

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Peter Spiv</i>	PROJECT NO(S). <i>MISC-18-05</i>	
NON-REFUNDABLE FEE(S) <i>\$ 1,000.00</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>1,000.00</i>

Type of Review (Please check all that apply):

- | | | |
|--|--|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input checked="" type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1555 8TH STREET, WEST LINN 97068	Assessor's Map No.: C146940
	Tax Lot(s): 31E02AB/00900
	Total Land Area: 14,982sf

Brief Description of Proposal: Single story addition and enlarged front porch at non-conforming structure.

Applicant Name: Dan Marsh <small>(please print)</small>	Phone: 503-910-8513
Address: 1555 8 th Street	Email: marshlandslc@gmail.com
City State Zip: West Linn, OR 97068	

Owner Name (required): Dan Marsh <small>(please print)</small>	Phone: 503-910-8513
Address: 1555 8 th Street	Email: marshlandslc@gmail.com
City State Zip: West Linn, OR 97068	

Consultant Name: Ann Scheuerell, AMS Design LLC <small>(please print)</small>	Phone: 503-778-0092
Address: 2537 Lancaster Street	Email: sidedoor.pdx@gmail.com
City State Zip: West Linn, OR 97068	

- All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

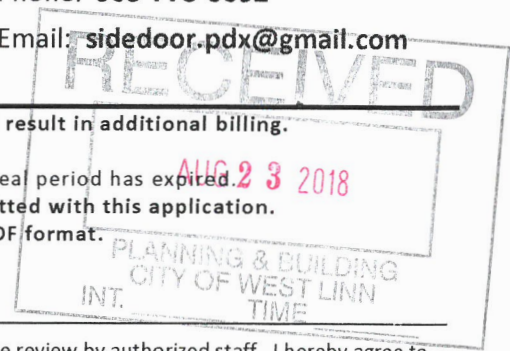
The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature

Date

Owner's signature (required)

Date



MARSH RESIDENCE REMODEL & ADDITION

DEVELOPMENT REVIEW APPLICATION ADDITION AT EXISTING NON-CONFORMING STRUCTURE

2018-8/22

PROJECT INFORMATION

COUNTY: Clackamas
PROPERTY ID: C146790

ZONE: R-10
LAND USE: SINGLE FAMILY RESIDENCE

BUILDING AREAS:	EXISTING	NEW	TOTAL
MAIN FLOOR	1,027	659	1,686 SF
BASEMENT	929	473	1,402 SF
TOTAL BLDG AREA	1,956	1,222	3,088 SF
COVERED PORCH	31	317	348 SF

TOTAL PROPOSED ROOF AREA: 2,210 SF
LOT SIZE: 14,982SF
PERCENT COVERED AREA: 24%

OWNER

Dan Marsh
1555 8th Street
West Linn, Oregon 97068
503-910-8513

DESIGN CONTACT

AMS Design LLC
Ann M Scheuerell
2537 Lancaster Street
West Linn, Oregon 97068
503-778-0902

PROJECT DESCRIPTION:

Remodel and addition to existing one-story single family residence with basement. Scope of work includes the following:

- Master bedroom and dining area addition at rear of home with new back porch; and
- Enlarged front porch.

DEVELOPMENT REVIEW APPLICATION PROPOSAL:

The existing home is built at an angle to the property line adjacent to the neighboring alley. The back corner of the home currently sets 10'-7" feet from this property line, which is within the 15'-0" required setback area. This conflict was unknown to us when we received the building permit and began construction.

We are proposing to revise the permitted plans so that the addition (at the back of the home) encroaches no further than the 10'-7" line already established by the existing structure. Revised plans and elevations are attached.

The existing front porch (as well as the front of the house) sets within the 20'-0" required front setback. We are proposing to enlarge the porch, but keep it within the existing line of encroachment already established by the existing front porch.

SUBMITTAL INDEX

1. NARRATIVE - Written narrative explaining the proposal and how it meets the approval criteria in CDC Chapters 11 and 66, as applicable.
2. PHOTOGRAPHS - Photographs of the existing home.
3. VICINTIY MAP
4. ARCHITECTURAL DRAWINGS - Proposed site plan, existing and proposed building floor plans, and building elevations.

2018-08/23

DAN MARSH
1555 8TH STREET, WEST LINN, OREGON 97068
503-910-8513

RE: Narrative for Development Review Application for
Alteration and Expansion at Existing Non-Conforming Structure at
1555 8th Street, West Linn, Oregon 97068

**SUBMITTAL NARRATIVE ADDRESSING APPROVAL CRITERIA OF CDC CHAPTERS 11
AND 66.**

GENERAL COMMENT:

The proposed alterations and expansions to the existing residence will not adversely impact the existing non-conforming side yard adjacent to the alley, nor the existing non-conforming front yard. The proposed addition and enlarged front porch will not restrict views to any adjacent properties.

CHAPTER 11 – SINGLE FAMILY RESIDENTIAL DETACHED, R-10

11.030 Permitted Uses

1. Single-family detached residential unit

11.070 Dimensional Requirements

5) Minimum building setback area from the lot lines:

a) Front Yard: 20' – Existing Front Porch sets approximately 10' at it's closest point. The proposed expansion to the front porch would maintain this relationship.

b) Interior Side Yard at Alley: 7'-6" – There is no proposed work at the interior side yard.

c) Side Yard at Alley: 15' – Existing home encroaches to 10'-7" at the Alley side of home; The proposed addition would maintain this relationship.

d) Rear Yard: 20' – There is no proposed work at the rear yard.

7) Maximum lot coverage: 35% - Proposed lot coverage is 24%.

8) N/A

9) Maximum floor area ratio: 0.45 – Proposed FAR is 0.21 (3,088 /14,982)

CHAPTER 66 – NON-CONFORMING STRUCTURES

66.080 Enlargement of or Alteration to a Non-Conforming Structure

B) An enlargement or alteration to a non-conforming structure containing a conforming use may be permitted subject to the following:

2) If the enlargement, in and of itself, does not meet all provisions of the code, review and approval by the Planning Director for single-family structures, and by the Planning Commission for non-single-family structures under the provisions of CDC 99.060(B) is required subject to the following standards.

a) The enlargement or alteration will not change the non-conformity; and

The proposed addition at the rear of the home will remain outside the 10'-7" line of encroachment established by the existing back corner of the home. The proposed enlargement

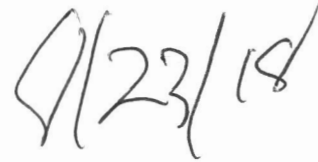
of the front porch will likewise remain outside the approximate 10'-0" line of encroachment at the existing front porch.

b) All other applicable ordinance provisions will be met.

The alterations otherwise meet all aspects of the zoning code, including height, site coverage, and use.



Dan Marsh



Date

2a. PHOTOGRAPHS: Existing Home, from Street



FRONT ELEVATION - WEST
Street View - Alley is on Right Side



FRONT / SIDE ELEVATION - SOUTHWEST CORNER
Street View at Alley Side of Home

2b. PHOTOGRAPHS: Existing Home, Side and Rear



REAR ELEVATION - EAST

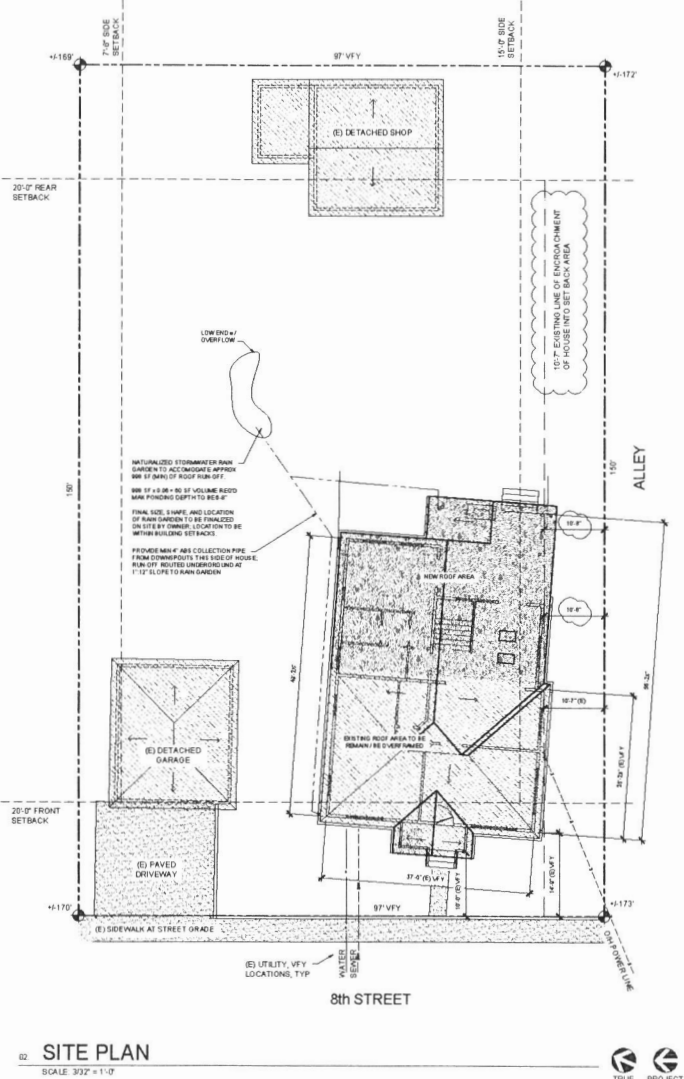


SIDE ELEVATION - NORTH

3. SUPPLEMENTAL MATERIALS: Vicinity Map



MARSH RESIDENCE REMODEL & ADDITION



02 SITE PLAN
SCALE: 3/32" = 1'-0"

ENERGY CODE NOTES

PRESCRIPTIVE ENVELOPE REQUIREMENTS PER TABLE N1101.1(1)(5)

COMPONENT (AT NEW)	PRESCRIPTIVE REQ'D	PROVIDED PER TABLE N1101.1(2)
VAULTED CEILING:	R-30	R-30
FLAT CEILING:	R-49	R-50
WALL INSULATION:	R-21	R-23 INT FRMO
UNDERFLOOR:	NA	NA
AT 1ST FLOOR:	R-30	R-38
AT 2ND FLOOR:	R-30	R-38
WINDOWS:	U-0.35	U-0.35
EXT GLAZED DOORS:	U-0.40	U-0.40
SOLIGHTS:	U-0.60	U-0.60

REQUIRED ADD'L MEASURES PER TABLE N1101.1(2):

ENVELOPE ENHANCEMENT MEASURE:
 #3 UPGRADED CEILING AREA
 EXTERIOR WALLS - R-21 INTERMEDIATE FRAMING
 FLAT CEILING - R-40
 VAULTED AREA LESS THAN 50% OF TOTAL HEATED FLOOR AREA
 FRAMED FLOORS - R-30

CONSERVATION MEASURE:
 #3 HIGH EFFICIENCY WATER HEATER
 NATURAL GAS WATER HEATER WITH UEF 0.85

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE APPLICABLE CODES. THE CONTRACTOR, ANY SUBCONTRACTOR, TRADE PROFESSIONS NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY. DOINGS SO SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO WORK CONTAINED IN THESE DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY STATE, CITY, COUNTY, FIRE DEPARTMENT, STATE ELECTRICAL INSPECTOR AND ANY OTHER GOVERNING AUTHORITIES AS REQUIRED.
- CONTRACTOR TO COORDINATE ALL TRADES AND NOTIFY THE DESIGNER OF ANY CONFLICTS THAT ARISE.
- SCOPE OF WORK SHALL INCLUDE WORK INDICATED AND IMPLIED BY THESE DRAWINGS.
- CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED OFF-SITE. ALL DEBRIS IS TO BE DISPOSED OF IN A LEGAL MANNER AT A LANDFILL OR RECYCLING FACILITY. NO DEBRIS SHALL BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
- GIVEN DIMENSIONS TAKE PRECEDENT OVER SCALE AND SHALL BE VERIFIED ON-SITE. DIMENSIONS ARE TO FACE OF EXISTING FINISH OR NEW STUD, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO LOCATE EXACT LOCATIONS OF UTILITIES.
- SEE FLOOR PLANS FOR SMOKE DETECTOR LOCATIONS.
- INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
- ALL SHEET METAL WORK SHALL CONFORM TO CURRENT SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOC. INC.) STANDARDS.
- FINISHES AND LIGHTING PLAN BY OWNER.

STRUCTURAL NOTES

- AS IS TYPICAL WITH ALL REMODELS, FIELD DISCREPANCIES MAY BE PRESENT WHICH MAY NOT BE APPARENT PRIOR TO DEMOLITION / CONSTRUCTION. DURING CONSTRUCTION, ANY QUESTIONABLE AS-BUILT FRAMING OR DISCREPANCIES TO NOTED DETAILS IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER / ENGINEER FOR REVIEW AND MODIFICATION WILL BE MADE IF AS REQUIRED.
- ALL CONSTRUCTION IS TO CONFORM TO LOCAL CODE REQUIREMENTS. USE SIMPSON HARDWARE. PROVIDE MULTIPLE STUDS / POSTS UNDER BEAMS AND VERIFY ALIGNMENT TO SOLO BEAM / FOUNDATIONS BELOW.
- VERIFY THAT ALL CONSTRUCTION IS PROPERLY PROTECTED AND SEALED AGAINST WATER PENETRATION. CONFORM TO APPROPRIATE CODE AND INDUSTRY / CONSTRUCTION METHODS. COORDINATE ALL STRUCTURAL FRAMING AND CONNECTIONS WITH THE EXISTING CONDITIONS IN REGARDS TO ALIGNMENTS, ELEVATION TIES WITH EXISTING FRAMING, ETC. REPORT ANY CONFLICTS TO THE DESIGNER / ENGINEER PRIOR TO CONSTRUCTION.
- THE DRAWINGS DEPICT COMPLETED CONSTRUCTION. THE CONTRACTOR IS TO PROVIDE SHIELDING / SUPPORT AS NECESSARY FOR THE EXISTING CONSTRUCTION UNTIL ALL NEW CONSTRUCTION IS IN PLACE AND SECURE.

PROJECT DESCRIPTION

REMODEL AND ADDITION AT EXISTING ONE STORY SINGLE FAMILY RESIDENCE. REMODEL INCLUDES KITCHEN AREA. ADDITION INCLUDES NEW MASTER SUITE, REBUILT STAIR, DINING AREA, AND BACK ENTRY WITH NEW COVERED BACK PORCH. EXISTING FRONT PORCH TO BE RECONSTRUCTED AND SLIGHTLY WIDENED. BASEMENT AREA TO BE ENLARGED UNDER A PORTION OF THE AREA OF ADDITION. ENTIRE BUILDING TO BE REINFORCED.

PROJECT INFORMATION

1555 8th STREET
WEST LINN, OREGON 97068

COUNTY: CLATSOPAS
 MAP TAX LOT: 31E03AB0000
 LEGAL DESC: 147 WILLAMETTE TRACTS TR 1-64 PT LT 64 BK 60
 PROPERTY ID: C145940

ZONE: R10
 LAND USE: SFIR
 NEIGHBORHOOD: WEST LINN / WILLAMETTE OLD TOWN 100, 101
 DATE BUILT: 1951

BUILDING AREAS:	EXISTING	NEW	TOTAL
BASE FLOOR:	1,077	658	1,688 SF
BASEMENT:	828	473	1,402 SF
TOTAL BLDG AREA:	1,906	1,222	3,088 SF
COVERED PORCH:	31	317	348 SF

ROOF AREAS:	EXISTING	NEW	TOTAL
HOUSE ROOF AREA:	1,212	998	2,210 SF
GARAGE ROOF AREA:	568	NA	568 SF
SHOP ROOF AREA:	723	NA	723 SF
TOTAL ROOF AREA:	2,503	998	3,521 SF

LOT SIZE: 0.34 ACRES / 14,902 SF
 PERCENT COVERED AREA: 3.5(3) / 14,902 = 24%

RAIN GARDEN

5% OF NEW IMPVIOUS AREA 998 SF x 0.05 = 60 SF REQ'D
 RAIN GARDEN AREA PROVIDED: 60 SF



01 VICINITY MAP
SCALE: NTS

SHEET INDEX

- A0.00 - COVER SHEET / SITE PLAN
 - A2.00 - DEMO PLAN, FLOOR PLAN
 - A2.50 - FOUNDATION PLAN
 - A2.91 - FRAMING PLANS
 - A3.00 - BUILDING ELEVATIONS
 - A4.00 - BUILDING SECTIONS
 - A5.00 - DETAILS
 - A5.01 - DETAILS
 - A5.02 - DETAILS
- STRUCTURAL CALCULATIONS

CONTACTS

OWNER:
 DAN MARSH
 1555 8th STREET, WEST LINN, OREGON 97068
 503-910-8513

DESIGN CONTACT:
 ANN M SCHEUERELL
 AMS DESIGN LLC
 2537 LANCASTER STREET, WEST LINN, OREGON 97068
 503-778-0092

STRUCTURAL DESIGN:
 JOHN NORDLING
 NORDLING STRUCTURAL ENGINEERS, LLC
 6775 SW 11th, SUITE 200, BEAVERTON, OREGON 97008
 503-974-0901

CONTRACTOR:
 TBD

CODES

- 2014 OREGON RESIDENTIAL SPECIALTY CODE
- 2014 OREGON MECHANICAL SPECIALTY CODE
- 2014 OREGON PLUMBING SPECIALTY CODE
- 2014 OREGON ELECTRICAL SPECIALTY CODE

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 503-924-5901

NOT FOR CONSTRUCTION

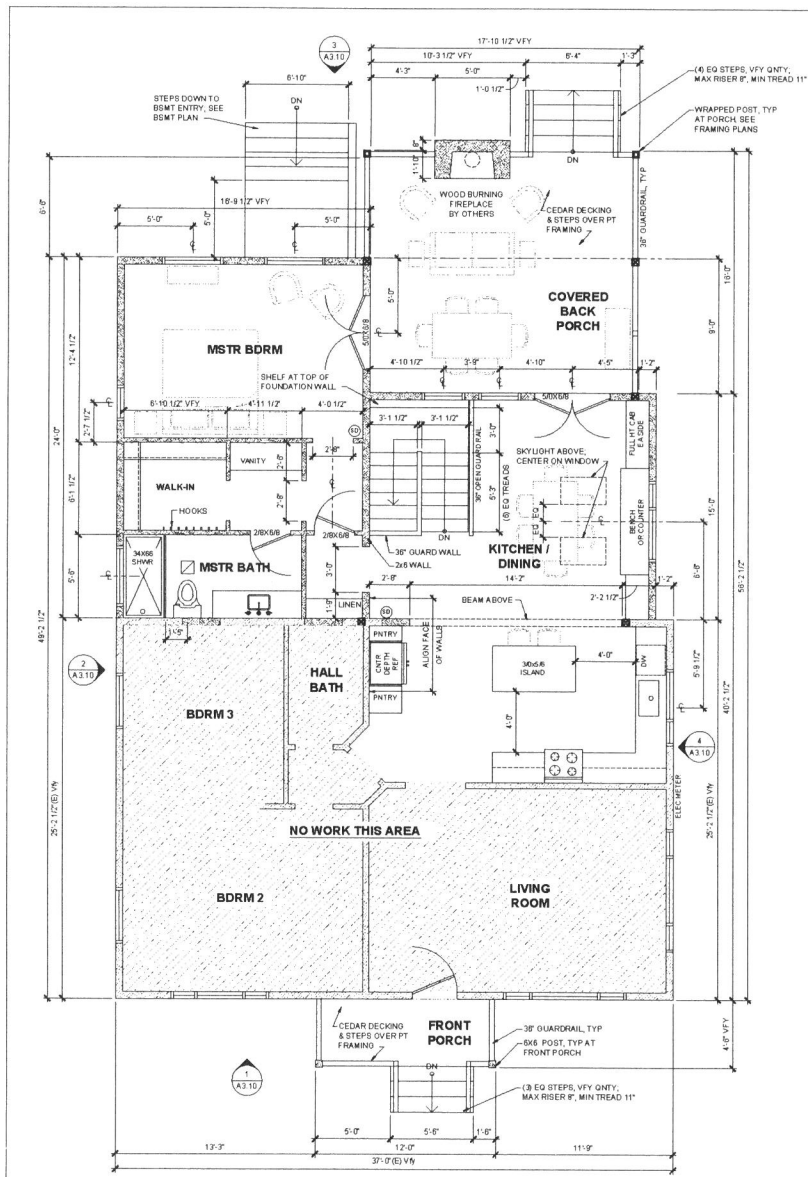
MARSH RESIDENCE
 1555 8th STREET, WEST LINN, OREGON 97268

ISSUES & REVISIONS:
 2018-04/23 REV 1 - PERMIT SET
 2018-04/23 REV 3 - DEVELOPMENT REVIEW SHEET

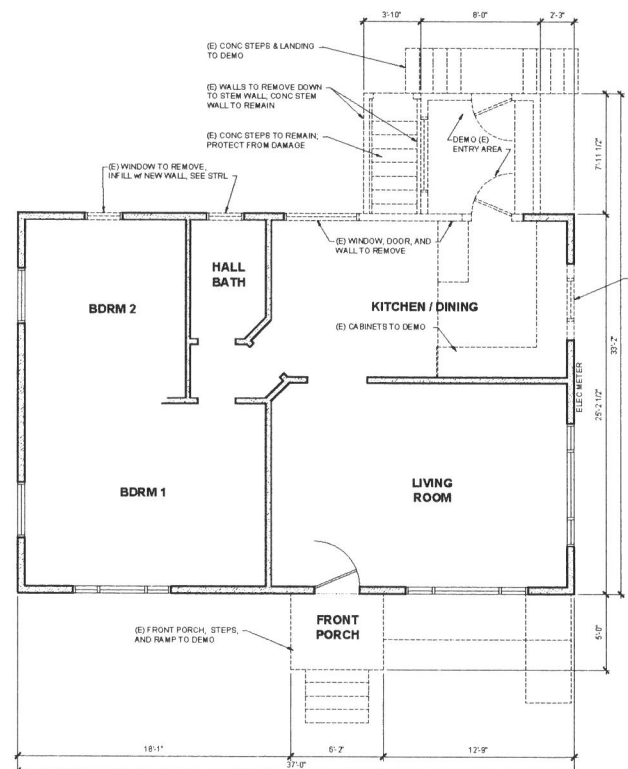
COVER SHEET
 SITE PLAN

A0.00

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02 FLOOR PLAN
SCALE: 1/4" = 1'-0"



01 AS-BUILT / DEMO PLAN
SCALE: 1/4" = 1'-0"



GEN. NOTES - DEMO PLAN:

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.
- B. CONDUCT ALL DEMOLITION WORK IN ACCORDANCE WITH OREGON AND FEDERAL OSHA RULES FOR SAFETY & PROTECTIVE GEAR.
- C. REMOVE ALL DEBRIS AND DISPOSE OF ACCORDING TO JURISDICTIONAL ORDINANCES & RECYCLE MATERIALS WHERE POSSIBLE.
- D. PROVIDE TEMPORARY SHIELDING AS REQUIRED TO PROTECT WALLS TO REMAIN.
- E. PROVIDE TEMPORARY BARRIERS TO ENCLOSE WORK AREA DURING DEMOLITION.
- F. REMOVE OR RECONFIGURE ALL EXISTING MECHANICAL AND PLUMBING FIXTURES, VENTS, ETC. AS REQUIRED FOR NEW WORK, UNLESS NOTED OTHERWISE. CAP EXISTING PLUMBING LINES BELOW FLOOR OR IN WALL AS REQUIRED.

GEN NOTES - FLOOR PLAN:

- 1. CONTRACTOR TO PROVIDE MIN ELEC OUTLETS PER CODE AT AREA OF WORK. FINAL LOCATIONS TO BE DETERMINED ON SITE. ALL SWITCHES AND OUTLETS TO BE WHITE DECORA STYLE, TYP AT AREA OF WORK.

LEGEND:

- REFERENCE FRAMING PLANS FOR ADDL INFO
- EXISTING WALL TO REMAIN
- WALL TO DEMO
- NEW WALL - 2x4 OR 2x6 PER PLAN
- HARD WIRED SMOKE ALARM / CARBON MONOXIDE DETECTOR
- EXHAUST FAN - MIN 80 CFM CONTROLLED BY TIMING SWITCH

project owner
DAN MARSH
1555 8TH STREET
WEST LINN, OR 97068
503-910-8513

design contact
ANN M SCHEUERELL
AMS DESIGN LLC
2537 LANCASTER STREET
WEST LINN, OR 97068
503-778-0092

structural design:
JOHN NORDLING
NORDLING STRUCTURAL
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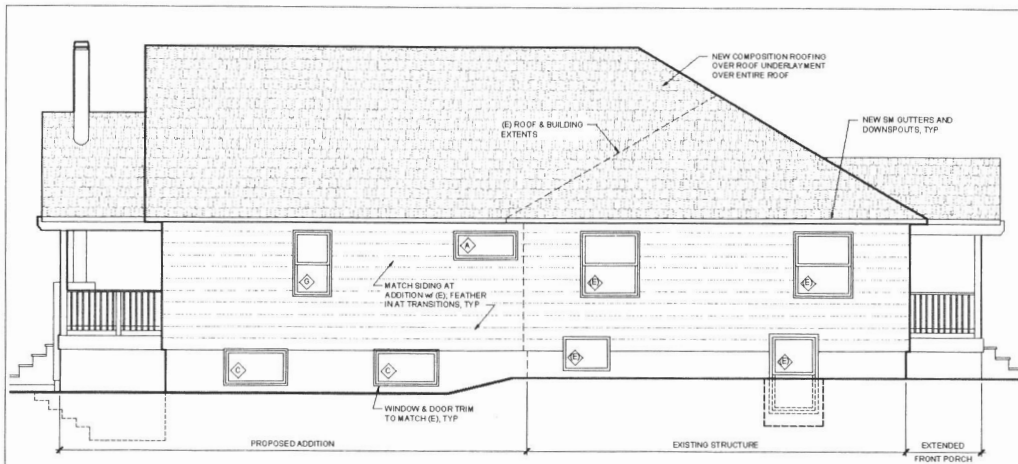
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DEMO PLAN, FLOOR PLAN

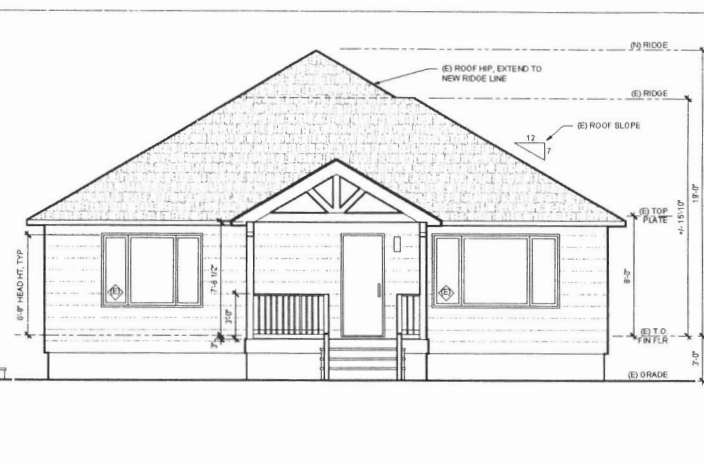
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DO NOT SCALE DRAWING
DO NOT REPRODUCE WITHOUT PERMISSION



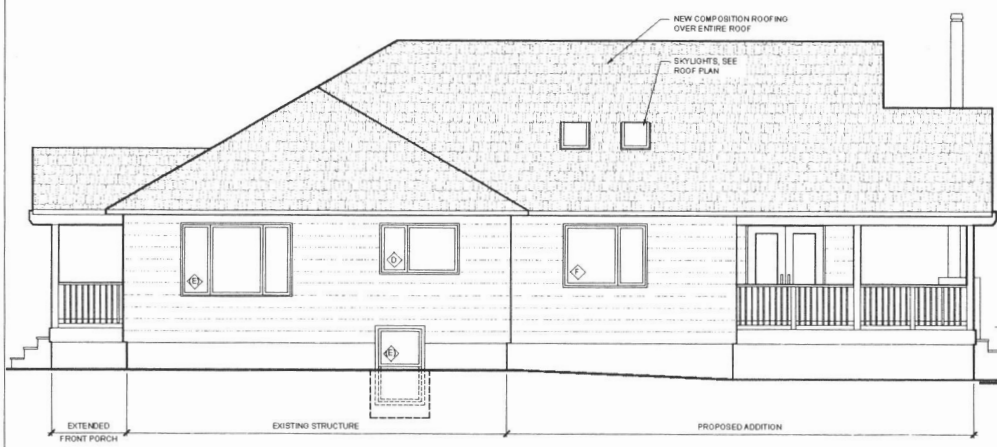
02 NORTH ELEVATION - SIDE

SCALE: 1/4" = 1'-0"



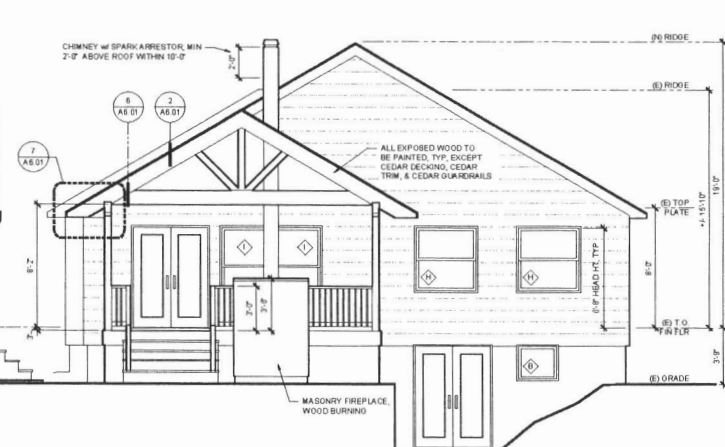
01 WEST ELEVATION - FRONT

SCALE: 1/4" = 1'-0"



04 SOUTH ELEVATION - SIDE

SCALE: 1/4" = 1'-0"



03 EAST ELEVATION - REAR

SCALE: 1/4" = 1'-0"

HOUSE - WINDOW SCHEDULE	
	<ul style="list-style-type: none"> AWNING AWNING AWNING CASEMENT WITH FIXED EXISTING CASEMENT WITH FIXED DOUBLE HUNG DOUBLE HUNG DOUBLE HUNG DOUBLE HUNG
<p>GENERAL WINDOW SCHEDULE NOTES:</p> <ol style="list-style-type: none"> 1. WINDOW TYPE, VERIFY M/F, WINDOW TYPE, AND HARDWARE WITH OWNER. 2. VERIFY WINDOW OPERATION WITH OWNER. 3. SIZES SHOWN ARE APPROX. VERIFY AVAILABLE SIZES w/ MFG. DO NOT INCREASE WINDOW SIZE WITHOUT FIRST CONSULTING WITH DESIGNER. STRUCTURAL REVIEW MAY BE REQUIRED. 4. VERIFY ALL ROUGH OPENING SIZES BEFORE ORDERING WINDOWS. 5. VERIFY EGRESS OPENING REQUIREMENTS AT BEDROOM WINDOWS. 6. VERIFY WINDOWS REQUIRING SAFETY GLAZING BY CODE. 7. WINDOWS TO HAVE A U-VALUE NO GREATER THAN U-0.30. 8. ONLY NEW WINDOWS AT NEW LOCATIONS INDICATED HERE, CONSULT WITH OWNER REGARDING NEW WINDOWS AT EXISTING WINDOW LOCATIONS. 	

PROJECT OWNER:
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 503-910-8513

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 6775 SW 11TH, SUITE 200
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MARSH RESIDENCE
 1555 8th STREET, WEST LINN, OREGON 97288

ISSUES & REVISIONS
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EXTERIOR ELEVATIONS

A3.00

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