

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Jennifer Arnold</i>	PROJECT NO(S). <i>DR-18-07</i>	
NON-REFUNDABLE FEE(S) <i>2100-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>2100-</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 2100 8TH CT, WEST LINN, 97068	Assessor's Map No.: 21E35D
	Tax Lot(s): 21E35D00901
	Total Land Area: .76 ACRE

Brief Description of Proposal: THE SCOPE OF WORK INCLUDES CUTTING BACK THE MANSARD ROOF AND MODIFYING INTO NEW PARAPETS, NEW PAINT, SIDING, ADDING NEW ACCENT WALLS, REPLACING DRIVE THRU MENU BOARDS AND NEW BUILDING WALL SIGNS, MODIFYING THE SERVICE COUNTER, NEW SEATING AND FINISHES AT THE DINING AREA AND RESTROOMS, AND ADA UPGRADES THROUGHOUT THE SITE AND PUBLIC INTERIOR SPACES.

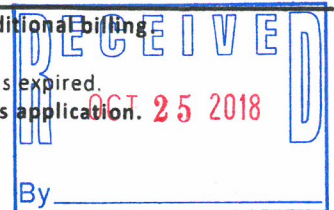
Applicant Name: MATT GRINNELL - FREIHEIT ARCHITECTURE <small>(please print)</small>	Phone: 425-827-2100
Address: 929 108TH AVE NE STE 210	Email: MGRINNELL@FREIHEITARCH.COM
City State Zip: BELLEVUE, WA 98004	

Owner Name (required): <i>DOUG BATES</i> <small>(please print)</small>	Phone: <i>425 577 0415</i>
Address: <i>2999 ODE RD Suite 900</i>	Email: <i>doug.bates@us.mcd.com</i>
City State Zip: <i>WALNUT CREEK CA 94597</i>	

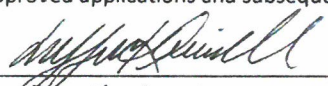
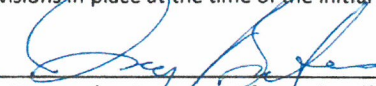
Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.**

* No CD required / ** Only one hard-copy set needed



The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	08/23/2018		8/23/18
Applicant's signature	Date	Owner's signature (required)	Date

08.22.2018

MCDONALD'S REMODEL

Class I Design Review

October 22, 2018

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APPLICATION SUMMARY

For Class I Design Review approval to remodel an existing McDonald's restaurant. The scope of work includes cutting back the mansard roof and modifying into new parapets, new paint, siding, adding new accent walls, replacing drive thru menu boards and new building wall signs, modifying the service counter, new seating and finishes at the dining area and restrooms, and ADA upgrades throughout the site and public interior spaces.

GENERAL INFORMATION

Location

McDonald's Restaurant 2100 8th CT, West Linn, Or 97068 (Parcel 01680345). It's location is shown in Figure 1.

Comprehensive Plan and Zoning Designations

The Comprehensive Plan designation is commercial, and it is currently zone as commercial (GC).

Project Contacts

Doug Bates – Area Construction Manager
McDonald's Corporation
299 Oak Road Ste 900
Walnut Creek, CA 94597
Phone: 425-577-0415
Email: doug.bates@us.mcd.com

Jamie Trendera – Project Architect
Freiheit Architecture
929 108th Ave Ne Ste 210,
Bellevue, WA 98004
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Matt Grinnell – Permit Coordinator
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929 108th Ave Ne Ste 210,
Bellevue, WA 98004
Phone: 425-827-2100
Email: matt.grinnell@freiheitarch.com

BACKGROUND INFORMATION

Site Description

The site is located in between 8th ct. and War Veterans Memorial Freeway. It is .75 acres and is covered with various landscape and impervious surface. Upon it resides a 2,915 Sqft McDonald's restaurant. The drive thru for the quick service restaurant wraps around the north half of the side, hiding it from the street. Parking is abundant due to the NW corner of the site being dedicated to it.

Vicinity Information

The zoning designations and current land use of the surrounding area are summarized in Table 1.

Table 1
Zoning and Land Use Summary

PARCELS	ZONE DESIGNATION	LAND USE
SUBJECT PROPERTY	GC	Quick Service Restaurant
SURROUNDING PROPERTIES	GC	Spa, Coffee House, Car wash, Gas Station

PROPOSED IMPROVEMENTS

The proposed project is a remodel of an existing McDonald's restaurant. This will include an exterior modernization of the building's appearance. The modernization includes installation of new siding, with new paint colors, and a new storefront window and door at the entrance. New building walls signs will replace the old. New accent walls of a charcoal tile with a wood appearance will be placed on the building to break up the facade. The existing mansard roof will be cut back to allow for construction of new parapets. A new corrugated metal panel system at the parapets provides visual interest. New metal trellises and a metal fascia band break up the façade vertically and provide lighting and weather-protection at the doors. A new white illuminated canopy at the entrance and front façade will provide pedestrian-scale lighting and create a path leading to the main door. At the interior, a new order counter, new seating, and finishes will be provided at the dining area and restrooms.

An accessibility analysis has been performed for this store. The accessible pedestrian routes on site, within the dining area, and in the restrooms, will all be upgraded to provide full compliance with the accessibility codes. On the site, the driveways and location of pedestrian access routes are to remain, as is the general flow of traffic through the parking lot. New concrete sidewalks and ramps will be provided around the store for accessibility where applicable. The parking lot will receive a new asphalt layer and new striping. The drive-thru will receive new signage and new digital menu boards and a new concrete finish.

APPLICABLE CRITERIA – CLASS I DESIGN REVIEW

The following criteria were identified by the planning staff in the pre-application conference summary notes as the relevant West Linn Community Development Code (CDC) criteria:

Submittal Requirements

Section 55.070

Approval Criteria

Section 55.090
Chapter 19 (GC)

These requirements and approval criteria are addressed below.

Submittal Requirements

Section 55.070

- A. Application is being invited by owner's agent.
- B. Pre-application was held 10/4/2018.
- C. Neighborhood association documentation not required per jurisdiction's comments.
- D.
 1.
 - a. Site is developed therefore an analysis is not required.
 - b. A site plan is provided with this application.
 - c. Architectural elevations are provided with this application.
 - d. An application form is provided with original scale and reduced scale drawings.
 2. This application is for a type I review so this section, detailing a type II, is not applicable to the application.

- E. A building material board will be provided with the application.
- F. The required deposit fee of \$2,100.00 will be provided with this application.

Section 55.090

A.

1. (CDC 55.100(B)(1-4))

- 1. No heritage trees are proposed to be impacted by the site work scope.
- 2. No heritage trees are proposed to be impacted by the site work scope.
- 3. The only drainage that will be altered on site is the slope of the sidewalks. Some do not currently conform to ADA and will be re-done to ensure conformance.
- 4. No additional structures are proposed to be constructed.

2. (CDC 55.100(B)(5-6))

- 5. No alteration of building distances is proposed during this project.
- 6.
 - a. Contemporary building materials will be used during this remodel which complement neighboring sites. Similar color schemes have been incorporated to ensure conformance with this section of code.

- b. Building size will not be substantially altered so an existing transition of building mass and height will remain.
- c. McDonald's Corporation is a leading member of quick service restaurant design. Many years of research has gone into this restaurant's design and it is the manifestation of architectural standards in the United States. It's simple yet visually interesting façade will be a great complement to the community for the years to come. We believe that the combination of the superior design and the distance between neighboring buildings allows it to satisfy this section of code.
- d. Human scale is a focus of this restaurant's design.
- e. Existing window calculations from the front facade are the same from the old building to the new. It is not viable to provide windows past the 8 windows on the front (East) façade because this is either a restroom or back of house and storage. Almost the entire customer service lobby is lined with a window or a door.
- f. The articulation of the building is accented on their new remodel due to the accent walls being higher than the roof line.

- g. Awnings are provided along the entire pedestrian route.
- h. Safe and attractive pedestrian environments are promoted with full conformance with ADA standards, canopies, pedestrian parking lot crossing routes and overall open design of site and restaurant.

Section 19.030

McDonald's Restaurant falls under the permitted use of "Drive-through restaurants".

Section 19.030

All lot lengths and setbacks are existing to remain for this remodel

Section 19.090

Chapter 52 will be observed when applying for signage permits.

CONCLUSION

The proposed McDonald's restaurant remodel satisfies the relevant CDC criteria for approval.

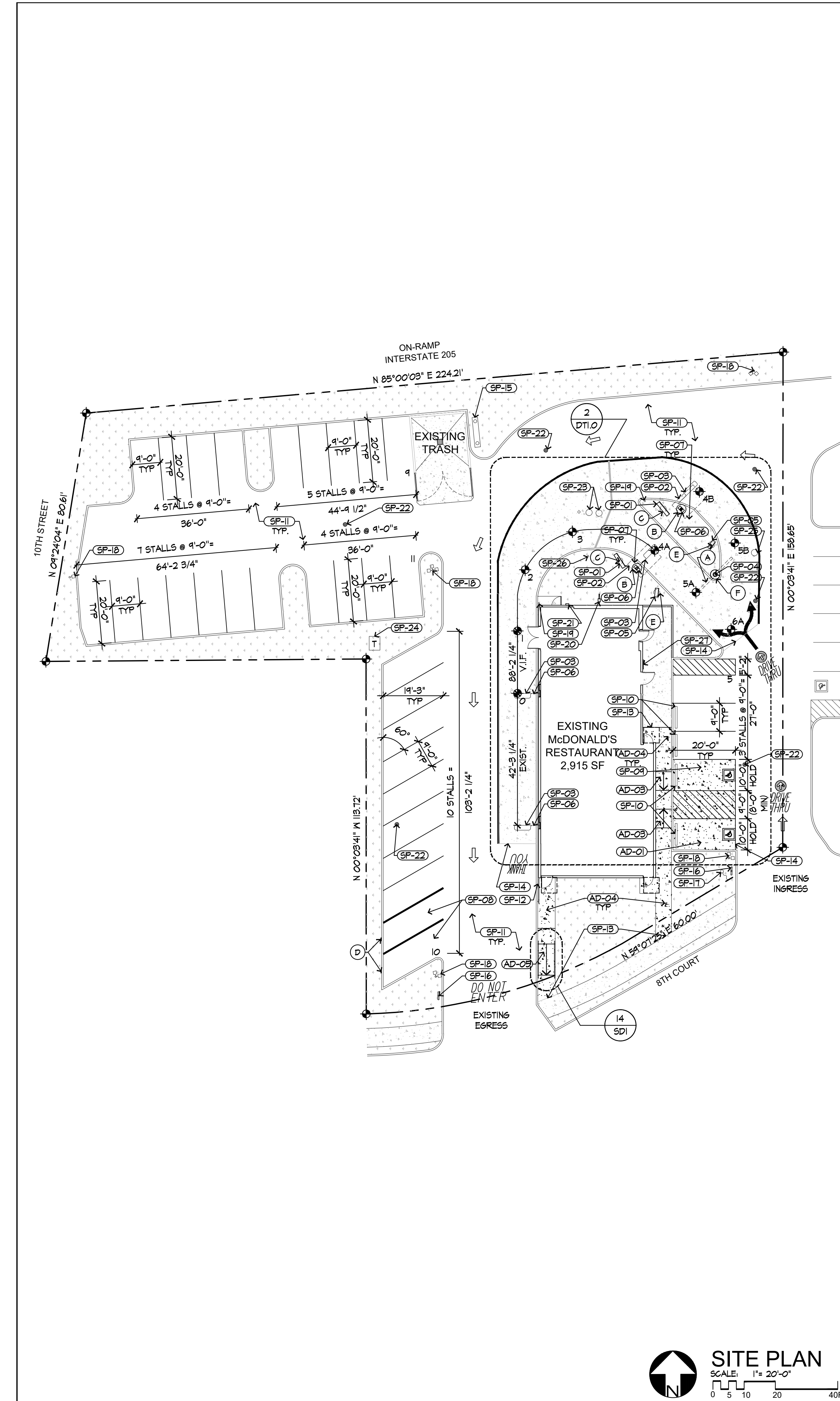
Application Plan Sheets

<u>Page</u>	<u>Description</u>
1	Site Plan
2	Architecture Elevations
3	Example Rendering 1
4	Example Rendering 2
5	Example Night Lighting Rendering

Figure 1: Vicinity Aerial



Figure 1: Source Google



PROJECT DATA

SITE AREA:	0.75 ACRES
EXISTING PARKING:	34 STALLS
PARKING REQUIRED:	1 PER 4 SEATS, OR 1 PER 100 SF OF DINING AREA, WHICHEVER IS GREATER; 14 STALLS (BASED ON 1,450 SF DINING AREA)
PARKING PROVIDED:	35 STALLS
ACCESSIBLE REQUIRED:	2 STALLS (BASED ON 35 PROVIDED)
ACCESSIBLE PROVIDED:	2 STALLS
ZONING:	60 GENERAL COMMERCIAL
BUILDING AREA:	2,915 SQ. FT.
OCCUPANCY:	A-2 (EXISTING)
TYPE OF CONSTRUCTION:	V-B (EXISTING)

- ### SITE PLAN KEYNOTES
- (SP-01) REMOVE EXISTING #1 INSTALL (2) NEW DIGITAL MENU BOARDS AS SHOWN. SEE DETAIL 2/DTI.0 FOR EXACT LOCATIONS AND 10/DTI.1. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.
 - (SP-02) REMOVE EXISTING CUSTOMER ORDER DISPLAY #1 INSTALL (2) CUSTOMER ORDER CANOPIES AS SHOWN PER DETAIL 6/DTI.2. SEE DETAIL 2/DTI.0 FOR EXACT LOCATIONS. LOCATE EXISTING UTILITIES PRIOR TO EXCAVATING FOOTINGS.
 - (SP-03) INSTALL NEW VEHICLE DETECTOR LOOPS AT NEW ORDER POINTS PER 2/DTI.0. (OPTIONAL AT DRIVE THRU BOOTH) PATCH # REPAIR CONCRETE PAD AT DRIVE-THRU AS NECESSARY. SEE 10/DTI.1 # 20/DTI.1.
 - (SP-04) REMOVE EXISTING #1 INSTALL NEW GATEWAY SIGN PACKAGE AS SHOWN. COORDINATE LOCATION WITH MCDONALD'S CONSTRUCTION MANAGER TO ENSURE BEST VISIBILITY FROM SITE ENTRANCE. SEE DETAIL 8/DTI.2 FOR MORE INFO. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
 - (SP-05) REMOVE EXISTING #1 INSTALL NEW PRE-BROWSE MENU BOARD PER DETAIL 12/DTI.1. VERIFY LOCATION WITH MCDONALD'S CONSTRUCTION MANAGER # DETAIL 2/DTI.0.
 - (SP-06) INSTALL SPEECH/HEARING IMPAIRED SIGNAGE ON THE DRIVE-THRU C.O.D. # EACH DRIVE-THRU SERVICE WINDOW. SEE DETAILS 7/SDI # 9/A/4.4. PICTURE MENU, CLIPBOARD AND PENCILS ARE TO BE PROVIDED AT EACH DRIVE-THRU WINDOW.
 - (SP-07) PATCH AND REPAIR EXISTING LANDSCAPE AS NECESSARY TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION. NEW LANDSCAPING TO MATCH EXISTING ADJACENT. ENSURE PLANTINGS DO NOT INHIBIT VIEW TO DRIVE THRU SIGNS.
 - (SP-08) DESIGNATED FULL FORWARD PARKING STALLS # SIGNAGE PER MCDONALD'S STANDARDS. RELOCATE EXISTING SIGNS TO NEW LOCATIONS SHOWN; PROTECT FROM DAMAGE. RESTRIPE STALLS TO BE (2) COATS TRAFFIC YELLOW.
 - (SP-09) REMOVE EXISTING ASPHALT PAVING FOR INSTALLATION OF NEW CONCRETE PAD AT ACCESSIBLE PARKING STALLS # ACCESS AISLE. COORDINATE WITH AD-01 FOR REQUIRED SLOPES. ENSURE FLUSH TRANSITION TO ADJACENT ASPHALT.
 - (SP-10) INSTALL CONCRETE WHEELSTOPS AT LOCATIONS SHOWN. SEE DETAIL 12/SDI.
 - (SP-11) PATCH AND REPAIR EXISTING ASPHALT PAVING FOR INSTALLATION OF NEW CONSTRUCTION SEAL COAT ALL ASPHALT WITH NEW ASPHALTIC LAYER. STRIPE PARKING STALLS AND SYMBOLS AS SHOWN. PAINTS TO BE TRAFFIC WHITE (2 COATS) AT PARKING AND TRAFFIC YELLOW (2 COATS) AT DRIVE-THRU. SEE DETAIL 1/SDI, 2/SDI, # 3/SDI.
 - (SP-12) REMOVE EXISTING GUARDRAIL FOR INSTALL OF NEW CONSTRUCTION. REINSTALL PER DETAIL 10/SDI. VERIFY REUSE WITH MCDONALD'S CONSTRUCTION MANAGER INSTALL PER MCDONALD'S SPECIFICATIONS. FINISH PER ELEVATIONS. ENSURE 10' CLEAR PROVIDED AT DOOR LATCH.
 - (SP-13) APPROXIMATE LINE OF NEW CONCRETE WORK TO EXISTING CONCRETE TO REMAIN.
 - (SP-14) APPROXIMATE LINE OF CONCRETE PAD TO ASPHALT TRANSITION.
 - (SP-15) EXISTING ROAD SIGN TO REMAIN. PROTECT FROM DAMAGE.
 - (SP-16) EXISTING DIRECTIONAL SIGN TO REMAIN. PROTECT FROM DAMAGE.
 - (SP-17) EXISTING FLAG POLE TO REMAIN. VERIFY IF LIGHT FOR FLAG POLE IS MOUNTED TO BUILDING. IF EXISTS, REMOVE # REINSTALL TO ACCOMMODATE NEW CONSTRUCTION.
 - (SP-18) EXISTING LOT LIGHTING TO REMAIN.
 - (SP-19) EXISTING BOLLARDS, PROTECT FROM DAMAGE. FINISH PER ELEVATIONS.
 - (SP-20) EXISTING GAS METER ASSEMBLY TO REMAIN; PROTECT FROM DAMAGE.
 - (SP-21) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN; PROTECT FROM DAMAGE.
 - (SP-22) EXISTING CATCH BASIN TO REMAIN.
 - (SP-23) EXISTING GREASE INTERCEPTOR TO REMAIN; PROTECT FROM DAMAGE.
 - (SP-24) EXISTING TRANSFORMER TO REMAIN; PROTECT FROM DAMAGE.
 - (SP-25) EXISTING MANHOLE TO REMAIN.
 - (SP-26) PROVIDE MERGE POINT MONITOR MOUNTED ON POLE WITH FOUNDATION EXACT LOCATION TO BE COORDINATED WITH MCDONALD'S CONSTRUCTION MANAGER. PROVIDE 2" CONDUIT TO CASH BOOTH JUNCTION BOX. CONNECT TO ELECTRICAL # DATA SYSTEMS.
 - (SP-27) EXISTING BIKE RACK TO REMAIN. PROTECT FROM DAMAGE. FINISH PER ELEVATIONS.

LEGEND

	EXISTING CONCRETE CURBING TO REMAIN/ REPAIR
	NEW CONCRETE CURBING
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW STRIPING
	EXISTING LANDSCAPING TO REMAIN
	NEW LANDSCAPING
	EXISTING CONCRETE TO REMAIN
	NEW CONCRETE
	EXISTING LOT LIGHT

- ### ADA SITE PLAN KEYNOTES
- (AD-01) RELOCATE #1 RESTRIPE EXISTING BARRIER-FREE ACCESSIBLE STALLS (TYP. OF 2) AS SHOWN WITH ACCESS AISLE BETWEEN STALLS. WIDTH OF STALLS AND ACCESS AISLE TO BE MEASURED FROM CENTER OF STRIPING. ENSURE ALL SLOPES AT NEW PARKING STALLS AND ACCESS AISLES DO NOT EXCEED 1/5% IN ALL DIRECTIONS; REGRADE PARKING LOT AND SEAL COAT AS NECESSARY. PROVIDE APPROPRIATE GRADED NON-ABRUPT TRANSITION TO ADJACENT PARKING STALLS. PAINT ACCESSIBLE SYMBOL AT STALLS PER 4/SDI. ENSURE EXISTING ACCESSIBLE PARKING STALL SIGNS ARE MOUNTED AT EACH STALL WITH BOTTOM OF THE LOWEST SIGN AT 60" MIN. ABOVE ADJACENT PARKING SURFACE (TYP. OF 2) PER DETAIL 6/SDI. INSTALL NEW "VAN ACCESSIBLE" SIGN TO BE LOCATED AT STALL WITH PASSENGER SIDE ADJACENT TO 96" MIN WIDE ACCESS AISLE.
 - (AD-02) REMEDIATION OCCURS IN (AD-01)
 - (AD-03) REMOVE EXISTING CURB RAMP #1 CONCRETE SIDEWALKS # PROVIDE NEW SLIP RESISTANT, CONCRETE IN-LINE CURB RAMP AS SHOWN # PER DETAIL 4/SDI. SLOPE IN DIRECTION OF TRAVEL TO BE 3% MAX WITH 1.5% MAX CROSS SLOPE. PROVIDE 5'-0" MIN DEEP X FULL RAMP WIDTH TOP # BOTTOM LANDINGS WITH 1.5% MAX SLOPE IN ALL DIRECTIONS. ENSURE TOP AND BOTTOM TRANSITIONS ARE FLUSH WITH 1/4" MAX CHANGE IN LEVEL OR 1/2" WITH BEVEL. PROVIDE 5% MAX GUTTER PAN SLOPE.
 - (AD-04) REMOVE EXISTING SIDEWALK TO EXTENT SHOWN # INSTALL NEW WITH A SLIP RESISTANT BROOM FINISH. PROVIDE MAX 5% SLOPE IN DIRECTION OF TRAVEL # 1.5% MAX CROSS SLOPE. PROVIDE 5'X5' LANDING WITH MAX 1.5% SLOPE IN ALL DIRECTIONS AT EACH DOOR # CHANGE OF DIRECTION. ENSURE THERE IS NO CHANGE OF LEVEL OR THRESHOLD GREATER THAN 1/4" OR 1/2" WITH BEVEL. SEE DETAILS 6/SDI # 11/SDI. REMOVE #1 REPLACE CONCRETE CURBS ALONG AREA OF NEW WORK. FLOAT ASPHALT AT AREAS OF PARKING LOT ADJACENT TO NEW CURBS AS NECESSARY TO MAINTAIN TYPICAL 6" MAX CURB. PROVIDE APPROPRIATE GRADED NON-ABRUPT TRANSITION TO EXISTING ASPHALT PARKING LOT. EXTENT SHOWN IS ASSUMED MIN WORK FOR ACCESSIBILITY COMPLIANCE. GC TO VERIFY WITH EXISTING CONDITIONS # CONFIRM EXTENT OF WORK WITH MCDONALD'S CONSTRUCTION MANAGER.
 - (AD-05) REMOVE PORTION OF EXISTING SIDEWALK #1 INSTALL NEW BROOM-FINISH, SLIP-RESISTANT CONCRETE PEDESTRIAN RAMP AS SHOWN. PROVIDE 3% MAX SLOPE IN DIRECTION OF TRAVEL # 1.5% MAX CROSS SLOPE. PROVIDE 5' DEEP X FULL RAMP WIDTH TOP # BOTTOM LANDINGS WITH 1.5% SLOPE IN ALL DIRECTIONS. PROVIDE EDGE PROTECTION # HANDRAILS AT EACH SIDE OF RAMP. HANDRAILS TO BE 34"-50" ABOVE RAMP SURFACE # EXTEND 12" MIN BEYOND TOP # BOTTOM OF RAMP; SEE DETAIL 15/SDI. ENSURE THERE IS NO CHANGE OF LEVEL GREATER THAN 1/4" OR 1/2" WITH BEVEL.

- (AD-06) SEE FLOOR PLAN.
- (AD-07) REMEDIATION OCCURS IN (SP-06)
- (AD-08) SEE FLOOR PLAN.
- (AD-09) REMEDIATION OCCURS IN (AD-04)

- ### SIGN LEGEND
- (A) "WELCOME" GATEWAY SIGN (1 NEW)
 - (B) CUSTOMER ORDER CANOPY (2 NEW)
 - (C) DIGITAL MENU BOARD (2 NEW)
 - (D) FULL FORWARD STALL SIGNS (1 RELOCATED, 1 EXISTING)
 - (E) PRE-BROWSE BOARD (2 NEW)
 - (F) "ANY LANE, ANY TIME" SIGN (1 NEW, INSTALLED IN GATEWAY POLE)

GENERAL NOTES

1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
3. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

PAVING SPECIFICATION (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)		
NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, GC WILL BE CHARGED.		
LOT LIGHTING RECOMMENDATION		
EXISTING LOT LIGHTS TO REMAIN. VERIFY WITH MCDONALD'S CONSTRUCTION MANAGER IF CLEAR/RELAMP OR NO WORK DURING THIS PROJECT.		
PARKING INFORMATION		
TOTAL SPACES	23 9'-0" X 20'-0" SPACES @ 90°	
	10 9'-0" X 19'-3" SPACES @ 60°	
	2 ADA 10'-0" X 20'-0" SPACES @ 90°	
UTILITY INFORMATION		
	SIZE TYPE LOCATION	
SANITARY SEWER	EXISTING	
WATER	EXISTING	
STORM SEWER	EXISTING	
ELECTRIC	EXISTING	
GAS	EXISTING	
SURVEY INFORMATION		

LEGEND

PLAN SCALE: 1" = 20'	
STREET ADDRESS 2100 8TH CT.	
CITY WEST LINN	STATE OR
COUNTY CLACKAMAS	
REGIONAL DWG. NO.	CORPORATE DWG. NO.
36-0182	13946

DATE: 22/12/2018
REV: 1/30/2017
DESCRIPTION: PERMIT SUBMITTAL
LEGAL CLEARANCE

FREHEIT
ARCHITECTURE

PREPARED FOR: M. McDonald's USA, LLC

PROJECT: 2018 MRP REMODEL CORE 16

DESCRIPTION: STEEL COLUMNS & BEAMWOOD WALLS WOOD ROOF FRAMING NEW GEMENT BOARD LAP SIDING EXTERIOR FINISH

SHEET NO.: 36-0182

SITE ADDRESS: 2100 8TH CT, WEST LINN, OR 97068

DRAWN BY: *[Signature]*

STD. ISSUE DATE: JUL 2017

REVIEWED BY: JLT

DATE ISSUED: JUL 2018

2018 MRP REMODEL CORE 16

SCALE: 1" = 20'

STREET ADDRESS: 2100 8TH CT.

CITY: WEST LINN STATE: OR

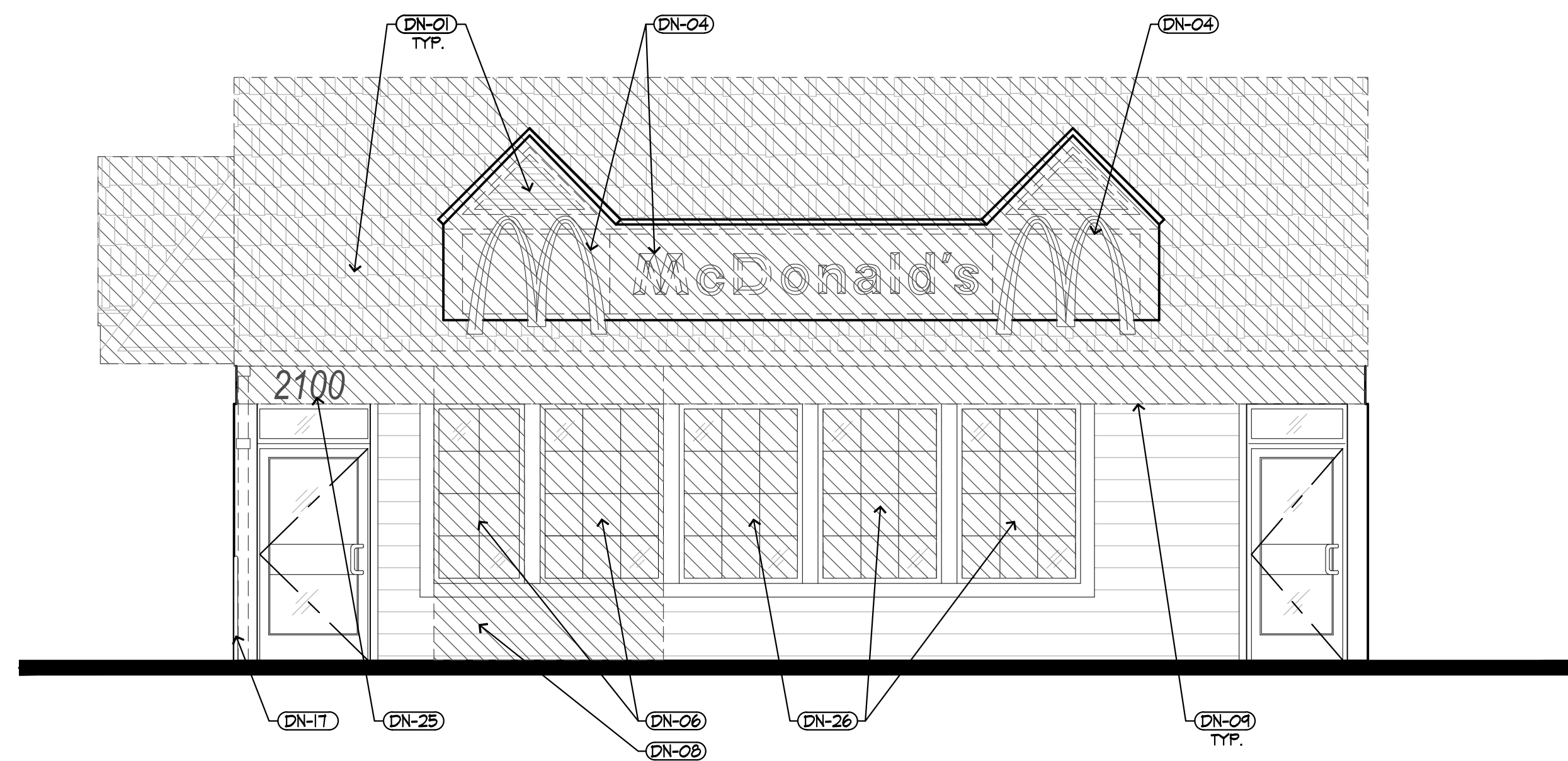
COUNTY: CLACKAMAS

REGIONAL DWG. NO.: 36-0182

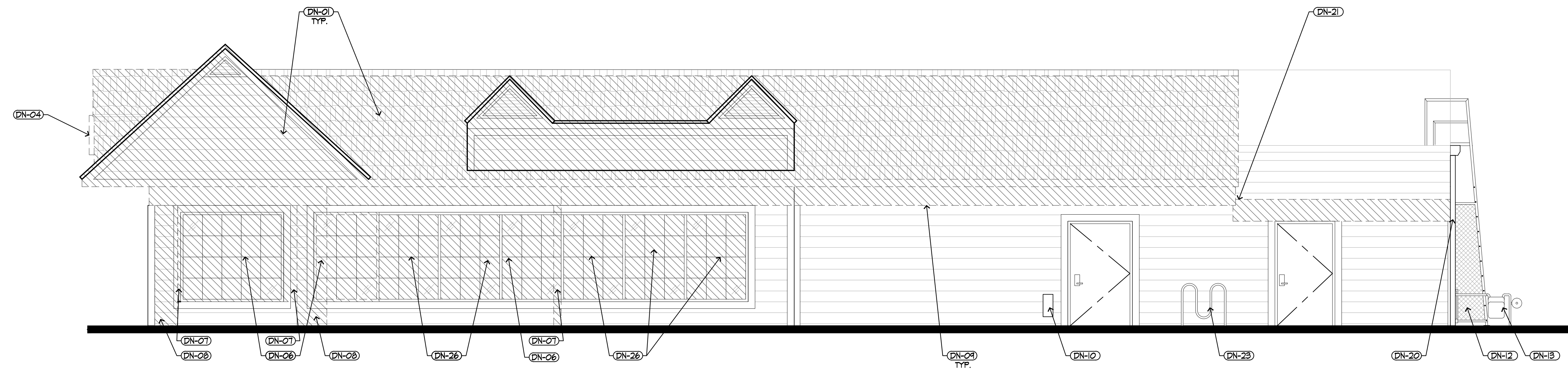
CORPORATE DWG. NO.: 13946

SHEET NO.: SP-2

SITE PLAN



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

DEMO ELEVATION KEYNOTES

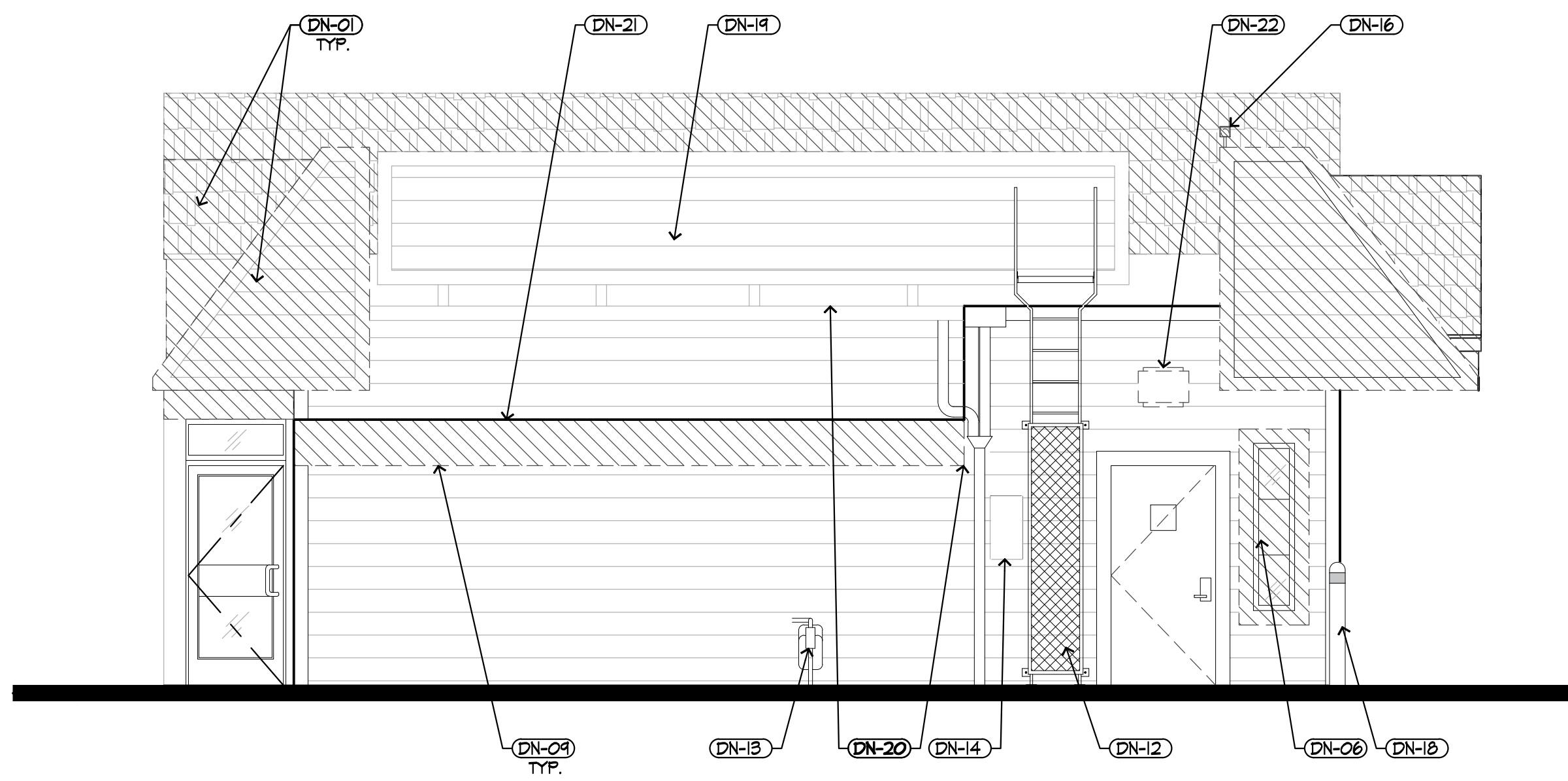
- DN-01 REMOVE EXISTING MANSARD ROOF OVERHANG PROJECTION PER SECTION. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES & CAP UTILITIES BEHIND WALL AS NECESSARY.
- DN-02 REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF MANSARD TRUSSES REMAINING.
- DN-03 NOT USED.
- DN-04 REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.
- DN-05 NOT USED.
- DN-06 REMOVE EXISTING STOREFRONT & FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S AREA CONSTRUCTION MANAGER. SEE DEMOLITION & FLOOR PLANS FOR EXTENT OF WORK.
- DN-07 REMOVE PORTION OF EXTERIOR WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT UP WALK.
- DN-08 REMOVE EXTERIOR FINISHES DOWN TO SHEATHING TO EXTENT SHOWN, TO ACCOMMODATE NEW CONSTRUCTION.
- DN-09 REMOVE EXISTING FASCIA TRIM AS NECESSARY FOR INSTALLATION OF NEW SIDING.
- DN-10 EXISTING CO2 FILL BOX TO REMAIN; PROTECT FROM DAMAGE.
- DN-11 NOT USED.
- DN-12 EXISTING ROOF LADDER TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-13 EXISTING GAS METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.
- DN-14 EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.
- DN-15 EXISTING RMHC COIN COLLECTOR TO REMAIN.
- DN-16 REMOVE EXISTING SECURITY CAMERAS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER OWNER'S DIRECTION.
- DN-17 REMOVE EXISTING GUARDRAIL. VERIFY REUSE, SALVAGE, OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.
- DN-18 EXISTING BOLLARD TO REMAIN; PROTECT FROM DAMAGE.
- DN-19 REMOVE EXISTING SCREEN WALL FOR INSTALLATION OF NEW. PROTECT EXISTING SLEEPERS FOR REUSE.
- DN-20 EXISTING GUTTER & DOWNSPOUT TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-21 VERIFY CONDITION OF FLASHINGS & REPLACE IF NECESSARY.
- DN-22 REMOVE EXISTING WALL SCONCE LIGHT. CAP ELECTRICAL BEHIND WALL.
- DN-23 REMOVE EXISTING BIKE RACK TO REMAIN; PROTECT FROM DAMAGE.
- DN-24 REMOVE EXISTING DRIVE THRU WINDOW & FRAME AS SHOWN. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S CONSTRUCTION MANAGER.
- DN-25 REMOVE EXISTING ADDRESS NUMBERS TO ACCOMMODATE NEW CONSTRUCTION. REINSTALL PER DIRECTION FROM McDONALD'S CONSTRUCTION MANAGER & FIRE MARSHAL.
- DN-26 REMOVE GLAZING FROM EXISTING STOREFRONT FOR INSTALLATION OF NEW. EXISTING STOREFRONT FRAMES TO REMAIN; PROTECT THEM FROM DAMAGE.

DEMOLITION GENERAL NOTES

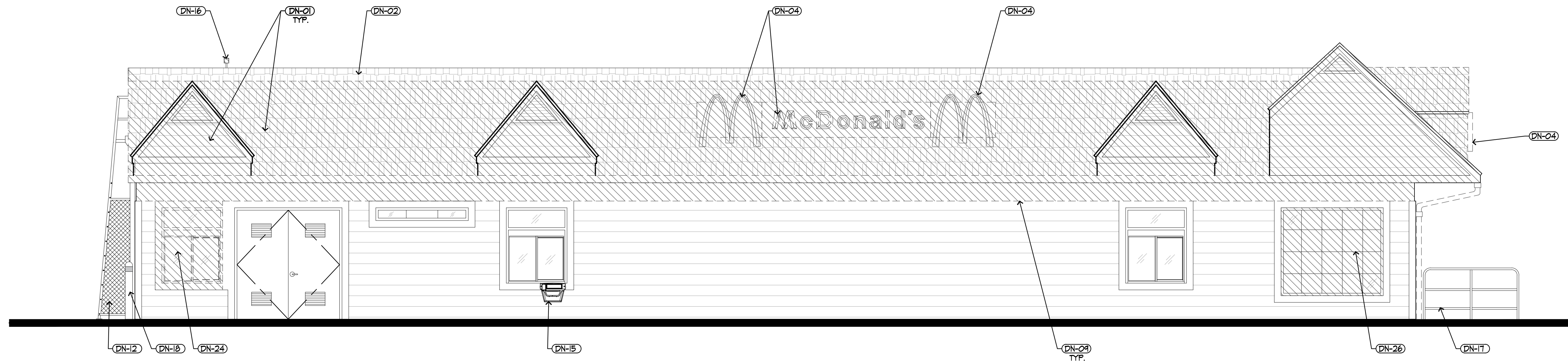
1. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.
5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.
6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.
7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL, & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOVEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.
8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACINGS AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILING, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.
10. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.
11. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.
12. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE McDONALD'S PROJECT MANAGER BEFORE PROCEEDING.
13. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
14. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.
15. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP PLUS ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.
16. ELEVATION HEIGHTS SHOWN ARE FOR REFERENCE ONLY.
17. CONTRACTOR RESPONSIBLE TO ENSURE ALL NEW FINISHES IN RESTROOMS WILL NOT REDUCE REQUIRED CLEARANCES FOR ACCESSIBILITY. REFRAME WALLS AS NECESSARY TO ENSURE ALL CLEARANCES ARE MET.

PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **FREIHEIT ARCHITECTURE**
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DRAWN BY	JUL 2017	REVIEWED BY	JLT	DATE ISSUED	JUL 2018
STD ISSUE DATE	JUL 2017	REVIEWED BY	JLT	DATE ISSUED	JUL 2018
TITLE	2018 MRP REMODEL CORE 16				
DESCRIPTION	STEEL COLUMNS & BEAMWOOD WALLS WOOD ROOF FRAMING NEW GEMENT BOARD LAP SIDING EXTERIOR FINISH				
SHEET NO.	A18-361 - #13946				
	D1.1				
	DEMO ELEVATIONS				
REV	DATE	DESCRIPTION	BY		
-	22/12/2016	PERMIT SUBMITAL	FHA		
-	1/30/2017	LEGAL CLEARANCE	FHA		



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

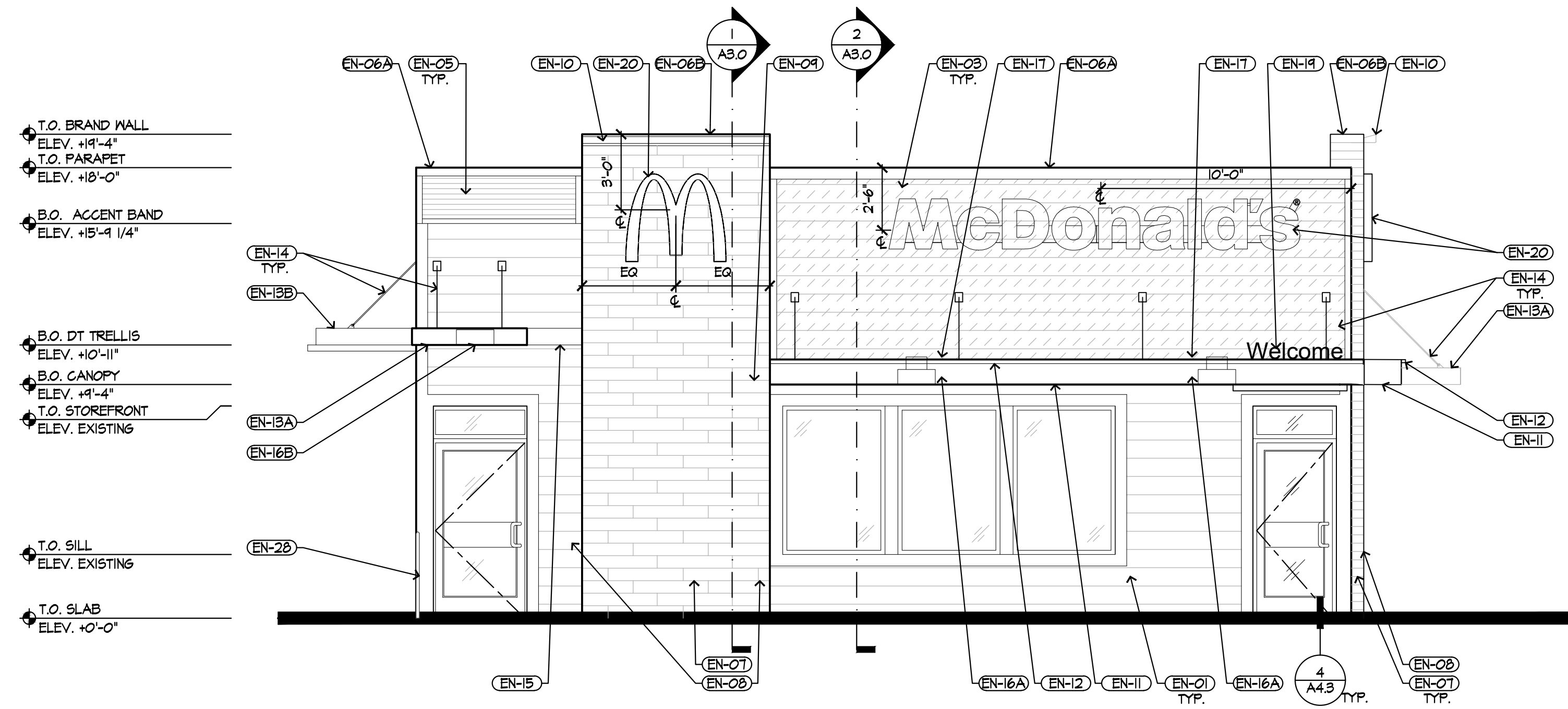
DEMO ELEVATION KEYNOTES

- DN-01 REMOVE EXISTING MANSARD ROOF OVERHANG PROJECTION PER SECTION. REMOVE ALL ASSOCIATED SOFFIT LIGHT FIXTURES & CAP UTILITIES BEHIND WALL AS NECESSARY.
- DN-02 REMOVE EXISTING ROOFING FINISHES DOWN TO EXISTING SHEATHING AT PORTION OF MANSARD TRUSSES REMAINING.
- DN-03 NOT USED.
- DN-04 REMOVE EXISTING BUILDING SIGNAGE. VERIFY WITH OWNER IF SALVAGEABLE.
- DN-05 NOT USED.
- DN-06 REMOVE EXISTING STOREFRONT & FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH McDONALD'S AREA CONSTRUCTION MANAGER. SEE DEMOLITION & FLOOR PLANS FOR EXTENT OF WORK.
- DN-07 REMOVE PORTION OF EXTERIOR WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT UP WALK.
- DN-08 REMOVE EXTERIOR FINISHES DOWN TO SHEATHING TO EXTENT SHOWN, TO ACCOMMODATE NEW CONSTRUCTION.
- DN-09 REMOVE EXISTING FASCIA TRIM AS NECESSARY FOR INSTALLATION OF NEW SIDING.
- DN-10 EXISTING CO2 FILL BOX TO REMAIN; PROTECT FROM DAMAGE.
- DN-11 NOT USED.
- DN-12 EXISTING ROOF LADDER TO REMAIN. REMOVE & REINSTALL FOR INSTALLATION OF NEW SIDING.
- DN-13 EXISTING GAS METER ASSEMBLY TO REMAIN. PROTECT FROM DAMAGE.
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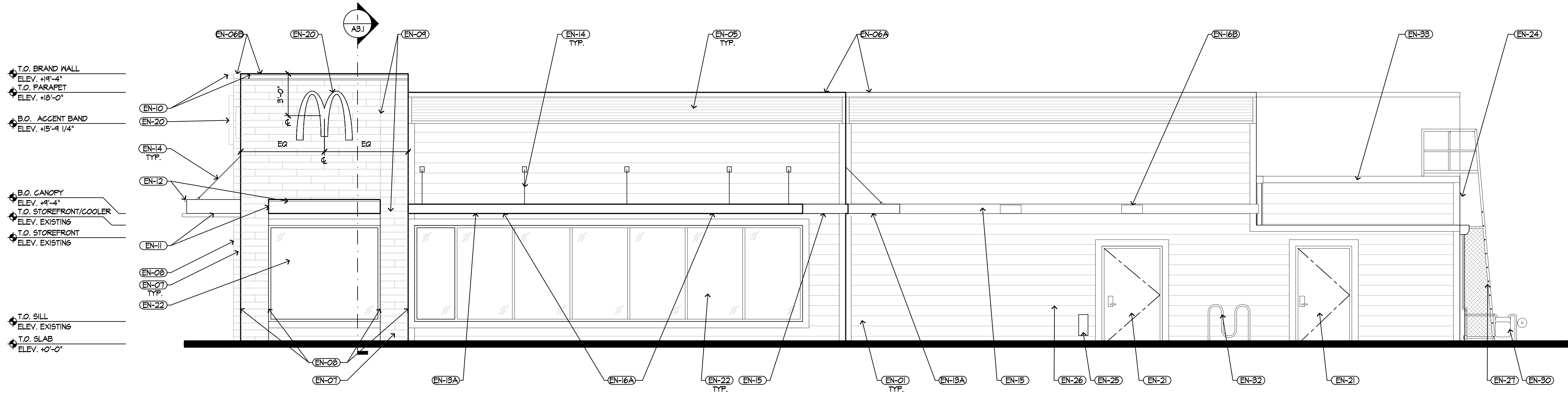
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<p>PREPARED FOR: McDonald's USA, LLC</p> <p>PREPARED BY: FREIHEIT ARCHITECTURE</p> <p>DATE: 22/12/2018</p> <p>REV: 1/30/2017</p> <p>DESCRIPTION: LEGAL CLEARANCE</p>									
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DRAWN BY	JUL 2017	REVIEWED BY	JUL 2018	DATE ISSUED	JUL 2018	SITE ADDRESS	2100 8TH CT. WEST LINN, OR 97088	PHONE	36-0182
TITLE	2018 MRP REMODEL CORE 16		DESCRIPTION	STEEL COLUMNS & BEAMWOOD WALLS WOOD ROOF FRAMING NEW GEMENT BOARD LAP SIDING EXTERIOR FINISH					
SHEET NO.	A18-361 - #13946		SCALE	D1.2 DEMO ELEVATIONS					



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- (EN-01) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: BASE BUILDING. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-02) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-03) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ABOVE CANOPY FINISH. SEE SHEET A4.0 FOR TYPICAL DETAILS.
- (EN-04) NOT USED.
- (EN-05) NEW PARAPET ACCENT BAND PER COLOR LEGEND, THIS SHEET.
- (EN-06) METAL FASCIA (COLOR: CITYSCAPE). A: PRE-FAB ANCHOR-TITE; B: PRE-FAB CUSTOM ARCADE FASCIA.
- (EN-07) TILE - SEE COLOR LEGEND, THIS SHEET. CONTACT: JAN DETER, (714) 491-1500.
- (EN-08) OUTSIDE CORNER STRIPS. RONDEC ROIOOTSDA (DARK ANTHRACITE) ALUMINUM, 10MM. MOVEMENT JOINT: DILEX BMB1006S (BLACK).
- (EN-09) ACCENT LIGHTING (ARCADE LIGHT) - SEE ELECTRICAL.
- (EN-10) 12" HIGH ALUMINUM CANOPY FASCIA BAND (COLOR: WHITE) ON ALUMINUM TRELLIS SYSTEM (COLOR: WHITE); A: NO UNDERSCORE; B: GOLD UNDERSCORE.
- (EN-11) ACCENT LIGHTING (INTEGRAL CANOPY LIGHT) - SEE ELECTRICAL.
- (EN-12) ALUMINUM TRELLIS. A: COLOR: CITYSCAPE; B: COLOR: CHARCOAL WITH GOLD UNDERSCORE.
- (EN-13) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-14) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-15) LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-16) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-17) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER - SEE ELECTRICAL.
- (EN-18) METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)
- (EN-20) MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDINGS MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10" MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RMHC) COIN COLLECTOR. SEE DETAIL 8/A4.3
- (EN-24) EXISTING GUTTER & DOWNSPOUTS TO REMAIN. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) NOT USED.
- (EN-27) EXISTING ROOF LADDER TO REMAIN. PAINT TO MATCH BASE BUILDING COLOR.
- (EN-28) GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) EXISTING GAS METER ASSEMBLY TO REMAIN.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) EXISTING BIKE RACK TO REMAIN; PROTECT FROM DAMAGE.
- (EN-33) VERIFY CONDITIONS OF FLASHING AND REPLACE IF NECESSARY. FINISH TO MATCH ADJACENT SURFACES.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH MCDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. * * * DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED 'BASE BUILDING' COLOR.

COLOR LEGEND

- CRAFTSMAN SCHEME**
- BRAND WALLS:** TILE: EUROWEST; E-WOOD COLLECTION R9 BLACK; SIZE: 6" X 96"
PATTERN: 1/4" OFFSET RUNNING BOND
WATERPROOFING & SETTING MATERIAL
GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
- ACCENT BAND:** METAL-ERA CORRUGATED 7/8" X 24 GAUGE; COLOR: CITYSCAPE
- LAP SIDING:** JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH
- BASE BUILDING:** "FAIRVIEW TAUPE" BENJAMIN MOORE #HC-85
- ACCENT COLOR:** "IRON MOUNTAIN" BENJAMIN MOORE #2134-30
- ABOVE CANOPY FINISH:** FIBER CEMENT SIDING NICHHA VINTAGE WOOD COLLECTION CEDAR

REV	DATE	LEGAL CLEARANCE	DESCRIPTION
-	22/12/2016	PERMIT SUBMITTAL	FHA
-	1/30/2017	LEGAL CLEARANCE	FHA
-			BY

PREPARED FOR: **McDonald's USA, LLC**

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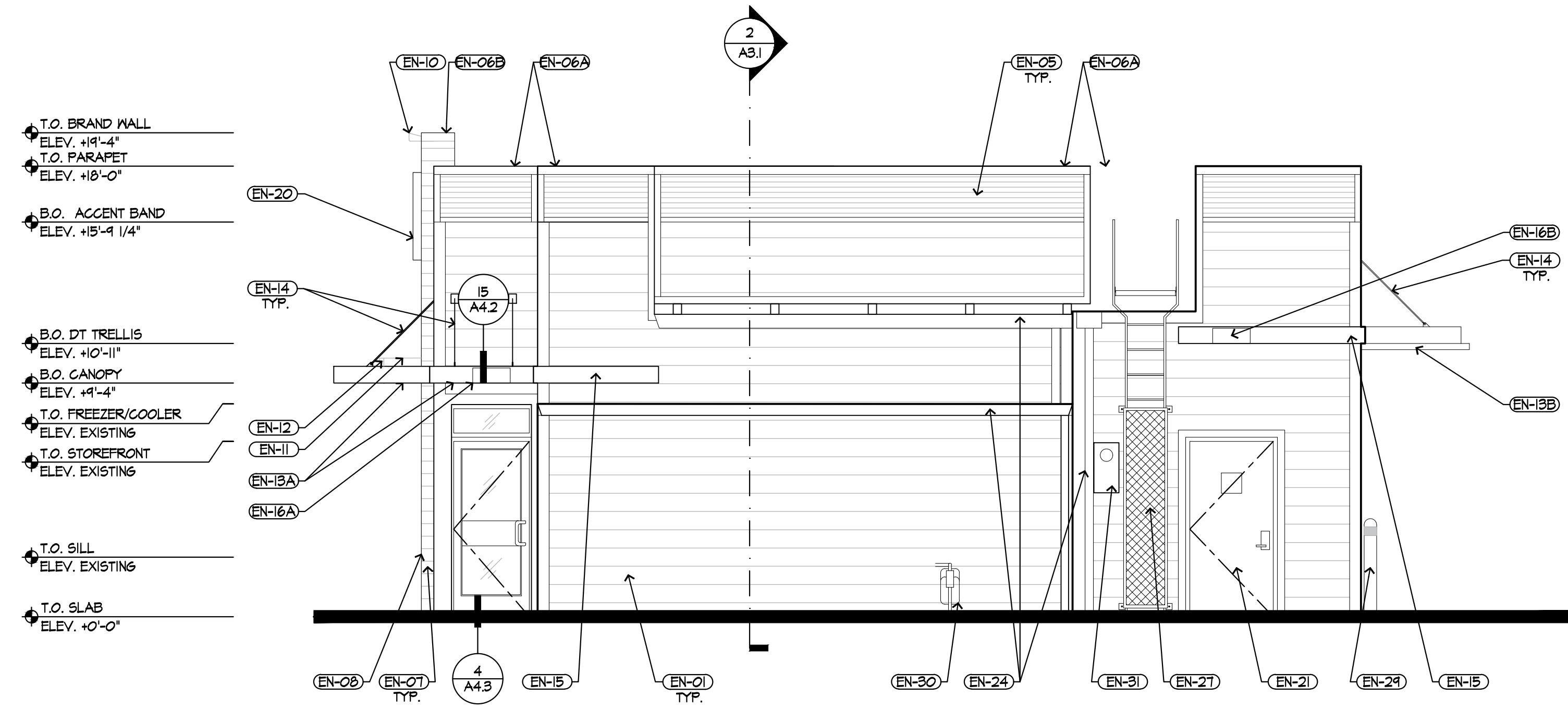
FREIHEIT ARCHITECTURE

TITLE	DATE	REVIEWED BY	DATE ISSUED
2018 MRP REMODEL CORE 16	JUL 2017	JLT	JUL 2018

DESCRIPTION: STEEL COLUMNS & BEAMWOOD WALLS
WOOD ROOF FRAMING
NEW CEMENT BOARD LAP SIDING EXTERIOR FINISH

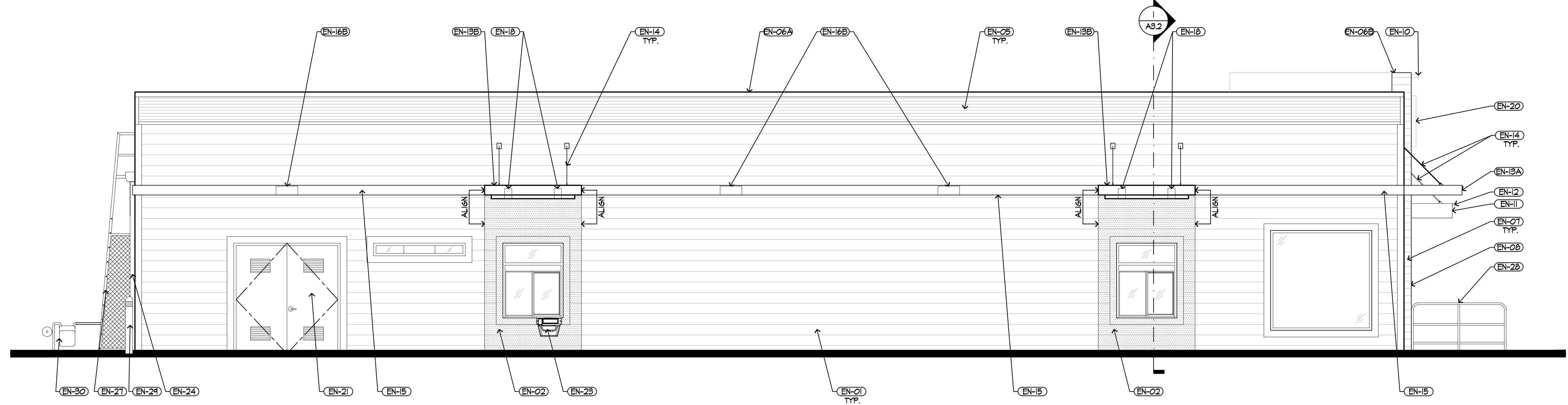
SHEET NO: A2.0 ELEVATIONS

36-0182



- ◆ T.O. BRAND MALL
ELEV. +14'-4"
- ◆ T.O. PARAPET
ELEV. +10'-0"
- ◆ B.O. ACCENT BAND
ELEV. +15'-4 1/4"
- ◆ B.O. DT TRELLIS
ELEV. +10'-11"
- ◆ B.O. CANOPY
ELEV. +9'-4"
- ◆ T.O. FREEZER/COOLER
ELEV. EXISTING
- ◆ T.O. STOREFRONT
ELEV. EXISTING
- ◆ T.O. SILL
ELEV. EXISTING
- ◆ T.O. SLAB
ELEV. +0'-0"

1
A2.1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



- ◆ T.O. BRAND MALL
ELEV. +14'-4"
- ◆ T.O. PARAPET
ELEV. +10'-0"
- ◆ B.O. ACCENT BAND
ELEV. +15'-4 1/4"
- ◆ B.O. DT TRELLIS
ELEV. +10'-11"
- ◆ B.O. CANOPY
ELEV. +9'-4"
- ◆ T.O. STOREFRONT
ELEV. EXISTING
- ◆ T.O. SILL
ELEV. EXISTING
- ◆ T.O. SLAB
ELEV. +0'-0"

2
A2.1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

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- (EN-02) NEW CEMENT BOARD LAP SIDING PER FINISH SCHEDULE, THIS SHEET. COLOR: ACCENT COLOR. SEE SHEET A4.0 FOR TYPICAL DETAILS.
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- (EN-13) ALUMINUM TRELLIS TIE-BACK SYSTEM. COLOR: CHARCOAL.
- (EN-14) ALUMINUM TRELLIS 2"x8" WALL FASCIA.
- (EN-15) LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL. A: DOWN ONLY FIXTURE (COLOR: WHITE) B: DOWN ONLY FIXTURE (COLOR: SILVER).
- (EN-16) ACCENT LIGHTING (FLOOD LIGHT) - SEE ELECTRICAL.
- (EN-17) LIGHT FIXTURE (RECESSED DOWN, INTEGRAL CANOPY). COLOR: SILVER - SEE ELECTRICAL.
- (EN-18) METAL LETTERING - BY OTHERS. (WELCOME - COLOR: SILVER)
- (EN-20) MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- (EN-21) HOLLOW METAL DOOR & FRAME - PAINT TO MATCH COLOR OF SURROUNDINGS MATERIAL.
- (EN-22) NEW STOREFRONT TO MATCH EXISTING PER SCHEDULE (10' MIN. BOTTOM STILE @ DOORS).
- (EN-23) (RMHC) COIN COLLECTOR. SEE DETAIL 8/A4.3
- (EN-24) EXISTING GUTTER & DOWNSPOUTS TO REMAIN. PAINT TO MATCH ADJACENT FINISH.
- (EN-25) EXISTING CO2 FILL BOX TO REMAIN.
- (EN-26) NOT USED.
- (EN-27) EXISTING ROOF LADDER TO REMAIN. PAINT TO MATCH BASE BUILDING COLOR.
- (EN-28) GUARD RAIL - PAINT TO MATCH SURROUNDING MATERIAL.
- (EN-29) PIPE BOLLARD PER SITE PLAN. FINISH WITH (2) COATS TRAFFIC YELLOW.
- (EN-30) EXISTING GAS METER ASSEMBLY TO REMAIN.
- (EN-31) EXISTING ELECTRICAL METER ASSEMBLY TO REMAIN.
- (EN-32) EXISTING BIKE RACK TO REMAIN; PROTECT FROM DAMAGE.
- (EN-33) VERIFY CONDITIONS OF FLASHING AND REPLACE IF NECESSARY. FINISH TO MATCH ADJACENT SURFACES.

ELEVATION GENERAL NOTES

1. FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH MCDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.
2. * * * DENOTES SAFETY GLAZING.
3. TRASH ENCLOSURE & GATES (NOT SHOWN) TO RECEIVE NEW SIDING TO MATCH BUILDING & BE PAINTED 'BASE BUILDING' COLOR.

COLOR LEGEND

- CRAFTSMAN SCHEME**
- BRAND WALLS:** TILE: EUROWEST: E-WOOD COLLECTION R9 BLACK; SIZE: 6" X 96"
PATTERN: 1/4" OFFSET RUNNING BOND
WATERPROOFING & SETTING MATERIAL
GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 41 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
- ACCENT BAND:** ACCESSORIES: SCHLUTER SYSTEMS CONTACT EARL MAIGUS 518.324.3410
CORNER TRIM: RONDEC ROIOOTSDA DARK ANTHRACITE ALUMINUM, 10MM
MOVEMENT JOINT: DILEX BMB1006S BLACK
- LAP SIDING:** JAMES HARDIE CEMENT BOARD LAP SIDING, MATCH EXISTING EXPOSURE & FINISH.
- BASE BUILDING:** "FAIRVIEW TAUPE" BENJAMIN MOORE #HC-85
- ACCENT COLOR:** "IRON MOUNTAIN" BENJAMIN MOORE #2184-30
- ABOVE CANOPY FINISH:** FIBER CEMENT SIDING NICHINA VINTAGE WOOD COLLECTION CEDAR

PREPARED FOR: **McDonald's USA, LLC**
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FREIHEIT ARCHITECTURE
 PREPARED BY: **McDonald's USA, LLC**
 TITLE: **2018 MRP REMODEL CORE 16**
 DESCRIPTION: **STEEL COLUMNS & BEAMWOOD WALLS WOOD ROOF FRAMING NEW CEMENT BOARD LAP SIDING EXTERIOR FINISH**
 SITE ID: **2100 8TH CT. WEST LINN, OR 97068**
 SITE ADDRESS: **36-0182**

REV	DATE	LEGAL CLEARANCE	DESCRIPTION
-	1/30/2017	FHA	
-	22/12/2016	FHA	PERMIT SUBMITAL



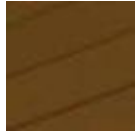
CRAFTSMAN SCHEME

*RENDERINGS FOR COLOR REFERENCE ONLY




*RENDERINGS FOR COLOR REFERENCE ONLY

BUILDING FINISH

MATERIAL	COLOR	COLOR
		
JAMES HARDIE CEDARMILL LAPBOARD	BENJAMIE MOORE HC-85 FAIRVIEW TAUPE	JAMES HARDIE NICHIHA LAPBOARD

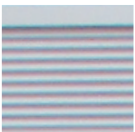
BRAND WALL

MATERIAL

EUROWEST EWOOD BLACK R9 TILE

DRIVE THRU ACCENTS


BENJAMIN MOORE 2134-30 IRON MOUNTAIN

PARAPET

MATERIAL

CORRUGATED METAL CITYSCAPE BY METAL ERA



LIGHTING



**HIRAF LED DOWNLIGHT
BY SECURITY LIGHTING
COLOR: CITYSCAPE**

BRAND WALLS



**RADIAL LED WALL SCONCE
BY SECURITY LIGHTING
COLOR: WHITE/CHARCOAL**

WHITE CANOPY
ENTRIES
BACK OF HOUSE



**ARCHITECTURAL LED FLOOD LIGHT
BY SECURITY LIGHTING
COLOR: WHITE**

WHITE CANOPY (ABOVE)
OPTIONAL HEARTH (OPTION 2)



**6" LED DOWNLIGHT
BY SECURITY LIGHTING
COLOR: WHITE**

DRIVE THRU TRELLIS