

**STAFF REPORT
PLANNING MANAGER DECISION**

DATE: July 23, 2018

FILE NO.: DR-18-01

REQUEST: Approval of a Class I Design Review for constructing a single-family home and accessory structure at 1693 12th Street.

PLANNER: Darren Wyss, Associate Planner

Planning Manager _____

AB

City Engineer _____

AP

TABLE OF CONTENTS

	<u>Page</u>
STAFF ANALYSIS AND RECOMMENDATION	
GENERAL INFORMATION	2
EXECUTIVE SUMMARY	3
PUBLIC COMMENTS.....	3
DECISION AND CONDITIONS OF APPROVAL.....	3-4
ADDENDUM	
STAFF FINDINGS.....	5-15
EXHIBITS	
PD-1 AFFADAVIT AND NOTICE PACKET	16-20
PD-2 COMPLETENESS LETTER.....	21-22
PD-3 PROPERTY MAPS.....	23-25
PD-4 APPLICANT SUBMITTAL.....	26-56

GENERAL INFORMATION

OWNER/ APPLICANT:	Jason and Amy Johnston 1693 12 th Street, West Linn, OR 97068
CONSULTANT:	Tahran Architecture and Planning, LLC 13741 Knaus Road, Lake Oswego, OR 97034
SITE LOCATION:	1693 12 th Street
SITE SIZE:	9,535 square feet
LEGAL DESCRIPTION:	Assessor's Map 3S-1E-01BA Tax Lot 500
COMP PLAN DESIGNATION:	Mixed-Use
ZONING:	Willamette Neighborhood Mixed-Use Transitional Zone
APPROVAL CRITERIA:	Community Development Code (CDC) Chapter 48: Access, Egress and Circulation; Chapter 55: Design Review; Chapter 59: Willamette Neighborhood Mixed-Use Transitional Zone; Chapter 96: Street Improvement Construction; Chapter 99: Procedures for Decision Making: Quasi-Judicial.
120-DAY RULE:	The application became complete on June 14, 2018. The 120-day period therefore ends on October 4, 2018.
PUBLIC NOTICE:	Notice was mailed to property owners within 300 feet of the subject property and all neighborhood association on June 15, 2018. A sign was placed on the property on June 21, 2018. The notice was also posted on the City's website on June 15, 2018. Therefore, public notice requirements of CDC Chapter 99 have been met.

EXECUTIVE SUMMARY

The applicant seeks approval for constructing a new single-family home and accessory structure at the corner of 12th Street and 8th Avenue in the Willamette Neighborhood. The accessory structure will contain a three-car garage, two home offices, and an accessory dwelling unit at 1693 12th Street. The existing single-family dwelling and garage on the property will be demolished. The property meets dimensional standards of the Willamette Neighborhood Mixed-Use Transitional Zone (MU). Access will be from 8th Avenue. The properties to the east and west are zoned MU. The properties to the north and south are zoned General Commercial.

The existing 12th Street right-of-way is 60 feet wide and sufficient to accommodate a 34-foot local street cross section with parking on both sides. The applicant will install required street improvements. The existing 8th Avenue right-of-way is 42 feet wide and has an existing curb-tight sidewalk across 8th Avenue from the subject property. The applicant proposes constructing a curb-tight six-foot wide sidewalk within a public access easement on the subject property adjacent to 8th Avenue. This will be sufficient to accommodate a 34-foot local street cross section with parking on both sides. No additional right-of-way dedication is required.

The City Arborist visited the site on July 2, 2018 and found no heritage or significant trees on the property. The applicant is proposing to remove five non-significant trees on the property.

The site has a 5.9% slope from the west to the east. There are no environmental overlays on the property. Existing utilities located in both 12th Street and 8th Avenue are available to provide services.

Public comments:

No public comments were received by the close of the comment period (July 2, 2018 at 4:00pm).

DECISION

The Planning Manager (designee) approves this application (DR-18-01), based on: 1) the findings submitted by the applicant, which are incorporated by this reference, 2) supplementary staff findings included in the Addendum below, and 3) the addition of conditions of approval below. With these findings, the applicable approval criteria are met. The conditions are as follows:

1. **Site Plan, Elevations, and Narrative. With the exception of modifications required by these conditions, the project shall conform to the submitted plans, elevations, and narrative submitted in Exhibit PD-4.**

2. **Engineering Standards.** All public improvements and facilities associated with public improvements including street improvements, utilities, grading, onsite stormwater design, street lighting, street trees, easements, and easement locations are subject to the City Engineer's review, modification, and approval. These must be designed, constructed, and completed prior to final certificate of occupancy.
3. **Public Access/Sidewalk Easement.** The applicant proposes to construct the six-foot sidewalk adjacent to 8th Avenue in a public access/sidewalk easement on the subject property. The applicant shall record a six-foot public access/sidewalk easement along the property's 8th Avenue frontage for the use of the general public.
4. **New Public Utility Easement.** The applicant shall record an eight-foot wide public utility easement along the property's 8th Avenue and 12th Street frontages.

The provisions of the Community Development Code Chapter 99 have been met.



Darren Wyss, Associate Planner

July 23, 2018
Date

Appeals to this decision must be filed with the West Linn Planning Department within 14 days of mailing date. Cost is \$400. The appeal must be filed by an individual who has established standing by submitting comments prior to the decision date. Approval will lapse 3 years from effective approval date if the final plat is not recorded.

Mailed this 23rd day of July, 2018.

Therefore, the 14-day appeal period ends at 5 p.m., on August 6, 2018.

ADDENDUM
APPROVAL CRITERIA AND FINDINGS
DR-18-01

This decision adopts the findings for approval contained within the applicant’s submittal, with the following exceptions and additions:

I. CHAPTER 48, ACCESS CONTROL

48.025 ACCESS CONTROL

B. Access Control Standards

1. Traffic impact analysis requirements. The City or other agency with access jurisdiction may require a traffic study prepared by a qualified professional to determine access, circulation and other transportation requirements. (See also CDC [55.125](#), Traffic Impact Analysis.)

Staff Finding 1: No traffic impact analysis (TIA) is required since none of the criteria of 85.170(B) (2) are met. For example, an Average Daily Trip count (ADT) increase of 250 is typically required before a TIA is needed. The addition of 1 an accessory dwelling unit generates an ADT increase of 9.57 trips per day according to the Institute of Traffic Engineers (ITE) trip generation manual. This criterion is met.

2. The City or other agency with access permit jurisdiction may require the closing or consolidation of existing curb cuts or other vehicle access points, recording of reciprocal access easements (i.e., for shared driveways), development of a frontage street, installation of traffic control devices, and/or other mitigation as a condition of granting an access permit, to ensure the safe and efficient operation of the street and highway system. Access to and from off-street parking areas shall not permit backing onto a public street.

Staff Finding 2: The proposal does not require backing onto a public street. The existing access is from 12th Street, which will be eliminated and a new access constructed on 8th Avenue to access the garage. This criterion is met.

3. Access Options. When vehicle access is required for development (i.e., for off-street parking, delivery, service, drive-through facilities, etc.), access shall be provided by one of the following methods (planned access shall be consistent with adopted public works standards and TSP). These methods are “options” to the developer/subdivider.

a) Option 1. Access is from an existing or proposed alley or mid-block lane. If a property has access to an alley or lane, direct access to a public street is not permitted.

b) Option 2. Access is from a private street or driveway connected to an adjoining property that has direct access to a public street (i.e., “shared driveway”). A public access easement covering the driveway shall be recorded in this case to assure access to the closest public street for all users of the private street/drive.

c) *Option 3. Access is from a public street adjacent to the development lot or parcel. If practicable, the owner/developer may be required to close or consolidate an existing access point as a condition of approving a new access. Street accesses shall comply with the access spacing standards in subsection (B)(6) of this section.*

Staff Finding 3: The existing access is from 12th Street, which will be eliminated and a new access constructed on 8th Avenue, a public street, to access the garage. This criterion is met.

4. *Subdivisions fronting onto an arterial street.*

(...)

5. *Double frontage lots.*

Staff Finding 4: Staff incorporates the findings found on page 13 of the applicant's submittal (Exhibit PD-4). The criteria are met.

6. *Access Spacing.*

a. *The access spacing standards found in the adopted TSP shall be applicable to all newly established public street intersections...variance section in the adopted TSP.*

b. *Private drives and other access ways are subject to the requirements of CDC 48.060.*

Staff Finding 5: The applicant proposal does not include any new public street intersections. The proposal is for one private drive access to 8th Avenue. Please see Staff Findings 12 to 14 for compliance with CDC 48.060. The criteria are met.

7. *Number of access points. For single-family (detached and attached), two-family, and duplex housing types, one street access point is permitted per lot or parcel, when alley access cannot otherwise be provided; except that two access points may be permitted corner lots...*

Staff Finding 6: The applicant proposes one access to 8th Avenue, a public street. The criteria are met.

8. *Shared driveways. The number of driveway and private street intersections with public streets shall be minimized by the use of shared driveways with adjoining lots where feasible. (...)*

a. *Shared driveways and frontage streets may be required to consolidate access onto a collector or arterial street. When shared driveways or frontage streets are required, they shall be stubbed to adjacent developable parcels to indicate future extension. "Stub" means that a driveway or street temporarily ends at the property line, but may be extended in the future as the adjacent lot or parcel develops. "Developable" means that a lot or parcel is either vacant or it is likely to receive additional development (i.e., due to infill or redevelopment potential).*

b. *Access easements (i.e., for the benefit of affected properties) shall be recorded for all shared driveways, including pathways, at the time of final plat approval or as a condition of site development approval.*

c. Exception. Shared driveways are not required when existing development patterns or physical constraints (e.g., topography, lot or parcel configuration, and similar conditions) prevent extending the street/driveway in the future

Staff Finding 7: The applicant proposes one access to 8th Avenue, a public street. The criteria are met.

C. Street connectivity and formation of blocks required. In order to promote efficient vehicular and pedestrian circulation throughout the City, land divisions and large site developments shall produce complete blocks bounded by a connecting network of public and/or private streets, in accordance with the following standards:

- 1. Block length and perimeter. The maximum block length shall not exceed 800 feet or 1,800 feet along an arterial.*
- 2. Street standards. Public and private streets shall also conform to Chapter 92 CDC, Required Improvements, and to any other applicable sections of the West Linn Community Development Code and approved TSP.*
- 3. Exception. Exceptions to the above standards may be granted when blocks are divided by one or more pathway(s), in conformance with the provisions of CDC 85.200(C), Pedestrian and Bicycle Trails, or cases where extreme topographic (e.g., slope, creek, wetlands, etc.) conditions or compelling functional limitations preclude implementation, not just inconveniences or design challenges.*

Staff Finding 8: No land division is proposed. The proposed development is located in a fully developed area with an existing street grid pattern and no new connections are feasible. The criteria are met.

48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES

A. Direct individual access from single-family dwellings and duplex lots to an arterial street, as designated in the transportation element of the Comprehensive Plan (...)

Staff Finding 9: The subject property is bordered by two local streets and will take access from a local street. The criteria are met.

B. When any portion of any house is less than 150 feet from the adjacent right-of-way, access to the home is as follows:

- 1. One single-family residence, including residences with an accessory dwelling unit as defined in CDC 02.030, shall provide 10 feet of unobstructed horizontal clearance. Dual-track or other driveway designs that minimize the total area of impervious driveway surface are encouraged. (...)*
- 3. Maximum driveway grade shall be 15 percent...*
- 4. The driveway shall include a minimum of 20 feet in length between the garage door and the back of sidewalk, or, if no sidewalk is proposed, to the paved portion of the right-of-way.*

Staff Finding 10: The applicant proposes one 20 foot access driveway from 8th Avenue to both the single-family home and accessory dwelling unit. All portions of the new single-family home and accessory structure will be less than 150 feet from either 12th Street or 8th Avenue.

The access drive grade will be 10 percent. The garage doors will face the rear property line and have 24 feet of length to the fence. The criteria are met.

C. When any portion of one or more homes is more than 150 feet from the adjacent right-of-way, the provisions of subsection B of this section shall apply in addition to the following provisions.

(...)

D. Access to five or more single-family homes...waived by variance.

(...)

I. Gated accessways to residential development other than a single-family home are prohibited.

Staff Finding 11: Staff incorporates the findings found on page 14 of the applicant's submittal (Exhibit PD-4). The criteria are met.

48.060 WIDTH AND LOCATION OF CURB CUTS AND ACCESS SEPARATION REQUIREMENTS

A. Minimum curb cut width shall be 16 feet.

B. Maximum curb cut width shall be 36 feet...

(...)

C. No curb cuts shall be allowed any closer to an intersecting street right-of-way line than the following:

(...)

6. On a local street when intersecting any other street, 35 feet.

D. There shall be a minimum distance between any two adjacent curb cuts on the same side of a public street, except for one-way entrances and exits, as follows:

(...)

3. Between any two curb cuts on the same lot or parcel on a local street, 30 feet.

(...)

Staff Finding 12: The applicant proposes one 24 foot curb cut to accommodate the access to the new garage. The proposed curb cut is located on 8th Avenue, a local street, and the closest intersecting street, 12th Street, is a local street and located 80 feet to the west. The criteria are met.

E. A rolled curb may be installed...

F. Curb cuts shall be kept at a minimum...

Staff Finding 13: Staff incorporates the findings found on page 15 of the applicant's submittal (Exhibit PD-4). The criteria are met.

G. Adequate line of sight pursuant to engineering standards should be afforded at each driveway or accessway.

Staff Finding 14: The applicant proposes one accessway and vision clearance will be confirmed by planning staff during the building permit process. The criterion is met.

II. CHAPTER 55, DESIGN REVIEW

55.090 APPROVAL STANDARDS – CLASS I DESIGN REVIEW

The Planning Director shall make a finding with respect to the following criteria when approving, approving with conditions, or denying a Class I design review application:

A. The provisions of the following sections shall be met:

1. CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment, shall apply except in those cases where the proposed development site is substantially developed and built out with no remaining natural physical features that would be impacted.

55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW

B. Relationship to the natural and physical environment.

1. The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the municipal code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.

Staff Finding 15: The subject property contains no heritage trees. The criteria are met.

2. All heritage trees, as defined in the municipal code, all trees and clusters of trees (“cluster” is defined as three or more trees with overlapping driplines; however, native oaks need not have an overlapping dripline) that are considered significant by the City Arborist...that this code section will not necessarily protect all trees deemed significant.

a. Non-residential and residential projects on Type I and II lands shall protect all heritage trees and all significant trees and tree clusters by limiting development in the protected area.

(...)

Staff Finding 16: The subject property contains no Type I or II lands as it has an approximate six percent slope from west to east, does not contain any wetlands or protected stream corridors, is not located in the FEMA-mapped floodplain, and is not shown to have landslide potential in Map 16 of the Natural Hazard Mitigation Plan. The criteria are met.

b. Non-residential and residential projects on non-Type I and II lands shall set aside up to 20 percent of the protected areas for significant trees and tree clusters, plus any heritage trees.

(...)

Staff Finding 17: The subject property contains no Type I or II lands. The City Arborist visited the property on July 5, 2018 and found the 48 inch Atlas Cedar located on the southwest corner of the property to be significant. The applicant proposes to remove the significant tree due to its proximity to the new sidewalk and structures. The new sidewalk will be located three feet distance from the tree and the new single-family home will be nine feet distance

from the tree. The applicant is required to set aside up to 20 percent of protected area. Zero is up to 20 percent. The criteria are met.

c. Where stubouts of streets occur on abutting properties, and the extension of those streets will mean the loss of significant trees, tree clusters, or heritage trees (...)

*d. For both non-residential and residential development, the layout shall achieve at least 70 percent of maximum density for the developable net area.
(...)*

f. If the protection of significant tree(s) or tree clusters is to occur in an area of grading that is necessary for the development of street grades, per City construction codes, which will result in an adjustment in the grade of over or under two feet (...)

Staff Finding 18: The proposal is for the construction of a single-family home and accessory building. No new streets are proposed and the parcel is not large enough to partition or subdivide. The criteria are met.

3. The topography and natural drainage shall be preserved to the greatest degree possible.

Staff Finding 19: The subject property is located in a built out neighborhood and the applicant does not propose any significant grading. The applicant is proposing to terrace the accessory structure down the slope from the single-family home. The criteria are met.

4. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report's Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.

Staff Finding 20: The subject property is not identified as a landslide risk in any of the City's hazard maps. The slope of the site is approximately six percent and shows no signs of any historic slumping or sliding. The criteria are met.

2. CDC 55.100(B)(5) and (6), architecture, et al., shall only apply in those cases that involve exterior architectural construction, remodeling, or changes.

5. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

Staff Finding 21: Staff incorporates the findings found on page 11 of the applicant's submittal (Exhibit PD-4). The criteria are met.

6. Architecture.

a. The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows,

building scale and massing of surrounding buildings in the proposed structure. The materials and colors shall be complementary to the surrounding buildings.

b. While there has been discussion in Chapter 24 CDC about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that “step down” or “step up” from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

c. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.

d. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (i.e., their size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, and visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally.

The human scale is enhanced by bringing the building and its main entrance up to the edge of the sidewalk. It creates a more dramatic and interesting streetscape and improves the “height and width” ratio referenced in this section.

e. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot-long building elevation shall have at least 60 feet (60 percent of 100 feet) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation.

f. Variations in depth and roof line are encouraged for all elevations.

To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief.

g. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings.

- h. The vision statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings.*
- i. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four-foot-wide pedestrian accessway must be maintained per Chapter 53 CDC, Sidewalk Use.*

Staff Finding 22: Staff incorporates the findings found on page 11-12 of the applicant's submittal (Exhibit PD-4). The criteria are met.

- 3. Pursuant to CDC 55.085, the Director may require additional information and responses to additional sections of the approval criteria of this section depending upon the type of application.*

Staff Finding 23: The Planning Director does not require any additional information. The criteria are met.

- B. An application may be approved only if adequate public facilities will be available to provide service to the property at the time of occupancy.*

Staff Finding 24: The subject property is bordered by 12th Street, which has water and storm infrastructure available, and 8th Avenue, which has water, sewer, and storm infrastructure available. The City Engineer has confirmed there is adequate capacity to service the proposal. The criteria are met.

- C. The Planning Director shall determine the applicability of the approval criteria in subsection A of this section.*

Staff Finding 25: The Planning Director has made findings for all approval criteria. The criteria are met.

III. CHAPTER 59, WILLAMETTE NEIGHBORHOOD MIXED-USE TRANSITIONAL ZONE

59.030 PERMITTED USES

The following are uses permitted outright in this zone:

- 1. Single-family detached dwelling;*

(...)

59.040 ACCESSORY USES

Accessory uses are allowed in this zone as provided by Chapter 34 CDC.

Staff Finding 26: The applicant proposes to construct a new single-family home and accessory structure. Both are allowed uses. The criteria are met.

59.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS

A. Except as may be otherwise provided by the provisions of this code, the following are the requirements for uses within this zone:

- 1. The minimum front lot line length or the minimum lot width at the front lot line shall be 35 feet.*
- 2. The average minimum lot width shall be 50 feet.*
- 3. The average minimum lot depth shall not be less than 90 feet.*
- 4. The minimum yard dimensions or minimum building setback area from the lot line shall be:*
 - a. For a front yard, 12 feet minimum and 20 feet maximum to the structure, except that a porch, patio, or pedestrian amenity may be six feet from the front property line.*
 - b. For an interior side yard, seven and one-half feet.*
 - c. For a side yard abutting a street, 12 feet.*
 - d. For a rear yard, 20 feet. However, where the use abuts a residential district, the setback distance required in the residential district shall apply, and within the setback area a buffer of at least 10 feet of landscaping in addition to a fence is required.*

Staff Finding 27: Staff incorporates the findings found on page 9-10 of the applicant's submittal (Exhibit PD-4). The criteria are met.

- 5. The maximum building height shall be two stories above grade, or 35 feet, whichever is less.*

Staff Finding 28: The proposed single-family home is 28 feet high and the accessory structure is 25 feet high. Both are two-stories. The criteria are met.

- 6. Maximum building size for all floors shall not exceed 6,000 square feet above grade excluding porches.*

Staff Finding 29: The applicant proposes to construct two buildings. The single-family home is 3,788 square feet and the accessory structure is 2,329 square feet. Neither building exceeds 6,000 square feet. The criteria are met.

- 7. The building floor area ratio shall be 0.4, except that the ground floor of the building shall not exceed 5,000 square feet.*

Staff Finding 30: The subject property is 9,535 square feet. The applicant proposes to construct a 3,788 square foot single-family home, which equates to a floor area ratio of 0.397. Floor area ratio does not apply to detached garages, accessory dwelling units and accessory structures per Community Development Code Chapter 2: Definitions. The ground floor of the proposed single-family home is 2,176 square feet, which does not exceed 5,000 square feet. The criteria are met.

- 8. The minimum lot size shall be 4,500 square feet and the maximum lot size shall be 10,000 square feet, unless defined as an existing lot of record.*

Staff Finding 31: The subject property is an existing lot of record and is 9,535 square feet in area. The criteria are met.

B. Design standards. All uses in the mixed-use zone shall comply with the provisions of Chapter 55 CDC, except for CDC 55.100(B)(7)(a), (b), (c), (h), (i), and (j). Further, single-family and duplex residential uses shall also comply with the Class I design review standards. In addition, the design standards described below apply to all uses.

1. Residential-style building with single story porch on the front, and on the side where it abuts a street.

Staff Finding 32: The subject property is a corner lot and the applicant proposes to construct a single-family home with the front door and porch facing 12th Street and wrapping around the side of the home abutting 8th Avenue. The criteria are met.

2. New sidewalk construction shall be allowed to match the historical sidewalk standards in this zone.

Staff Finding 33: The applicant proposes to construct six-foot sidewalks along the subject property's frontage with both 12th Street and 8th Avenue. The criteria are met.

3. Off-street parking shall be behind, under, or on the side of building.

4. Garages shall not extend any closer to the street than the street-facing facade of the house.

Staff Finding 34: The proposed accessory structure will contain a three-car garage that behind the proposed home and facing the rear of the property. The proposed garage is no closer to 8th Avenue than the proposed home as they are both located 12 feet from the property line. The criteria are met.

5. There shall be no illuminated outdoor advertising on accessory buildings, equipment, or vending machines

6. These design standards, subsections (B)(1) through (5) of this section, shall not apply to public facilities such as reservoirs, water towers, treatment plants, fire stations, pump stations, power transmission facilities, etc. It is recognized that many of these facilities, due to their functional requirements, cannot readily be configured to meet these design standards.

However, attempts shall be made to make the design sympathetic to surrounding properties through compatible architecture, enhanced landscaping, setbacks, buffers, and other reasonable means.

Staff Finding 35: The applicant does not propose any outdoor advertising nor any public facilities. The criteria are met.

59.080 ADDITIONAL USE REQUIREMENTS

In addition to all other provisions of this section, the following additional requirements may apply:

- A. Permitted uses may only be open from 6:00 a.m. to 10:00 p.m. and are subject to the noise provisions of Chapter 55 CDC.
- B. Exterior business activity shall not take place beyond the rear wall of the building when the subject property abuts a residential district, except for parking and refuse storage. Refuse storage must be buffered or enclosed and may not abut a property line that adjoins a residential zone.

Staff Finding 36: The applicant does not propose any uses that are open to the general public nor any exterior business activity. The criteria are met.

V. CHAPTER 96, STREET IMPROVEMENT CONSTRUCTION

96.010 CONSTRUCTION REQUIRED

- A. New construction.
(...)
- C. Replacement of an existing building.
 - 1. Building permits shall not be issued for the replacement of any existing building or structure which results in an increase in size unless:
 - a. The applicant for said building permit agrees to construct street improvements; and
 - b. The City Manager or the Manager's designee determines the replacement is sufficiently increased in size to cause construction of street improvements.

Staff Finding 37: The applicant proposes to replace the existing 2,086 square foot single-family home with a 3,788 square foot home and 2,329 square foot accessory structure. The applicant has proposed to construct street improvements consisting of curb, gutter, and sidewalk. The current 8th Avenue right-of-way width is 40 feet and cannot accommodate a full 34-foot local street cross-section (parking on both sides). The applicant proposes to match the six-foot curb tight sidewalk that exists across 8th Avenue and construct it in a six-foot public access/sidewalk easement adjacent to 8th Avenue on the subject property. This will allow two 10-foot travel lanes and seven-foot parking lanes on both sides of the street. Please see Condition of Approval 3. The City's Engineering Department has reviewed the proposal and will require final construction plans. Subject to the Conditions of Approval, these criteria are met.

PD-1 AFFADAVIT AND NOTICE PACKET

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DR-18-01 Applicant's Name Ralph Tahran
Development Name _____
Scheduled Meeting/Decision Date 7-2-18

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A

- A. The applicant (date) _____ (signed) _____
B. Affected property owners (date) _____ (signed) _____
C. School District/Board (date) _____ (signed) _____
D. Other affected gov't. agencies (date) _____ (signed) _____
E. Affected neighborhood assns. (date) _____ (signed) _____
F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) _____ (signed) _____
City's website (posted date) _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 6-21-2018 (signed) Don S. W. [Signature]

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B

- A. The applicant (date) 6-15-18 (signed) J. Shoyer
B. Affected property owners (date) 6-15-18 (signed) J. Shoyer
C. School District/Board (date) _____ (signed) _____
D. Other affected gov't. agencies (date) _____ (signed) _____
E. Affected neighborhood assns. (date) 6-15-18 (signed) J. Shoyer
All

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: 6-15-18 (signed) J. Shoyer

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) _____ (signed) _____

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) 7/23/2018 (signed) Don S. W. [Signature]

**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION
FILE NO. DR-18-01**

The West Linn Planning Manager is considering a request for a Class I Design Review to construct a single-family home and accessory structure 1693 12th Street.

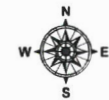
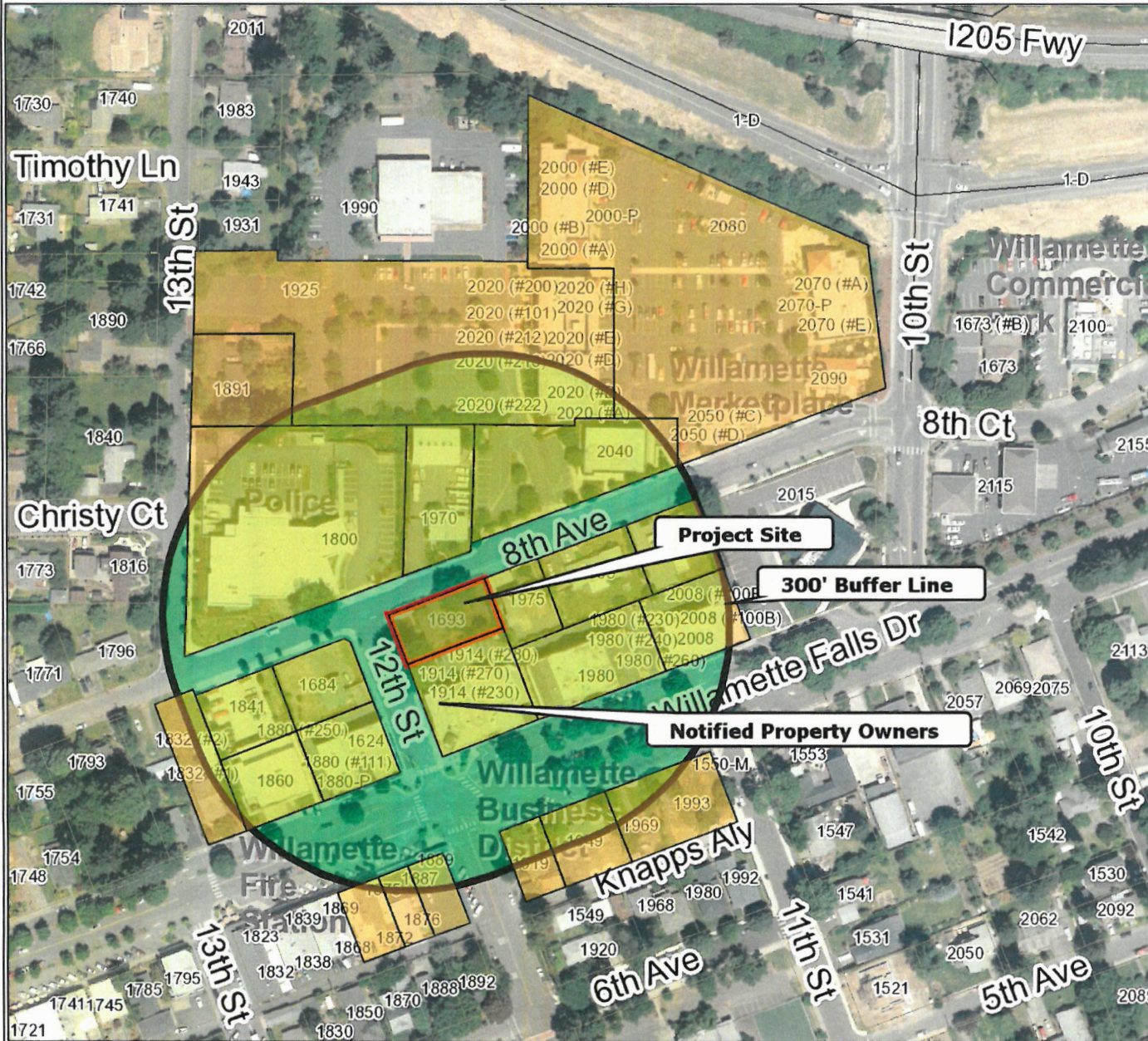
The decision will be based on the approval criteria in Chapters 48 and 59 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov/cdc>.

You have received this notice because County records indicate that you own property within 300 feet of this property (Tax Lot 500 of Clackamas County Assessor's Map 31E 02BA) or as otherwise required by Chapter 99 of the CDC.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site <https://westlinnoregon.gov/planning/1693-12th-street-class-i-design-review-residence-mixed-use-zone> or copies may be obtained for a minimal charge per page. A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on July 2, 2018.** **Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline.** For further information, please contact Darren Wyss, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503)742-6064, dwyss@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

1693 12th Street Notification Map



Scale 1:2,400 - 1 in = 200 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: SSHROYER
Date Created: 14-Jun-18 04:51 PM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.



CITY OF West Linn

CITY OF WEST LINN NOTICE OF UPCOMING PLANNING MANAGER DECISION

**PROJECT # DR-18-01
MAIL: 6/15/18 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

PD-2 COMPLETENESS LETTER



CITY OF
West Linn

June 14, 2018

Jason & Amy Johnston
1693 12th Street
West Linn, OR. 97068

SUBJECT: DR-18-01 application for design review at 1693 12th Street.

Dear Jason & Amy:

You submitted this application on February 6, 2018. The Planning and Engineering Departments found that this application was incomplete on February 27, 2018. All required information was subsequently provided on May 15 and June 6, 2018 and the application has now been deemed **complete**. The city has 120 days to exhaust all local review; that period ends October 4, 2018.

Please be aware that a determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Planning Director to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. This notice will identify the earliest potential decision date by the Planning Director.

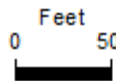
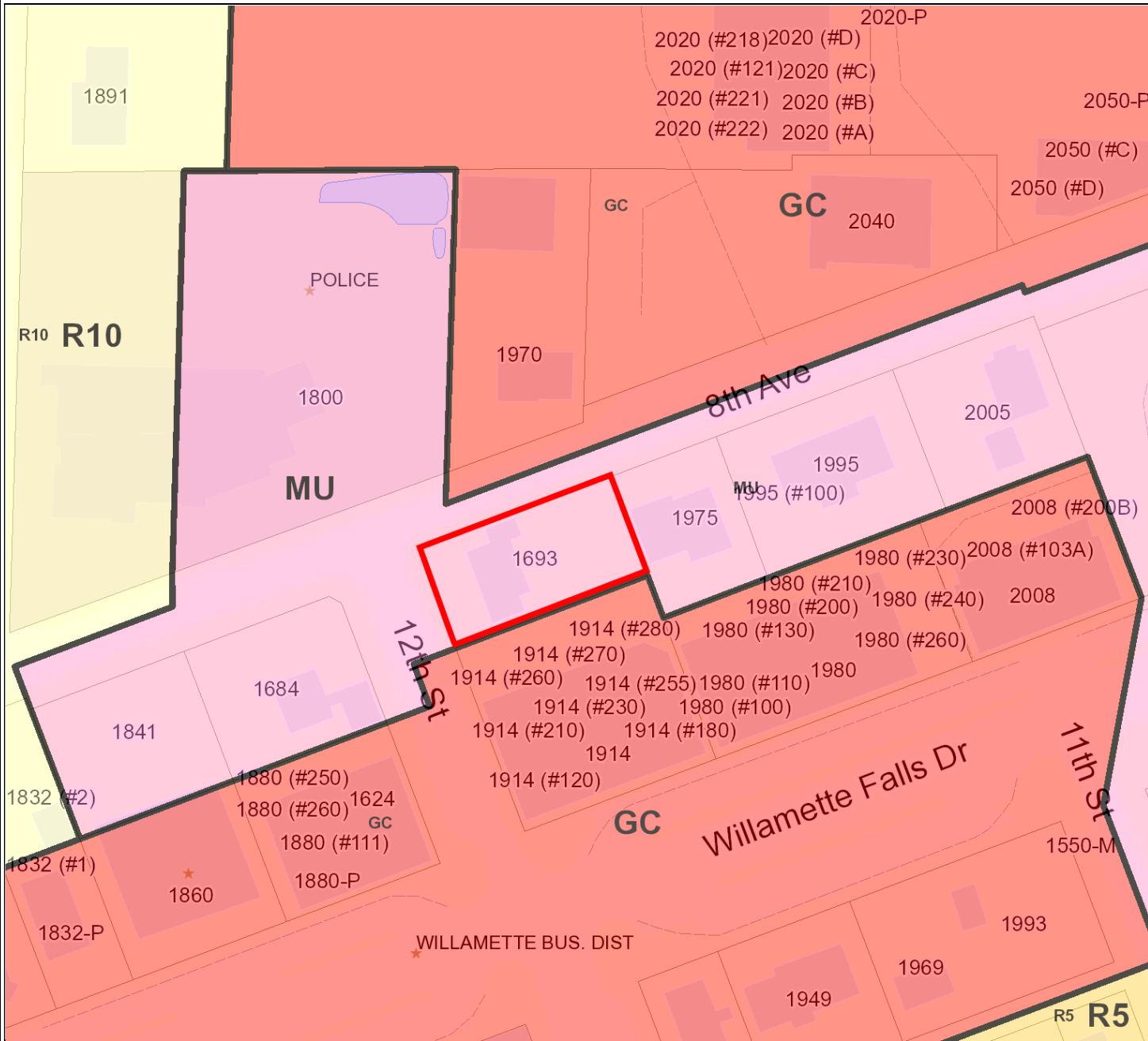
Please contact me at 503-742-6064, or by email at dwyss@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Darren Wyss
Associate Planner

PD-3 PROPERTY MAPS

1693 12TH ST



Scale 1:1,200 - 1 in = 100 ft
Scale is based on 8-1/2 x 11 paper size

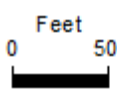


Map created by: DWYSS
Date Created: 03-Jul-18 09:38 AM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.

1693 12TH ST



Scale 1:1,200 - 1 in = 100 ft
Scale is based on 8-1/2 x 11 paper size



Map created by: DWYSS
Date Created: 03-Jul-18 09:39 AM

WEST LINN GIS

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.

PD-4 APPLICANT SUBMITTAL

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Barren Wyss</i>	PROJECT No(s). <i>DR-18-01</i>	
NON-REFUNDABLE FEE(S) <i>2100</i>	REFUNDABLE DEPOSIT(S) <i>1</i>	TOTAL <i>2100</i>

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) <i>CLI</i> | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation <i>2100</i> | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: <i>1693 12th STREET, WEST LINN, OREGON 97068</i>	Assessor's Map No.: <i>3 1E 02BA</i>
	Tax Lot(s): <i>3 1E 02BA</i>
	Total Land Area: <i>9519.3 SF</i>

Brief Description of Proposal:
EXTENSIVE REMODEL OF AN EXISTING SINGLE FAMILY RESIDANCE TO CREATE A NEW LARGER RESIDANCE WITH A DETACHED ADU/ACCESSORY BUILDING & GARAGE

Applicant Name: <i>RALPH TAHRAN, ARCHITECT</i> <small>(please print)</small>	Phone: <i>503.539.8802</i>
Address: <i>13741 KNAUS ROAD</i>	Email: <i>ralph.tahran@comcast.net</i>
City State Zip: <i>LAKE OSWEGO, OR. 97034</i>	

Owner Name (required): <i>JASON & AMY JOHNSTON</i> <small>(please print)</small>	Phone: <i>503.267.5253</i>
Address: <i>1693 12th ST.</i>	Email:
City State Zip: <i>WEST LINN, OR. 97068</i>	

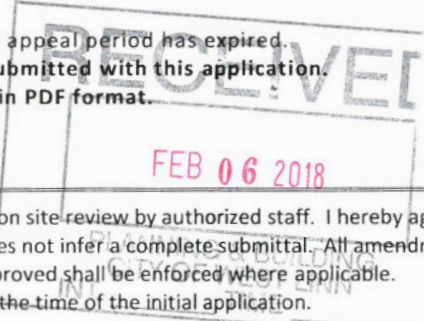
Consultant Name: <i>TAHRAN ARCHITECTURE & PLANNING LLC.</i> <small>(please print)</small>	Phone: <i>503.539.8802</i>
Address: <i>13741 KNAUS ROAD</i>	Email: <i>ralph.tahran@comcast.net</i>
City State Zip: <i>LAKE OSWEGO, OREGON 97034</i>	

- All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

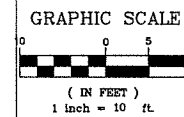
<i>[Signature]</i>	<i>2/5/18</i>	<i>[Signature]</i>	<i>2/5/18</i>
Applicant's signature	Date	Owner's signature (required)	Date



TOPOGRAPHIC SURVEY
 FOR:
 AMY & JASON JOHNSTON
 BEING A PORTION OF TRACT 54
 WILLAMETTE TRACTS (PLAT NO. 147)
 SITUATED IN THE NW 1/4 OF SECTION 2
 T.3S, R.1E, W.M.
 CITY OF WEST LINN
 CLACKAMAS COUNTY, OREGON

TAX MAP 3 1E 02BA

JULY 10, 2017



NOTES:

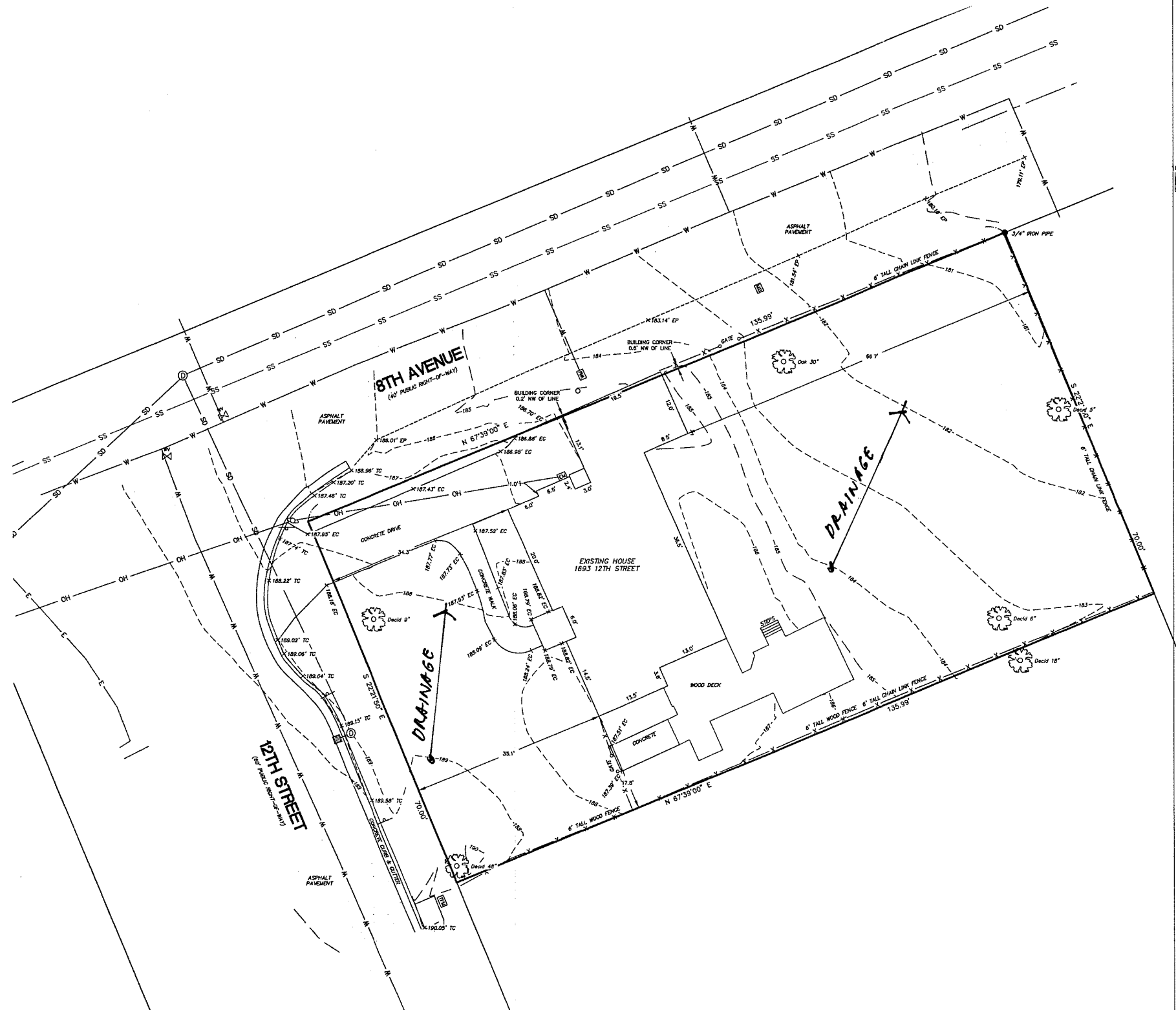
1. VERTICAL DATUM IS NGVD 1929 BASED ON OPUS SOLUTION OF STATIC GPS OBSERVATION.
2. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
3. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
4. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

9519,3 SF GROSS AREA.

LEGEND:

- FOUND SURVEY MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊞ WATER METER
- ⊞ WATER VALVE
- ⊞ UTILITY POLE
- ⊞ ELECTRIC METER
- ⊞ TRANSFORMER
- GATE POST
- ⊞ MAILBOX
- SD— UNDERGROUND STORM LINE
- SS— UNDERGROUND SANITARY LINE
- E— UNDERGROUND POWER LINE
- W— UNDERGROUND WATER LINE
- X— FENCE LINE AS NOTED
- OH— OVERHEAD UTILITY LINE
- 000.00 EC X EDGE OF CONCRETE - SPOT ELEVATION
- 000.00 TC X TOP OF CURB - SPOT ELEVATION
- 000.00 EP X EDGE OF PAVEMENT - SPOT ELEVATION

SITE ANALYSIS



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

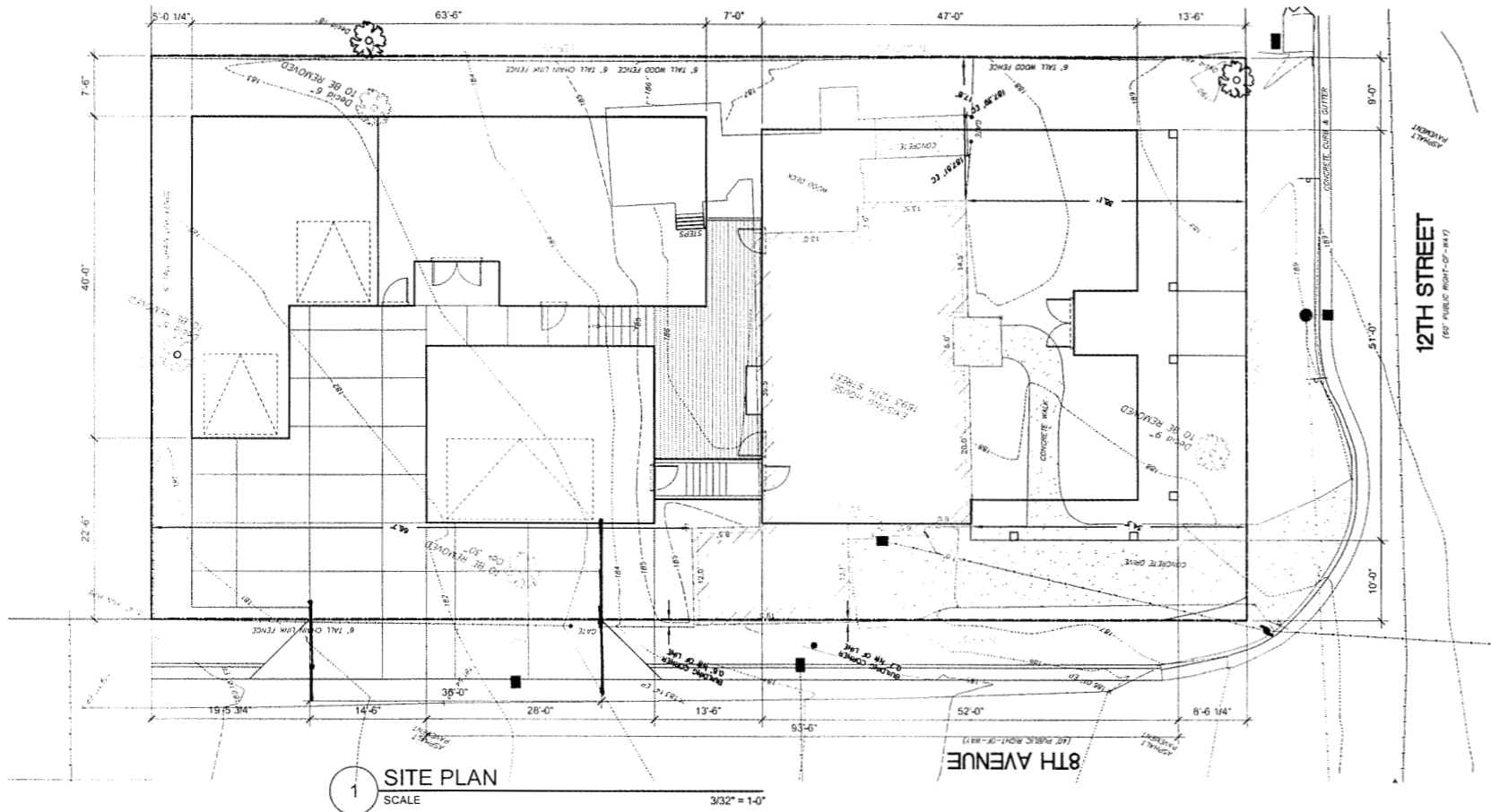
Harold P. Salo
 OREGON
 JANUARY 15, 1987
 HAROLD P. SALO
 2284
 EXPIRES: JUNE 30, 2018

(SINCE 1952)
 ANDY PARIS AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 16057 BOONES FERRY ROAD
 LAKE OSWEGO, OREGON 97035
 PH. 503-636-3341
 www.andyparis.com

PROJECT: 17157
 DRAWING: 17157P1.DWG
 DRAFTED: MPC 07/10/17

JOHNSTON RESIDENCE

1693 12TH ST., WEST LINN, OR 97068



LEGEND

	NORTH ARROW
	BUILDING SECTION
	DETAIL SECTION
	DETAIL ELEVATION
	DETAIL PLAN

SYMBOLS

	NEW SLOPE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	EXISTING TREE TO REMAIN

ABBREVIATIONS

ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
A.B.P.	ALT. BRACED PANEL	H.B.	HOSE BIB
BD.	BOARD	HD	HOLD OWN
BLDG.	BUILDING	LAV.	LAVATORY
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.P.	BRACED PANEL	MAX.	MAXIMUM
BRG	BEARING	MECH.	MECHANICAL
CPT	CARPET	MIN.	MINIMUM
C.C.	CENTER TO CENTER	N.G.L.	NATURAL GRADE LINE
C.J.	CONTROL JOINT	N/A	NONE
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CLR	CLEAR	NOM.	NOMINAL
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CRMIC	CERAMIC	P.F.	PORTAL FRAME
CT	CERAMIC TILE	P.T.	PRESSURE TREATED
CSNK.	COUNTERSINK	PNTD	PAINTED
DECK'G	DECKING	PLYWD	PLYWOOD
D.S.	DOWN SPOUT	R=	RADIUS
DIA.	DIAMETER	REF	REFRIGERATOR
DW	DISHWASHER	SHO.	SHOWER
DWG.	DRAWING	SIM.	SIMILAR
EA.	EACH	SH WL	SHEAR WALL
ELEV.	ELEVATION	SHTNG	SHEATHING
ELEC.	ELECTRICAL	TOI.	TOILET
EQ.	EQUAL	T.O.	TOP OF
EQUIP.	EQUIPMENT	T.O.P.	TOP OF PLATE
EXIST'G.	EXISTING	T.O.B.	TOP OF BEAM
ETR	EXISTING TO BE REMAIN	T.O.W.	TOP OF WALL
F.F.L.	FINISH FLOOR LINE	TL	TILE
F.D.	FLOOR DRAIN	TYP.	TYPICAL
FND	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	VER.	VERIFY
FTG	FOOTING	WL	WALL
GALV.	GALVANIZED	WH	WATER HEATER
GYP	GYPSON	WD	WOOD
GWB	GYPSON WALL BOARD	W/O	WITHOUT
INFO	INFORMATION		
HRDWD	HARDWOOD		

DRAWING LIST

A0.1	SITE PLAN, VICINITY MAP PROJECT INFO, & ETC
A1.1	GENERAL REQUIREMENTS
A1.2	WALL ASSEMBLY
A2.1	FIRST FLOOR PLAN & DETAILS
A2.2	SECOND FLOOR PLAN & DETAILS
A2.3	ROOF PLAN & DETAILS
A3.1	BUILDING ELEVATIONS & DETAILS
A3.2	BUILDING ELEVATIONS & DETAILS
A3.3	BUILDING SECTIONS & DETAILS
A3.4	BUILDING SECTIONS & DETAILS
A4.1	WALL SECTIONS
A4.2	ARCHITECTURAL DETAILS
S1.0	STRUCTURAL NOTES
S1.1	FOUNDATION PLAN
S1.2	SECOND FLOOR FRAMING PLAN
S1.3	ROOF FRAMING PLAN

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW TWO STORY RESIDENCE.

LEGAL DESCRIPTION:

PROPERTY ID :
COUNTY :
SUBDIVISION :
BLOCK :
LOT NO :
STATE ID :

LOCATION:
LAKE OSWEGO

ZONE CLASSIFICATION:
ADDRESS:

ZONING INFORMATION

ZONE CLASSIFICATION:
SETBACKS APPLIED: PER PD APPROVAL
20' FRONT
20' REAR
5' SIDES
10' SIDE STREET
MAX BLDG HEIGHT: . FT

CODE ANALYSIS:

CODE USED 2014 OREGON RESIDENTIAL SPECIALTY CODE

LOT AREA	=	. SF
BUILDING COVERAGE	=	. SF
ALLOWABLE BUILDING COVERAGE	=	. SF

ACTUAL HEIGHT	. FT
STREET SETBACK	. FT
SIDE SETBACK	. FT
BACKYARD SETBACKS	. FT

MAX FLOOR AREA ALLOWED

STORM DRAIN CALCULATION

BUILDING INFO	
FLOOR AREA CALCULATION	
FIRST FLOOR	. SF
SECOND FLOOR	. SF
TOTAL FLOOR AREA	. SF
GARAGE	. SF
ENTRY	. SF
COVERED PATIO	. SF
OVERALL TOTAL AREA	29 . SF



PLAN NOTES:

- REFERENCE DETAILS 8/A4.1 EXTERIOR DOOR AND 6/A4.1 FOR INTERIOR DOOR TRIM DETAILS.
- PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL

ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2014 OREGON RESIDENTIAL SPECIALTY CODE.

HIGH EFFICIENCY ENVELOPE
ENVELOPE ENHANCEMENT MEASURE 3

HIGH EFFICIENCY CEILING, WINDOW & SEALING: (CANNOT BE USED WITH CONSERVATION MEASURE E)

VAULTED CEILINGS - U-0.033/R-30A d.e. AND
FLAT CEILING - U-0.025/R-49. AND
WINDOWS - U-0.30. AND PERFORMANCE TESTED DUCT SYSTEMS b

CONSERVATION MEASURE A

HIGH EFFICIENCY HVAC SYSTEM:

GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0.

NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.

PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS:

AF103.4- OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

AF103.4.3- CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.

AF103.4.5- PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.

AF103.4.6- THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.

AF103.4.7- AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.

EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE.

AF103.4.8 DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1- DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODDE DUCT PERFORMANCE STANDARDS.

AF103.4.9- CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

AF103.4.10- ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

SECTION AF103.5.2 OPTION USED:

AF103.5.2.1- VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA (REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)

AF103.5.2.2- VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION.

AF103.5.2.3- BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY-DWELLING TO BE TESTED WITH A BLOWER DOOR. DEPRESSURIZING TO 50 PASCAL'S FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR. A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE- BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

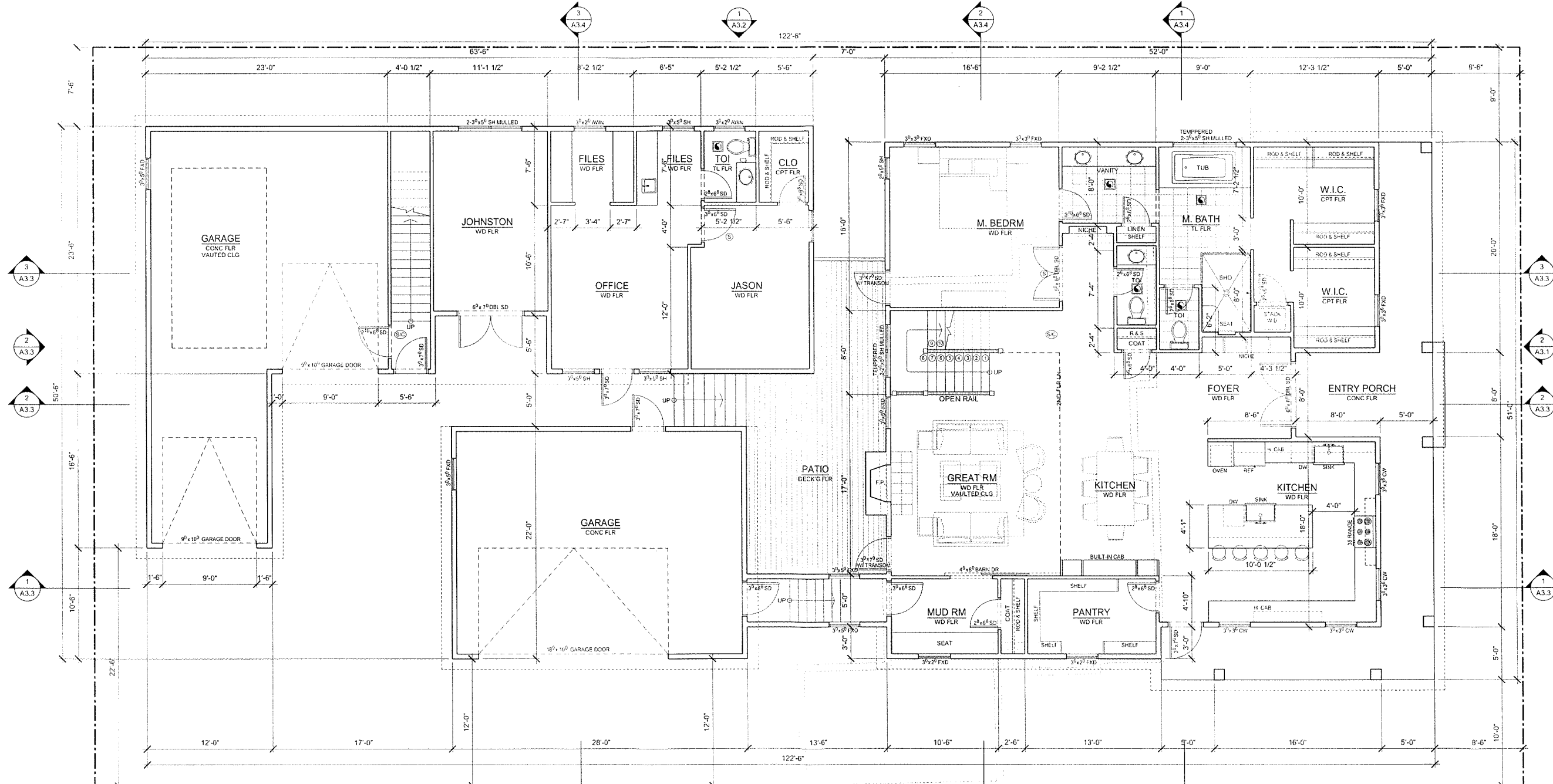
(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A "WHOLE HOUSE" VENTILATION SYSTEM)

FLOOR AREA CALCULATION

MAIN HOUSE	
FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF

ADU SECOND FLOOR	556 SF
OFFICE FIRST FLOOR	894 SF

GARAGE - (OFFICE, ADU)	739 SF
GARAGE - (MAIN HOUSE)	684 SF
ENTRY	424 SF
OPEN PATIO	333 SF



1 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"
3/32" = 1'-0"
R400640

LEGEND

	SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
	EXTERIOR/ INTERIOR WALL
	RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE.
	SMOKE DETECTOR LOCATIONS
	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

01/23/18 - 6:11am - Rusty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726 - A2.1 master.dwg



TAHRAN ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034
T (503) 539-8802 | F (503) 697-1985 | e ralph.tahran@comcast.net

JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RGM	
NO	DATE	ISSUE/REVISION

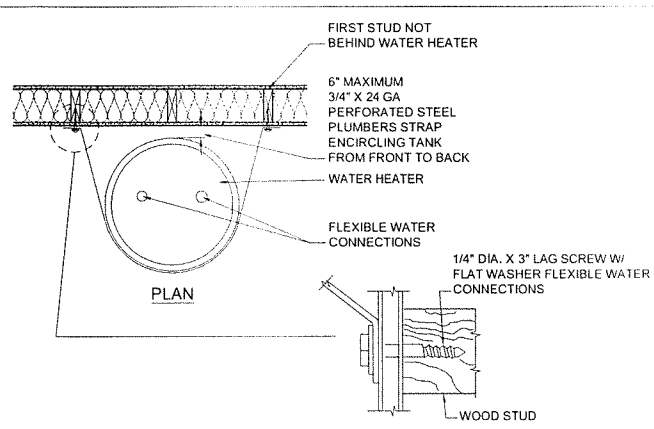
PROJ NO.
2017-026

12-17-17
SHEET CONTENTS

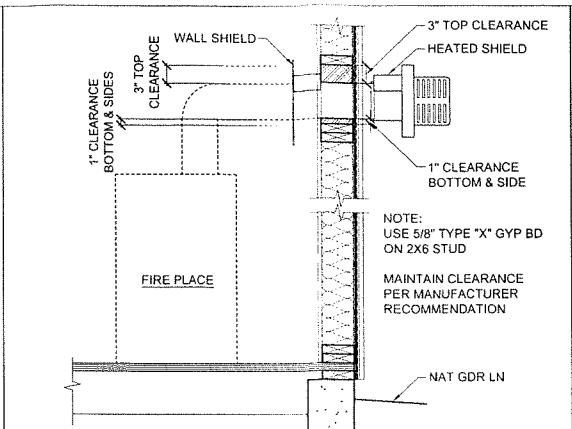
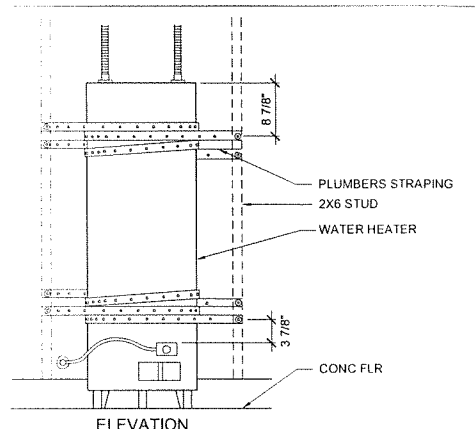
FIRST FLOOR PLAN

SHEET NUMBER

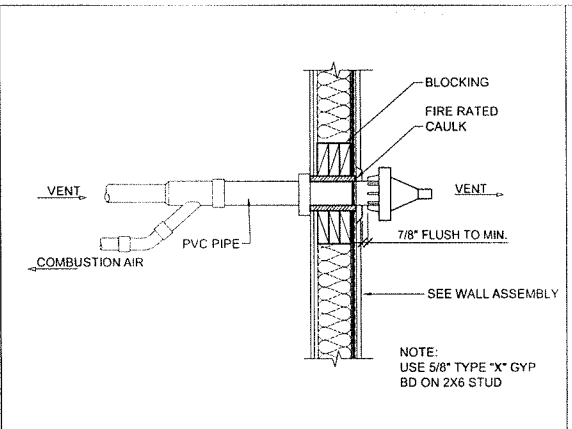
A2.1



2 WATER HEATER SEISMIC STRAP
SCALE 3/4" = 1'-0"



3 GAS FIREPLACE VENT DETAIL
SCALE 3/4" = 1'-0"



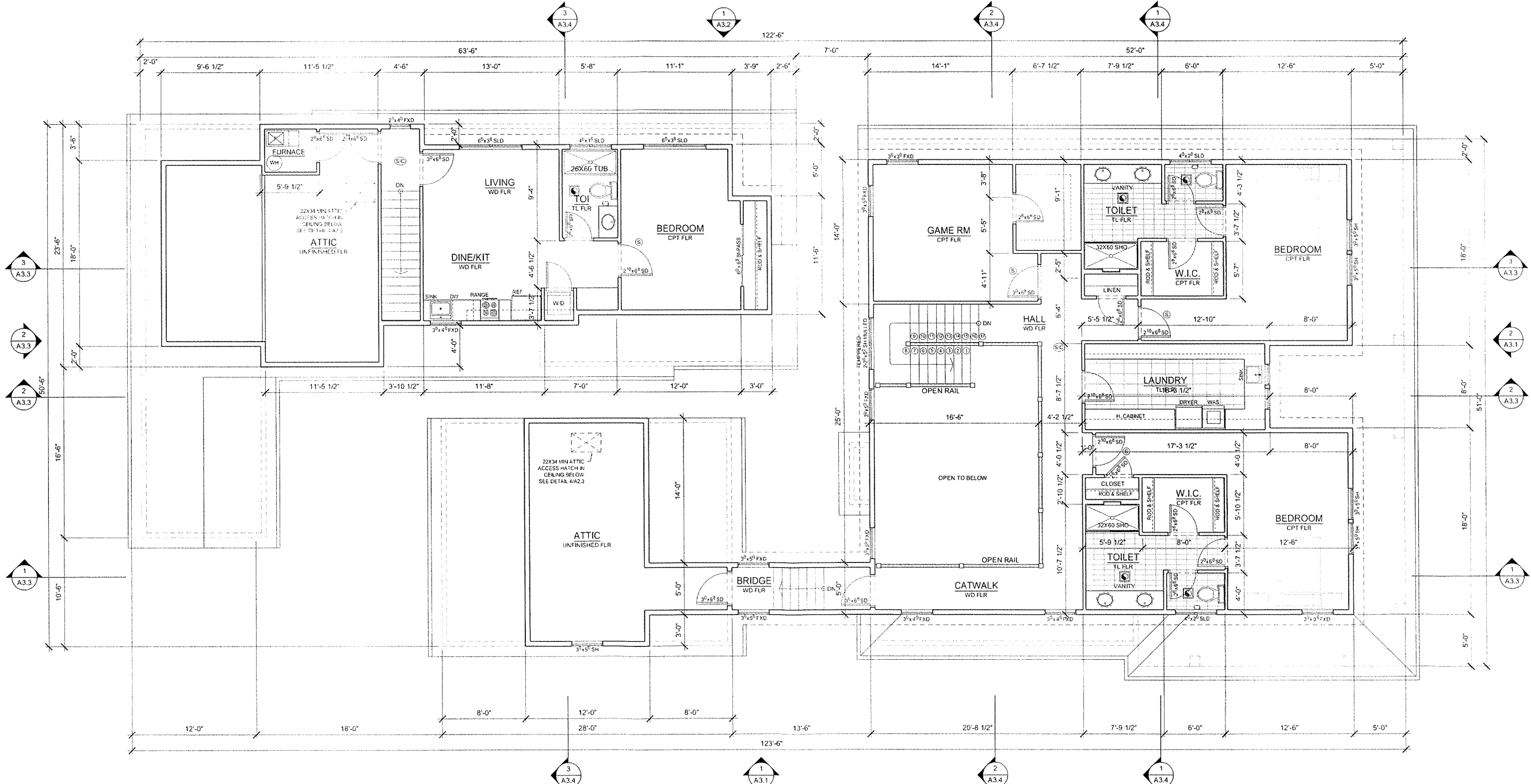
3 FURNACE VENT DETAIL
SCALE 3/4" = 1'-0"

LEGEND

- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
- EXTERIOR/ INTERIOR WALL
- RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELFTIME TO DEHUMIDISTATE.
- SMOKE DETECTOR LOCATIONS
- COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

FLOOR AREA CALCULATION

MAIN HOUSE	
FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ADU SECOND FLOOR	556 SF
OFFICE FIRST FLOOR	894 SF
GARAGE - (OFFICE, ADU)	739 SF
GARAGE - (MAIN HOUSE)	684 SF
ENTRY	424 SF
OPEN PATIO	333 SF



1 SECOND FLOOR PLAN
SCALE 3/32" = 1'-0" *N* *RADUC40*



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JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068

CHECKED BY	RALPH TAHARAN	
DRAWN BY	RCM	
NO.	DATE	ISSUE/REVISION

PROJ. NO.
2017-026

12-17-17
SHEET CONTENTS

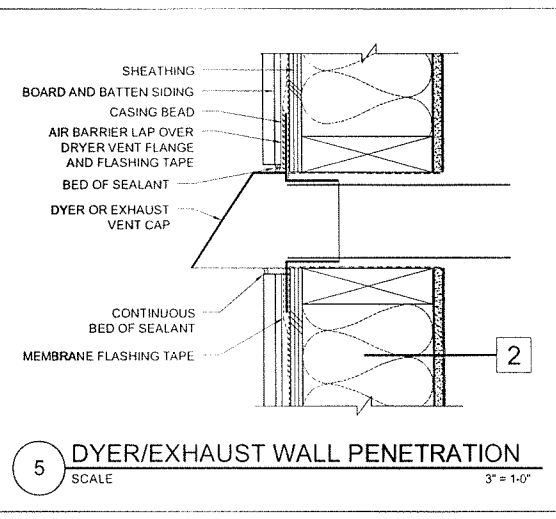
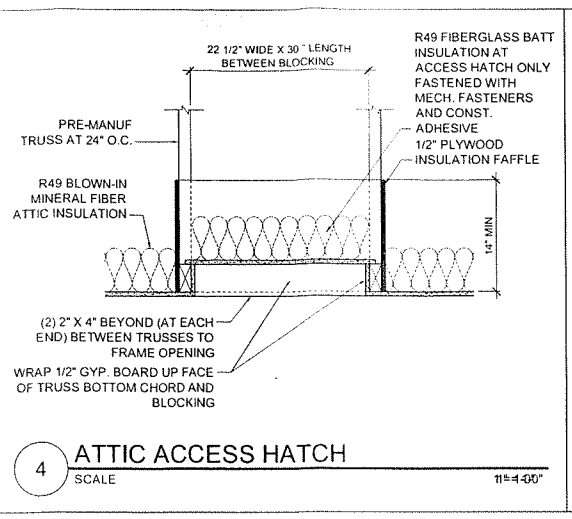
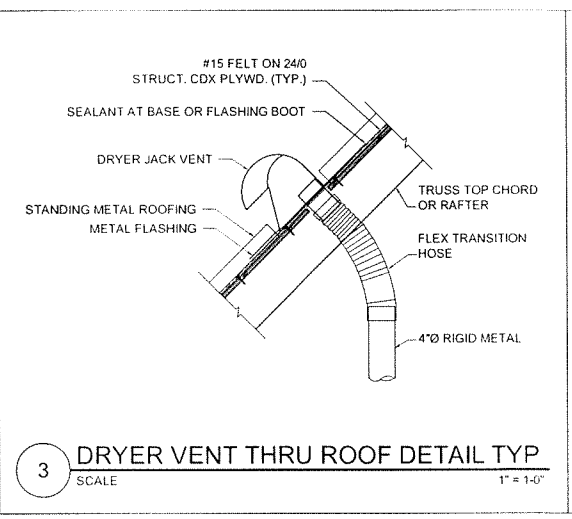
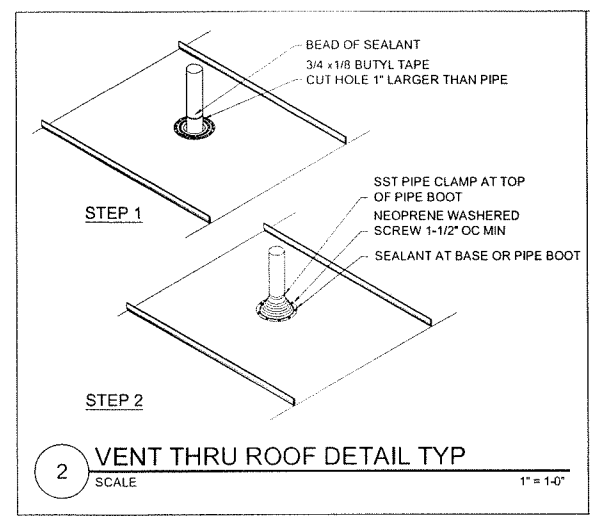
SECOND FLOOR PLAN
DETAILS

SHEET NUMBER

A2.2

01/23/18 - 6:03am - Rusty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726 - A2.2 master.dwg

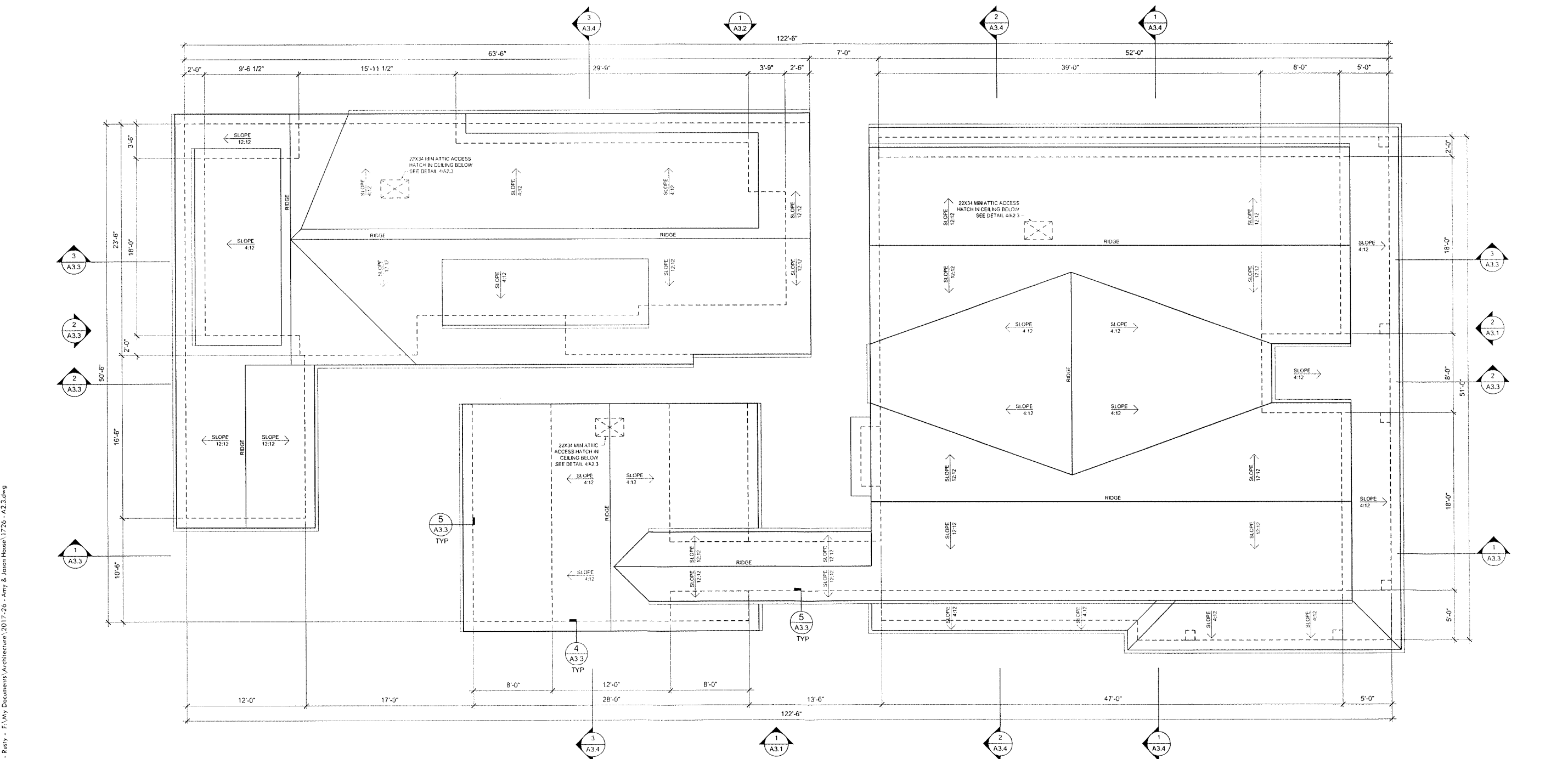
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ATTIC AREA VENTILATION CALCULATIONS

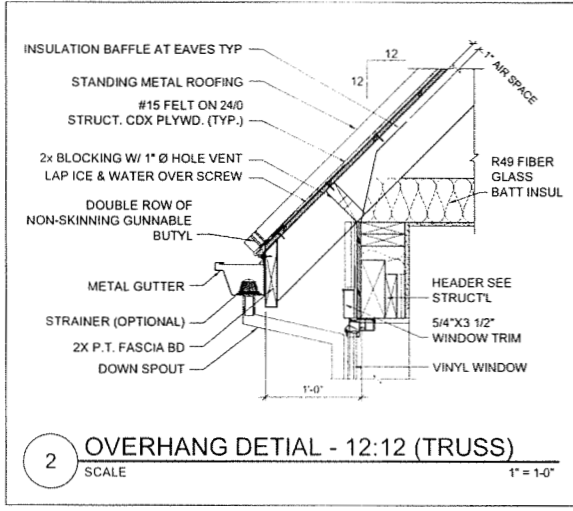
ATTIC VENTILATION AREA	AREA	REQUIRED ATTIC VENTILATION AREA	RIDGE VENTILATION AREA PROVIDED
#1			
#2			
#3			

ROOF NOTES:
1. PROVIDE ROOF VENTILATOR IN THE UPPER PORTION OF THE ROOF AS SHOWN ON PLAN SO THAT THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE BEING VENTILATED - UNLESS NOTED OTHERWISE (PER THE LATEST EDITION OF THE 2014 ORSC
2. VENTILATION CALCULATIONS FOR SLOPED ROOF AREAS BASED ON USING 12X12 ROOF VENTILATORS (PROVIDE .35 SQUARE FEET OF NET FREE VENTILATION AREA PER VENT).
3. PROVIDE 2X BLOCKING BETWEEN TRUSSES AT EAVES WITH (3) 1 1/2\"/>

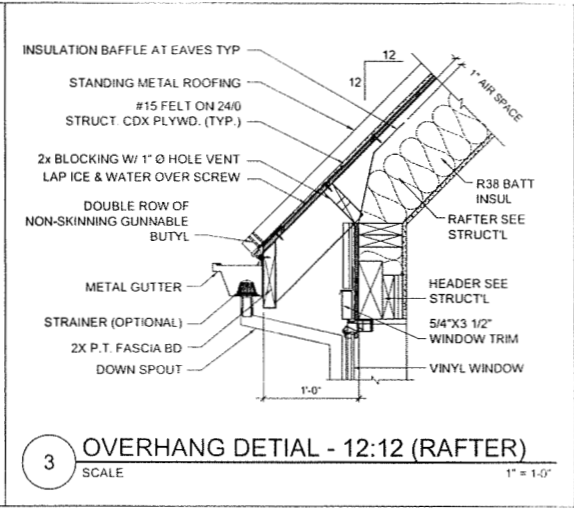


1 SECOND FLOOR PLAN
SCALE
3/32" = 1'-0"
REDUCED

01/23/18 - 6:24am - Purty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\172b - A2.3.dwg



2 OVERHANG DETIAL - 12:12 (TRUSS)
SCALE 1" = 1'-0"

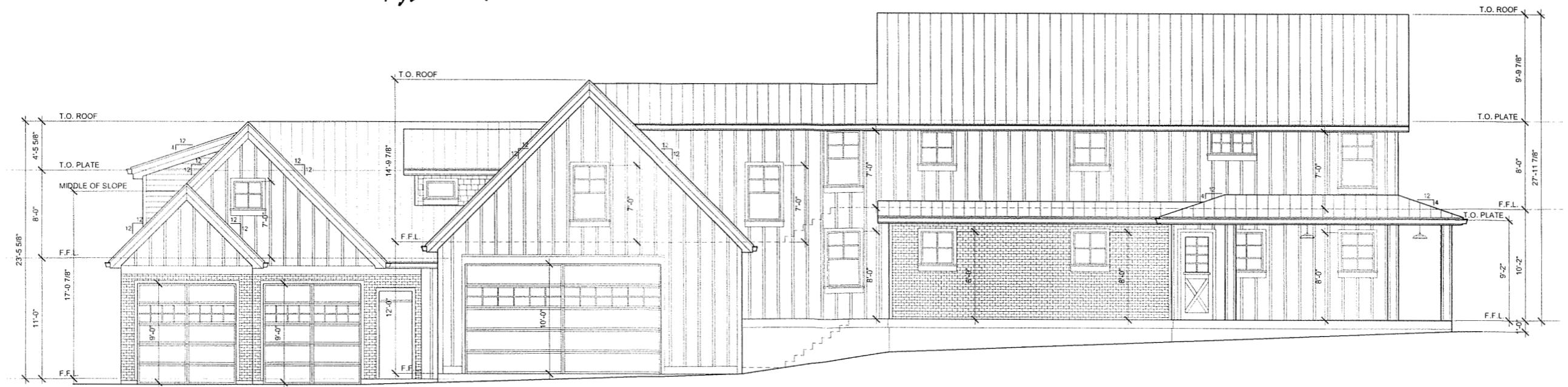


3 OVERHANG DETIAL - 12:12 (RAFTER)
SCALE 1" = 1'-0"



2 WEST ELEVATION
SCALE 3/16" = 1'-0"

3/32" = 1'-0" REVISED



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"

3/32" = 1'-0" REVISED



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JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RGM	
NO	DATE	ISSUE/REVISION

PROJ NO.
2017-026

12-17-17
SHEET CONTENTS

SOUTH, WEST
ELEVATIONS
DETAILS

SHEET NUMBER

A3.1

01/23/18 - 6:38am - Ruty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726 - A3.1.13.d master.dwg

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DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION

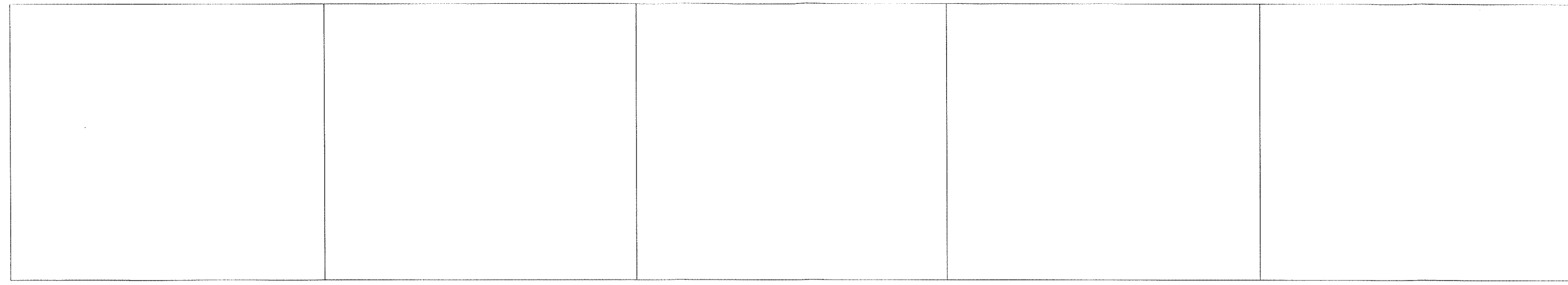
PROJ NO.
2017-026

12-17-17
SHEET CONTENTS

NORTH, EAST ELEVATIONS
DETAILS

SHEET NUMBER

A3.2



2 EAST ELEVATION
SCALE

3/16" = 1'-0"
3/32" = 1'-0" REDUCED



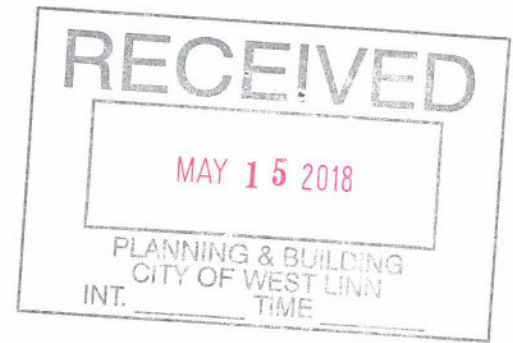
1 SOUTH ELEVATION
SCALE

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3/32" = 1'-0" REDUCED

01/23/18 - 6:39am - Rusty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726 - A3.1.13.d master.dwg

CLASS I DESIGN REVIEW

**1693 12th Street
West Linn, Oregon
May 12, 2018**



1.) PROJECT INTRODUCTION:

Existing Conditions:

The subject parcel is a rectangular corner lot with 70 feet of frontage on 12th Street and 135.99 feet of frontage on 8th Avenue. The site slopes from west to east at approximately 5.88%. The site has 5 trees that we plan to remove, a 5" deciduous, a 6" deciduous, a 9" fruit tree, a 30" walnut tree in the proposed driveway area, and a 48" cedar that is leaning dangerously towards 12th Street. A large two story mixed use building adjoins the site to the south, and an existing one-story insurance office adjoins to the east. The fire station and Morton's Tree Service is across the street to the north. Across the street to the west is a parcel for sale for a mixed-use project.

Buildings to Remove/Retain:

There is an existing house with a basement, that will be incorporated into the design and construction of the new house. An existing non-conforming garage that is slightly over the north property line will be moved to comply with the required 12-foot setback along 8th Avenue.

New Construction Proposed:

We are proposing a two-story residence of 3,788 square feet, where a maximum of 3,807 square feet is allowed under a .4 FAR. We also propose a detached 3 car garage that contains two small home offices and an accessory dwelling unit of 436 square feet. One of the home offices is for Service Now, a heating and air conditioning service and installation dispatch office, where all vendors are off site. The other home office is for Johnston Style, an on-line event planning service. A new 6-foot sidewalk will be constructed along 12th Street. A new 6-foot curbside sidewalk, and a minimum street improvement to gain a pavement section of 12 feet from centerline of 8th Avenue will be constructed. A required easement along 8th Avenue will be dedicated for the sidewalk as necessary.

2.) CDC Chapter 59 Willamette Neighborhood Mixed Use Transitional Zone CDC Ch. 59.070 Findings to all dimensional requirements and design standards:

- A. 1. Minimum lot width at front line shall be 35 feet.
Finding: The subject parcel is 70 feet wide, the condition is met.

- 2. Average minimum lot width shall be 50 feet.
Finding: The subject parcel is 70 feet wide.

- 3. Average minimum lot depth shall be not less than 90 feet.
Finding: The subject lot is 135.99 feet deep.

- 4. Minimum yard dimensions or minimum building setbacks from lot lines shall be:
 - a. Front yard 12 feet minimum and 20 feet maximum to the structure.
Finding: The main structure is 13 feet from the front lot line, and the required porch is 8 feet from the lot line, as a porch is allowed to be constructed 6 feet from the front lot line.

- b. Interior side yard, 7.5 feet.
Finding: The proposed structure is setback 7.5 feet from the interior side lot line.
 - c. Side yard abutting a street, 12 feet.
Finding: The structure is setback 12 feet from the abutting 8th Avenue.
 - d. Rear yard 20 feet.
Finding: All structures are setback 20 feet in the rear yard.
5. Maximum building height shall be two stories above grade, or 35 feet, whichever is less.
Finding: The proposed residence is two stories above grade and less than 35 feet high. The detached accessory structure is 1.5 stories and less than 35 feet high.
 6. Maximum building size for all floors shall not exceed 6,000 square feet above grade, excluding porches.
Finding: The residence is 3,788 square feet for both floors.
 7. The building floor area ratio shall be .4, except the ground floor of the building shall not exceed 5,000 square feet.
Finding: The building is allowed to be 3,807 square feet (.4 x 9,519 sf = 3,807 sf). The building is 3,788 square feet to be less than .4 FAR.
 8. Minimum lot size shall be 4,500 square feet and maximum lot size shall be 10,000 square feet, unless defined as a lot of record.
Finding: The lot size is 9,519.3 square feet.

B. DESIGN STANDARDS:

All uses in the mixed-use zone shall comply with the provisions of Chapter 55 CDC, except for CDC 55.100 (B)(7)(a), (b), (c), (h), (i), and (j) and the Class 1 design review standards for single family. In addition, design standards described below apply to all uses.

1. Residential-style building with single story porch on the front and on the side abutting a street.
Finding: The residential building has a single-story porch on the front along 12th Street and along the abutting 8th Avenue.
2. New sidewalk construction shall be allowed to match the historical standards in this zone.
Finding: The proposed sidewalks to be constructed are curb tight 6-foot sidewalks.
3. Off street parking shall be behind, under or on the side of the building.
Finding: Off street parking is provided behind the building.
4. Garages shall not extend and closer to the street than the street facing façade of the house.
Finding: The garage is in the same setback plane as the house and 4 feet behind the attached porch.
5. There shall be no illuminated outdoor advertising on accessory buildings, equipment or vending machines.

Finding: There is no illuminated outdoor advertising on the accessory building, equipment, and there are no vending machines.

6. The design standards, subsections (B)(1) through (5) of this section, shall not apply to public facilities.

Finding: The buildings are not public facilities.

CDC Chapter 55.100 APPROVAL STANDARDS – CLASS I DESIGN REVIEW

- A. The provisions of the following sections shall be met:

- 1.) CDC 55.100(B)(1) through (4), Relationship to the natural and physical environment...

55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW

- B. 1. The buildings and other site elements shall be designed and located so that all heritage trees shall be saved.

Finding: There are no heritage trees on the site.

2. All heritage trees, clusters of trees, and significant trees shall be protected...

Finding: There are no heritage trees, clusters of trees, or significant trees on site. The site is not a Type I or Type II land.

3. The topography and natural drainage shall be preserved to the greatest degree possible.

Finding: The buildings have been detached to be able to terrace down the slight slope to fit the natural topography. The natural sheet drainage pattern is preserved.

4. The structures shall not be located in areas subject to slumping and sliding.

Finding: The buildings are not located in the City's Hazard Map. An existing older building has no evidence of sliding or settling.

2. CDC 55.100(B)(5) and (6) architecture, et. al. shall apply to those cases that involve exterior architectural construction...

5. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

Finding: The on-site buildings are separated by a minimum of 13 feet by an outdoor patio. The building on the adjoining property to the south is a minimum of 70 feet away. The building on the adjoining property to the east is a minimum of 25 feet away.

6. Architecture

- a. Proposed structures scale shall be compatible with the existing structures on site and on adjoining sites. Contextual design is required.

Finding: The main house is two stories and in scale with the two-story mixed use structure on the southern adjoining property. The detached accessory structure steps down to a 1.5 story structure to be in scale with the one-story structure on the adjoining eastern property. The massing of the proposed buildings, the longitudinal window patterns, the required porches, wood siding materials and trim all relate to the period elements of the district.

- b. New buildings should transition in bulk and mass to work with or fit adjacent buildings...

Finding: The main house is two stories in scale with the two-story mixed-use building 70 feet to the south. The detached accessory building steps down to 1.5 stories to relate to the scale of the eastern adjoining building over 25 feet away.

- c. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture... or it is adequately separated from other buildings...

Finding: The architecture is not contrasting and is in the genre of elements of the adjacent historic district. In addition, the proposed buildings are separated to adjoining buildings by 70 feet to the south and 25 feet to the east.

- d. Human scale is a term that seeks to accommodate the users of the building...and should be designed around the human scale.

Finding: The main building is a residence and designed to be of residential scale, the most human scale a building can be. The buildings have multi-light windows, an intimate entryway and a colonnade along the continuous one-story porches.

- e. The main front elevation of commercial and office buildings shall provide at least 60% windows...

Finding: The proposed buildings are not commercial and office buildings.

- f. Variations in depth and roof line are encouraged for all elevations.

Finding: The buildings have varied and articulated roof lines and designed to have one story masses step up to two story masses.

- g. Consideration of the micro-climate shall be made for building users...

Finding: The residence has been designed and oriented to the living patterns of the owners. The outdoor patio has south and north exposures for maximum use. A covered porch along the length of the west exposure, protects residents and visitors from harsh afternoon sunlight and frequent northwest rains.

- h. The vision statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, trees and awnings.

Finding: The primary use is residential and the continuous one-story porch presents an attractive frontage to the street. Sidewalks are being constructed to the City's design standards as well as street trees.

- i. Sidewalk cafes, kiosks, vendors and street furniture are encouraged.

Finding: The proposed building is residential, so no sidewalk cafes or vendors are proposed. A corner outdoor courtyard is envisioned to add to the street vitality.

3. CDC CHAPTER 48 ACCESS, EGRESS, CIRCULATION:

CH. 48.025 ACCESS CONTROL

- A. Purpose. The following access control standards apply to public, industrial and residential Developments...

B. Access Control Standards

1. Traffic impact analysis requirements.

Finding: The proposed development is one single family residence on a fully Developed street system. No traffic impact analysis was required by the City.

2. The City or other agency with access permit jurisdiction may require closing or Consolidation of existing curb cuts...

Finding: An existing curb cut on 12th Street will be closed off to allow a new curb cut On 8th Avenue.

3. Access options: a.) Option 1, access from an alley or mid-block lane

b.) Option 2, access from private street or driveway

c.) Option 3, access is from a public street adjacent to the development.

Finding: The proposed development complies with access Option 3.

4. Subdivisions fronting onto an arterial street.

Finding: The proposal is not a subdivision and 8th Avenue and 12th Streets are not arterial streets.

5. Double-frontage lots.

Finding: The proposal is on a double frontage lot, 8th Avenue, and 12th Street. Both streets are the same classification.

6. Access spacing.

Finding: The proposal requests only one curb cut.

7. Number of access points: For single-family, two family, and duplex housing types, One street access is permitted per lot...

Finding: The proposal is for one access point.

8. Shared driveways.

Finding: The proposal does not include a shared driveway.

C. Street connectivity and formation of blocks required.

Finding: The proposal is a lot in a completed Willamette District block pattern.

CH 48.030 MINIMUM VEHICULAR REQUIREMENTS FOR RESIDENTIAL USES.

A. Direct individual access from single family dwellings and duplex lots to an arterial is prohibited...

Finding: The proposal does not access an arterial street.

B. Where any portion of any house is less than 150 feet from the adjacent right of way access to the home is as follows:

1. One single family residence with an accessory dwelling unit shall provide 10 feet unobstructed horizontal clearance.

Finding: The proposal has a minimum of 20 feet unobstructed horizontal distance clearance.

2. Two to four single family residential homes equals...

Finding: The proposal is for one single family residence plus an accessory dwelling.

3. Maximum driveway grade shall be 15 percent.

Finding: The grade of the driveway to the proposed garage is 10 percent.

4. The driveway shall include a minimum of 20 feet in length between the garage door and the back of sidewalk.

Finding: The garage door is 20 feet to the back of the sidewalk and is a side load Garage, not intended to park in the driveway.

C. When any portion of one or more homes is more than 150 feet from the adjacent right of way.

Finding: The proposal is not more than 150 feet from the adjacent right of way.

D. Access to five or more single family homes...

Finding: The proposal is for access to one single family home.

E. Access and/or service drives for multi-family dwellings...

Finding: The proposal is for one single family residence, not multi-family.

F. Where on-site maneuvering and/or access drives are necessary to accommodate required parking...

Finding: No maneuvering is required to access required parking as it is accommodated by the garage space.

G. The number of curb cuts, or driveways shall be minimized on arterials or collectors...

Finding: Neither 12th Street or 8th Avenue are collectors or arterial streets, they are local streets.

H. In order to facilitate through traffic..., may be necessary to construct a public street through a multi-family site.

Finding: This site is not a multi-family site.

I. Gated accessways to residential development other than single family are prohibited.

Finding: No gated accessway is proposed.

CHAPTER 48.060 WIDTH AND LOCATION OF CURB CUTS AND ACCESS SEPARATION REQUIREMENTS.

A. Minimum curb cut width shall be 16 feet.

Finding: The proposed driveway cut is 36 feet wide.

B. Maximum curb cut width shall be 36 feet wide.

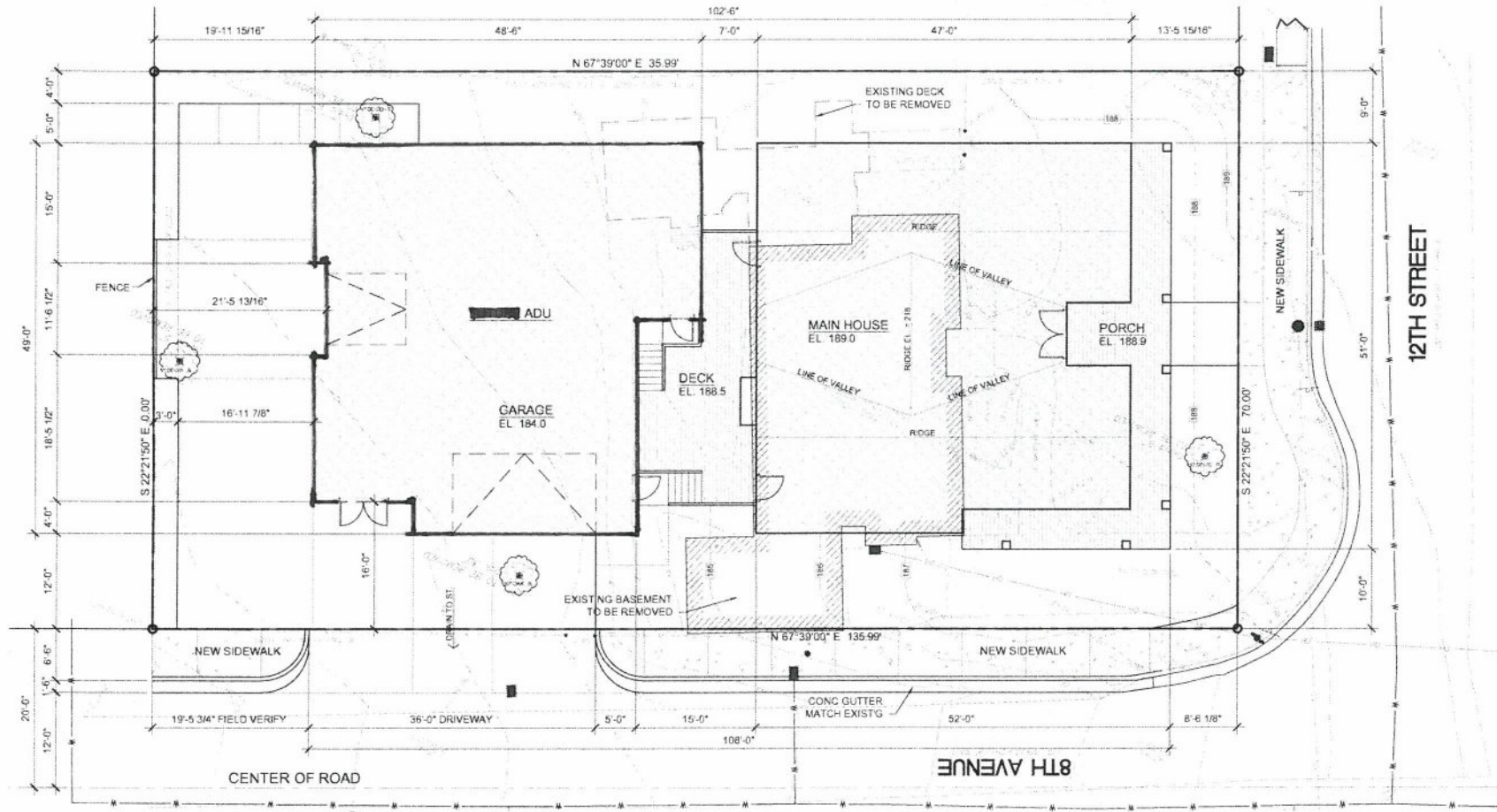
Finding: The proposed curb cut is 36 feet wide.

C. No curb cuts shall be allowed any closer to an intersecting street right-of-way line than The following:

1. An arterial when intersected by another arterial, 150 feet.
Finding: The proposal does not front on an arterial street.
 2. On an arterial when intersected by a collector.
Finding: The proposal fronts on two local streets.
 3. On an arterial when intersected by a local street...
Finding: The proposal does not front on an arterial street.
 4. On a collector when intersecting an arterial street.
Finding: The proposal fronts on two local streets.
 5. On a collector when intersected by another collector or local street.
Finding: The proposal fronts on two local streets.
 6. On a local street when intersecting any other street, 35 feet.
Finding: The proposed driveway is 80 feet from the intersection.
- D. There shall be a minimum distance between any two adjacent curb cuts on the same side of a public street, ...
1. On an arterial street, 150 feet.
Finding: The proposal is not on an arterial street.
 2. On a collector street, 75 feet.
Finding: The proposal is not on a collector street.
 3. Between any two curb cuts on the same lot on a local street, 30 feet.
Finding: The proposal only proposes one curb cut.
- E. A rolled curb may be installed in lieu of curb cuts and access separation requirements.
Finding: A rolled curb is not proposed.
- F. Curb cuts shall be kept to the minimum...
Finding: One curb cut has been proposed, the minimum possible.
- G. Adequate line of sight pursuant to engineering standards should be afforded at each driveway or accessway.
Finding: The proposal maintains an adequate vision clearance triangle on each side of the driveway.
- A. In order to provide for increased traffic movement on the congested streets and eliminate turning Movement problems, the Planning Director and/or City Engineer or designee may restrict driveways..
Finding: The proposed driveway has been approved, preliminarily by planning and engineering designees.
- B. A decision by the Planning Director may be appealed to the Planning Commission...
Finding: It is acknowledged as part of the process, if necessary.

JOHNSTON RESIDENCE

1693 12TH ST., WEST LINN, OR 97068



1 SITE PLAN
SCALE 3/32" = 1'-0"

- LEGEND**
- NORTH ARROW
 - BUILDING SECTION
 - DETAIL SECTION
 - DETAIL ELEVATION
 - DETAIL PLAN
- SYMBOLS**
- NEW SLOPE
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO REMAIN

ABBREVIATIONS

ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
A.B.P.	ALT. BRACED PANEL	H.B.	HOSE BIB
BD.	BOARD	HD	HOLD OWN
BLDG.	BUILDING	LAV.	LAVATORY
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.P.	BRACED PANEL	MAX.	MAXIMUM
BRG.	BEARING	MECH.	MECHANICAL
CPT.	CARPET	MIN.	MINIMUM
C.C.	CENTER TO CENTER	N.G.L.	NATURAL GRADE LINE
C.J.	CONTROL JOINT	N/A	NONE
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	NOM.	NOMINAL
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CRMIC	CERAMIC	P.F.	PORTAL FRAME
CT	CERAMIC TILE	P.T.	PRESSURE TREATED
CSNK.	COUNTERSINK	PNTD	PAINTED
DECK'G	DECKING	PLYWD	PLYWOOD
D.S.	DOWN SPOUT	R=	RADIUS
DIA.	DIAMETER	REF	REFRIGERATOR
DW	DISHWASHER	SHO.	SHOWER
DWG.	DRAWING	SIM.	SIMILAR
EA.	EACH	SH WL	SHEAR WALL
ELEV.	ELEVATION	SHTNG	SHEATHING
ELEC.	ELECTRICAL	TOI.	TOILET
EQ.	EQUAL	T.O.	TOP OF
EQUIP.	EQUIPMENT	T.O.P.	TOP OF PLATE
EXIST'G.	EXISTING	T.O.B.	TOP OF BEAM
ETR	EXISTING TO BE REMAIN	T.O.W.	TOP OF WALL
F.F.L.	FINISH FLOOR LINE	TL	TILE
F.D.	FLOOR DRAIN	TYP.	TYPICAL
FND	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	VER.	VERIFY
FTG	FOOTING	WL	WALL
GALV.	GALVANIZED	WH	WATER HEATER
GYP	GYPSON	WD	WOOD
GWB	GYPSON WALL BOARD	W/O	WITHOUT
INFO	INFORMATION		
HRDWD	HARDWOOD		

- DRAWING LIST**
- A0.1 SITE PLAN, VICINITY MAP PROJECT INFO. & ETC
 - A1.1 GENERAL REQUIREMENTS
 - A1.2 WALL ASSEMBLY
 - A2.1 FIRST FLOOR PLAN & DETAILS
 - A2.2 SECOND FLOOR PLAN & DETAILS
 - A2.3 ROOF PLAN & DETAILS
 - A3.1 BUILDING ELEVATIONS & DETAILS
 - A3.2 BUILDING ELEVATIONS & DETAILS
 - A3.3 BUILDING SECTIONS & DETAILS
 - A3.4 BUILDING SECTIONS & DETAILS
 - A4.1 WALL SECTIONS
 - A4.2 WALL SECTIONS
 - A4.3 DETAILS
 - A5.1 ARCHITECTURAL DETAILS
 - A5.2 ARCHITECTURAL DETAILS
 - S1.0 STRUCTURAL NOTES
 - S1.1 FOUNDATION PLAN
 - S1.2 SECOND FLOOR FRAMING PLAN
 - S1.3 ROOF FRAMING PLAN

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW TWO STORY RESIDENCE.

LEGAL DESCRIPTION:
PROPERTY ID : C147006
COUNTY : CLACKAMAS
CENSUS TRACT : 020700
DOCUMENT NO : 2017-033526
PARCEL NO : 00748793
STATE ID : 31E02BA00500
JURISDICTION : WEST LINN

LOCATION:
1693 12TH ST., WEST LINN

ZONE CLASSIFICATION:
URBAN GROWTH BOUNDARY: METRO UGB - MU

ADDRESS:
1693 12TH ST
WEST LINN OR 97068

ZONING INFORMATION : MU

ZONE CLASSIFICATION: METRO UGB
SETBACKS APPLIED: PER PD APPROVAL
20' FRONT
20' REAR
5' SIDES
10' SIDE STREET
MAX BLDG HEIGHT: FT

CODE ANALYSIS:

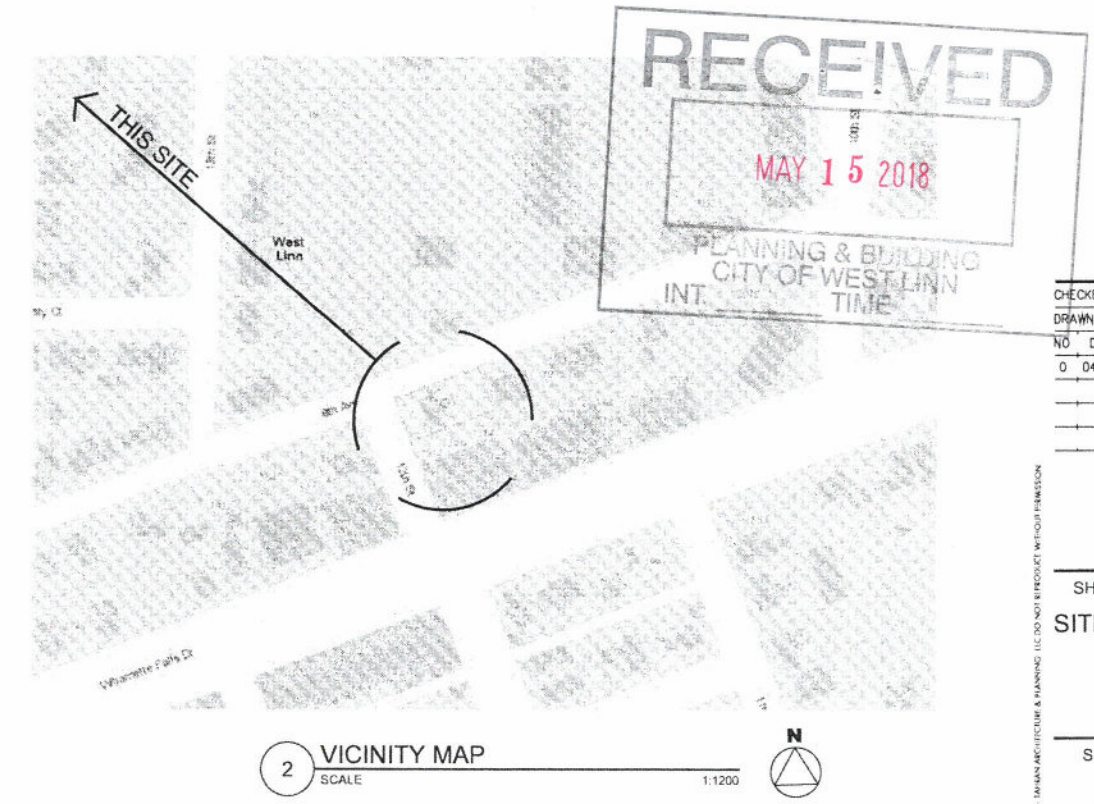
CODE USED 2017 OREGON RESIDENTIAL SPECIALTY CODE

LOT AREA	=	9,535 SF
BUILDING COVERAGE (MAIN HOUSE)	=	2,593 SF
BUILDING COVERAGE (ADU/OFFICE)	=	2,093 SF
OVERALL BUILDING COVERAGE	=	4,686 SF
ALLOWABLE BUILDING COVERAGE	=	SF

ACTUAL HEIGHT ALLOWED	35 FT
MAIN STREET SETBACK	12 FT
STREET SIDE SETBACK	12 FT
BACKYARD SETBACKS	20 FT
MAX FLOOR AREA ALLOWED	3808 SF

BUILDING INFO

MAIN HOUSE	
FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLOOR AREA	3,788 SF
EXISTING BASEMENT	888 SF
ENTRY	424 SF
OPEN PATIO	342 SF
OVERALL TOTAL AREA	1,654 SF
ADU OFFICE	
FIRST FLOOR	1,106 SF
SECOND FLOOR	436 SF
TOTAL FLOOR AREA	1,542 SF
STORAGE (ABOVE GARAGE)	376 SF
GARAGE	1,087 SF
OVERALL TOTAL AREA	1,463 SF



2 VICINITY MAP
SCALE 1:1200

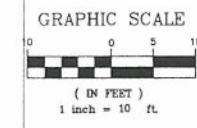
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JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068

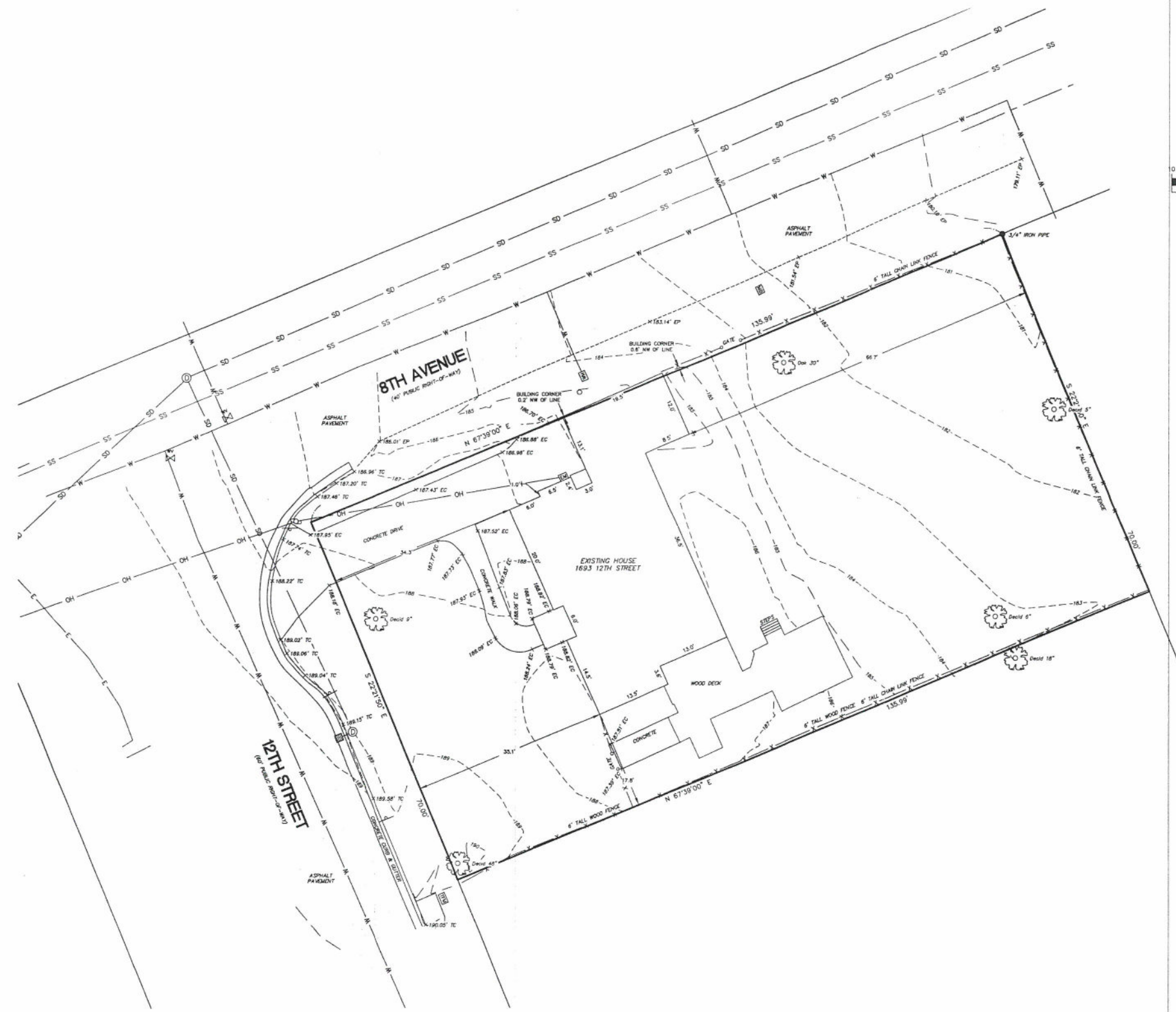
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PROJ NO.	2017-026A	
12-17-17	SHEET CONTENTS	
SITE PLAN		
SHEET NUMBER		

TOPOGRAPHIC SURVEY
 FOR:
AMY & JASON JOHNSTON
 BEING A PORTION OF TRACT 54
 "WILLAMETTE TRACTS (PLAT NO. 147)"
 SITUATED IN THE NW 1/4 OF SECTION 2
 T.3S, R.1E, W.M.
 CITY OF WEST LINN
 CLACKAMAS COUNTY, OREGON
 TAX MAP 3 1E 028A
 JULY 10, 2017



- NOTES:**
1. VERTICAL DATUM IS NGVD 1929 BASED ON OPUS SOLUTION OF STATIC OPS OBSERVATION.
 2. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
 3. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
 4. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
 5. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
 6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

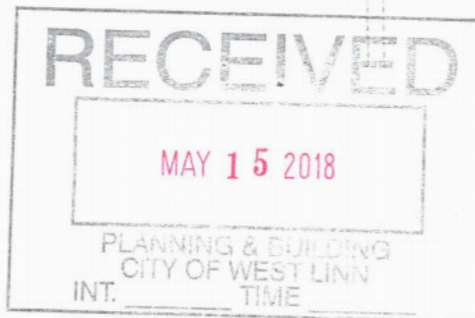
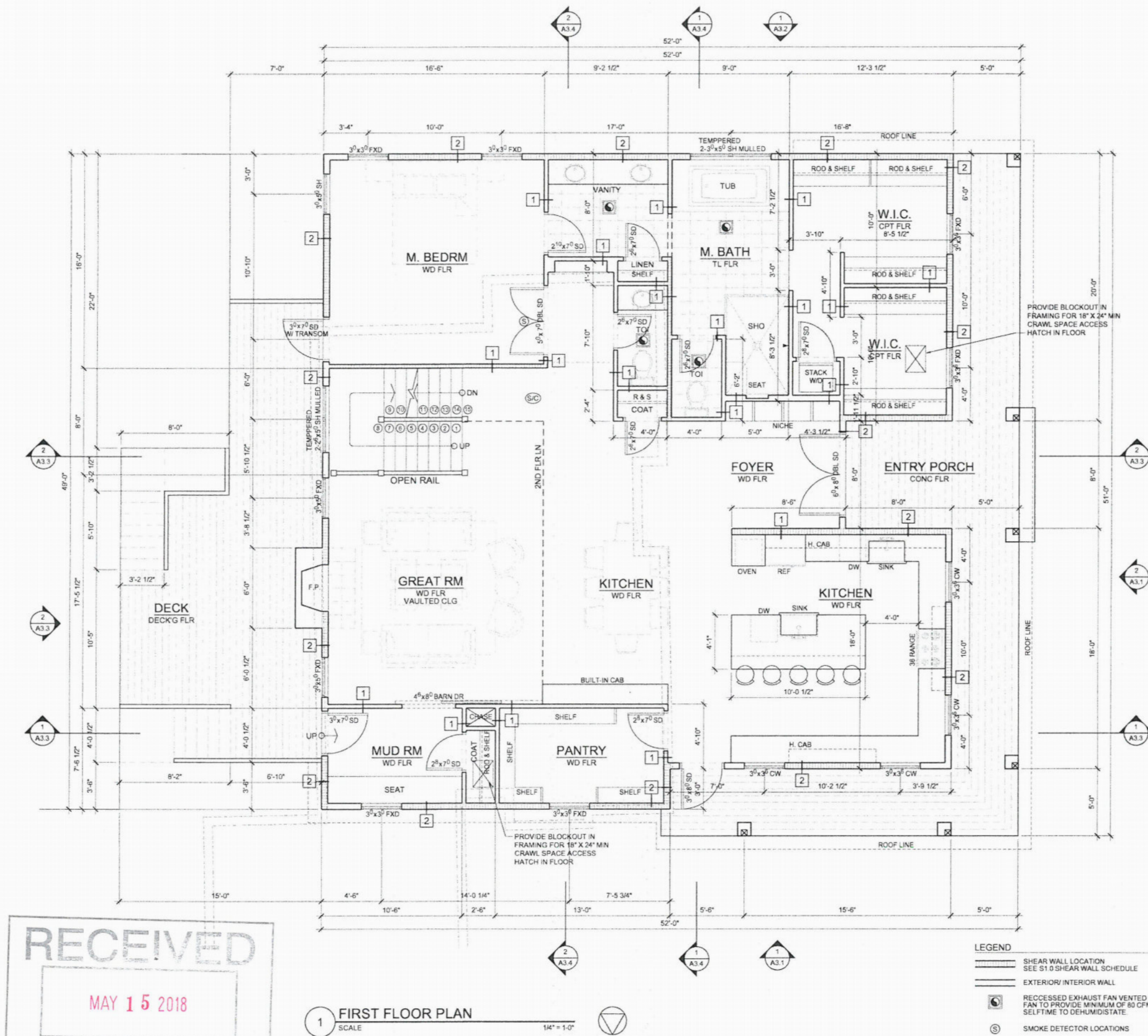
- LEGEND:**
- FOUND SURVEY MONUMENT
 - ⊙ SANITARY SEWER MANHOLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊞ CATCH BASIN
 - ⊞ WATER METER
 - ⊞ WATER VALVE
 - ⊞ UTILITY POLE
 - ⊞ ELECTRIC METER
 - ⊞ TRANSFORMER
 - GATE POST
 - ⊞ MAILBOX
 - SD— UNDERGROUND STORM LINE
 - SS— UNDERGROUND SANITARY LINE
 - E— UNDERGROUND POWER LINE
 - W— UNDERGROUND WATER LINE
 - X— FENCE LINE AS NOTED
 - OH— OVERHEAD UTILITY LINE
 - 000.00 EC X EDGE OF CONCRETE - SPOT ELEVATION
 - 000.00 TC X TOP OF CURB - SPOT ELEVATION
 - 000.00 EP X EDGE OF PAVEMENT - SPOT ELEVATION



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 CITY OF WEST LINN
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 PROFESSIONAL
 LAND SURVEYOR
 HAROLD P. SALO
 JANUARY 15, 1987
 2284
 EXPIRES: JUNE 30, 2018

(SINCE 1922)
ANDY PARIS AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 16057 BOONES FERRY ROAD
 LAKE OSWEGO, OREGON 97035
 PH: 503-636-3341
 www.andyparis.com
 PROJECT: 17157
 DRAWING: 17157P1.DWG
 DRAFTED: MPC 07/10/17



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- LEGEND**
- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

- PLAN NOTES:**
- REFERENCE DETAILS 8/A4.1 EXTERIOR DOOR AND 8/A4.1 FOR INTERIOR DOOR TRIM DETAILS.
 - PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL.
- ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2017 OREGON RESIDENTIAL SPECIALTY CODE.

HIGH EFFICIENCY ENVELOPE
ENVELOPE ENHANCEMENT MEASURE 3
HIGH EFFICIENCY CEILING, WINDOW & SEALING. (CANNOT BE USED WITH CONSERVATION MEASURE E)
VAULTED CEILINGS - U-0.033R-30A d.e. AND FLAT CEILING - U-0.025R-49, AND WINDOWS - U-0.30, AND PERFORMANCE TESTED DUCT SYSTEMS b CONSERVATION MEASURE A
HIGH EFFICIENCY HVAC SYSTEM
GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0
NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.

PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS.

AF103.4- OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

AF103.4.3- CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.

AF103.4.5- PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.

AF103.4.6- THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.

AF103.4.7- AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.

EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE.

AF103.4.8- DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1- DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODGE DUCT PERFORMANCE STANDARDS.

AF103.4.9- CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

AF103.4.10- ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

SECTION AF103.5.2 OPTION USED.

AF103.5.2.1- VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)

AF103.5.2.2- VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION.

AF103.5.2.3- BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY-DWELLING TO BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING TO 50 PASCAL'S FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR. A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE-BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A " WHOLE HOUSE VENTILATION SYSTEM)

FLOOR AREA CALCULATION

FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF



PROGRESS SET 98 % COMPLETED

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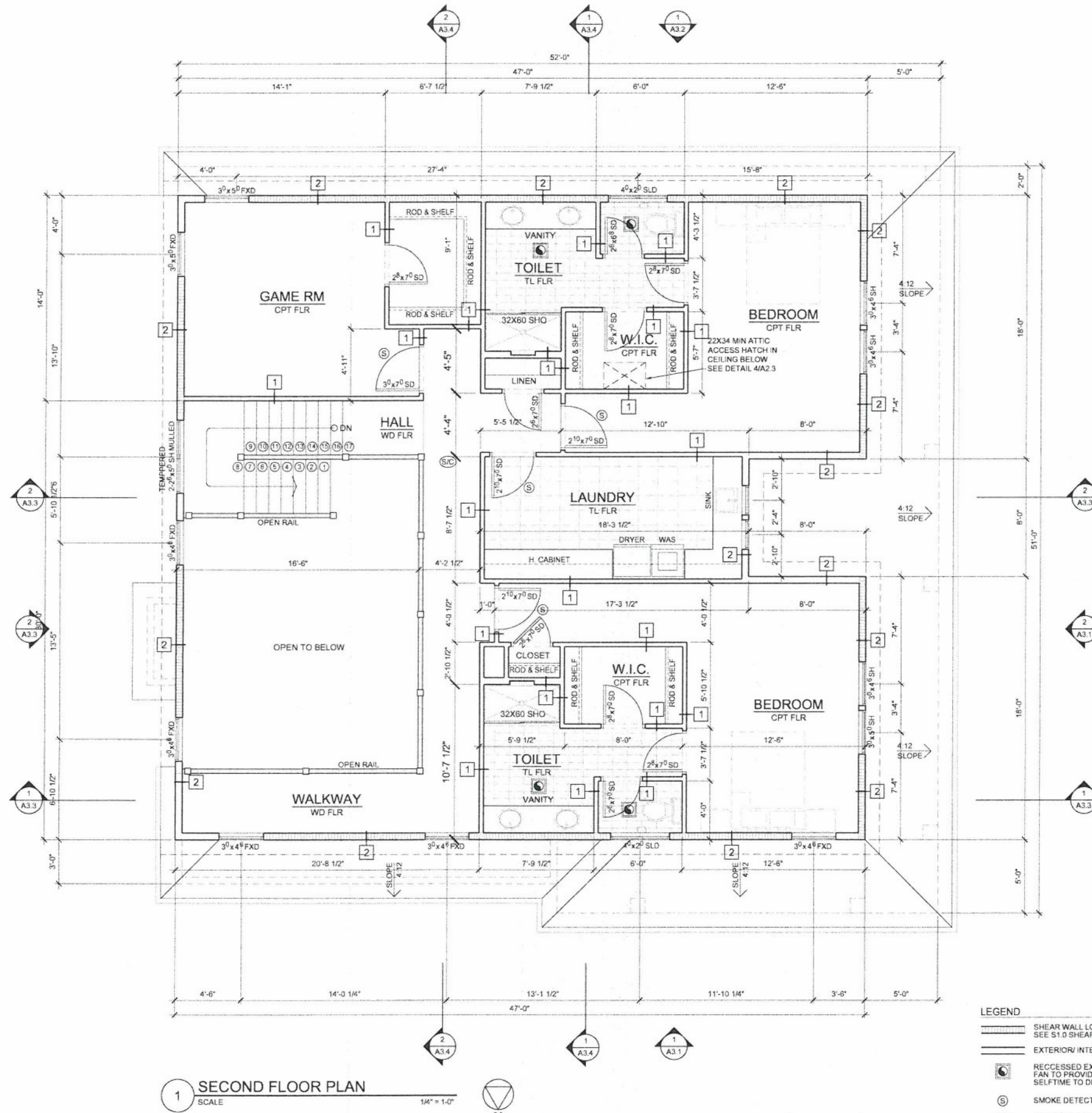
12-17-17

SHEET CONTENTS

FIRST FLOOR PLAN

SHEET NUMBER

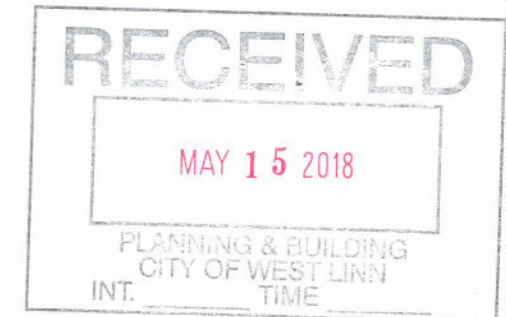
A2.1



1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- LEGEND**
- SHEAR WALL LOCATION
SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE
FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A
SELF-TIME TO DEHUMID/STATE.
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE
DETECTOR LOCATIONS



FLOOR AREA CALCULATION

FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF

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SECOND FLOOR PLAN
DETAILS

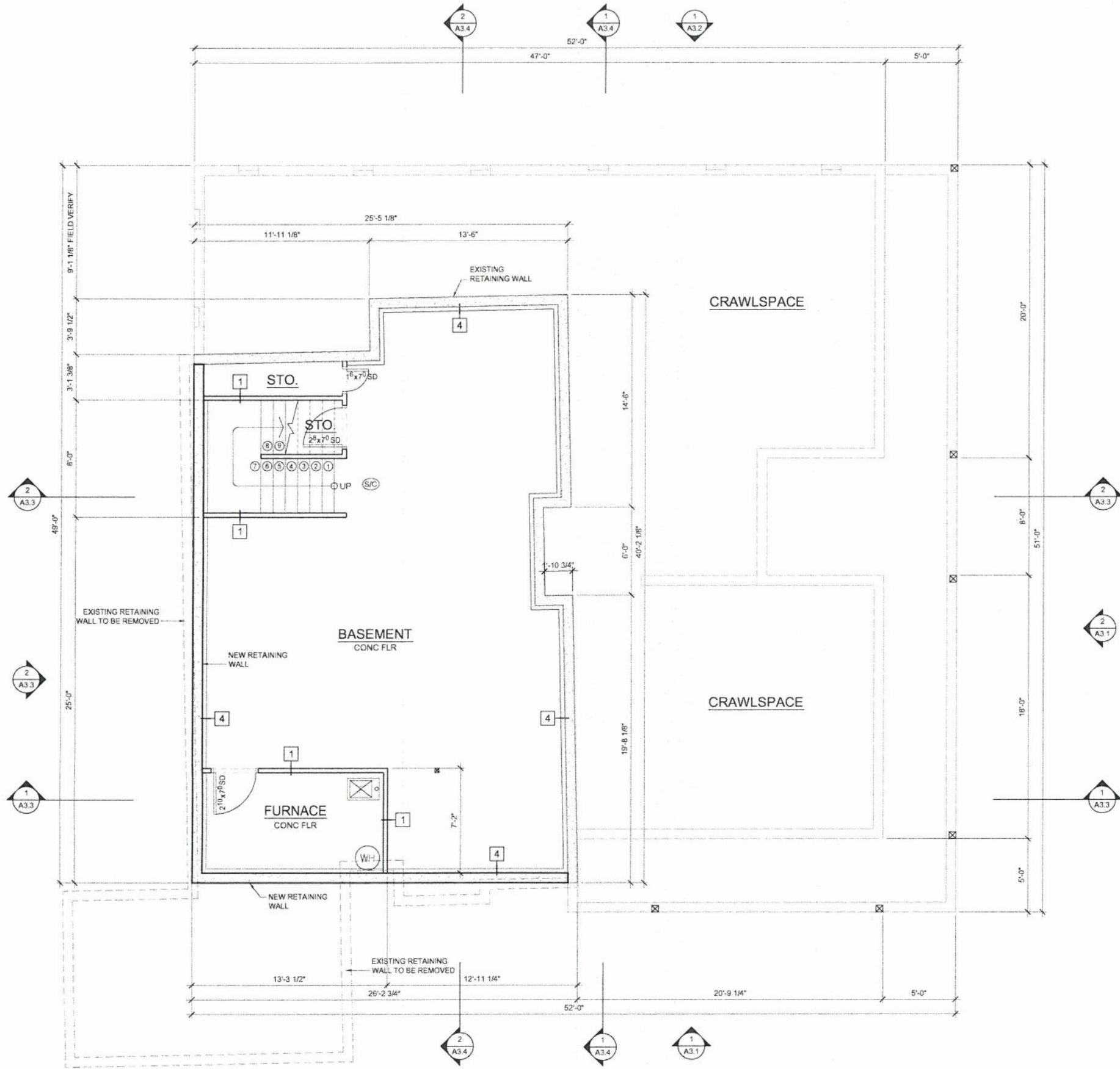
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A2.2



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1 EXISTING BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"



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WEST LINN, OR 97068

FLOOR AREA CALCULATION

FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF
ENTRY	424 SF
OPEN PATIO	342 SF
BASEMENT STORAGE	977 SF

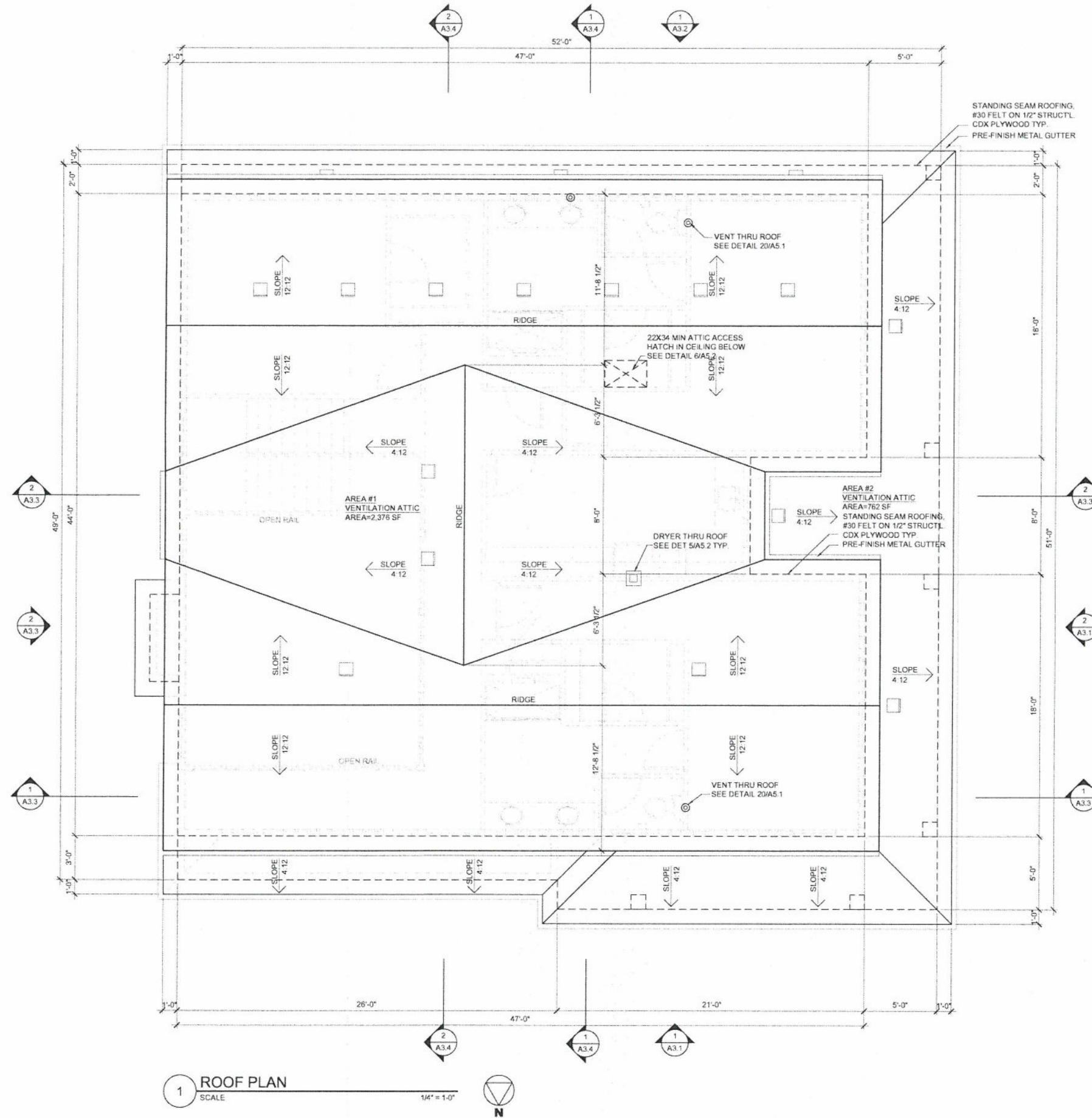
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SHEET CONTENTS

BASEMENT FLOOR PLAN

SHEET NUMBER

A2.0



1 ROOF PLAN
SCALE 1/4" = 1'-0"

- ROOF NOTES:**
1. PROVIDE ROOF VENTILATOR IN THE UPPER PORTION OF THE ROOF AS SHOWN ON PLAN SO THAT THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE BEING VENTILATED - UNLESS NOTED OTHERWISE (PER THE LATEST EDITION OF THE 2014 ORSC).
 2. VENTILATION CALCULATIONS FOR SLOPED ROOF AREAS BASED ON USING 12X12 ROOF VENTILATORS (PROVIDE .35 SQUARE FEET OF NET FREE VENTILATION AREA PER VENT).
 3. PROVIDE 2X BLOCKING BETWEEN TRUSSES AT EAVES WITH (3) 1 1/2" DIA. SCREENED VENT HOLES IN BLOCKING AT EVERY OTHER FRAMING BAY (48" O.C.). THE REMAINDER OF THE VENTILATION TO BE PROVIDED AT UPPER PORTION OF THE ROOF WITH ROOF VENTILATION AS SHOWN ON PLAN.

ATTIC AREA VENTILATION CALCULATIONS			
ATTIC VENTILATION AREA	AREA	REQUIRED ATTIC VENTILATION AREA	RIDGE VENTILATION AREA PROVIDED
#1	2,376 SF	2,376 SF / 300 SF = 7.92 SF 7.92 SF / 2 = 3.96 SF REQD AT RIDGE	3.96 SF / 0.35 PER VENT = 11.3 VENT REQUIRED (12 VENTS PROVIDED)
#2	762 SF	762 SF / 300 SF = 2.54 SF 2.54 SF / 2 = 1.27 SF REQD AT RIDGE	1.27 SF / 0.35 PER VENT = 3.63 VENT REQUIRED (6 VENTS PROVIDED)

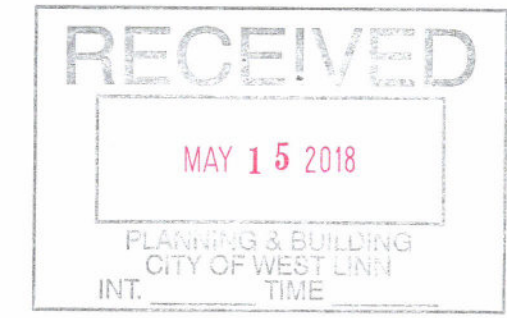


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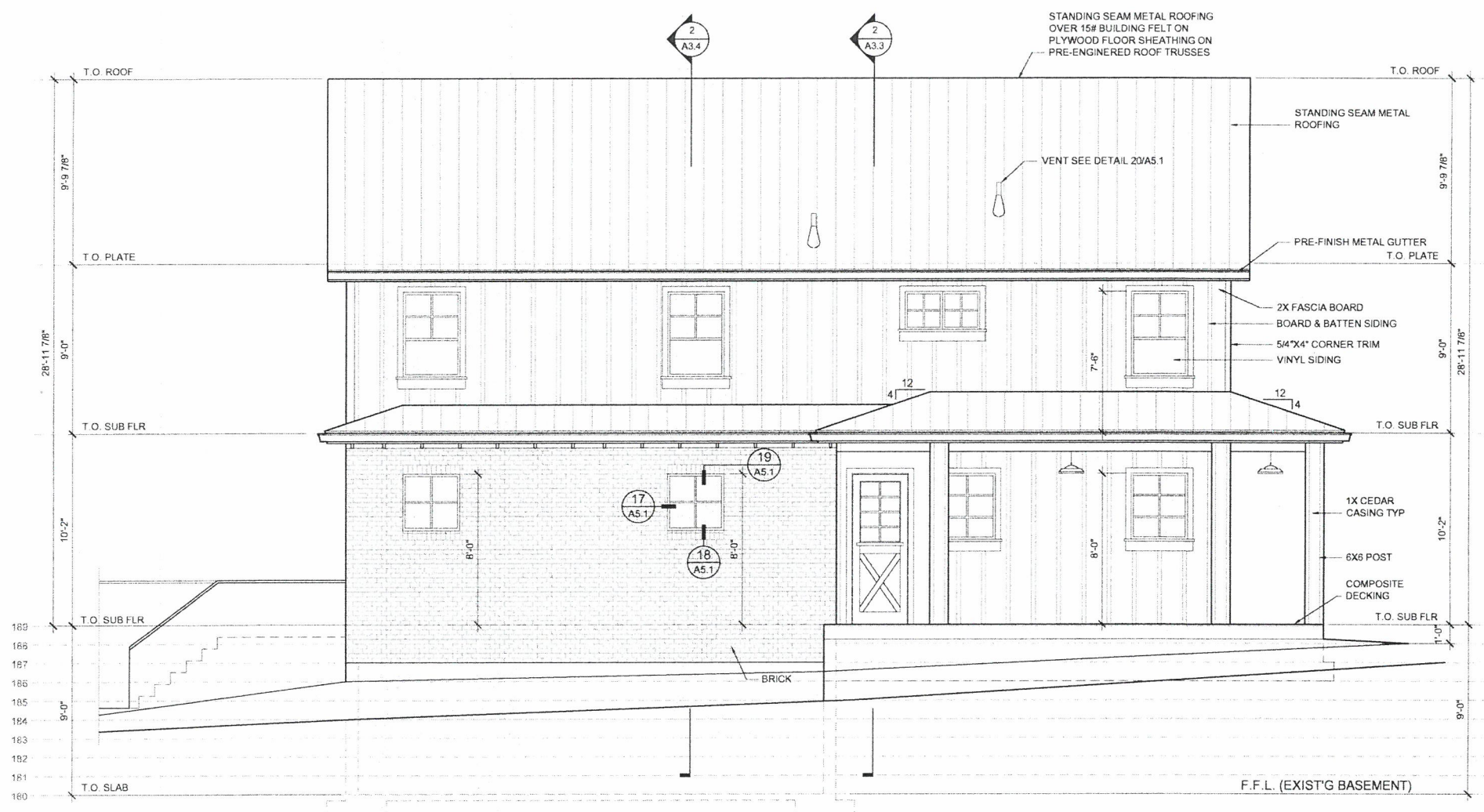
ROOF PLAN
DETAILS

SHEET NUMBER
A2.3



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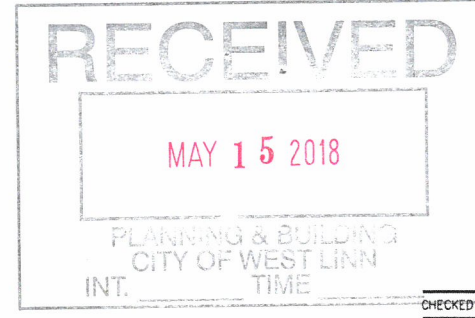


2 NORTH ELEVATION
 SCALE 1/4" = 1'-0"



1 WEST ELEVATION
 SCALE 1/4" = 1'-0"

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12-17-17
 SHEET CONTENTS
WEST & NORTH ELEVATIONS

SHEET NUMBER

A3.1

05/06/18 - 8:30pm - Rusty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726A Main House\1726A - A3.1 - A3.1.dwg

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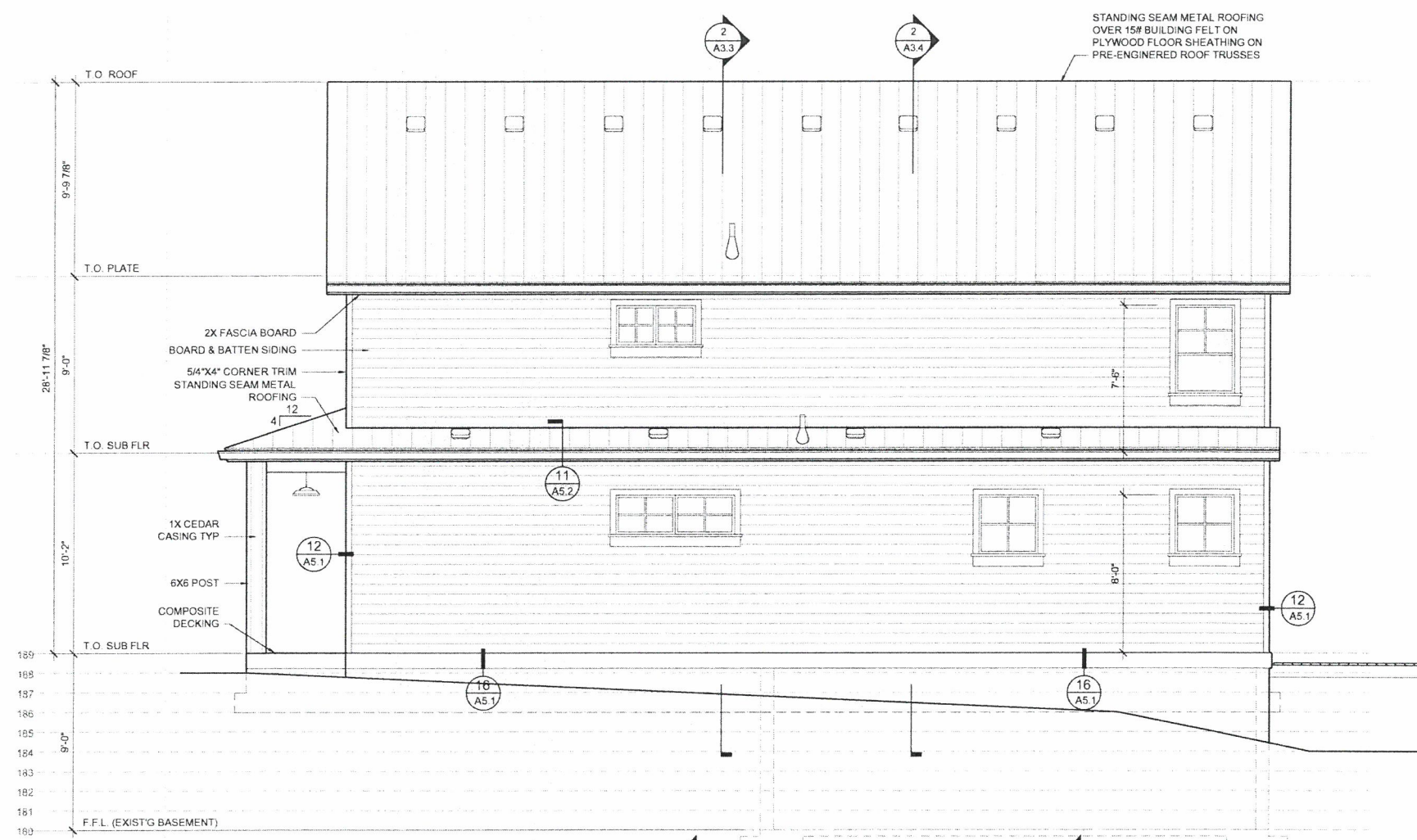
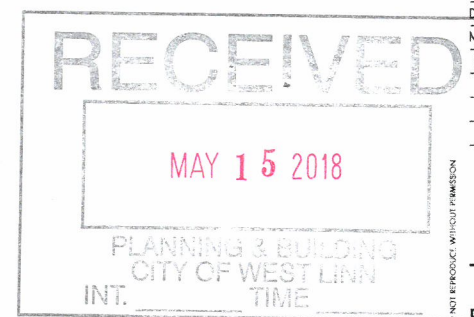
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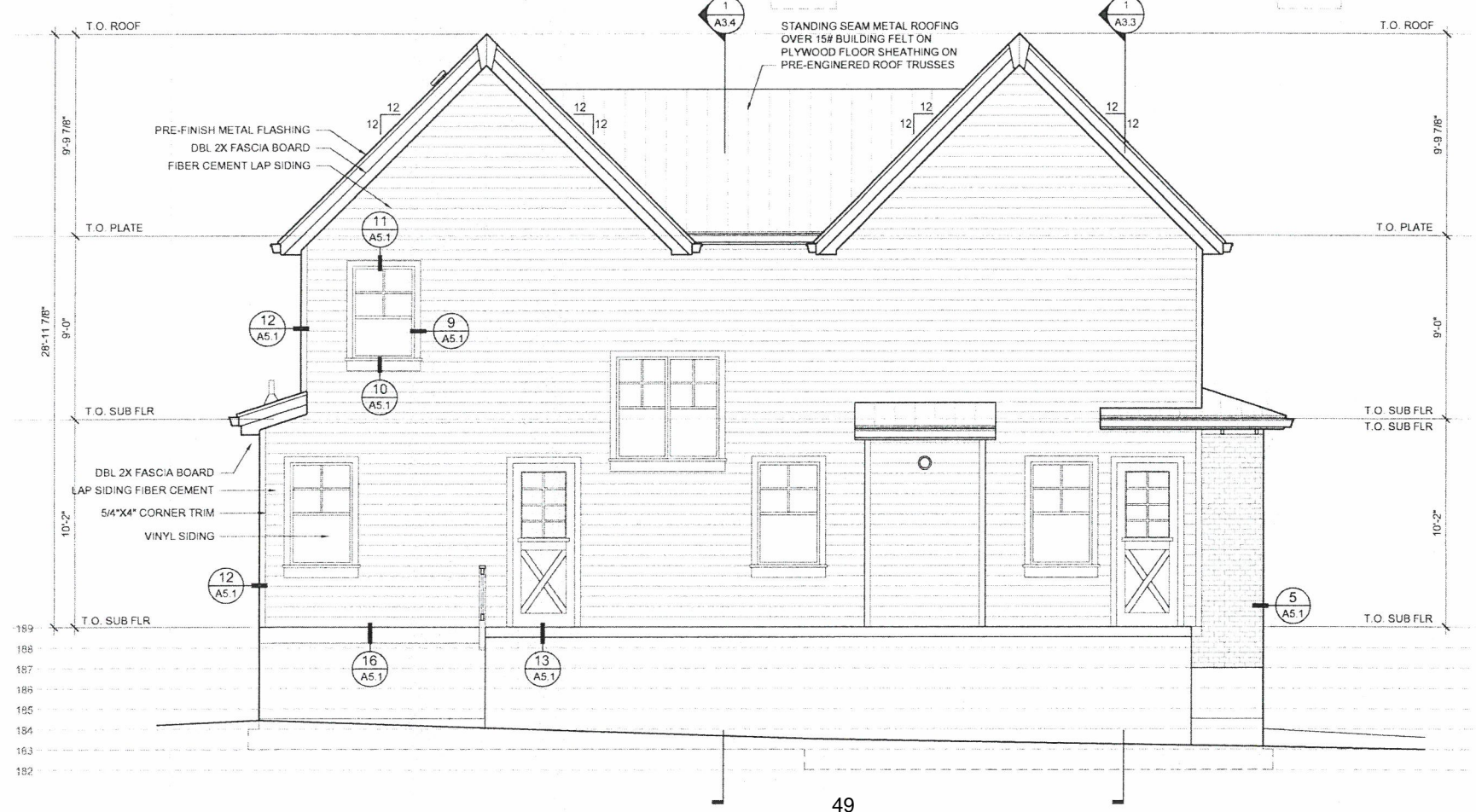
12-17-17

SHEET CONTENTS
EAST & SOUTH ELEVATIONS

SHEET NUMBER
A3.2



2 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



1 EAST ELEVATION
 SCALE 1/4" = 1'-0"

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2017-026B

12-17-17
SHEET CONTENTS

FIRST FLOOR PLAN

SHEET NUMBER

A2.1

PLAN NOTES:
1. REFERENCE DETAILS 8/A4 1 EXTERIOR DOOR AND 6/A4 1 FOR INTERIOR DOOR TRIM DETAILS.
2. PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL.
ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2017 OREGON RESIDENTIAL SPECIALTY CODE.

HIGH EFFICIENCY ENVELOPE
ENVELOPE ENHANCEMENT MEASURE 3
HIGH EFFICIENCY CEILING, WINDOW & SEALING (CANNOT BE USED WITH CONSERVATION MEASURE E)
VAULTED CEILINGS - U-0.033R-30A d.e. AND
FLAT CEILING - U-0.025R-49, AND
WINDOWS - U-0.30, AND PERFORMANCE TESTED DUCT SYSTEMS 3
CONSERVATION MEASURE A

HIGH EFFICIENCY HVAC SYSTEM
GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0
NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.
PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS:

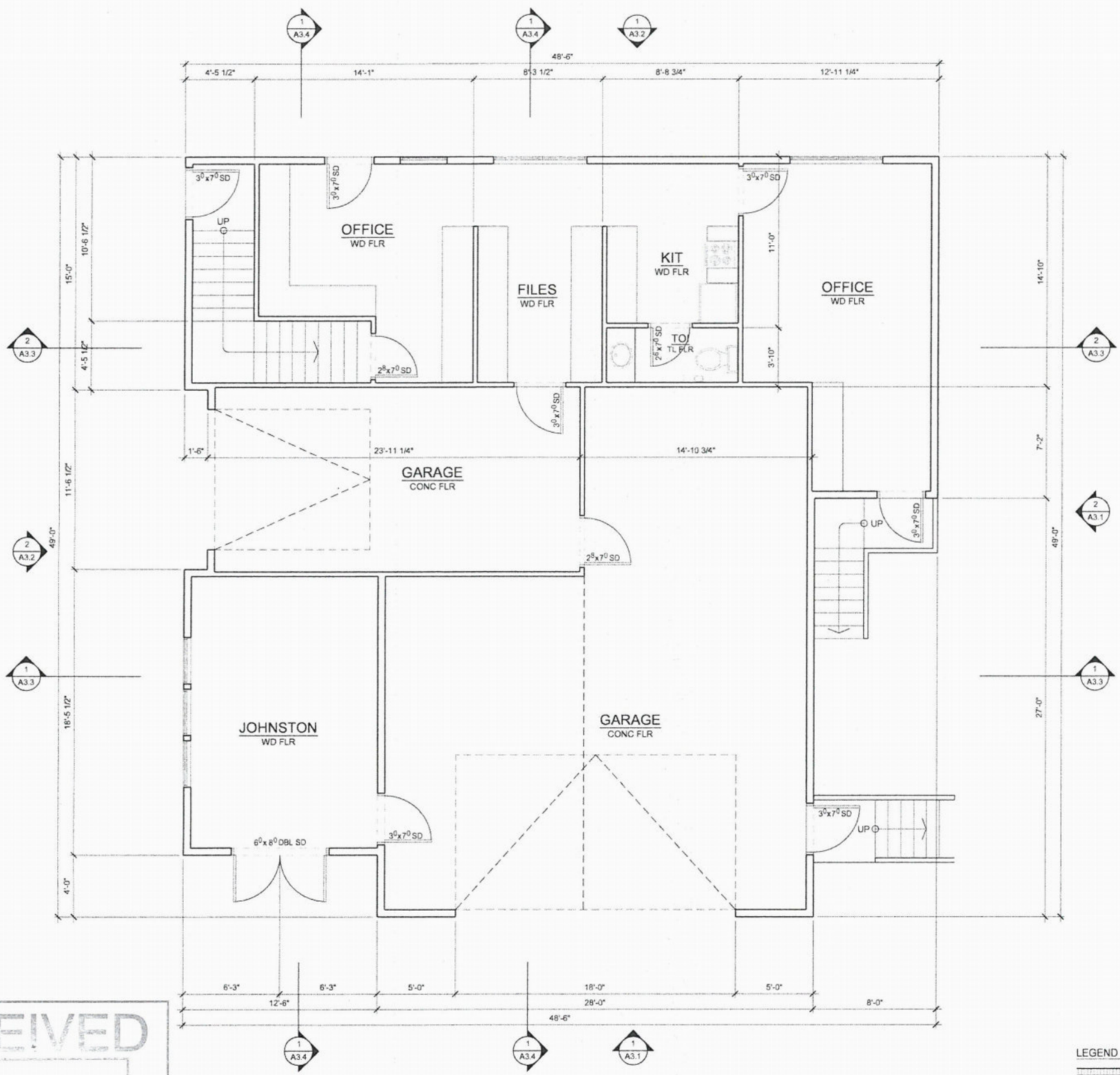
AF103.4.1- OPENINGS AROUND BATH/TUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
AF103.4.3- CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
AF103.4.5- PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT
AF103.4.6- THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE
AF103.4.7- AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.
EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE
AF103.4.8- DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLABS SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1- DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODCE DUCT PERFORMANCE STANDARDS
AF103.4.9- CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.
AF103.4.10- ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

SECTION AF103.5.2 OPTION USED:
AF103.5.2.1- VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT. FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)
AF103.5.2.2- VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION
AF103.5.2.3 - BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY-DWELLING TO BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING TO 50 PASCALS FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR, A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE-BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A "WHOLE HOUSE" VENTILATION SYSTEM)

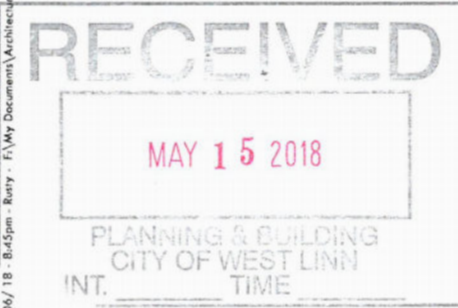
FLOOR AREA CALCULATION

OFFICE FIRST FLOOR	1006 SF
ADU SECOND FLOOR	436 SF
TOTAL AREA	1,542 SF
GARAGE STORAGE (SECOND FLR GARAGE)	1087 SF
	376 SF



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

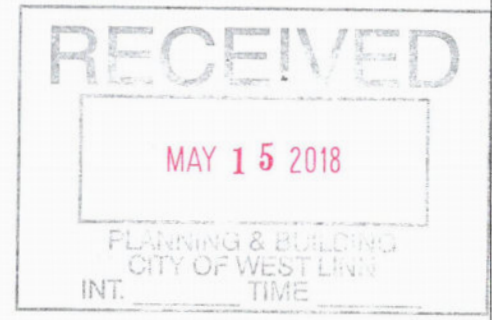
- LEGEND
- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE.
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS





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 T (503) 539 8802 | F (503) 697 1985 | e ralph@taran.com

ADU - JOHNSTON RESIDENCE
 1693 12TH ST.,
 WEST LINN, OR 97068



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 DRAWN BY: RGM
 NO. DATE ISSUE/REVISION

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 2017-026B

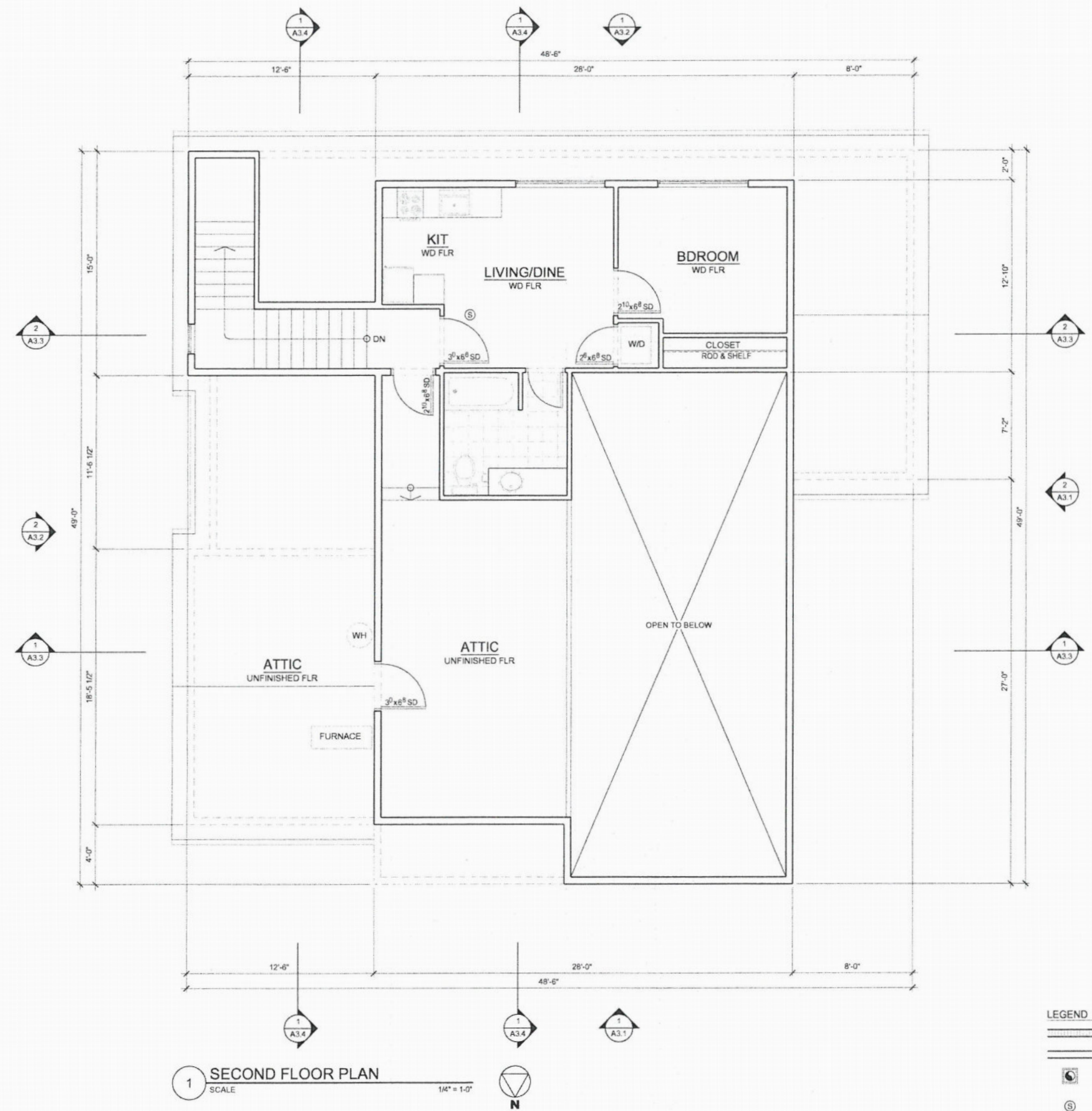
12-17-17
 SHEET CONTENTS

SECOND FLOOR PLAN DETAILS

SHEET NUMBER

A2.2

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- LEGEND**
- SHEAR WALL LOCATION
SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE.
FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A
SELFTIME TO DEHUMIDISTATE.
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DETECTOR LOCATIONS

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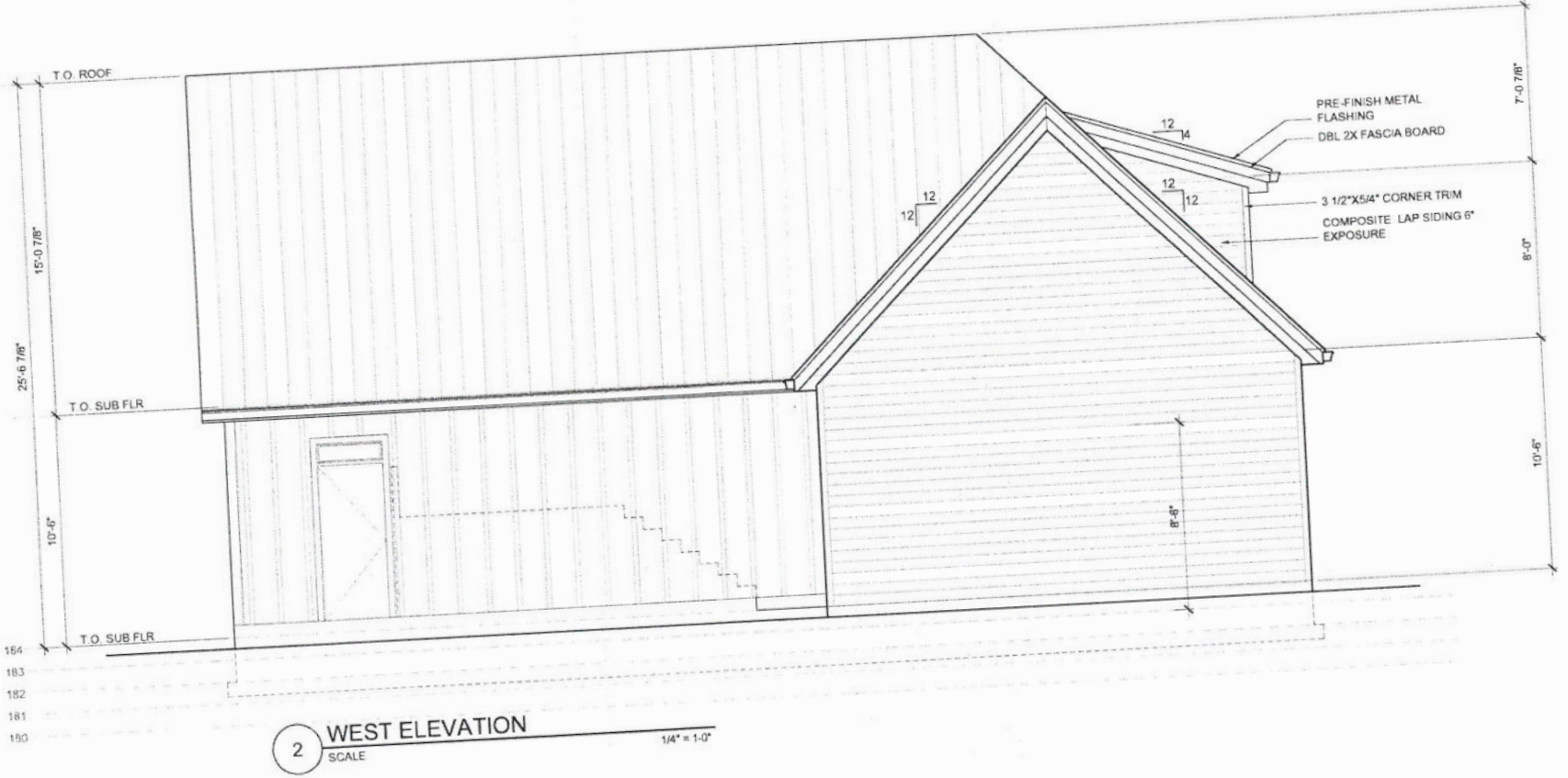
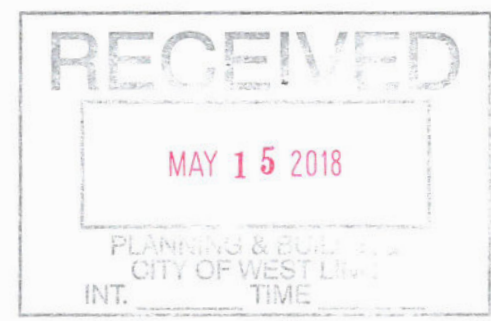
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DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION

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 SHEET CONTENTS
 NORTH & WEST
 ELEVATIONS

SHEET NUMBER
A3.1

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2 WEST ELEVATION
 SCALE 1/4" = 1'-0"



1 NORTH ELEVATION
 SCALE 1/4" = 1'-0"

05/06/18 - 8:46pm - Rusty - F:\My Documents\Architecture\2017-26 - Arty & Jason House\1726B ADU Office\1726B - A3.1-13.4.dwg



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NO.	DATE	ISSUE/REVISION

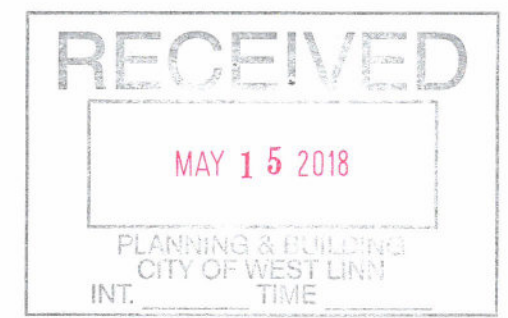
PROJ NO.
2017-026B

12-17-17
SHEET CONTENTS

SOUTH & EAST ELEVATIONS

SHEET NUMBER

A3.2



2 EAST ELEVATION
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

05/06/18 - 8:46pm - Ruty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\17268 ADU\Office\17268 - A3.1-13.4.dwg

RECEIVED

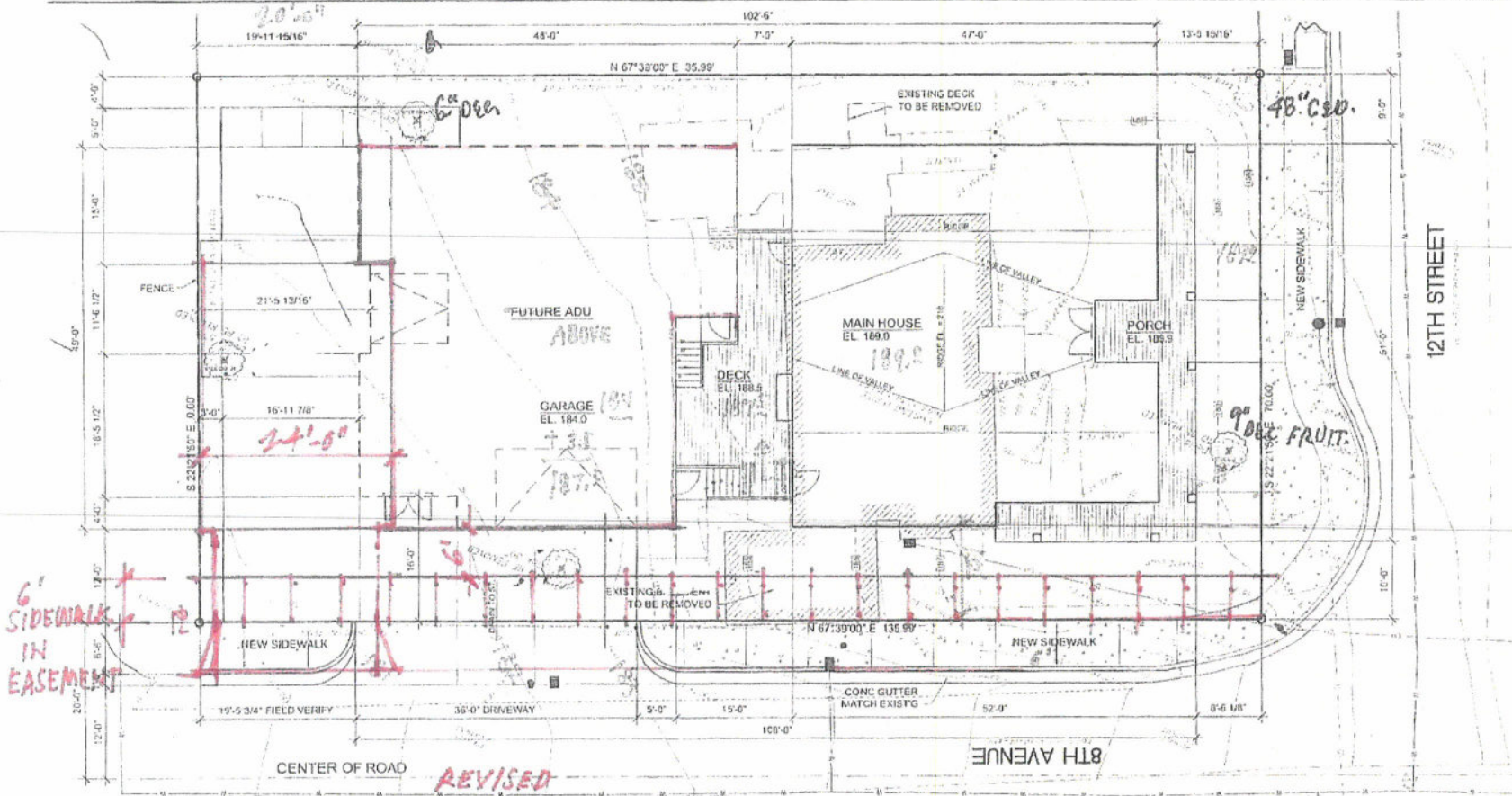
JUN 6 2018

PLANNING & BUILDING
CITY OF WEST LINN
INT. TIME

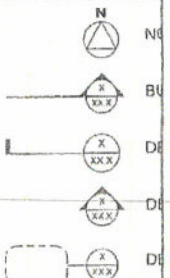
109
101
8' ÷ 135.91' = 5.8%

JOHNSTON RESIDENCE

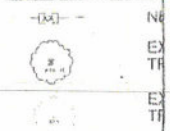
1693 12TH ST., WEST LINN, OR 97068



LEGEND



SYMBOLS



1 SITE PLAN
SCALE 3/32" = 1'-0"
N

DRAWING LIST

- A0.1 SITE PLAN, VICINITY MAP PROJECT INFO, & ETC
- A1.1 GENERAL REQUIREMENTS
- A1.2 WALL ASSEMBLY
- A2.1 FIRST FLOOR PLAN & DETAILS
- A2.2 SECOND FLOOR PLAN & DETAILS
- A2.3 ROOF PLAN & DETAILS
- A3.1 BUILDING ELEVATIONS & DETAILS
- A3.2 BUILDING ELEVATIONS & DETAILS
- A3.3 BUILDING SECTIONS & DETAILS
- A3.4 BUILDING SECTIONS & DETAILS
- A4.1 WALL SECTIONS

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW TWO STORY RESIDENCE.

LEGAL DESCRIPTION:
 PROPERTY ID : C147006
 COUNTY : CLACKAMAS
 CENSUS TRACT : 020700
 DOCUMENT NO : 2017-033526
 PARCEL NO : 00748793
 STATE ID : 31E02BA00500
 JURISDICTION : WEST LINN

CODE ANALYSIS:

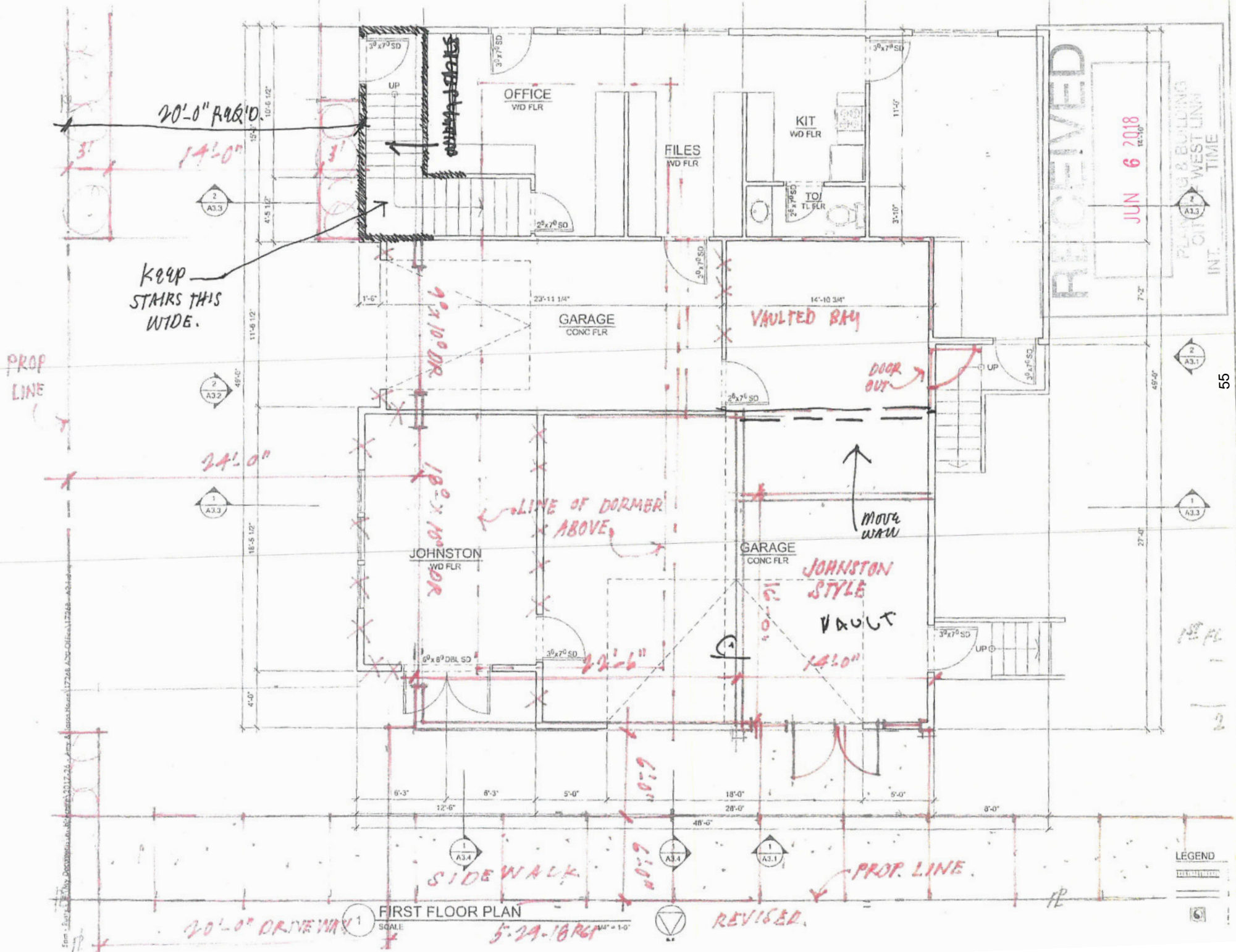
CODE USED 2017 OREGON RESIDENTIAL SPECIALTY CODE

LOT AREA = 9,535 SF
 BUILDING COVERAGE (MAIN HOUSE) = 2,593 SF
 BUILDING COVERAGE (ADU/OFFICE) = 2,093 SF
 OVERALL BUILDING COVERAGE = 4,686 SF

ALLOWABLE BUILDING COVERAGE = SF
 ACTUAL HEIGHT = 35' FT
 MAIN STREET SETBACK = 17.5 FT
 STREET SIDE SETBACK = 5.0 FT

2/20 = 10

3788
1329
6117



20'-0" R&D
14'-0"

KEEP STAIRS THIS WIDE.

PROP LINE

24'-0"

LINE OF DORMER ABOVE

DOOR OUT

MOVE WALL

JOHNSTON STYLE VAULT
14'-0"

SIDEWALK

PROP LINE

30'-0" DRIVEWAY

FIRST FLOOR PLAN
SCALE: 5'-24-18/64" = 1'-0"

REVISED

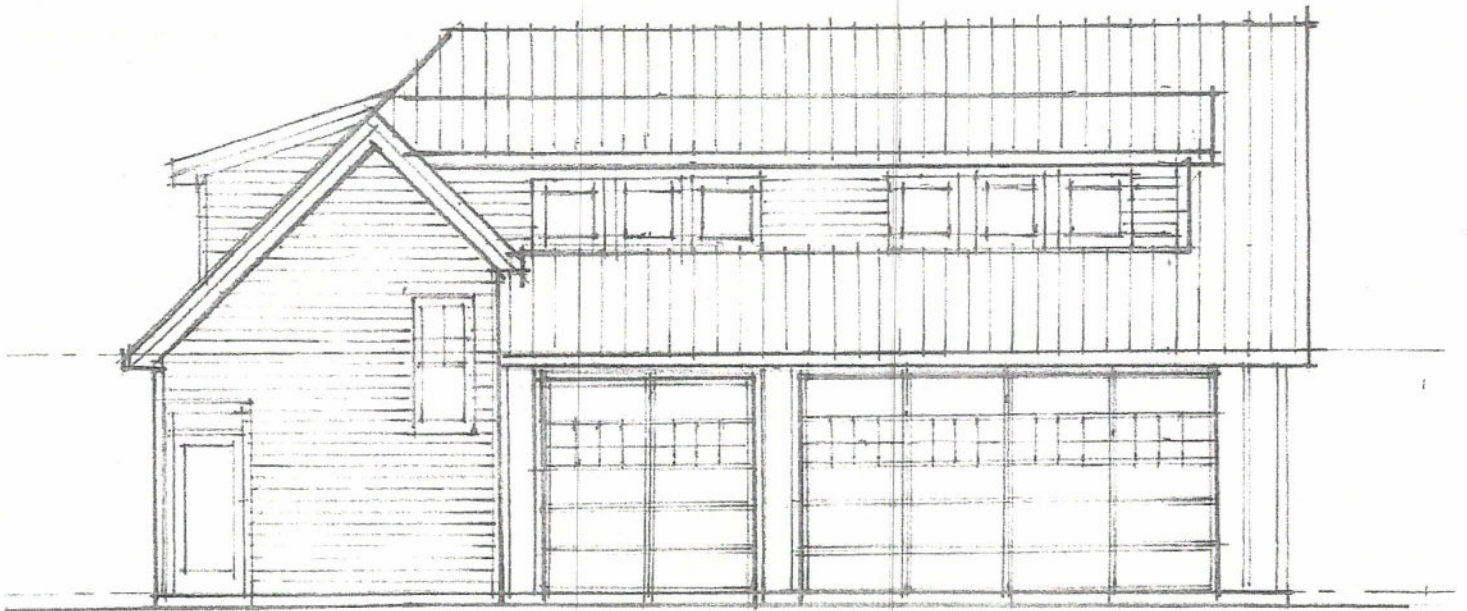
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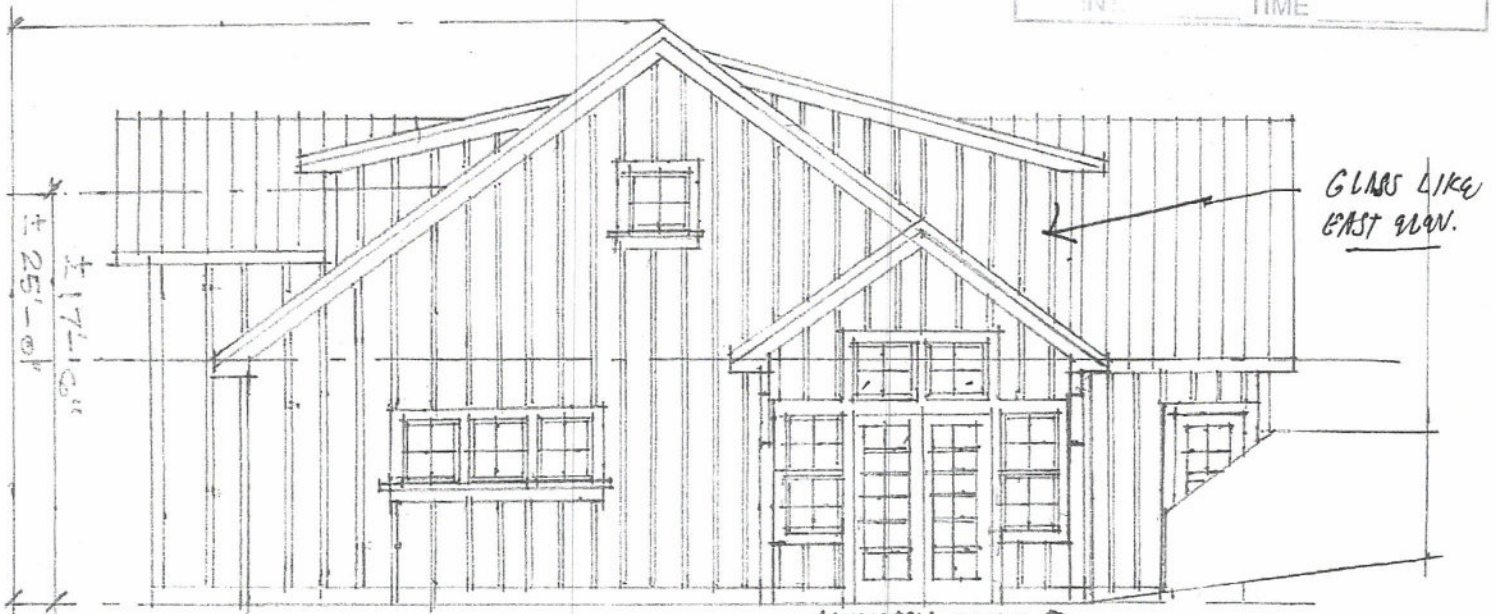
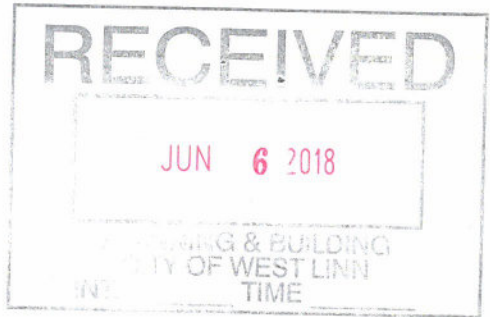
LEGEND



EAST ELEVATION

1/8" = 1'-0"

5.29.18P6T



JOHNSTON STYLE 5

NORTH ELEVATION

1/8" = 1'-0"

5.29.18P6T