

## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Darren Wyss</i>	PROJECT NO(S). <i>MISC-18-08</i>	
NON-REFUNDABLE FEE(S) <i>\$1000-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>\$1000-</i>

**Type of Review** (Please check all that apply):

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX)                      | <input type="checkbox"/> Historic Review                                   | <input type="checkbox"/> Subdivision (SUB)                               |
| <input type="checkbox"/> Appeal and Review (AP) *              | <input type="checkbox"/> Legislative Plan or Change                        | <input type="checkbox"/> Temporary Uses *                                |
| <input type="checkbox"/> Conditional Use (CUP)                 | <input type="checkbox"/> Lot Line Adjustment (LLA) */**                    | <input type="checkbox"/> Time Extension *                                |
| <input type="checkbox"/> Design Review (DR)                    | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)  | <input type="checkbox"/> Variance (VAR)                                  |
| <input type="checkbox"/> Easement Vacation                     | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities    | <input type="checkbox"/> Planned Unit Development (PUD)                    | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)    |
| <input type="checkbox"/> Final Plat or Plan (FP)               | <input type="checkbox"/> Pre-Application Conference (PA) */**              | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)      |
| <input type="checkbox"/> Flood Management Area                 | <input type="checkbox"/> Street Vacation                                   | <input type="checkbox"/> Zone Change                                     |
| <input type="checkbox"/> Hillside Protection & Erosion Control |  |  |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

<b>Site Location/Address:</b> <i>1344 14<sup>TH</sup> STREET</i>	Assessor's Map No.: <b>31E02BC04500</b>
	Tax Lot(s):
	Total Land Area: <b>27,000 SF</b>

**Brief Description of Proposal:** **ENLARGING OF EXISTING NON-CONFORMING DETACHED GARAGE. (NON-CONFORMING SETBACK OF 5'. PROPOSAL OF ADDING 7' TO THE LENGTH OF THE EXISTING WALL IN SETBACK.)**

<b>Applicant Name:</b> <b>MATT GREINER</b> <small>(please print)</small>	Phone: <b>503-866-4281</b>
Address: <b>8755 SW CITIZENS DRIVE, STE 201</b>	Email: <b>MATTGREINER27@GMAIL.COM</b>
City State Zip: <b>WILSONVILLE, OR 97070</b>	


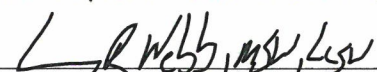
<b>Owner Name</b> (required): <b>LONNY &amp; KRISTINE WEBB</b> <small>(please print)</small>	Phone:
Address: <b>1344 14<sup>TH</sup> STREET</b>	Email: <b>lonny.webb@gmail.com</b>
City State Zip: <b>WEST LINN, OR 97068</b>	

<b>Consultant Name:</b> <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**  
**One (1) complete set of digital application materials must also be submitted on CD in PDF format.**  
**If large sets of plans are required in application please submit only two sets.**

\* No CD required / \*\* Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	<i>11/30/18</i>		11/30/2018
Applicant's signature	Date	Owner's signature (required)	Date

Matt Greiner  
8755 SW Citizens Drive, Ste 201  
Wilsonville, OR 97070  
503-866-4281 cell  
November 30, 2018

Darren Wyss  
Associate Planner  
City of West Linn  
22500 Salamo Road  
West Linn, OR 97068

Dear Darren Wyss:

Please see the following responses for narrative addressing approval criteria of Chapters 11 & 66 of the West Linn CDC:

**66.080 ENLARGEMENT OF OR ALTERATION TO A NON-CONFORMING STRUCTURE: PROCESS AND APPROVAL STANDARDS**

A. An enlargement of or alteration to a non-conforming structure containing a non-conforming use may be permitted subject to review and approval by the Planning Commission under the provisions of CDC 99.060(B) and CDC 65.120 through 65.140.

**Response:** The structure does not contain a non-conforming use so this criterion is N/A.

B. An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

1. If the enlargement, in and of itself, meets all provisions of this code, the enlargement will be permitted. This exception does not preclude design review or other applicable provisions of this code.
2. If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards.
  - a. The enlargement or alteration will not change the non-conformity; and
  - b. All other applicable ordinance provisions will be met. (Ord. 1192, 1987)

**Response:** Since the proposed enlargement of the accessory garage will be extending one wall 7' along the same plane as the existing wall, which is set at a 5' setback, and the zone requires a

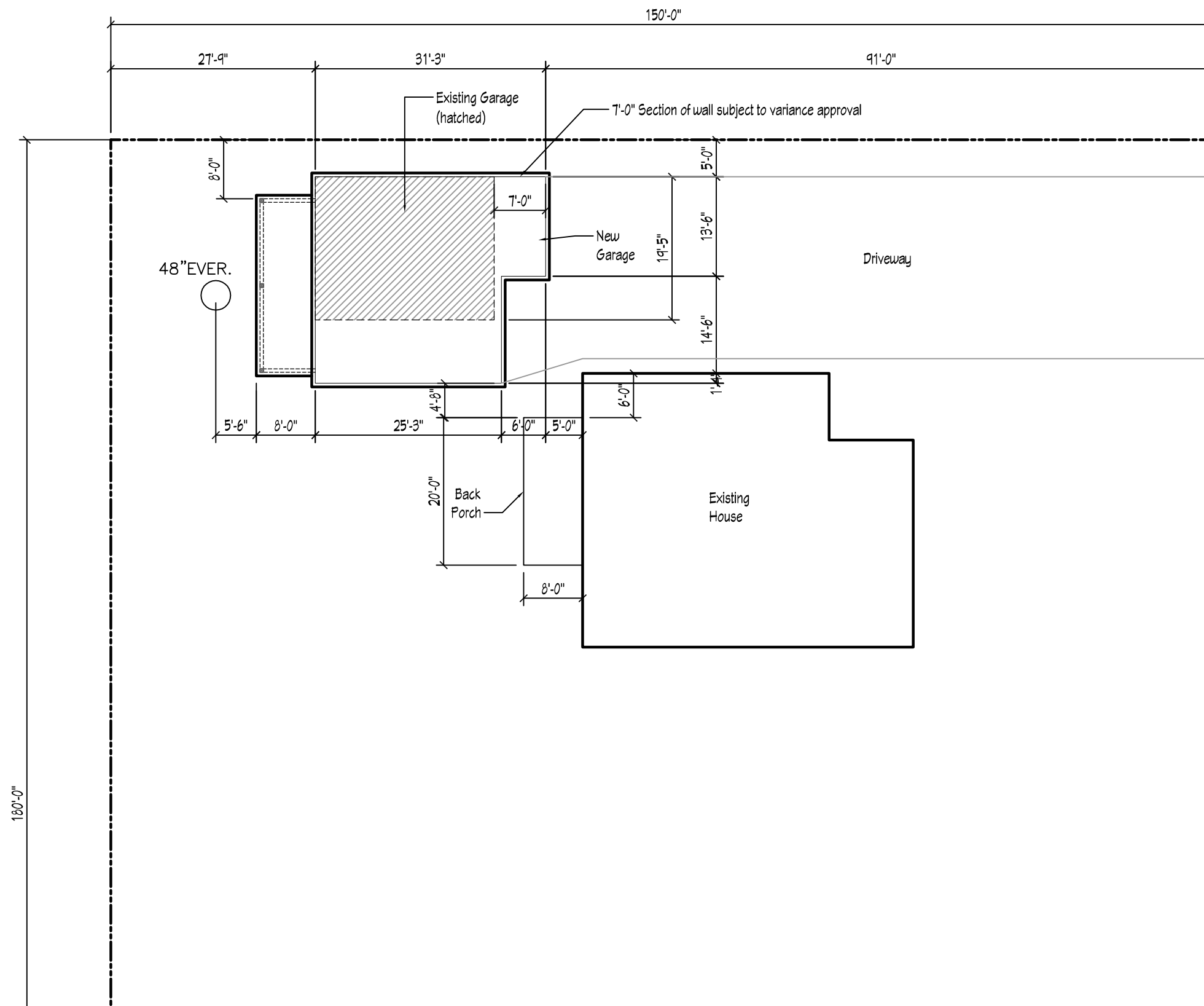
7.5' setback, review and approval by the Planning Director is required. The enlargement will not change the non-conformity. The only element subject to review is this structure's setback from the property line, which is the only element that makes this structure non-conforming.

Since the property is Zoned R-10, the following criteria from Chapter 11 of the West Linn CDC are relevant:

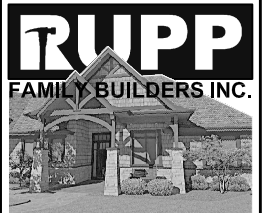
**11.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS**

1. 5,000 sf min. lot size required. The lot size is 27,000 sf, therefore this criterion is met.
2. 35 ft. min. front yard width required. The lot width is 180', therefore this criterion is met.
3. 50 ft. min. average lot width required. The average lot width is 180', therefore this criterion is met.
4. N/A
5.
  - a. 20 ft. front yard setback required. The front yard setback to the proposed accessory structure is 91', therefore this criterion is met.
  - b. 7.5 ft. interior side yard setback required. This criterion is subject to administrative approval. Current setback to interior side yard is 5'.
  - c. This criterion is N/A.
  - d. 20 ft. rear setback required. The rear yard setback is 27'-9", therefore this criterion is met.
6. 35 ft. max building height required. The proposed building height is 23'-6", therefore this criterion is met.
7. The existing home (1300 sf) + the proposed building (1035 sf) = 2335 sf / 27,000 sf = 8.6%, therefore this criterion is met.
8. This criterion is N/A.
9. .45 max. floor area ratio required. Existing home (3646 sf) + proposed garage (788 sf) = 3,646 sf / 17,325 sf of buildable area = 21.0%, therefore this criterion is met.
10. This criterion is N/A.

Rev	Date	Details Of Issue	By



WEBB  
GARAGE



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1344 14th St  
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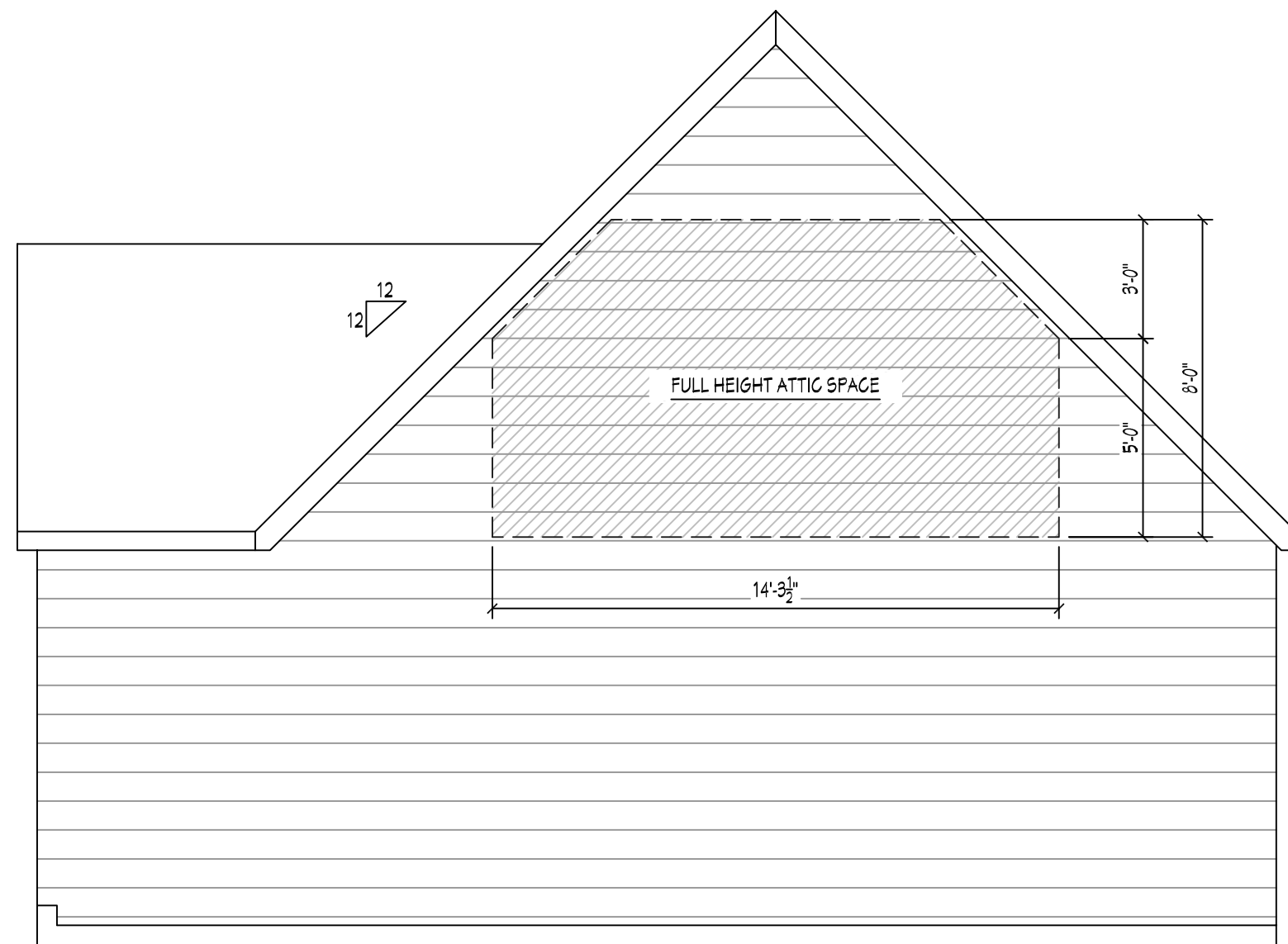
FOR VARIANCE REVIEW

Project #	18-1030
Date	11/26/18
Sheet	

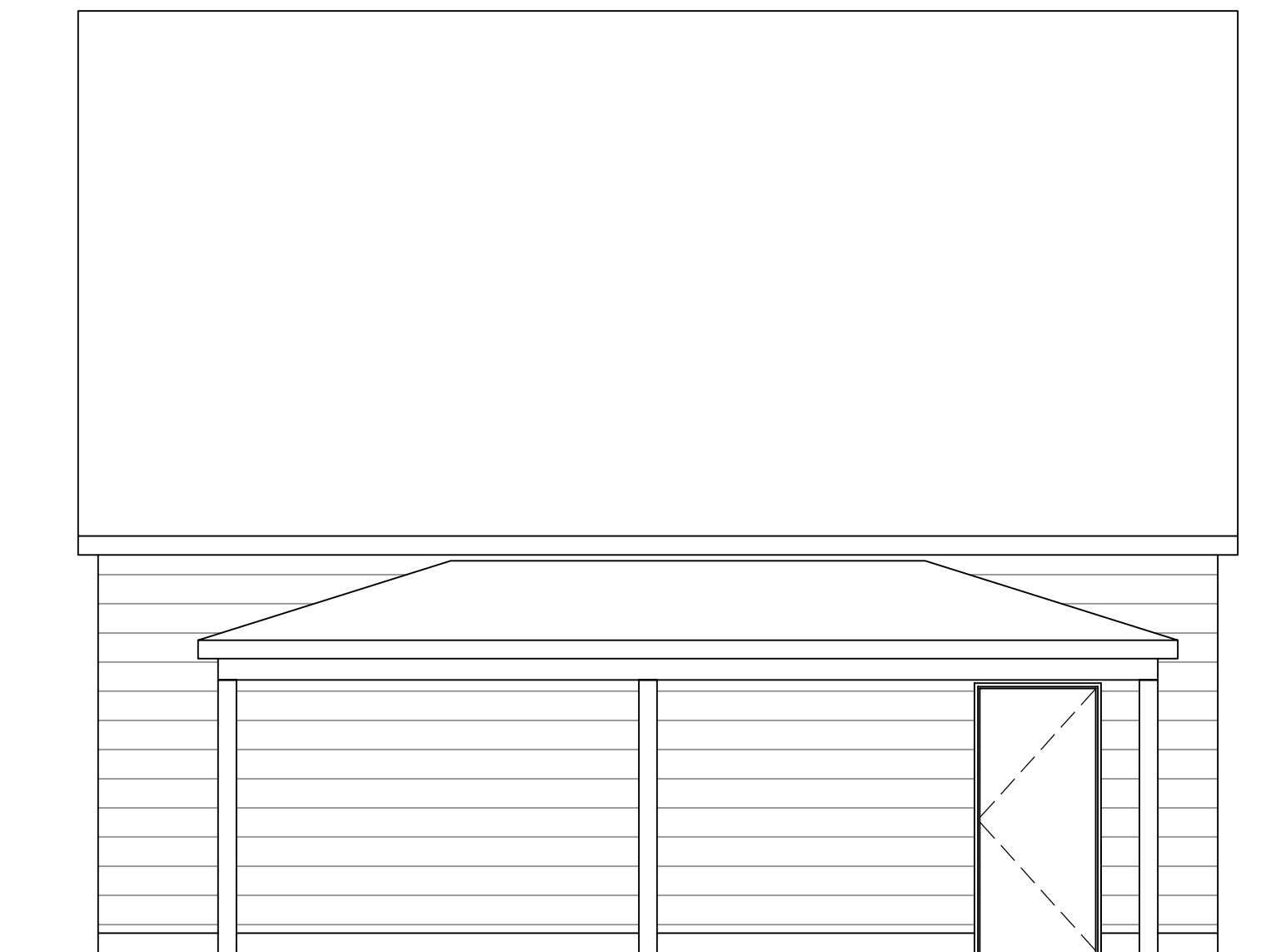
1 SITE PLAN  
1/6" = 1'-0"

SITE PLAN

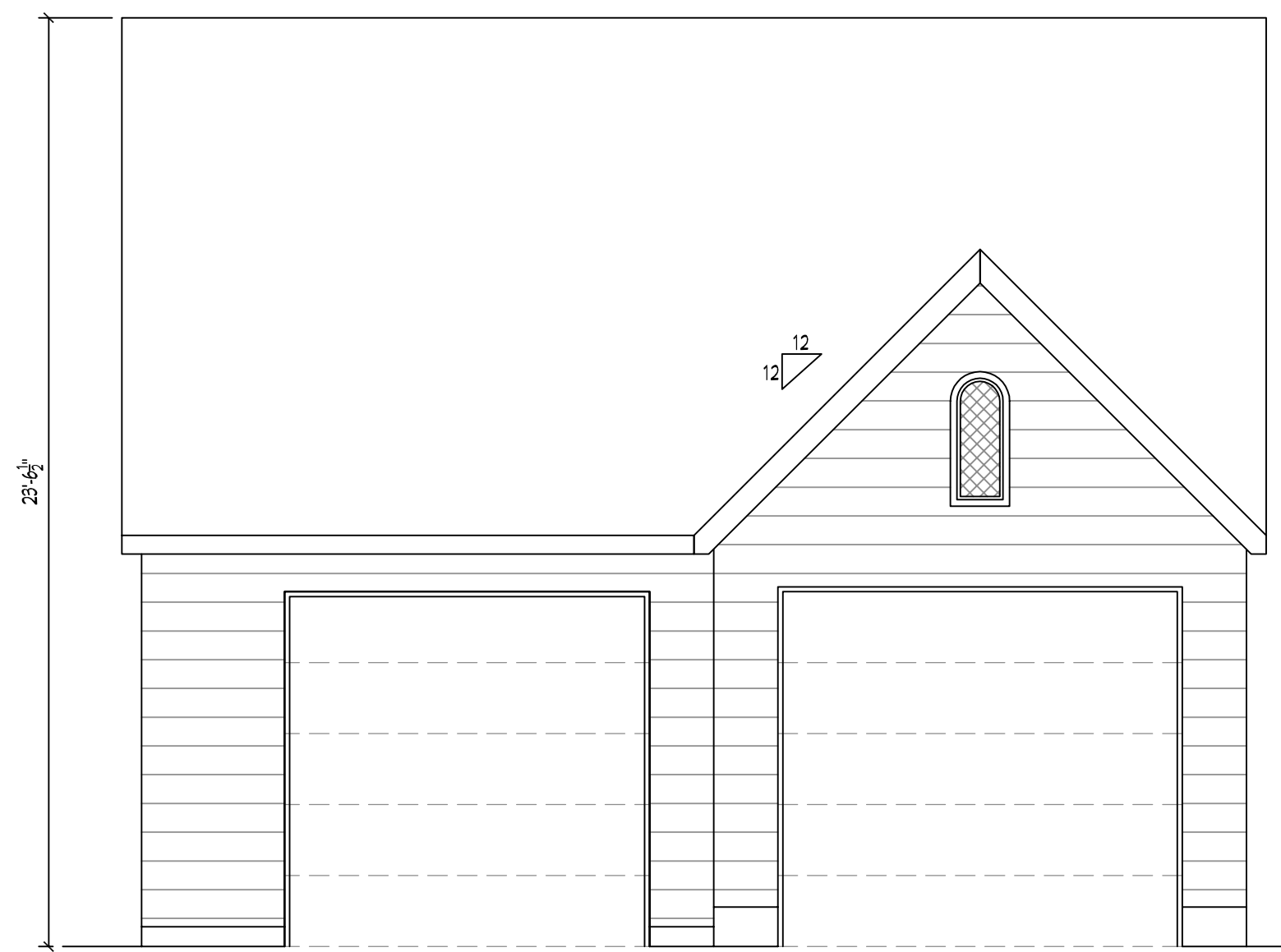
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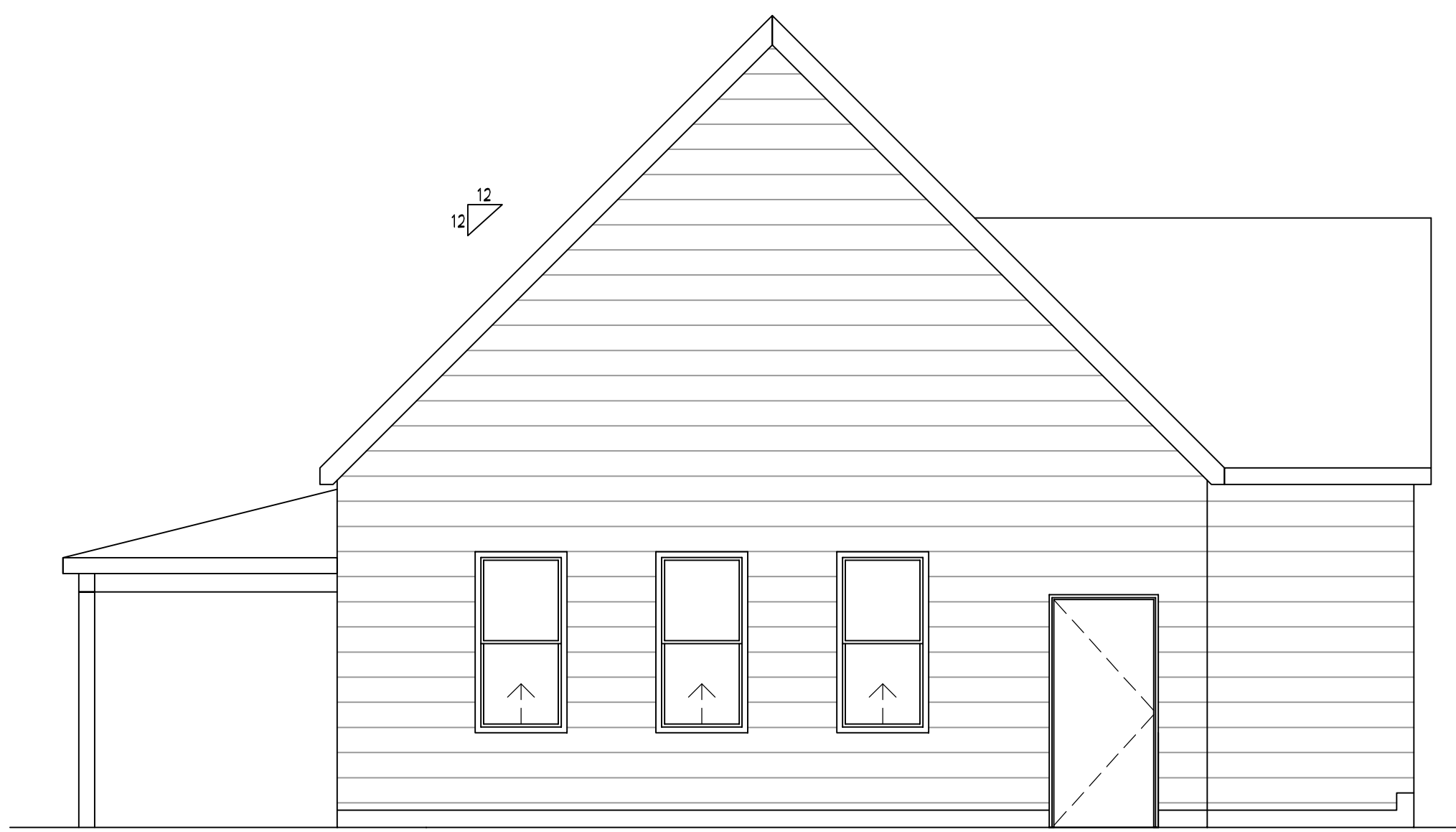
3 RIGHT ELEVATION  
1/4" = 1'-0"



2 BACK ELEVATION  
1/4" = 1'-0"

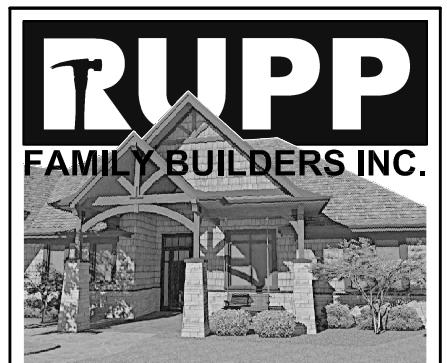


1 FRONT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"

WEBB  
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1344 14th Street  
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FINAL PLAN SET

Project # 18-1030  
Date 11/29/18  
Sheet

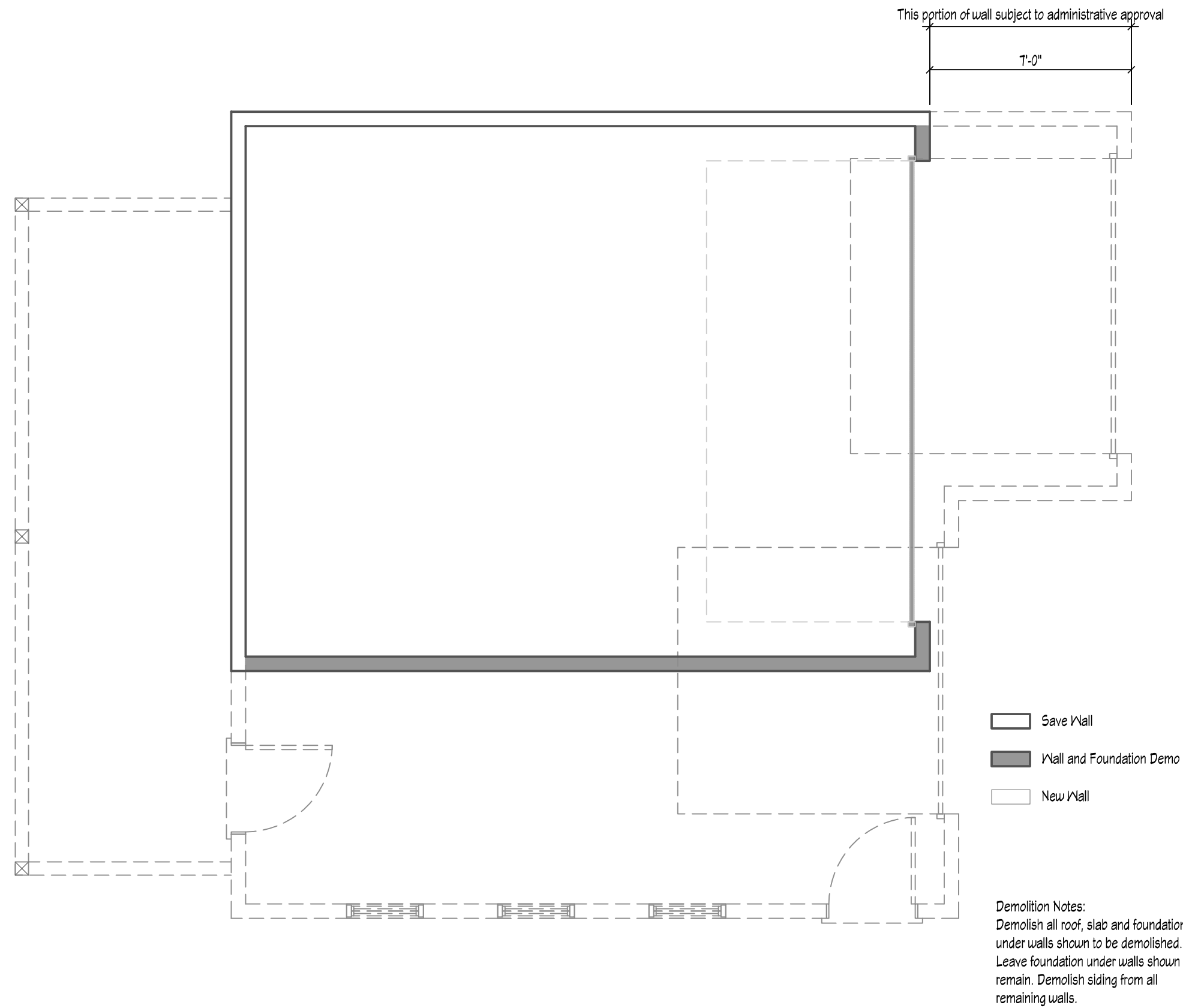
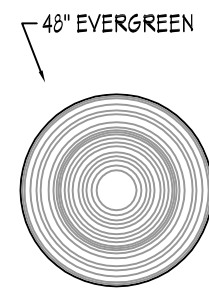
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Rev	Date	Details Of Issue	By

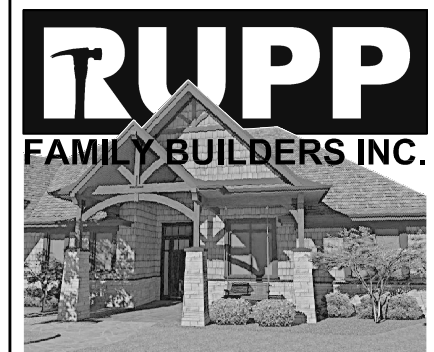
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# WEBB GARAGE

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**1** EXISTING FLOOR PLAN & DEMOLITION PLAN  
1/4" = 1'-0"



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[www.facebook.com/ruppbuilders/](https://www.facebook.com/ruppbuilders/)

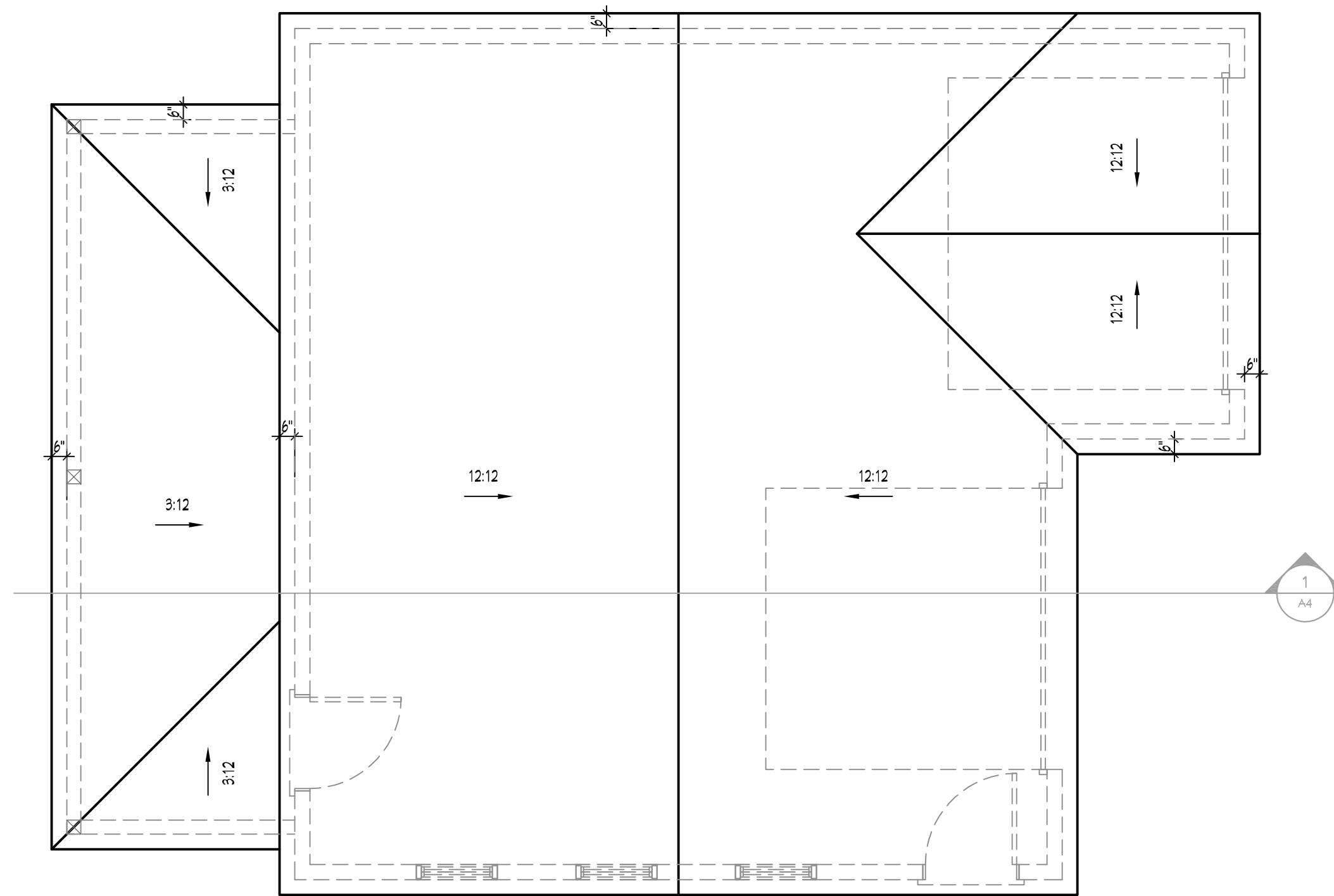
Lonny & Kristine Webb  
1344 14th Street  
West Linn, OR 97068

## FINAL PLAN SET

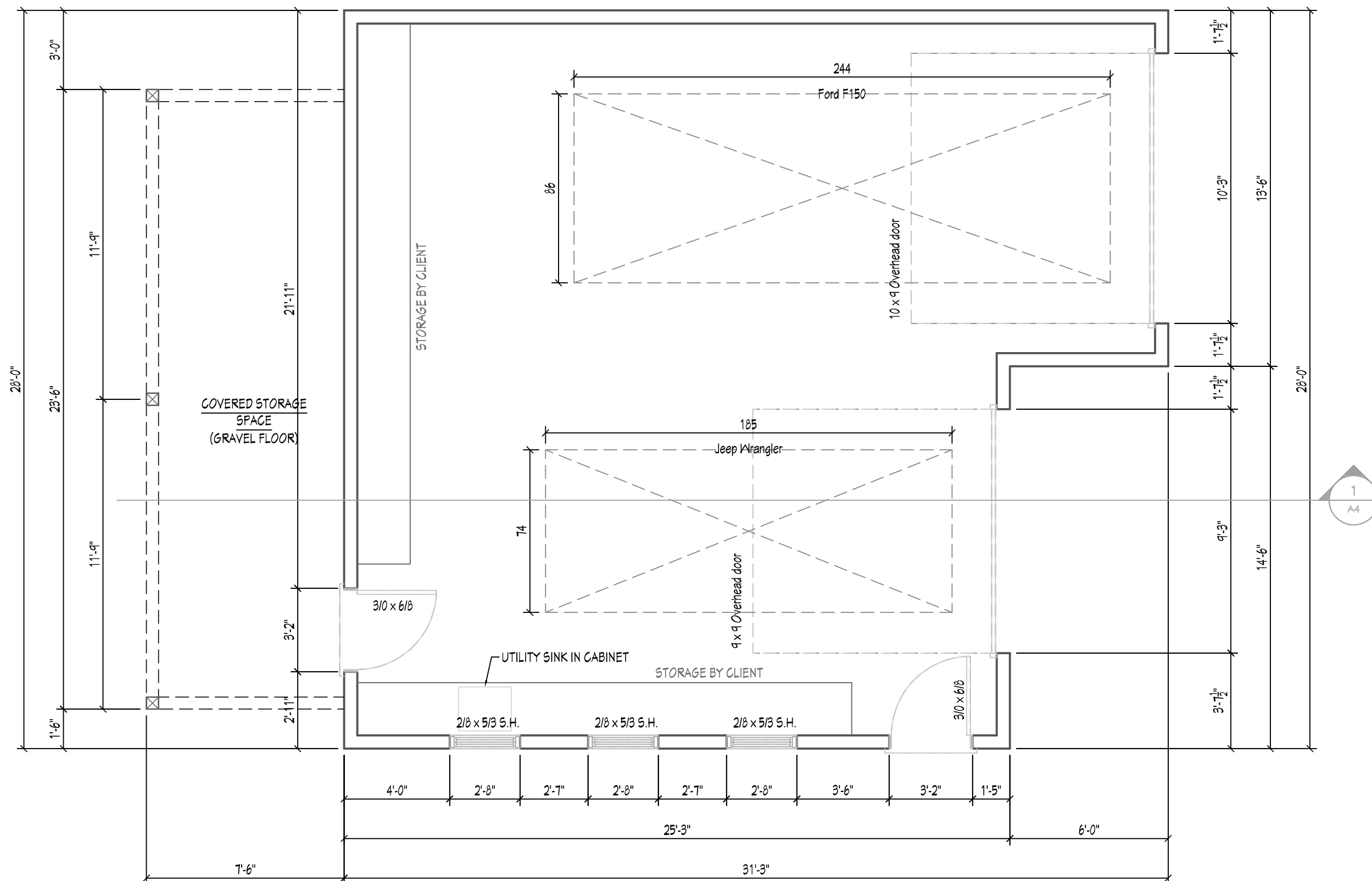
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Date 11/29/18  
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Rev	Date	Details Of Issue	By

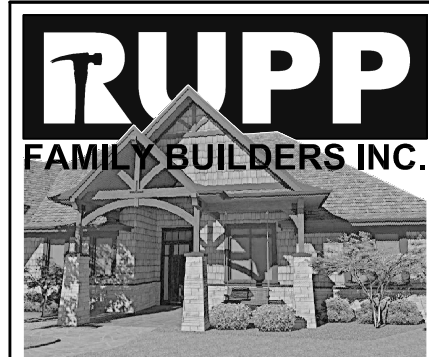


2 ROOF PLAN  
1/4" = 1'-0"



1 TWO-CAR GARAGE FLOOR PLAN  
1/4" = 1'-0"

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FINAL PLAN SET

Project # 18-1030

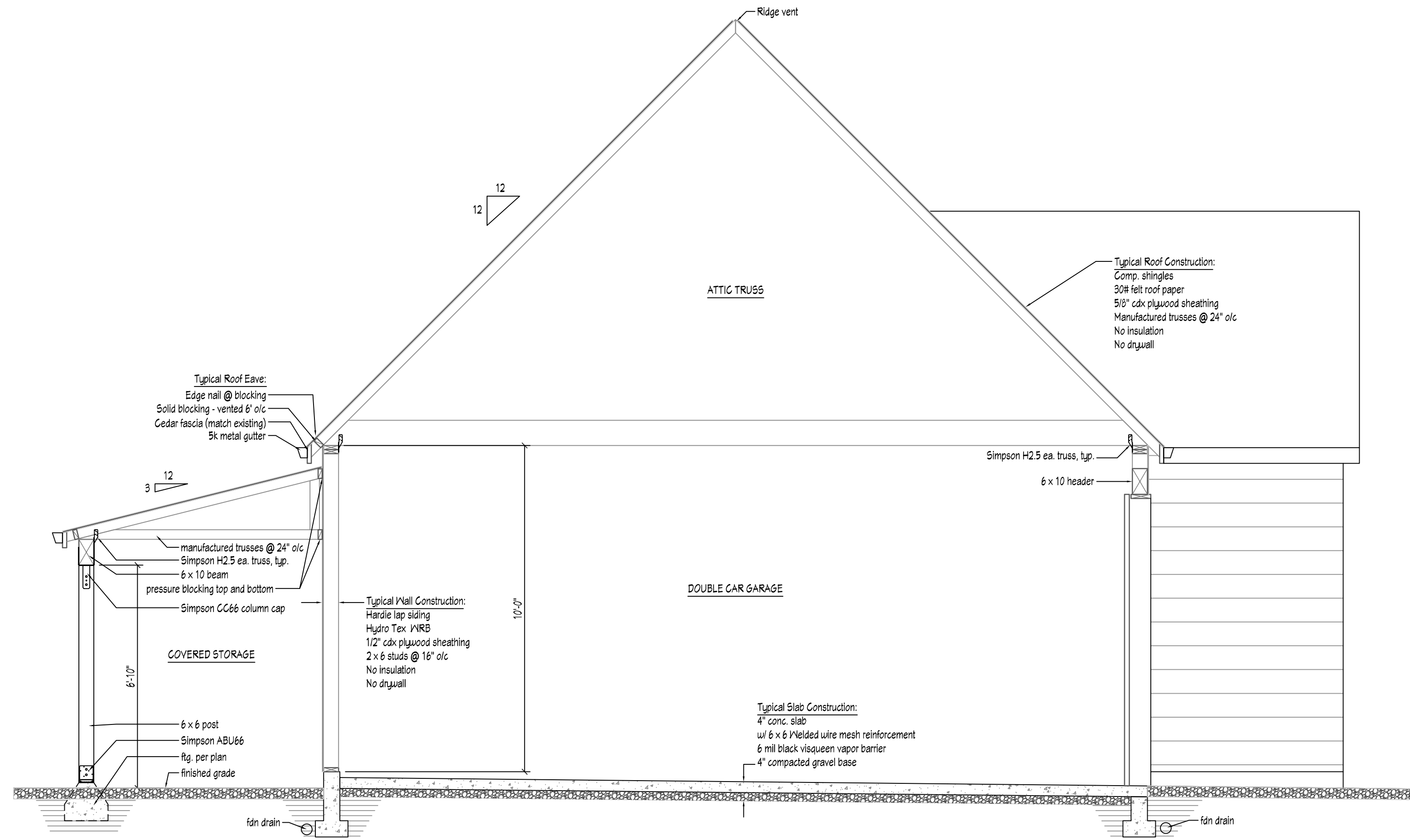
Date 11/29/18

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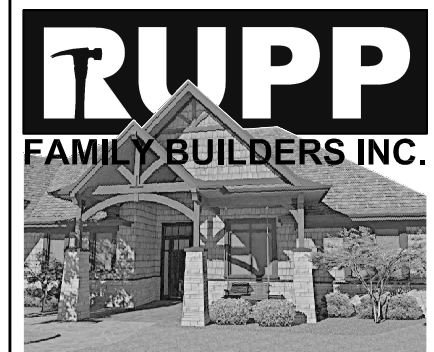


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1 CROSS SECTION  
 3/8" = 1'-0"

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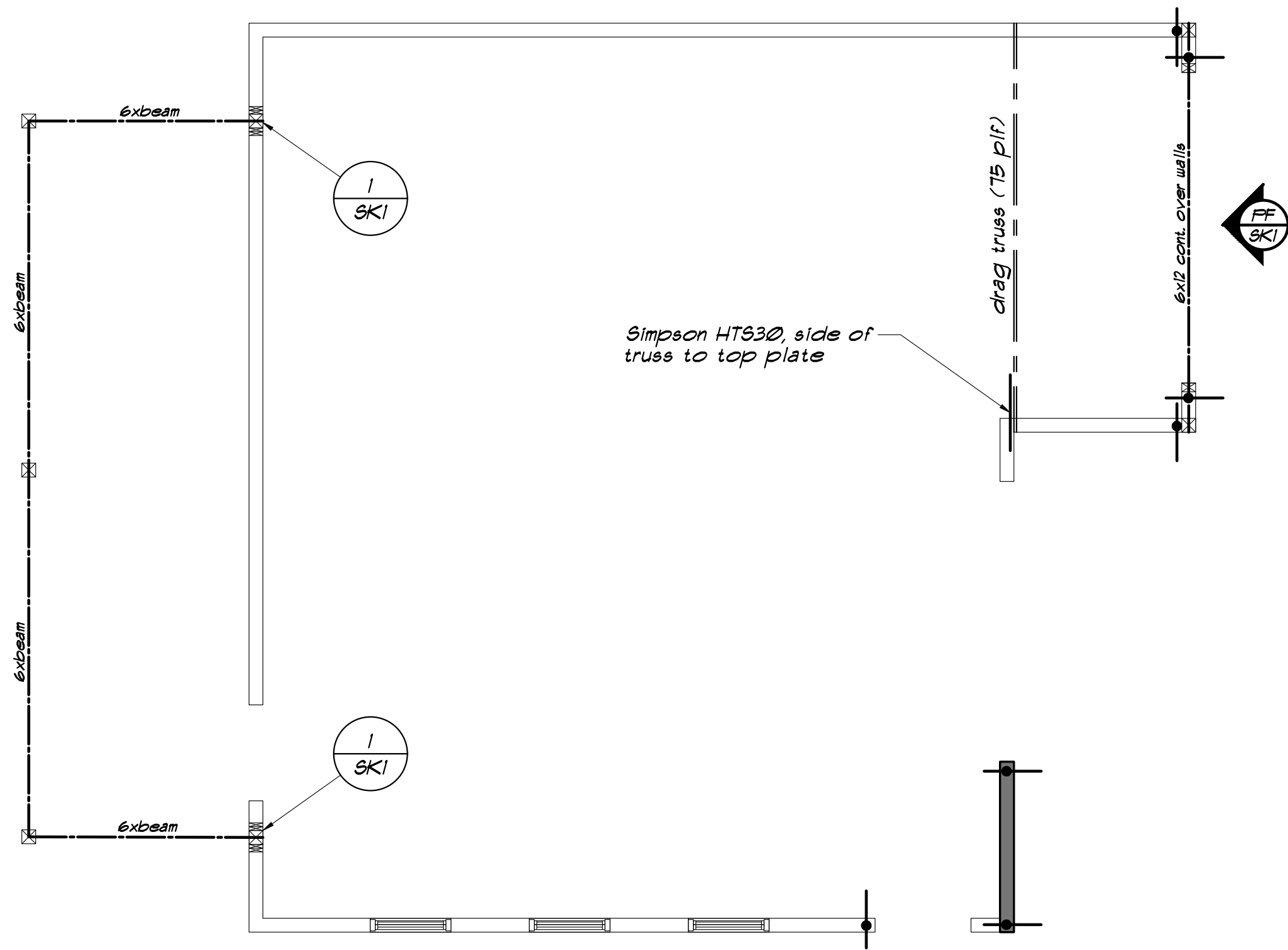
Lonny & Kristine Webb  
 1344 14th Street  
 West Linn, OR 97068

FINAL PLAN SET

Project # 18-1030  
 Date 11/29/18  
 Sheet





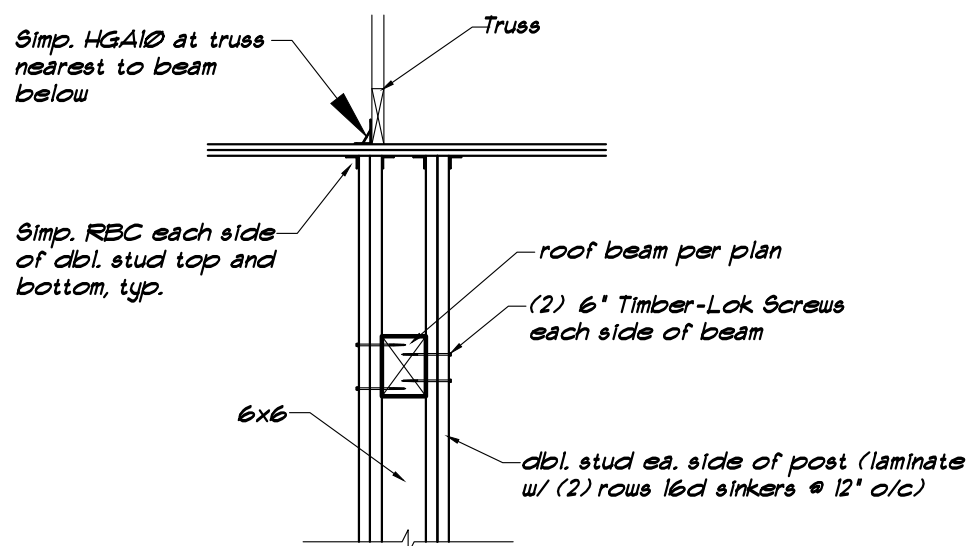


Partial Lateral Bracing Plan  
1/4" = 1'-0"

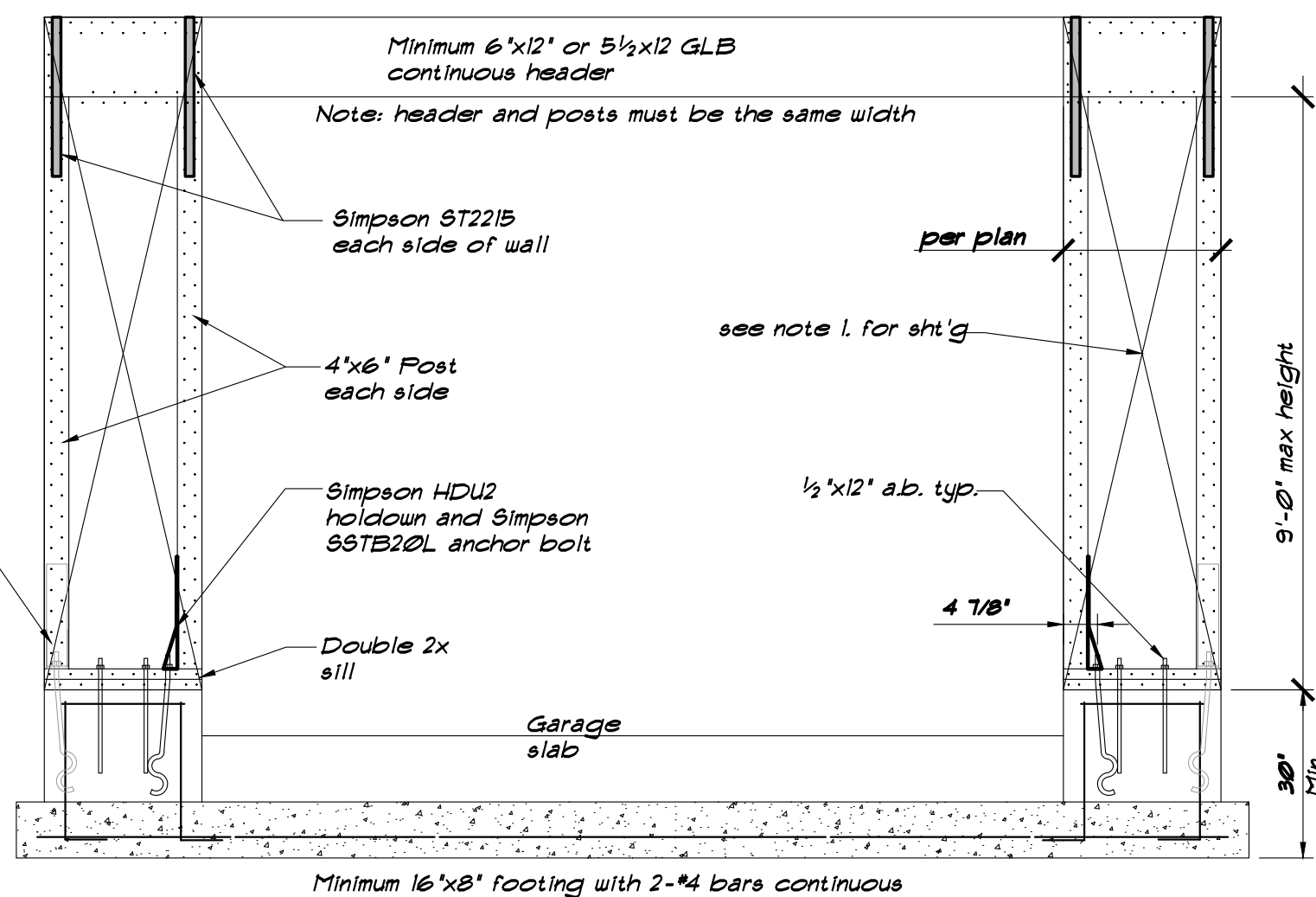
### Lateral Bracing Plan Notes

**Note:**

- All exterior wood framed walls to be continuously sheathed and nailed w/ 8d common nails at 6" o.c. edge, 4" 12" o.c. field nailing minimum, install 1/2"x10" anchor bolts w/ 3"x3"x1/4" plate washers @ 48" o.c. unless noted otherwise.
- Shear Wall to be continuously sheathed and nailed w/ 8d common nails at 4" o.c. edge, 4" 12" o.c. field nailing minimum, install 1/2"x10" anchor bolts w/ 3"x3"x1/4" plate washers @ 32" o.c. unless noted otherwise.
- Simpson HDU2 with SSTB20L



1 Cantilevered Roof Beam Pocket  
1/2" = 1'-0"



**CONSTRUCTION NOTES:**

- Use 7/16" osb sheathing, minimum, on one side of portal frame with 2-rows of 8d nails At 3" o.c. Staggered at all edges and beam/wall joint, 8d nails at 12" o.c. in field.
- Vertical dowels are #4 bars with 6" leg.
- Horizontal wall reinforcement minimum is 1-#4 bar or per holddown requirements whichever is more restrictive.
- Use 2-1/2"x12" anchor bolts minimum per panel.
- The panels at each end of each portal frame must be equal width and height.
- Stemwalls may be cast in-place concrete or CMU.



PORTAL FRAME

N.T.S.

**DESIGN CODE:**

- 2017 Oregon Residential Specialty Code
- Design Live Loads:
  - Ground Snow Load: 25 psf
  - Floors: 40 psf residential,
  - Wind: 120 mph (exposure B (100 yr, 3 sec gust)
  - Seismic: D

**STRUCTURAL SHEATHING**

- All sheathing shall be as follows:
  - roof sheathing: ... 7/16" OSB, index 32/16
  - floor: ... 7/8" T&G, index 48/24
  - walls: ... 7/16" OSB, index 32/16
- Floor and roof plywood shall be installed with face grain perpendicular to supports and end joints shall be staggered.
- Provide 1 ply clip per span @ unsupported edge of roof sheathing where support spacing exceeds 16' o.c. unob. as blocked edges.
- Block all wall sheathing with 2 x 4 blocking at all edges.
- All floor sheathing shall be glued to supporting joist w/ subfloor adhesive.

**NAILING AND FASTENERS:**

- Nailing indicated on plans and details are 'common' nails. Minimum framing nailing shall conform to IBC table 23-11-b-1. See details for additional typical nailing requirements. Substitution of nails other than 'common' is not permitted without prior approval.
- Power driven nails other than 'common' nails may be used if data is submitted and approved prior to use.
- Plywood nailing shall be as follows:
  - roof sheathing: ... 8d at 6" o.c. at all panel edges  
8d at 12" o.c. at all intermediate supports
  - floor sheathing: ... 8d at 6" o.c. at all panel edges  
8d at 12" o.c. at all intermediate supports
  - wall sheathing: ... block all edges with 2 x 4 flats, nailing as indicated on drawings.
- All bolted connections shall be made with machine bolts (mb.) conforming to ASTM A307. all bolts and lags shall be installed with standard wrought washers, unless noted otherwise.
- Joist hangers, hold downs, and other framing accessories are referred to on plans by particular type as manufactured by Simpson Company - San Leandro, ca. All hardware is to be fastened per manufacturer's specifications, unob.
- Epoxy anchor bolts indicated on drawings shall be as manufactured by Hilti Co. or approved equal. Depth of embedment shall be as called for on the drawings. Install as recommended by the manufacturer with C-20 grout.
- Sills at walls shall be bolted to concrete with 1/2" diameter x 10" long anchor bolts or 1/2" diameter epoxy anchor bolts at 4'-0" o.c. maximum and within 1'-0" of sill plate ends,

**SAWN FRAMING LUMBER:**

- All sawn lumber shall be Douglas Fir, S4S, graded in accordance with WCLIB rules #16, of the following grades:
  - studs, joists, plates, headers, blocking: no. 2
  - 4x beams: no. 2
  - 6x beams, posts: no. 1
- All 2x lumber shall be S-dry, unob.
- Double all joists under all parallel partitions.
- All wood in permanent contact with concrete or masonry to be pressure treated. treat all cut ends.

REGISTERED PROFESSIONAL  
ENGINEER  
58521PE  
OREGON  
JAN. 14, 2009  
SHANE W. BARR

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EXPIRES: 12-31-2019

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Structural Integrity, LLC and is not to be used, in whole or part, for any other project without the written authorization of Structural Integrity, LLC.

**STRUCTURAL INTEGRITY, LLC**  
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KLAMATH FALLS, OR 97601  
541.884.1081

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ISSUE DATE 11/28/18  
**Webb Garage Partial Lateral**

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1344 14th St.  
West Linn, OR

Partial Lateral Plan and Notes

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JOB NUMBER <b>18230</b>	SHEET NO. <b>SK1</b> 1 OF 1
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