. at all panel edges 8d at 12" o.c. at all intermediate supports
 - wall sheathing: ... block all edges with 2 x 4 flats, nailing as indicated on drawings.
- All bolted connections shall be made with machine bolts (mb.) conforming to ASTM A307. all bolts and lags shall be installed with standard wrought washers, unless noted otherwise.
- Joist hangers, hold downs, and other framing accessories are referred to on plans by particular type as manufactured by Simpson Company - San Leandro, ca. All hardware is to be fastened per manufacturer's specifications, unco.
- Epoxy anchor bolts indicated on drawings shall be as manufactured by Hilti Co. or approved equal. Depth of embedment shall be as called for on the drawings. Install as recommended by the manufacturer with C-20 grout.
- Sills at walls shall be bolted to concrete with 1/2" diameter x 10" long anchor bolts or 1/2" diameter epoxy anchor bolts at 4'-0" o.c. maximum and within 1'-0" of sill plate ends,

SAWN FRAMING LUMBER:

- All sawn lumber shall be Douglas Fir, S4S, graded in accordance with WCLIB rules #16, of the following grades:
 - studs, joists, plates, headers, blocking: no. 2
 - 4x beams: no. 2
 - 6x beams, posts: no. 1
- All 2x lumber shall be S-dry, unco.
- Double all joists under all parallel partitions.
- All wood in permanent contact with concrete or masonry to be pressure treated. treat all cut ends.

REGISTERED PROFESSIONAL ENGINEER
58521PE
OREGON
JAN. 14, 2009
SHANE W. BARR

EXPIRES: 12-31-2019

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Structural Integrity, LLC and is not to be used, in whole or part, for any other project without the written authorization of Structural Integrity, LLC.

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ISSUE DATE 11/28/18
Webb Garage Partial Lateral

1344 14th St.
West Linn, OR

Partial Lateral Plan and Notes

JOB NUMBER 18230	SHEET NO. SK1 1 OF 1
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