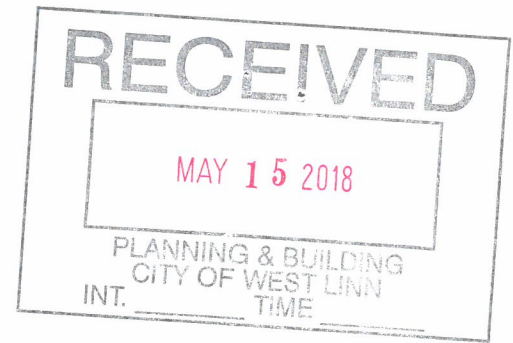


CLASS I DESIGN REVIEW

1693 12th Street
West Linn, Oregon
May 12, 2018



1.) PROJECT INTRODUCTION:

Existing Conditions:

The subject parcel is a rectangular corner lot with 70 feet of frontage on 12th Street and 135.99 feet of frontage on 8th Avenue. The site slopes from west to east at approximately 5.88%. The site has 5 trees that we plan to remove, a 5" deciduous, a 6" deciduous, a 9" fruit tree, a 30" walnut tree in the proposed driveway area, and a 48" cedar that is leaning dangerously towards 12th Street. A large two story mixed use building adjoins the site to the south, and an existing one-story insurance office adjoins to the east. The fire station and Morton's Tree Service is across the street to the north. Across the street to the west is a parcel for sale for a mixed-use project.

Buildings to Remove/Retain:

There is an existing house with a basement, that will be incorporated into the design and construction of the new house. An existing non-conforming garage that is slightly over the north property line will be moved to comply with the required 12-foot setback along 8th Avenue.

New Construction Proposed:

We are proposing a two-story residence of 3,788 square feet, where a maximum of 3,807 square feet is allowed under a .4 FAR. We also propose a detached 3 car garage that contains two small home offices and an accessory dwelling unit of 436 square feet. One of the home offices is for Service Now, a heating and air conditioning service and installation dispatch office, where all vendors are off site. The other home office is for Johnston Style, an on-line event planning service. A new 6-foot sidewalk will be constructed along 12th Street. A new 6-foot curbside sidewalk, and a minimum street improvement to gain a pavement section of 12 feet from centerline of 8th Avenue will be constructed. A required easement along 8th Avenue will be dedicated for the sidewalk as necessary.

2.) CDC Chapter 59 Willamette Neighborhood Mixed Use Transitional Zone CDC Ch. 59.070 Findings to all dimensional requirements and design standards:

A. 1. Minimum lot width at front line shall be 35 feet.

Finding: The subject parcel is 70 feet wide, the condition is met.

2. Average minimum lot width shall be 50 feet.

Finding: The subject parcel is 70 feet wide.

3. Average minimum lot depth shall be not less than 90 feet.

Finding: The subject lot is 135.99 feet deep.

4. Minimum yard dimensions or minimum building setbacks from lot lines shall be:

a. Front yard 12 feet minimum and 20 feet maximum to the structure.

Finding: The main structure is 13 feet from the front lot line, and the required porch is 8 feet from the lot line, as a porch is allowed to be constructed 6 feet from the front lot line.

b. Interior side yard, 7.5 feet.

Finding: The proposed structure is setback 7.5 feet from the interior side lot line.

c. Side yard abutting a street, 12 feet.

Finding: The structure is setback 12 feet from the abutting 8th Avenue.

d. Rear yard 20 feet.

Finding: All structures are setback 20 feet in the rear yard.

5. Maximum building height shall be two stories above grade, or 35 feet, whichever is less.

Finding: The proposed residence is two stories above grade and less than 35 feet high. The detached accessory structure is 1.5 stories and less than 35 feet high.

6. Maximum building size for all floors shall not exceed 6,000 square feet above grade, excluding porches.

Finding: The residence is 3,788 square feet for both floors.

7. The building floor area ratio shall be .4, except the ground floor of the building shall not exceed 5,000 square feet.

Finding: The building is allowed to be 3,807 square feet (.4 x 9,519 sf = 3,807 sf). The building is 3,788 square feet to be less than .4 FAR.

8. Minimum lot size shall be 4,500 square feet and maximum lot size shall be 10,000 square feet, unless defined as a lot of record.

Finding: The lot size is 9,519.3 square feet.

B. DESIGN STANDARDS:

All uses in the mixed-use zone shall comply with the provisions of Chapter 55 CDC, except for CDC 55.100 (B)(7)(a), (b), (c), (h), (i), and (j) and the Class 1 design review standards for single family. In addition, design standards described below apply to all uses.

1. Residential-style building with single story porch on the front and on the side abutting a street.

Finding: The residential building has a single-story porch on the front along 12th Street and along the abutting 8th Avenue.

2. New sidewalk construction shall be allowed to match the historical standards in this zone.

Finding: The proposed sidewalks to be constructed are curb tight 6-foot sidewalks.

3. Off street parking shall be behind, under or on the side of the building.

Finding: Off street parking is provided behind the building.

4. Garages shall not extend and closer to the street than the street facing façade of the house.

Finding: The garage is in the same setback plane as the house and 4 feet behind the attached porch.

5. There shall be no illuminated outdoor advertising on accessory buildings, equipment or vending machines.

Finding: There is no illuminated outdoor advertising on the accessory building, equipment, and there are no vending machines.

6. The design standards, subsections (B)(1) through (5) of this section, shall not apply to public facilities.

Finding: The buildings are not public facilities.

CDC Chapter 55.100 APPROVAL STANDARDS – CLASS I DESIGN REVIEW

- A. The provisions of the following sections shall be met:

- 1.) CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment...

55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW

- B. 1. The buildings and other site elements shall be designed and located so that all heritage trees shall be saved.

Finding: There are no heritage trees on the site.

2. All heritage trees, clusters of trees, and significant trees shall be protected...

Finding: There are no heritage trees, clusters of trees, or significant trees on site. The site is not a Type I or Type II land.

3. The topography and natural drainage shall be preserved to the greatest degree possible.

Finding: The buildings have been detached to be able to terrace down the slight slope to fit the natural topography. The natural sheet drainage pattern is preserved.

4. The structures shall not be located in areas subject to slumping and sliding.

Finding: The buildings are not located in the City's Hazard Map. An existing older building has no evidence of sliding or settling.

2. CDC 55.100(B)(5) and (6) architecture, et. al. shall apply to those cases that involve exterior architectural construction...

5. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

Finding: The on-site buildings are separated by a minimum of 13 feet by an outdoor patio. The building on the adjoining property to the south is a minimum of 70 feet away. The building on the adjoining property to the east is a minimum of 25 feet away.

6. Architecture

- a. Proposed structures scale shall be compatible with the existing structures on site and on adjoining sites. Contextual design is required.

Finding: The main house is two stories and in scale with the two-story mixed use structure on the southern adjoining property. The detached accessory structure steps down to a 1.5 story structure to be in scale with the one-story structure on the adjoining eastern property. The massing of the proposed buildings, the longitudinal window patterns, the required porches, wood siding materials and trim all relate to the period elements of the district.

- b. New buildings should transition in bulk and mass to work with or fit adjacent buildings...

Finding: The main house is two stories in scale with the two-story mixed-use building 70 feet to the south. The detached accessory building steps down to 1.5 stories to relate to the scale of the eastern adjoining building over 25 feet away.

- c. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture... or it is adequately separated from other buildings...

Finding: The architecture is not contrasting and is in the genre of elements of the adjacent historic district. In addition, the proposed buildings are separated to adjoining buildings by 70 feet to the south and 25 feet to the east.

- d. Human scale is a term that seeks to accommodate the users of the building...and should be designed around the human scale.

Finding: The main building is a residence and designed to be of residential scale, the most human scale a building can be. The buildings have multi-light windows, an intimate entryway and a colonnade along the continuous one-story porches.

- e. The main front elevation of commercial and office buildings shall provide at least 60% windows...

Finding: The proposed buildings are not commercial and office buildings.

- f. Variations in depth and roof line are encouraged for all elevations.

Finding: The buildings have varied and articulated roof lines and designed to have one story masses step up to two story masses.

- g. Consideration of the micro-climate shall be made for building users...

Finding: The residence has been designed and oriented to the living patterns of the owners. The outdoor patio has south and north exposures for maximum use. A covered porch along the length of the west exposure, protects residents and visitors from harsh afternoon sunlight and frequent northwest rains.

- h. The vision statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, trees and awnings.

Finding: The primary use is residential and the continuous one-story porch presents an attractive frontage to the street. Sidewalks are being constructed to the City's design standards as well as street trees.

- i. Sidewalk cafes, kiosks, vendors and street furniture are encouraged.

Finding: The proposed building is residential, so no sidewalk cafes or vendors are proposed. A corner outdoor courtyard is envisioned to add to the street vitality.

3. CDC CHAPTER 48 ACCESS, EGRESS, CIRCULATION:

CH. 48.025 ACCESS CONTROL

- A. Purpose. The following access control standards apply to public, industrial and residential Developments...

B. Access Control Standards

1. Traffic impact analysis requirements.

Finding: The proposed development is one single family residence on a fully Developed street system. No traffic impact analysis was required by the City.

2. The City or other agency with access permit jurisdiction may require closing or Consolidation of existing curb cuts...

Finding: An existing curb cut on 12th Street will be closed off to allow a new curb cut On 8th Avenue.

3. Access options: a.) Option 1, access from an alley or mid-block lane

b.) Option 2, access from private street or driveway

c.) Option 3, access is from a public street adjacent to the development.

Finding: The proposed development complies with access Option 3.

4. Subdivisions fronting onto an arterial street.

Finding: The proposal is not a subdivision and 8th Avenue and 12th Streets are not arterial streets.

5. Double-frontage lots.

Finding: The proposal is on a double frontage lot, 8th Avenue, and 12th Street. Both streets are the same classification.

6. Access spacing.

Finding: The proposal requests only one curb cut.

7. Number of access points: For single-family, two family, and duplex housing types, One street access is permitted per lot...

Finding: The proposal is for one access point.

8. Shared driveways.

Finding: The proposal does not include a shared driveway.

C. Street connectivity and formation of blocks required.

Finding: The proposal is a lot in a completed Willamette District block pattern.

CH 48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES.

A. Direct individual access from single family dwellings and duplex lots to an arterial is prohibited...

Finding: The proposal does not access an arterial street.

B. Where any portion of any house is less than 150 feet from the adjacent right of way access to the home is as follows:

1. One single family residence with an accessory dwelling unit shall provide 10 feet unobstructed horizontal clearance.

Finding: The proposal has a minimum of 20 feet unobstructed horizontal distance clearance.

2. Two to four single family residential homes equals...

Finding: The proposal is for one single family residence plus an accessory dwelling.

3. Maximum driveway grade shall be 15 percent.

Finding: The grade of the driveway to the proposed garage is 10 percent.

4. The driveway shall include a minimum of 20 feet in length between the garage door and the back of sidewalk.

Finding: The garage door is 20 feet to the back of the sidewalk and is a side load Garage, not intended to park in the driveway.

C. When any portion of one or more homes is more than 150 feet from the adjacent right of way.

Finding: The proposal is not more than 150 feet from the adjacent right of way.

D. Access to five or more single family homes...

Finding: The proposal is for access to one single family home.

E. Access and/or service drives for multi-family dwellings...

Finding: The proposal is for one single family residence, not multi-family.

F. Where on-site maneuvering and/or access drives are necessary to accommodate required parking...

Finding: No maneuvering is required to access required parking as it is accommodated by the garage space.

G. The number of curb cuts, or driveways shall be minimized on arterials or collectors...

Finding: Neither 12th Street or 8th Avenue are collectors or arterial streets, they are local streets.

H. In order to facilitate through traffic..., may be necessary to construct a public street through a multi-family site.

Finding: This site is not a multi-family site.

I. Gated accessways to residential development other than single family are prohibited.

Finding: No gated accessway is proposed.

CHAPTER 48.060 WIDTH AND LOCATION OF CURB CUTS AND ACCESS SEPARATION REQUIREMENTS.

A. Minimum curb cut width shall be 16 feet.

Finding: The proposed driveway cut is 36 feet wide.

B. Maximum curb cut width shall be 36 feet wide.

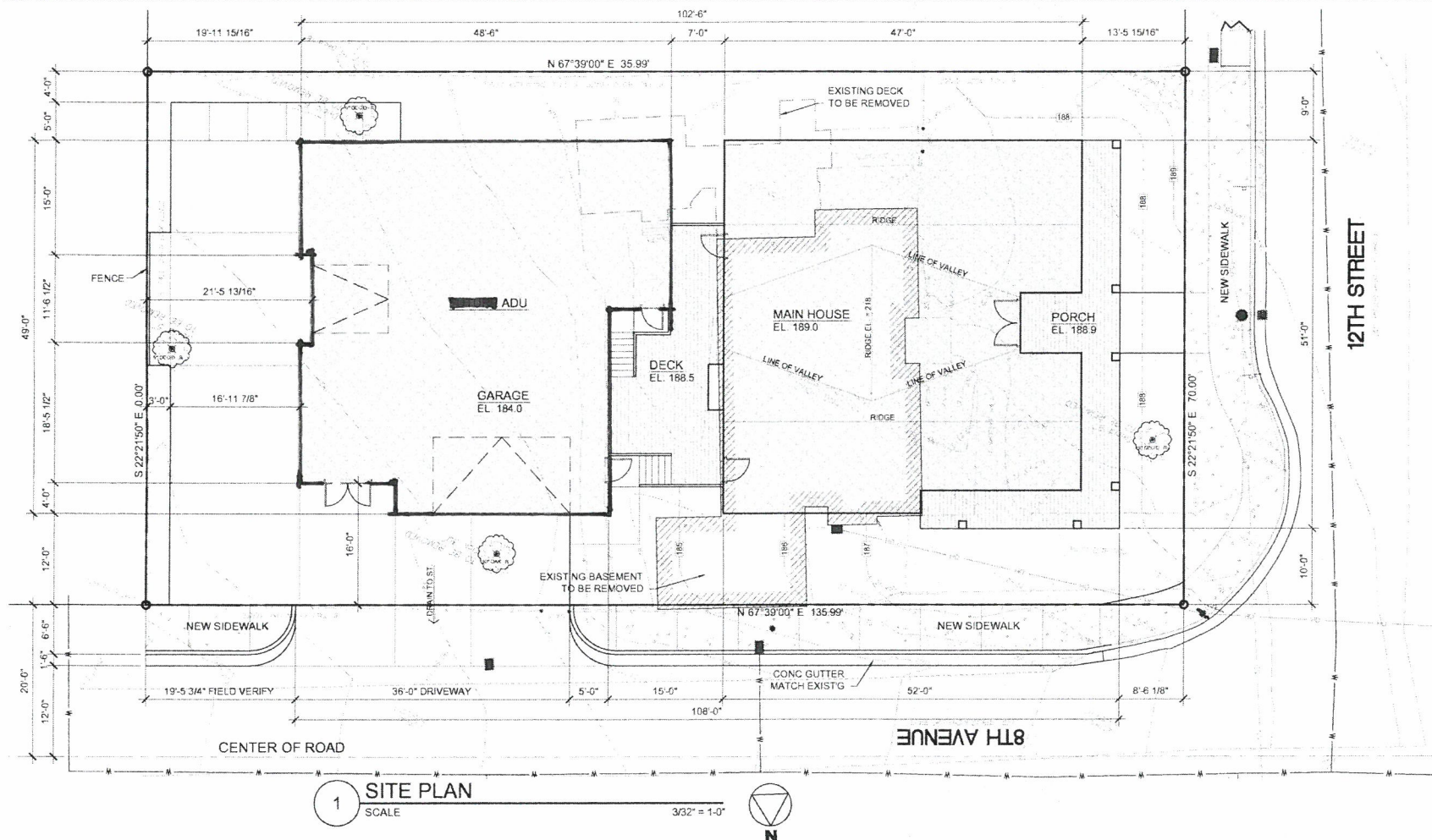
Finding: The proposed curb cut is 36 feet wide.

C. No curb cuts shall be allowed any closer to an intersecting street right-of-way line than The following:

1. An arterial when intersected by another arterial, 150 feet.
Finding: The proposal does not front on an arterial street.
 2. On an arterial when intersected by a collector.
Finding: The proposal fronts on two local streets.
 3. On an arterial when intersected by a local street...
Finding: The proposal does not front on an arterial street.
 4. On a collector when intersecting an arterial street.
Finding: The proposal fronts on two local streets.
 5. On a collector when intersected by another collector or local street.
Finding: The proposal fronts on two local streets.
 6. On a local street when intersecting any other street, 35 feet.
Finding: The proposed driveway is 80 feet from the intersection.
- D. There shall be a minimum distance between any two adjacent curb cuts on the same side of a public street, ...
1. On an arterial street, 150 feet.
Finding: The proposal is not on an arterial street.
 2. On a collector street, 75 feet.
Finding: The proposal is not on a collector street.
 3. Between any two curb cuts on the same lot on a local street, 30 feet.
Finding: The proposal only proposes one curb cut.
- E. A rolled curb may be installed in lieu of curb cuts and access separation requirements.
Finding: A rolled curb is not proposed.
- F. Curb cuts shall be kept to the minimum...
Finding: One curb cut has been proposed, the minimum possible.
- G. Adequate line of sight pursuant to engineering standards should be afforded at each driveway or accessway.
Finding: The proposal maintains an adequate vision clearance triangle on each side of the driveway.
- A. In order to provide for increased traffic movement on the congested streets and eliminate turning Movement problems, the Planning Director and/or City Engineer or designee may restrict driveways..
Finding: The proposed driveway has been approved, preliminarily by planning and engineering designees.
- B. A decision by the Planning Director may be appealed to the Planning Commission...
Finding: It is acknowledged as part of the process, if necessary.

JOHNSTON RESIDENCE

1693 12TH ST., WEST LINN, OR 97068



LEGEND

- NORTH ARROW
- BUILDING SECTION
- DETAIL SECTION
- DETAIL ELEVATION
- DETAIL PLAN

SYMBOLS

- NEW SLOPE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN

ABBREVIATIONS

ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
A.B.P.	ALT. BRACED PANEL	H.B.	HOSE BIB
BD.	BOARD	HD	HOLD OWN
BLDG.	BUILDING	LAV.	LAVATORY
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.P.	BRACED PANEL	MAX.	MAXIMUM
BRG.	BEARING	MECH.	MECHANICAL
CPT.	CARPET	MIN.	MINIMUM
C.C.	CENTER TO CENTER	N.G.L.	NATURAL GRADE LINE
C.J.	CONTROL JOINT	N/A	NONE
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	NOM.	NOMINAL
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CRMIC	CERAMIC	P.F.	PORTAL FRAME
CT	CERAMIC TILE	P.T.	PRESSURE TREATED
CSNK.	COUNTERSINK	PNTD	PAINTED
DECK'G	DECKING	PLYWD	PLYWOOD
D.S.	DOWN SPOUT	R=	RADIUS
DIA.	DIAMETER	REF	REFRIGERATOR
DW	DISHWASHER	SHO.	SHOWER
DWG.	DRAWING	SIM.	SIMILAR
EA.	EACH	SH WL	SHEAR WALL
ELEV.	ELEVATION	SHTNG	SHEATHING
ELEC.	ELECTRICAL	TOI.	TOILET
EQ.	EQUAL	T.O.	TOP OF
EQUIP.	EQUIPMENT	T.O.P.	TOP OF PLATE
EXIST'G.	EXISTING	T.O.B.	TOP OF BEAM
ETR	EXISTING TO BE REMAIN	T.O.W.	TOP OF WALL
F.F.L.	FINISH FLOOR LINE	TL	TILE
F.D.	FLOOR DRAIN	TYP.	TYPICAL
FND	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	VER.	VERIFY
FTG	FOOTING	WL	WALL
GALV.	GALVANIZED	WH	WATER HEATER
GYP	GYPSON	WD	WOOD
GWB	GYPSON WALL BOARD	W/O	WITHOUT
INFO	INFORMATION		
HRDWD	HARDWOOD		

DRAWING LIST

- A0.1 SITE PLAN, VICINITY MAP PROJECT INFO. & ETC
- A1.1 GENERAL REQUIREMENTS
- A1.2 WALL ASSEMBLY
- A2.1 FIRST FLOOR PLAN & DETAILS
- A2.2 SECOND FLOOR PLAN & DETAILS
- A2.3 ROOF PLAN & DETAILS
- A3.1 BUILDING ELEVATIONS & DETAILS
- A3.2 BUILDING ELEVATIONS & DETAILS
- A3.3 BUILDING SECTIONS & DETAILS
- A3.4 BUILDING SECTIONS & DETAILS
- A4.1 WALL SECTIONS
- A4.2 WALL SECTIONS
- A4.3 DETAILS
- A5.1 ARCHITECTURAL DETAILS
- A5.2 ARCHITECTURAL DETAILS
- S1.0 STRUCTURAL NOTES
- S1.1 FOUNDATION PLAN
- S1.2 SECOND FLOOR FRAMING PLAN
- S1.3 ROOF FRAMING PLAN

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW TWO STORY RESIDENCE.

LEGAL DESCRIPTION:

PROPERTY ID : C147006
 COUNTY : CLACKAMAS
 CENSUS TRACT : 020700
 DOCUMENT NO : 2017-033526
 PARCEL NO : 00748793
 STATE ID : 31E028A00500
 JURISDICTION : WEST LINN

LOCATION:

1693 12TH ST., WEST LINN

ZONE CLASSIFICATION:

URBAN GROWTH BOUNDARY: METRO-UGB-MU

ADDRESS:

1693 12TH ST
 WEST LINN OR 97068

ZONING INFORMATION : MU

ZONE CLASSIFICATION: METRO UGB
 SETBACKS APPLIED: PER PD APPROVAL
 20' FRONT
 20' REAR
 5' SIDES
 10' SIDE STREET
 MAX BLDG HEIGHT: FT

CODE ANALYSIS:

CODE USED 2017 OREGON RESIDENTIAL SPECIALTY CODE

LOT AREA	=	9,535 SF
BUILDING COVERAGE (MAIN HOUSE)	=	2,593 SF
BUILDING COVERAGE (ADU/OFFICE)	=	2,093 SF
OVERALL BUILDING COVERAGE	=	4,686 SF

ALLOWABLE BUILDING COVERAGE = SF

ACTUAL HEIGHT ALLOWED	35 FT
MAIN STREET SETBACK	12 FT
STREET SIDE SETBACK	12 FT
BACKYARD SETBACKS	20 FT

MAX FLOOR AREA ALLOWED 3808 SF

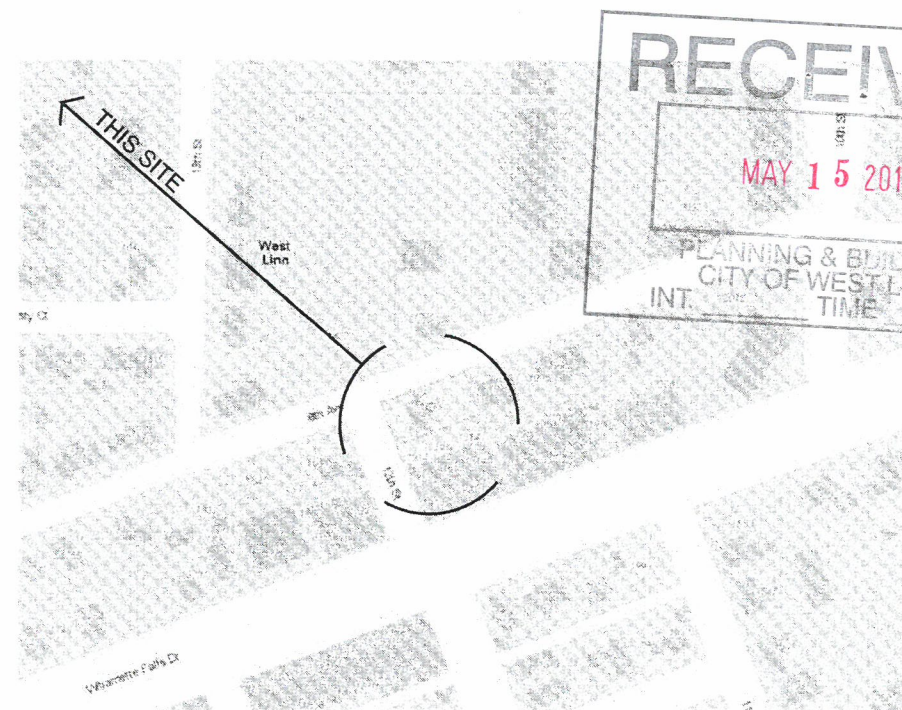
BUILDING INFO

MAIN HOUSE	
FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLOOR AREA	3,788 SF

EXISTING BASEMENT	888 SF
ENTRY	424 SF
OPEN PATIO	342 SF
OVERALL TOTAL AREA	1,654 SF

ADU OFFICE	
FIRST FLOOR	1,106 SF
SECOND FLOOR	436 SF
TOTAL FLOOR AREA	1,542 SF

STORAGE (ABOVE GARAGE)	376 SF
GARAGE	1,087 SF
OVERALL TOTAL AREA	1,463 SF



PROGRESS SET 98 % COMPLETED

TAHRAN ARCHITECTURE & PLANNING LLC
 13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034
 T (503) 539 8802 | F (503) 697 1985 | e ralph.tahrhan@comcast.net

JOHNSTON RESIDENCE
 1693 12TH ST.,
 WEST LINN, OR 97068

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION
0	04.16.18	PERMIT SET

PROJ NO.
2017-026A

12-17-17

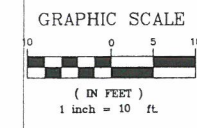
SHEET CONTENTS

SITE PLAN

SHEET NUMBER

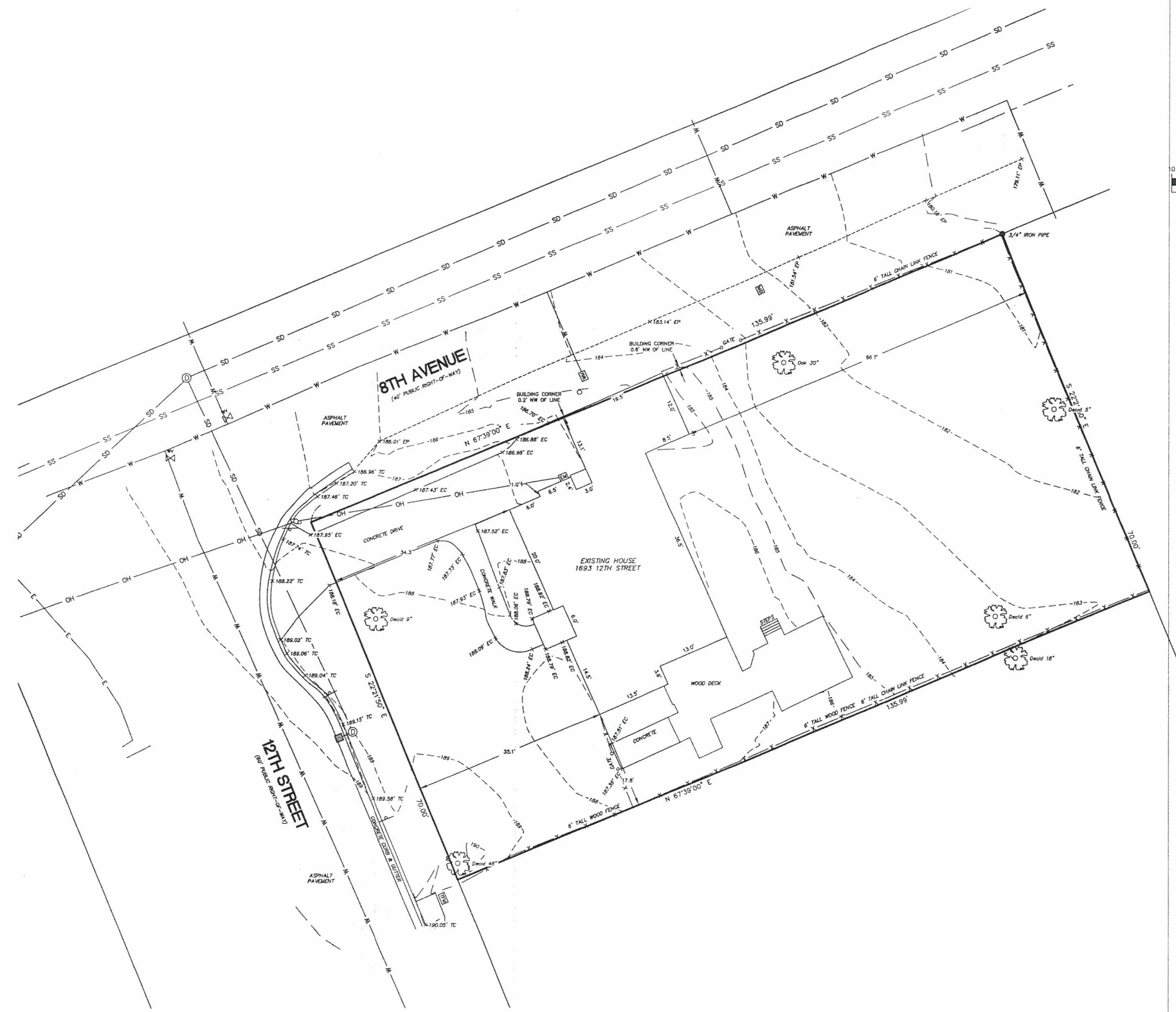
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TOPOGRAPHIC SURVEY
 FOR:
AMY & JASON JOHNSTON
 BEING A PORTION OF TRACT 54
 "WILLAMETTE TRACTS (PLAT NO. 147)"
 SITUATED IN THE NW 1/4 OF SECTION 2
 T.3S, R.1E, W.M.
 CITY OF WEST LINN
 CLACKAMAS COUNTY, OREGON
 TAX MAP 3 1E 028A
 JULY 10, 2017



- NOTES:
1. VERTICAL DATUM IS NGVD 1929 BASED ON OPUS SOLUTION OF STATIC OPS OBSERVATION.
 2. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
 3. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
 4. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
 5. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
 6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

- LEGEND:
- FOUND SURVEY MONUMENT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊠ CATCH BASIN
 - ⊞ WATER METER
 - ⊗ WATER VALVE
 - ⊘ UTILITY POLE
 - ⊚ ELECTRIC METER
 - ⊛ TRANSFORMER
 - GATE POST
 - ⊞ MAILBOX
 - SD— UNDERGROUND STORM LINE
 - SS— UNDERGROUND SANITARY LINE
 - E— UNDERGROUND POWER LINE
 - W— UNDERGROUND WATER LINE
 - X— FENCE LINE AS NOTED
 - OH— OVERHEAD UTILITY LINE
 - 000.00 EC X EDGE OF CONCRETE - SPOT ELEVATION
 - 000.00 TC X TOP OF CURB - SPOT ELEVATION
 - 000.00 EP X EDGE OF PAVEMENT - SPOT ELEVATION



RECEIVED
 MAY 15 2018
 PLANNING & BUILDING
 CITY OF WEST LINN
 INT. TIME

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR
 OREGON
 HAROLD P. SALO
 2284
 EXPIRES: JUNE 30, 2018

(SINCE 1922)
ANDY PARIS AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 16057 BOONES FERRY ROAD
 LAKE OSWEGO, OREGON 97035
 PH: 503-636-3341
 www.andyparis.com

PROJECT: 17157
 DRAWING: 17157TP1.DWG
 DRAFTED: MPC 07/10/17



PROGRESS SET 98 % COMPLETED

TAHARAN ARCHITECTURE & PLANNING LLC
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JOHNSTON RESIDENCE
 1693 12TH ST.,
 WEST LINN, OR 97068

CHECKED BY	RALPH TAHARAN	
DRAWN BY	RGW	
NO	DATE	ISSUE/REVISION
0	04.16.18	PERMIT SET

PROJ NO.
2017-026A

12-17-17
SHEET CONTENTS

FIRST FLOOR PLAN

SHEET NUMBER

A2.1

- PLAN NOTES:
- REFERENCE DETAILS 6/A4.1 EXTERIOR DOOR AND 6/A4.1 FOR INTERIOR DOOR TRIM DETAILS.
 - PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL.
- ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2017 OREGON RESIDENTIAL SPECIALTY CODE.

- HIGH EFFICIENCY ENVELOPE
 ENVELOPE ENHANCEMENT MEASURE 3
 HIGH EFFICIENCY CEILING, WINDOW & SEALING: (CANNOT BE USED WITH CONSERVATION MEASURE E)
 VAULTED CEILINGS - U-0.033R-30A d,e, AND
 FLAT CEILING - U-0.025R-49, AND
 WINDOWS - U-0.30, AND PERFORMANCE TESTED DUCT SYSTEMS
 CONSERVATION MEASURE A
 HIGH EFFICIENCY HVAC SYSTEM:
 GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0.

NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.

PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS.

- AF103.4- OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- AF103.4.3- CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
- AF103.4.5- PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.
- AF103.4.6- THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.
- AF103.4.7- AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.
- EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE.

- AF103.4.8 DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1- DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODGE DUCT PERFORMANCE STANDARDS.
- AF103.4.9- CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.
- AF103.4.10- ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

SECTION AF103.5.2 OPTION USED:
 AF103.5.2.1- VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT. FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)

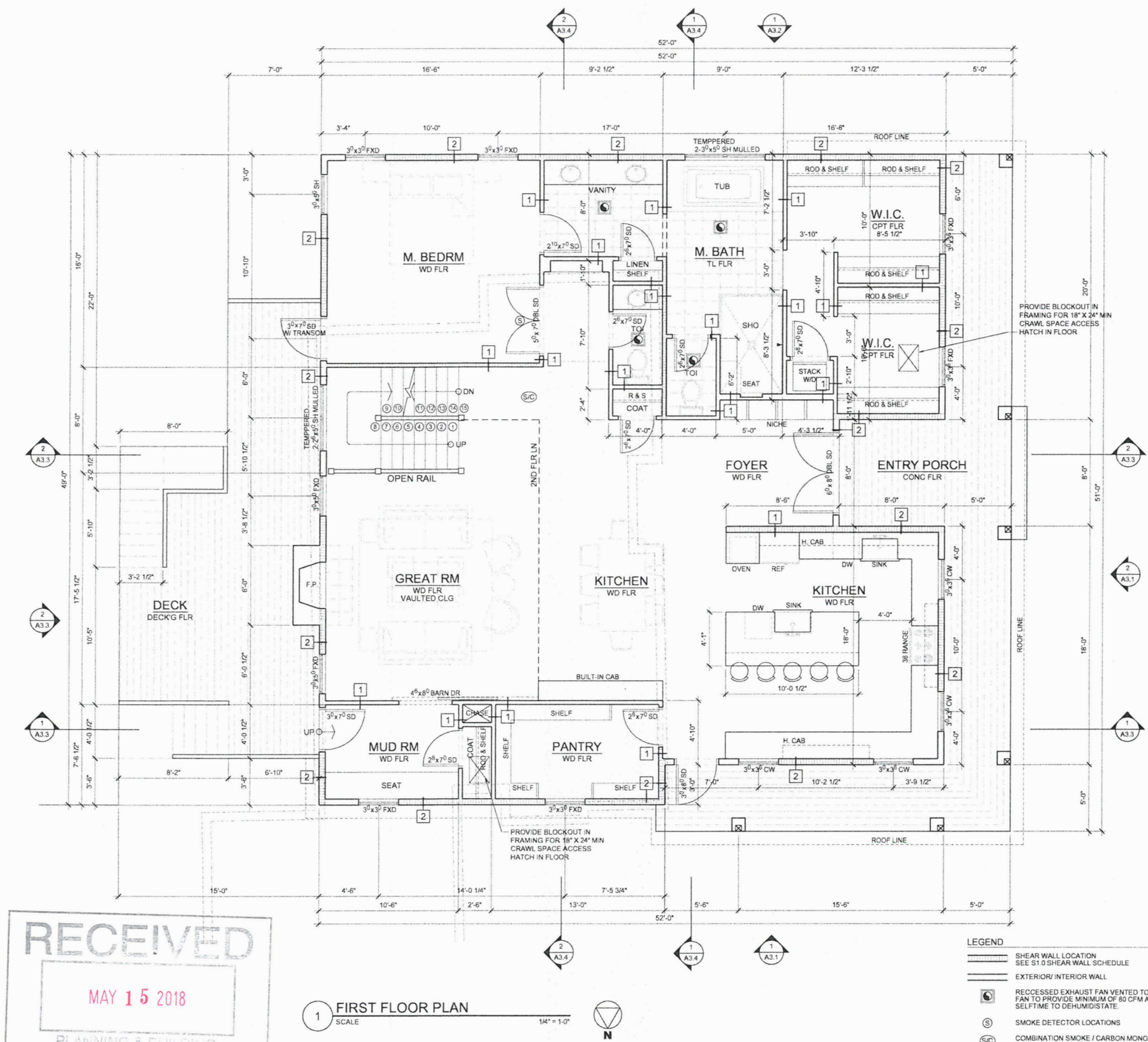
AF103.5.2.2- VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION

AF103.5.2.3 - BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY- DWELLING TO BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING TO 50 PASCAL'S FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR. A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE-BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A 'WHOLE HOUSE VENTILATION SYSTEM')

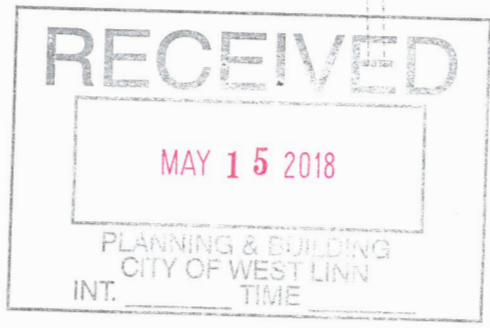
FLOOR AREA CALCULATION

FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF

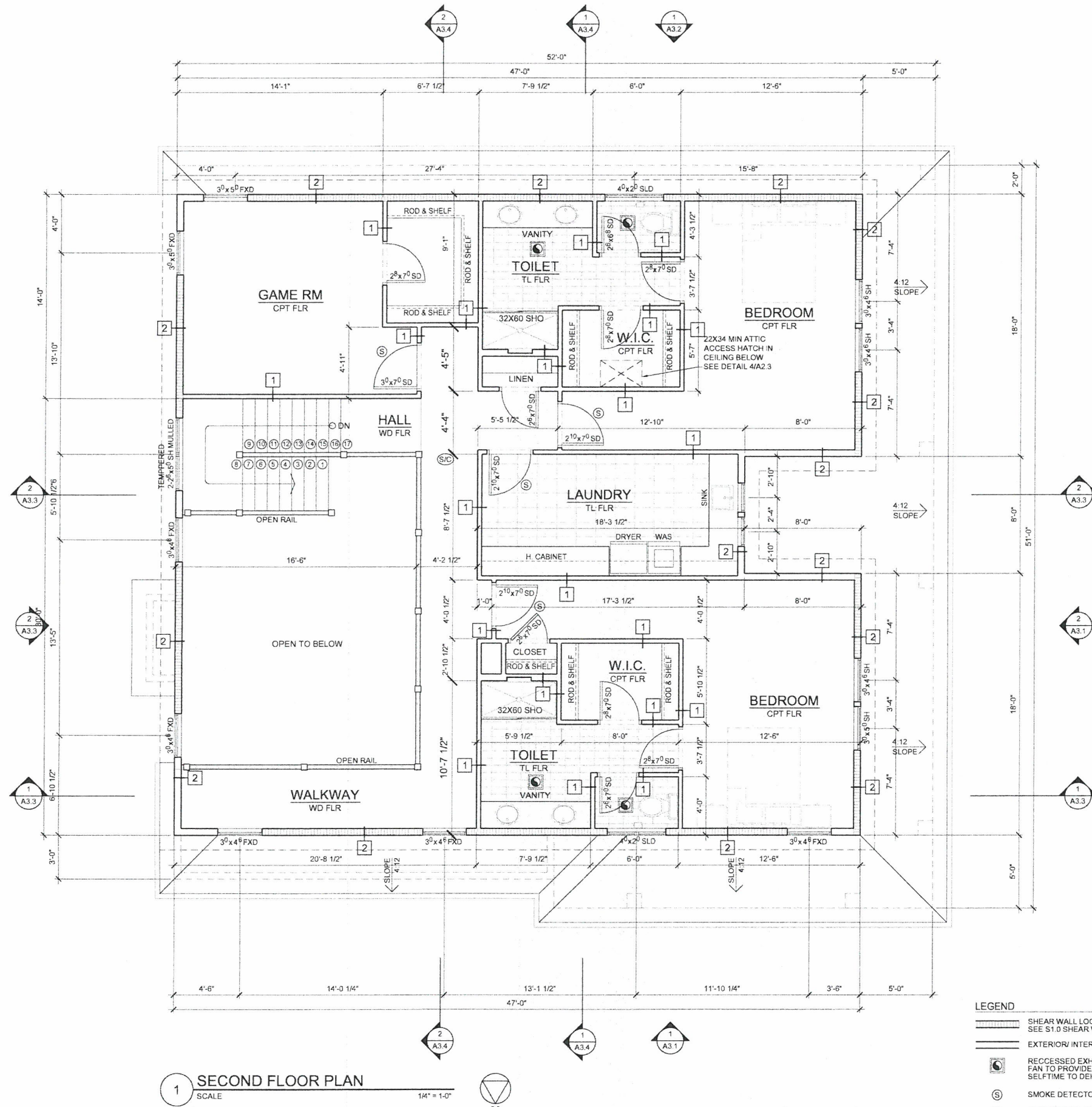


1 FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

- LEGEND
- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS



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1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- LEGEND**
- SHEAR WALL LOCATION
SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE
FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A
SELF-TIME TO DEHUMIDIFY STATE.
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE
DETECTOR LOCATIONS

FLOOR AREA CALCULATION

FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF

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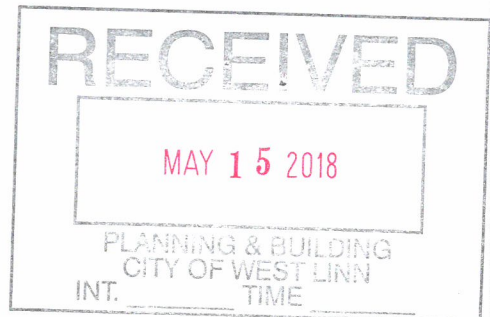
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SHEET CONTENTS

SECOND FLOOR PLAN
DETAILS

SHEET NUMBER

A2.2

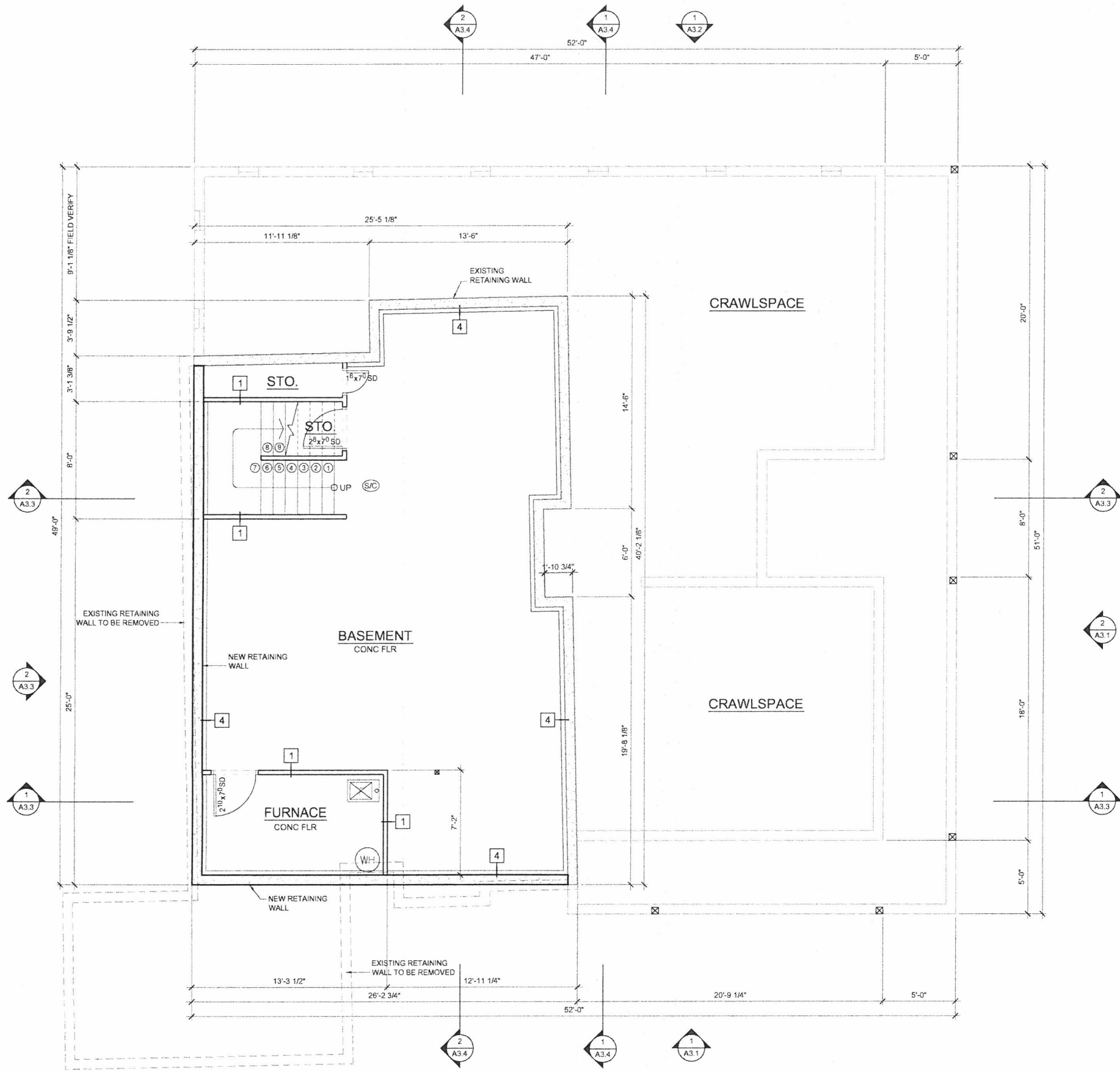


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1 EXISTING BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"



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FLOOR AREA CALCULATION	
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SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF

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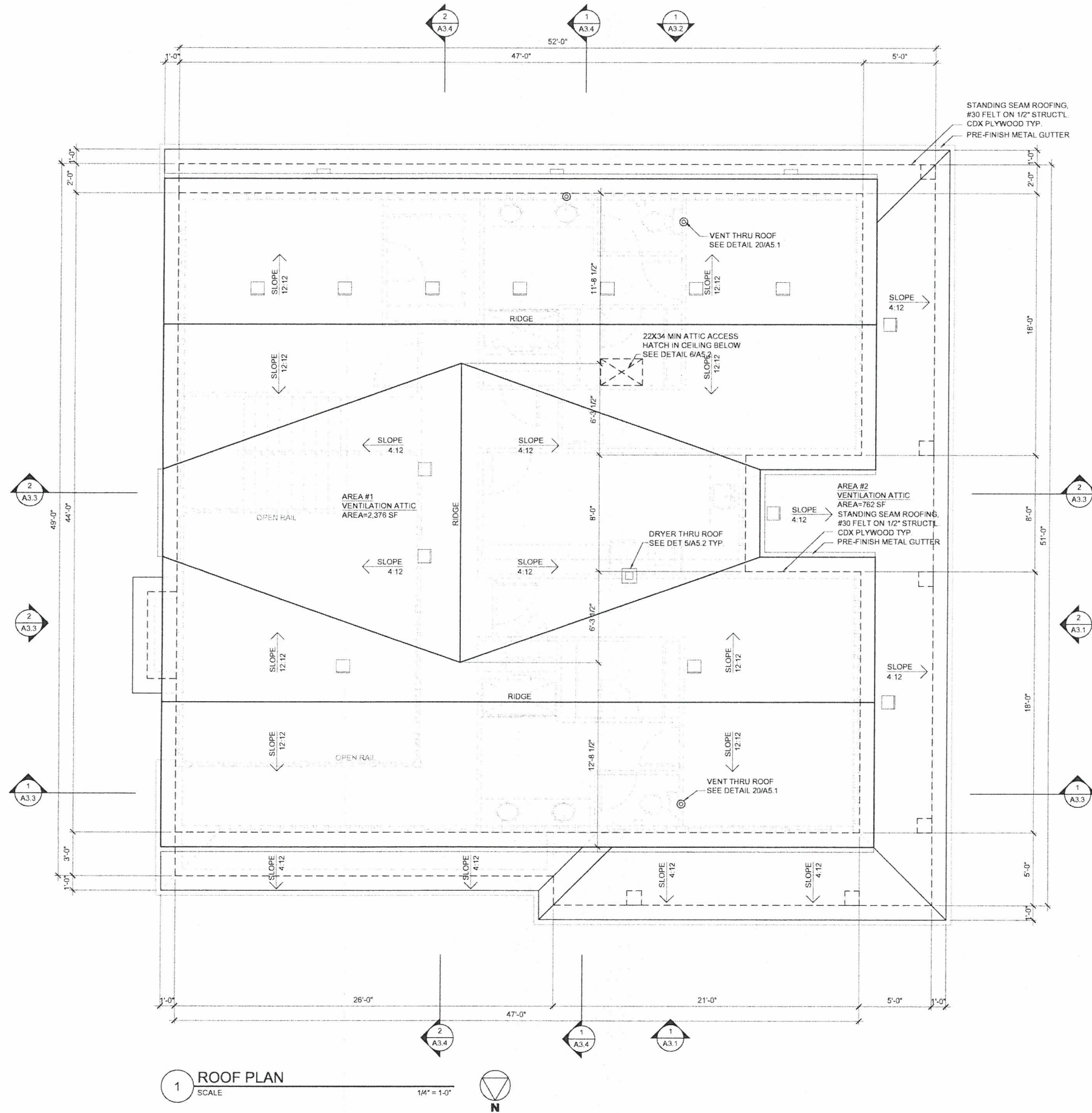
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SHEET CONTENTS

BASEMENT
FLOOR PLAN

SHEET NUMBER

A2.0

05-05-18



1 ROOF PLAN
SCALE 1/4" = 1'-0"



ROOF NOTES:

1. PROVIDE ROOF VENTILATOR IN THE UPPER PORTION OF THE ROOF AS SHOWN ON PLAN SO THAT THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE BEING VENTILATED - UNLESS NOTED OTHERWISE (PER THE LATEST EDITION OF THE 2014 ORSC).
2. VENTILATION CALCULATIONS FOR SLOPED ROOF AREAS BASED ON USING 12X12 ROOF VENTILATORS (PROVIDE .35 SQUARE FEET OF NET FREE VENTILATION AREA PER VENT).
3. PROVIDE 2X BLOCKING BETWEEN TRUSSES AT EAVES WITH (3) 1 1/2" DIA. SCREENED VENT HOLES IN BLOCKING AT EVERY OTHER FRAMING BAY (48" O.C.). THE REMAINDER OF THE VENTILATION TO BE PROVIDED AT UPPER PORTION OF THE ROOF WITH ROOF VENTILATION AS SHOWN ON PLAN.

ATTIC AREA VENTILATION CALCULATIONS

ATTIC VENTILATION AREA	AREA	REQUIRED ATTIC VENTILATION AREA	RIDGE VENTILATION AREA PROVIDED
#1	2,376 SF	2,376 SF / 300 SF = 7.92 SF 7.92 SF / 2 = 3.96 SF REQD AT RIDGE	3.96 SF / 0.35 PER VENT = 11.3 VENT REQUIRED (12 VENTS PROVIDED)
#2	762 SF	762 SF / 300 SF = 2.54 SF 2.54 SF / 2 = 1.27 SF REQD AT RIDGE	1.27 SF / 0.35 PER VENT = 3.63 VENT REQUIRED (6 VENT PROVIDED)



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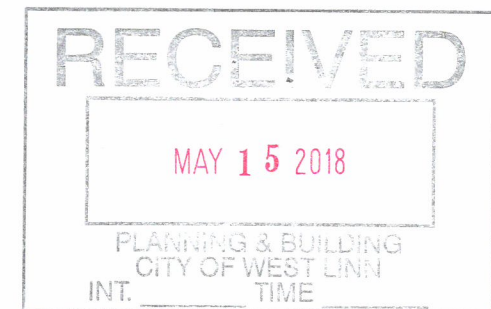
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SHEET CONTENTS

ROOF PLAN
DETAILS

SHEET NUMBER

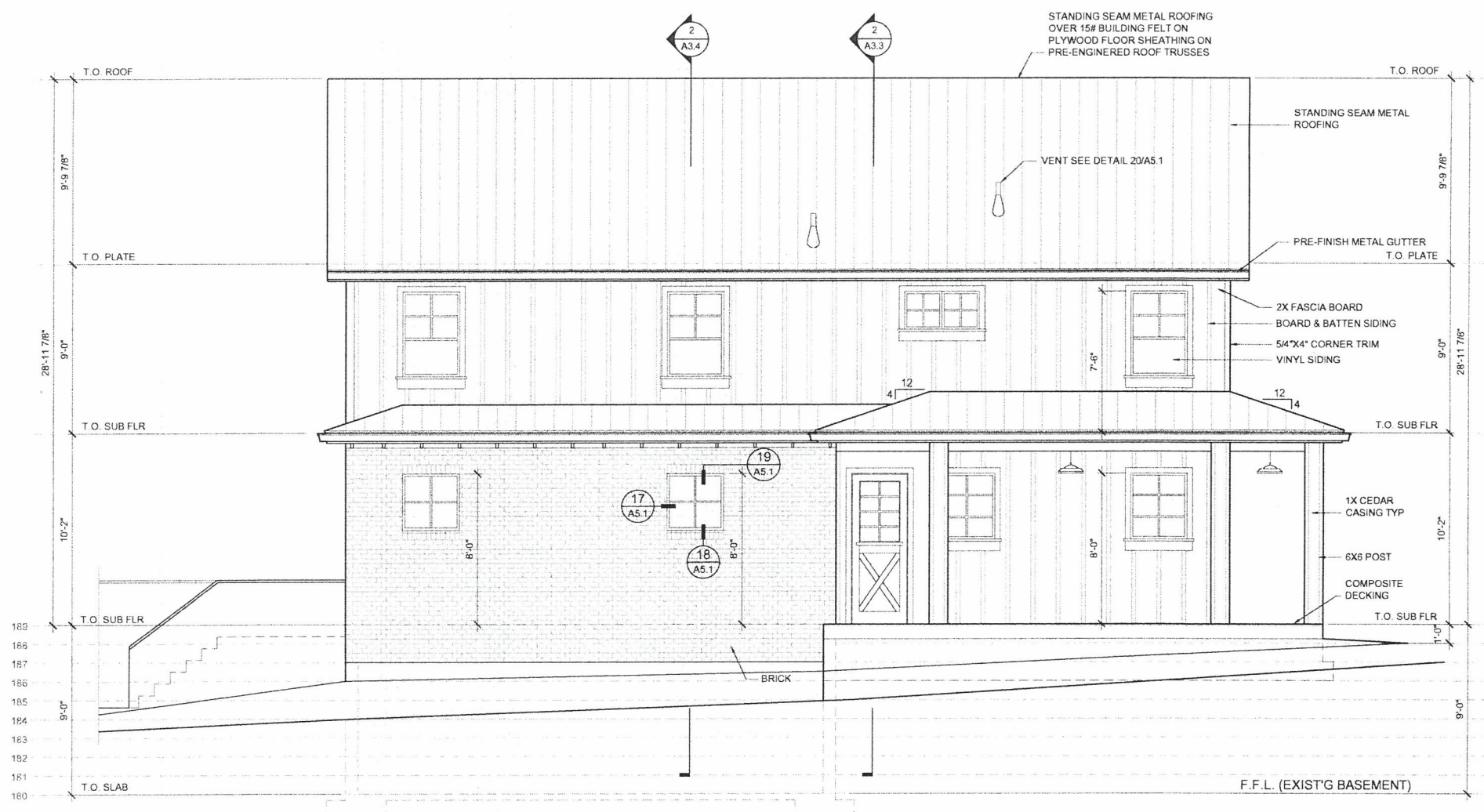
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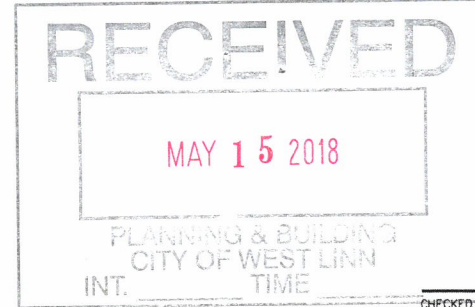
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2 NORTH ELEVATION
 SCALE 1/4" = 1'-0"



1 WEST ELEVATION
 SCALE 1/4" = 1'-0"



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 SHEET CONTENTS
WEST & NORTH ELEVATIONS

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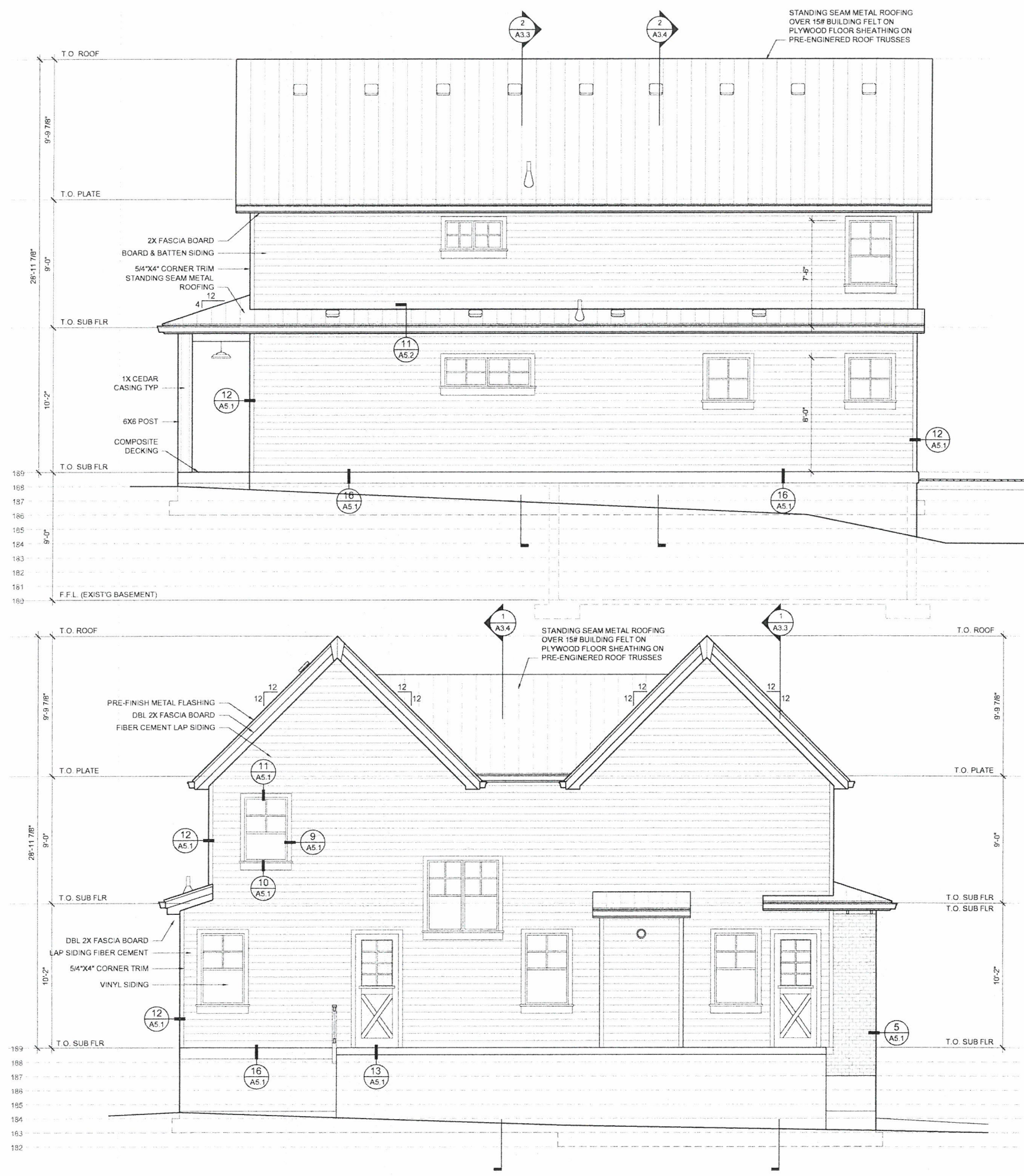
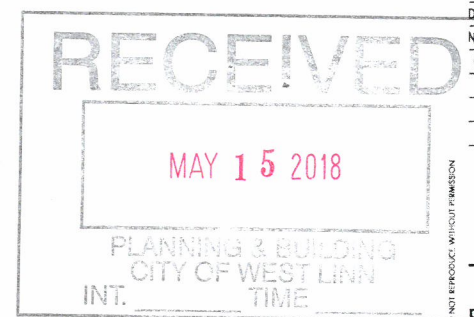


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SHEET CONTENTS EAST & SOUTH ELEVATIONS		
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FIRST FLOOR PLAN

SHEET NUMBER

A2.1

PLAN NOTES:

- REFERENCE DETAILS 8/A4.1 EXTERIOR DOOR AND 6/A4.1 FOR INTERIOR DOOR TRIM DETAILS.
- PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL.

ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2017 OREGON RESIDENTIAL SPECIALTY CODE.

HIGH EFFICIENCY ENVELOPE

ENVELOPE ENHANCEMENT MEASURE 3

HIGH EFFICIENCY CEILING, WINDOW & SEALING (CANNOT BE USED WITH CONSERVATION MEASURE E)

- VAULTED CEILINGS - U-0.033R-30A d.e. AND
- FLAT CEILING - U-0.025R-49, AND
- WINDOWS - U-0.30, AND PERFORMANCE TESTED DUCT SYSTEMS 5

CONSERVATION MEASURE A

HIGH EFFICIENCY HVAC SYSTEM:

- GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0

NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS

PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS:

- AF103.4. OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- AF103.4.3. CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
- AF103.4.5. PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.
- AF103.4.6. THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE
- AF103.4.7. AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.
- EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE
- AF103.4.8. DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1. DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO DOE DUCT PERFORMANCE STANDARDS.
- AF103.4.9. CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.
- AF103.4.10. ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

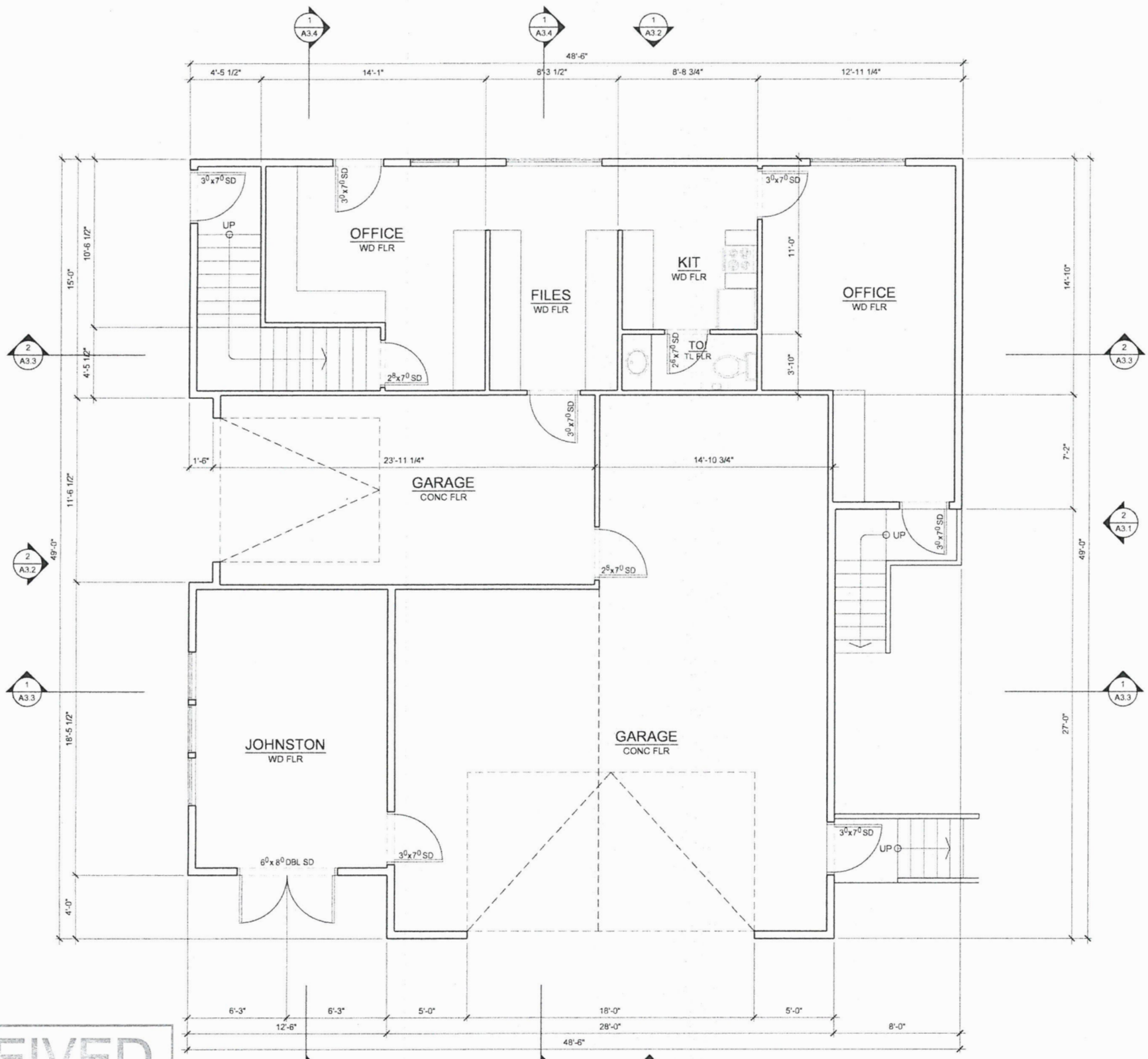
SECTION AF103.5.2 OPTION USED:

- AF103.5.2.1. VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)
- AF103.5.2.2. VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION
- AF103.5.2.3. BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY-DWELLING TO BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING TO 50 PASCAL'S FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR, A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE-BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A "WHOLE HOUSE" VENTILATION SYSTEM)

FLOOR AREA CALCULATION

OFFICE FIRST FLOOR	1006 SF
ADU SECOND FLOOR	436 SF
TOTAL AREA	1,542 SF
GARAGE	1087 SF
STORAGE (SECOND FLR GARAGE)	376 SF



1 FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"

LEGEND

- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
- EXTERIOR/ INTERIOR WALL
- RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE.
- SMOKE DETECTOR LOCATIONS
- COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

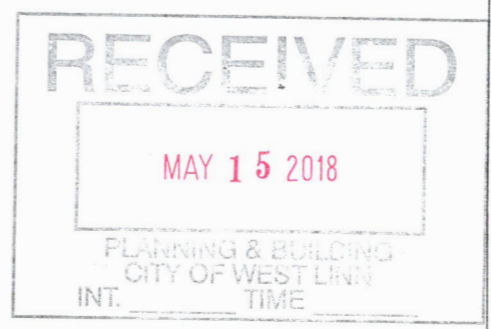


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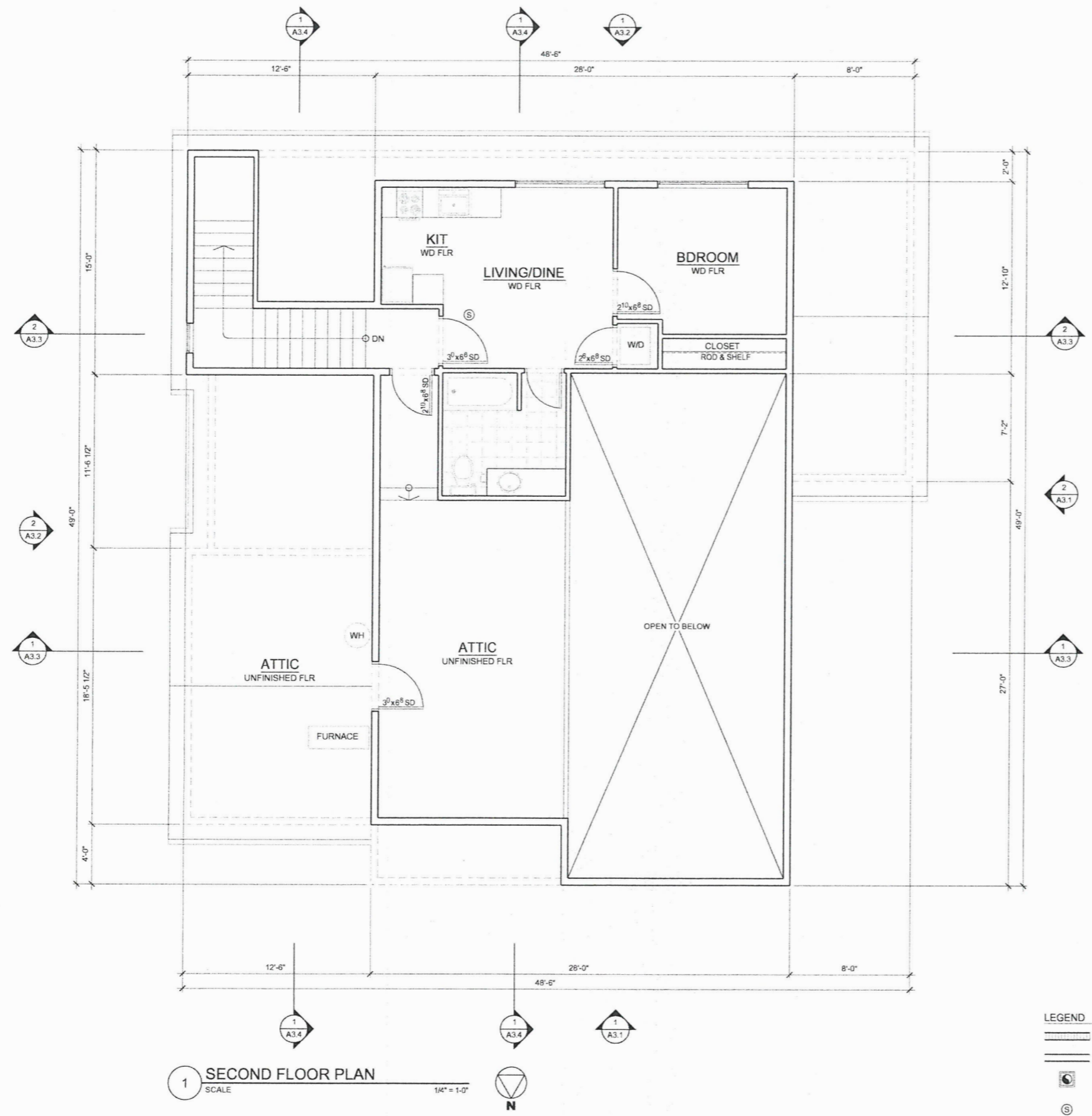
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SHEET CONTENTS
SECOND FLOOR PLAN DETAILS

SHEET NUMBER

A2.2



1 SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

- LEGEND**
- SHEAR WALL LOCATION
SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE
FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A
SELFTIME TO DEHUMIDISTATE.
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE
DETECTOR LOCATIONS

FLOOR AREA CALCULATION

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TOTAL AREA	1,542 SF
GARAGE STORAGE (SECOND FLR GARAGE)	1087 SF
	376 SF

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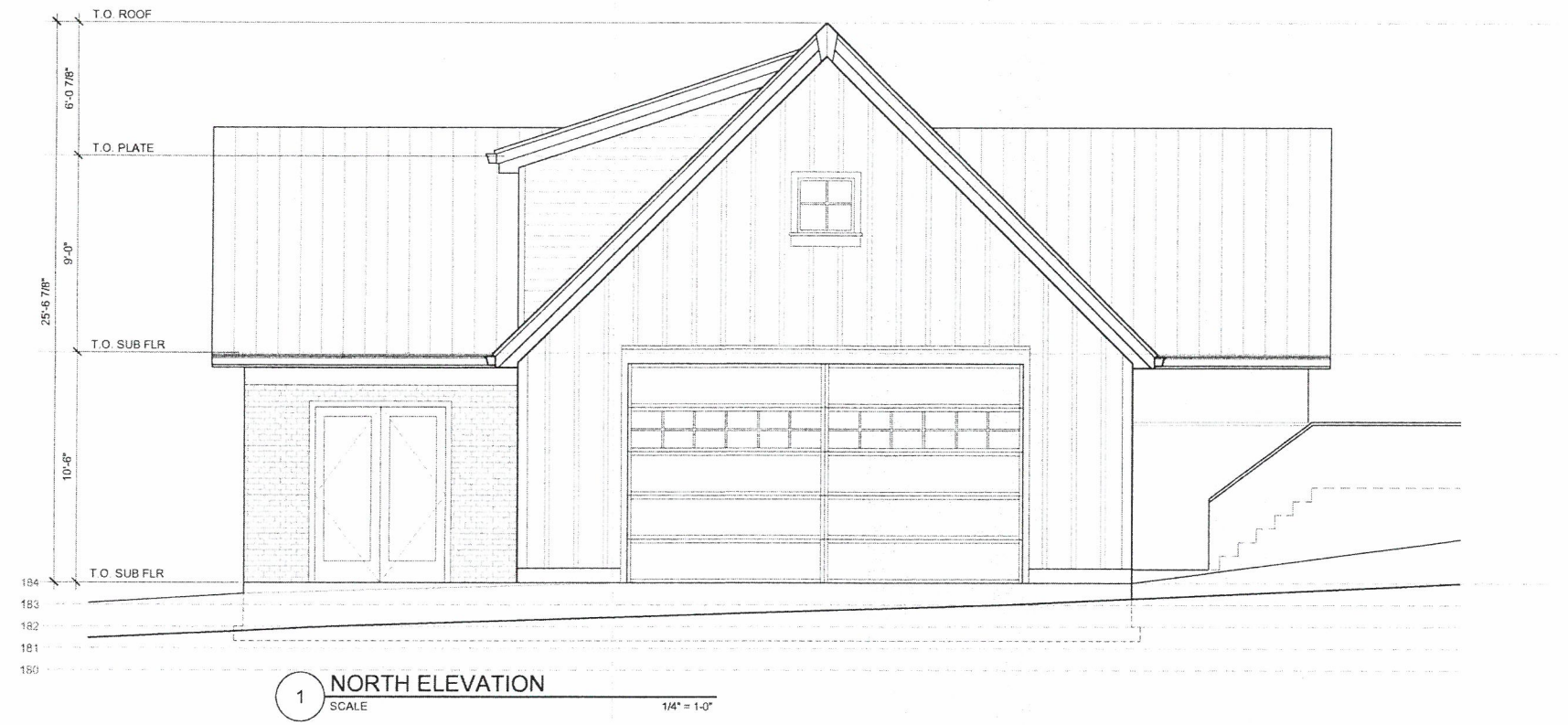
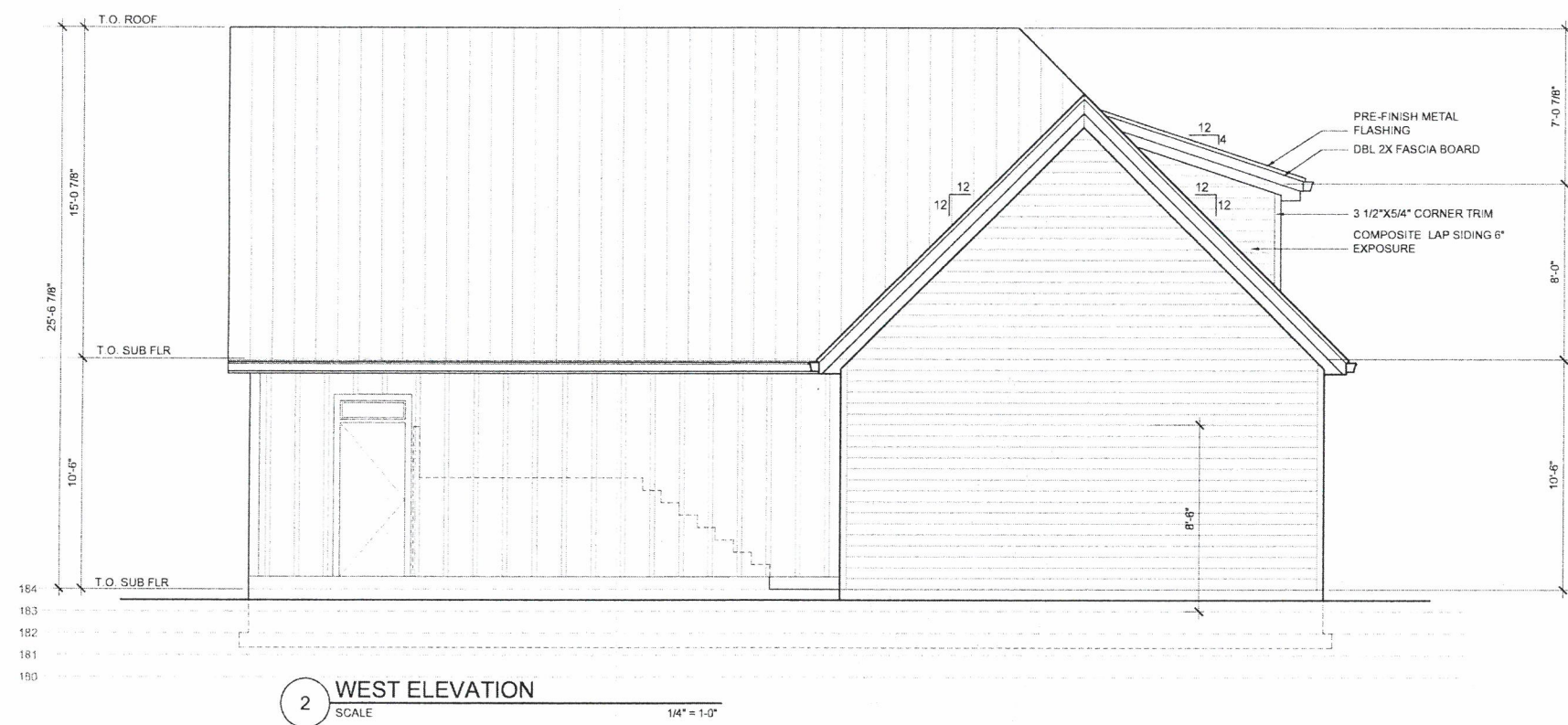
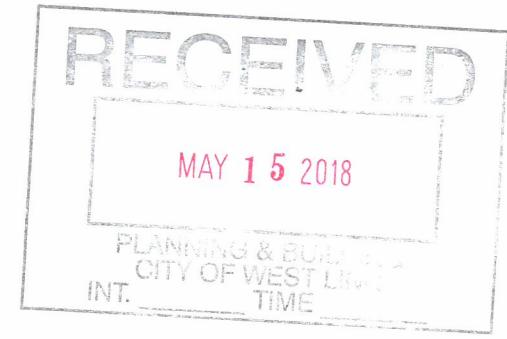
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NORTH & WEST ELEVATIONS

SHEET NUMBER

A3.1



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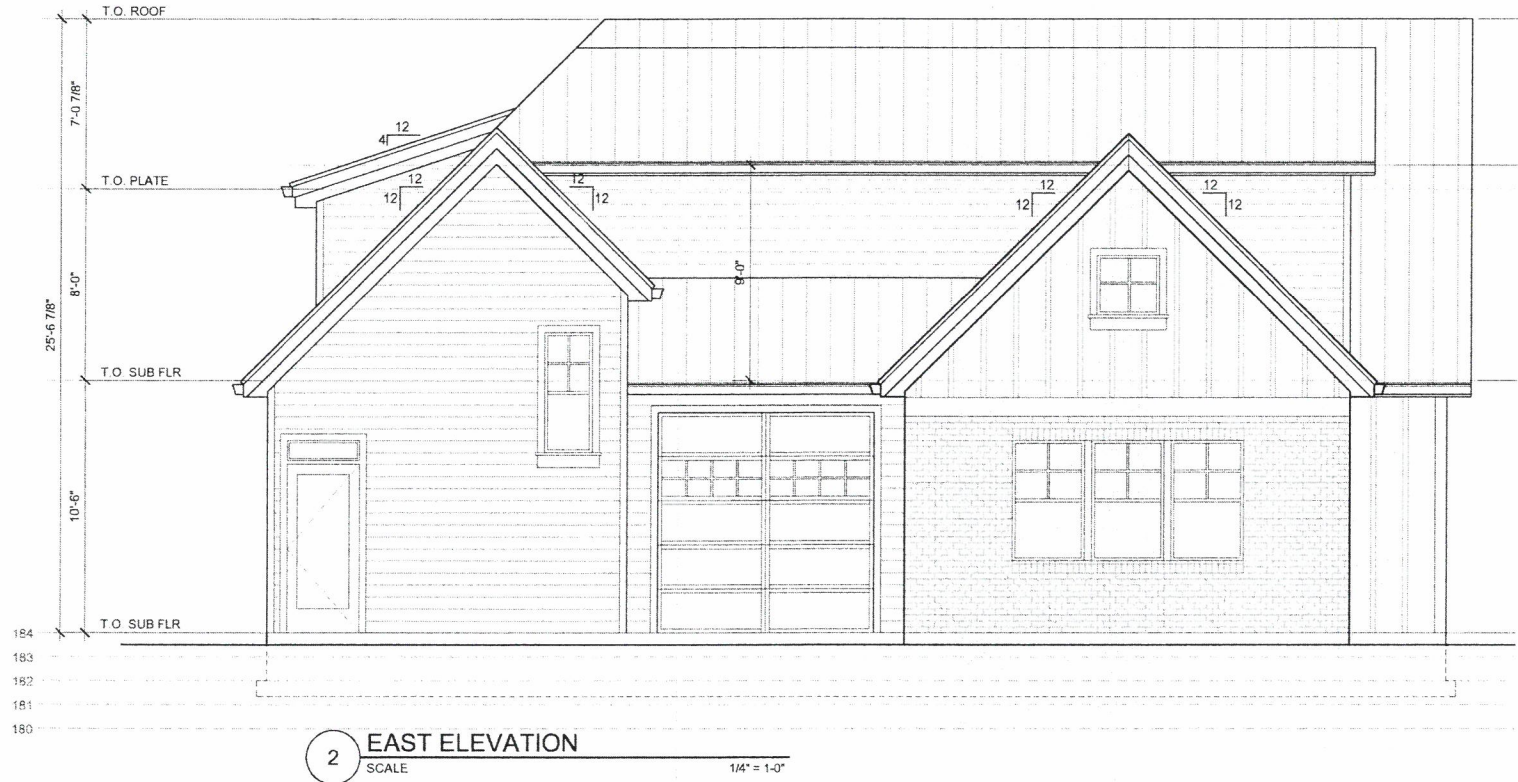
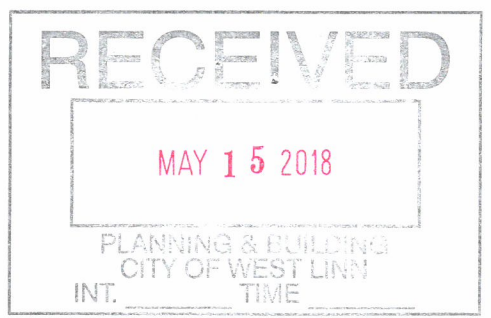
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SHEET CONTENTS
SOUTH & EAST ELEVATIONS

SHEET NUMBER

A3.2



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