

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Barren Wyss</i>	PROJECT No(s). <i>DR-18-01</i>	
NON-REFUNDABLE FEE(S) <i>2100</i>	REFUNDABLE DEPOSIT(S) <i>—</i>	TOTAL <i>2100</i>

Type of Review (Please check all that apply):

- | | | |
|---|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) <i>CLI</i> | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation <i>2100</i> | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: <i>1693 12th STREET, WEST LINN, OREGON 97068</i>	Assessor's Map No.: <i>3 1E 02BA</i>
	Tax Lot(s): <i>3 1E 02BA</i>
	Total Land Area: <i>9519.3 SF</i>

Brief Description of Proposal:
EXTENSIVE REMODEL OF AN EXISTING SINGLE FAMILY RESIDANCE TO CREATE A NEW LARGER RESIDANCE WITH A DETACHED ADU/ACCESSORY BUILDING & GARAGE

Applicant Name: *RALPH TAHRAN, ARCHITECT* Phone: *503-539-8802*
(please print)
Address: *13741 KNAUS ROAD* Email: *ralph.tahrn@comcast.net*
City State Zip: *LAKE OSWEGO, OR. 97034*

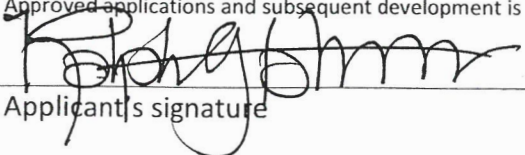
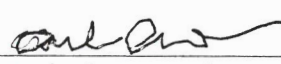
Owner Name (required): *JASON & AMY JOHNSTON* Phone: *503-267-5253*
(please print)
Address: *1693 12th ST.* Email:
City State Zip: *WEST LINN, OR. 97068*

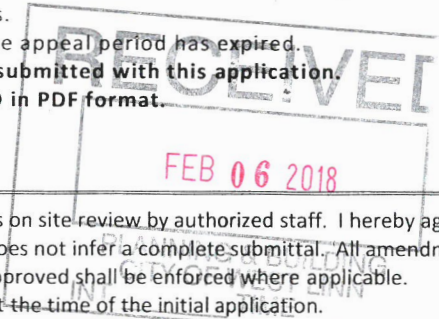
Consultant Name: *TAHRAN ARCHITECTURE & PLANNING LLC.* Phone: *503-539-8802*
(please print)
Address: *13741 KNAUS ROAD* Email:
City State Zip: *LAKE OSWEGO, OREGON 97034* *ralph.tahrn@comcast.net*

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application. One (1) complete set of digital application materials must also be submitted on CD in PDF format. If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

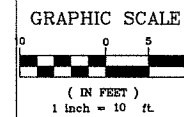
	<i>2/5/18</i>		<i>2/5/18</i>
Applicant's signature	Date	Owner's signature (required)	Date



TOPOGRAPHIC SURVEY
 FOR:
 AMY & JASON JOHNSTON
 BEING A PORTION OF TRACT 54
 WILLAMETTE TRACTS (PLAT NO. 147)
 SITUATED IN THE NW 1/4 OF SECTION 2
 T.3S, R.1E, W.M.
 CITY OF WEST LINN
 CLACKAMAS COUNTY, OREGON

TAX MAP 3 1E 02BA

JULY 10, 2017



NOTES:

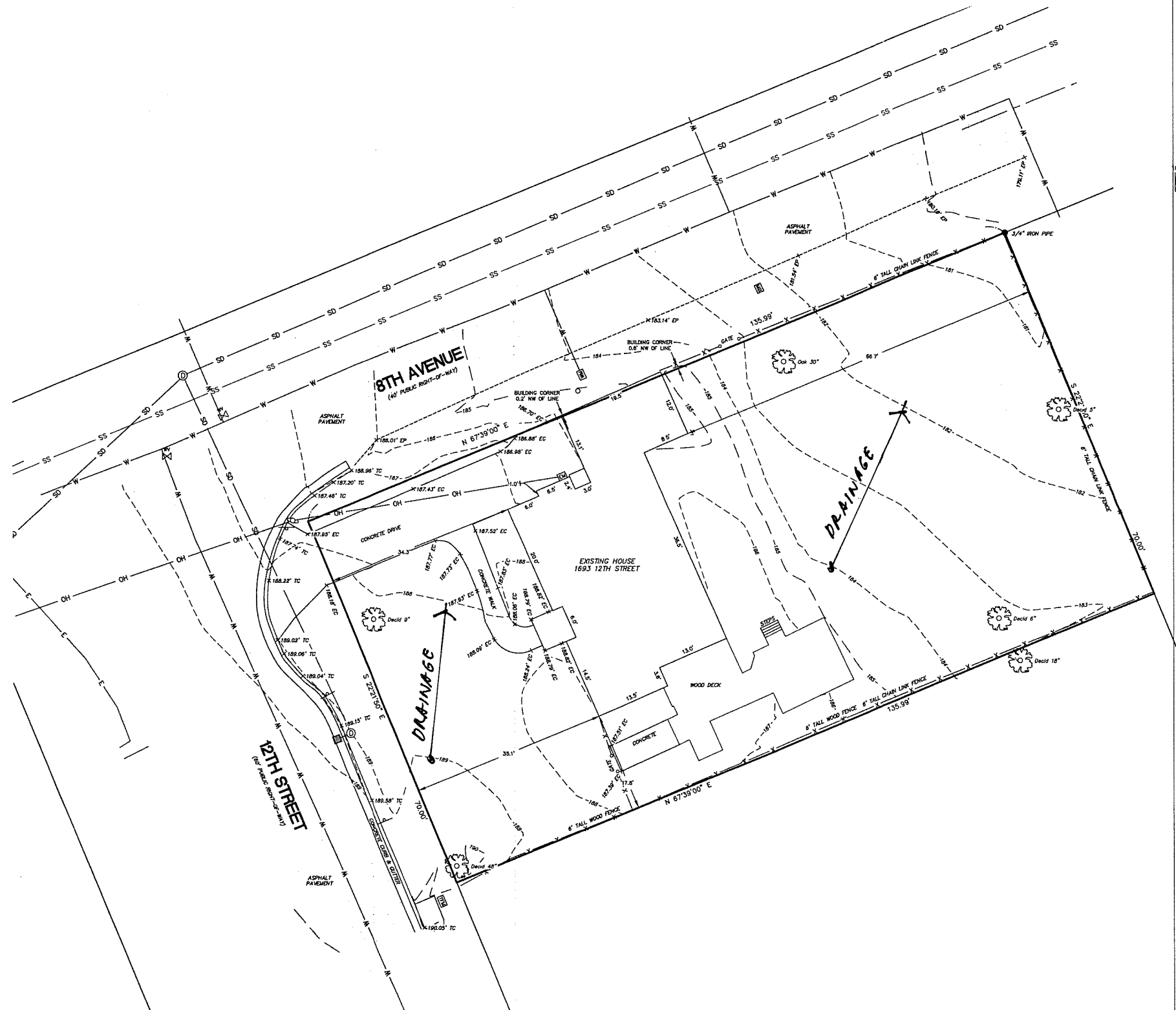
1. VERTICAL DATUM IS NGVD 1929 BASED ON OPUS SOLUTION OF STATIC GPS OBSERVATION.
2. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
3. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARRIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
4. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
5. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

9519,3 SF GROSS AREA.

LEGEND:

- FOUND SURVEY MONUMENT
- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊞ CATCH BASIN
- ⊞ WATER METER
- ⊞ WATER VALVE
- ⊞ UTILITY POLE
- ⊞ ELECTRIC METER
- ⊞ TRANSFORMER
- GATE POST
- ⊞ MAILBOX
- SD— UNDERGROUND STORM LINE
- SS— UNDERGROUND SANITARY LINE
- E— UNDERGROUND POWER LINE
- W— UNDERGROUND WATER LINE
- X— FENCE LINE AS NOTED
- OH— OVERHEAD UTILITY LINE
- 000.00 EC X EDGE OF CONCRETE - SPOT ELEVATION
- 000.00 TC X TOP OF CURB - SPOT ELEVATION
- 000.00 EP X EDGE OF PAVEMENT - SPOT ELEVATION

SITE ANALYSIS



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

 OREGON
 JANUARY 15, 1987
 HAROLD P. SALO
 2284
 EXPIRES: JUNE 30, 2018

(SINCE 1952)
 ANDY PARRIS AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 16057 BOONES FERRY ROAD
 LAKE OSWEGO, OREGON 97035
 PH. 503-636-3341
 www.andyparris.com
 PROJECT: 17157
 DRAWING: 17157P1.DWG
 DRAFTED: MPC 07/10/17

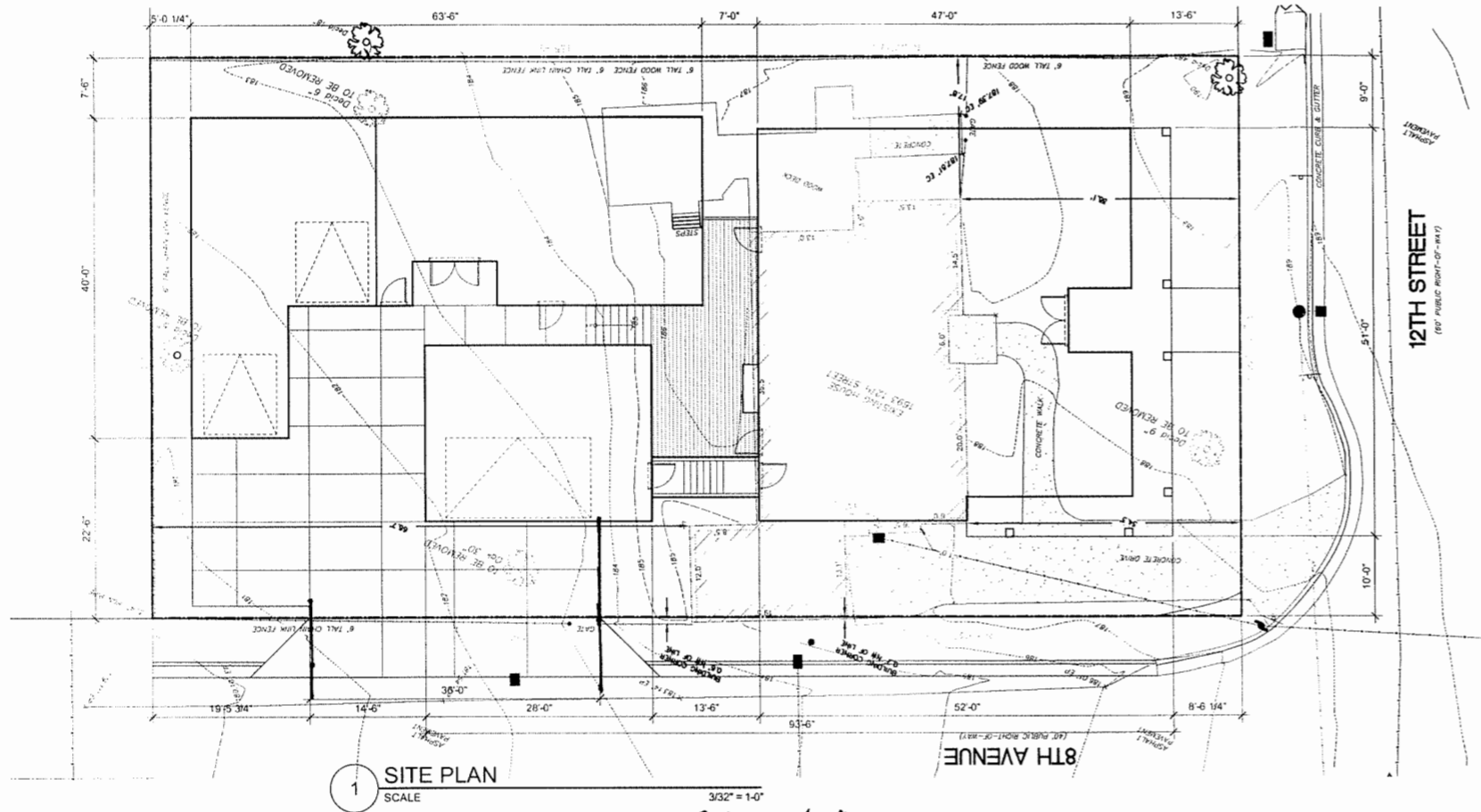
JOHNSTON RESIDENCE

1693 12TH ST., WEST LINN, OR 97068



TAHARAN ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph@taharan.com

JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068



LEGEND

- NORTH ARROW
- BUILDING SECTION
- DETAIL SECTION
- DETAIL ELEVATION
- DETAIL PLAN

SYMBOLS

- NEW SLOPE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- EXISTING TREE TO REMAIN

ABBREVIATIONS

ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
A.B.P.	ALT. BRACED PANEL	H.B.	HOSE BIB
BD.	BOARD	HD	HOLD OWN
BLDG.	BUILDING	LAV.	LAVATORY
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.P.	BRACED PANEL	MAX.	MAXIMUM
BRG.	BEARING	MECH.	MECHANICAL
CPT.	CARPET	MIN.	MINIMUM
C.C.	CENTER TO CENTER	N.G.L.	NATURAL GRADE LINE
C.J.	CONTROL JOINT	N/A	NONE
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CLR	CLEAR	NOM.	NOMINAL
CMU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CRMIC	CERAMIC	P.F.	PORTAL FRAME
CT	CERAMIC TILE	P.T.	PRESSURE TREATED
CSNK.	COUNTERSINK	PNTD	PAINTED
DECK'G	DECKING	PLYWD	PLYWOOD
D.S.	DOWN SPOUT	R=	RADIUS
DIA.	DIAMETER	REF	REFRIGERATOR
DW	DISHWASHER	SHO.	SHOWER
DWG.	DRAWING	SIM.	SIMILAR
EA.	EACH	SH WL	SHEAR WALL
ELEV.	ELEVATION	SHTNG	SHEATHING
ELEC.	ELECTRICAL	TOI.	TOILET
EQ.	EQUAL	T.O.	TOP OF
EQUIP.	EQUIPMENT	T.O.P.	TOP OF PLATE
EXIST'G.	EXISTING	T.O.B.	TOP OF BEAM
ETR	EXISTING TO BE REMAIN	T.O.W.	TOP OF WALL
F.F.L.	FINISH FLOOR LINE	TL	TILE
F.D.	FLOOR DRAIN	TYP.	TYPICAL
FND	FOUNDATION	U.O.N.	UNLESS OTHERWISE NOTED
F.O.S.	FACE OF STUD	VER.	VERIFY
FTG	FOOTING	WL	WALL
GALV.	GALVANIZED	WH	WATER HEATER
GYP	GYPSTUM	WD	WOOD
GWB	GYPSTUM WALL BOARD	W/O	WITHOUT
INFO	INFORMATION		
HRDWD	HARDWOOD		

DRAWING LIST

- A0.1 SITE PLAN, VICINITY MAP PROJECT INFO, & ETC
- A1.1 GENERAL REQUIREMENTS
- A1.2 WALL ASSEMBLY
- A2.1 FIRST FLOOR PLAN & DETAILS
- A2.2 SECOND FLOOR PLAN & DETAILS
- A2.3 ROOF PLAN & DETAILS
- A3.1 BUILDING ELEVATIONS & DETAILS
- A3.2 BUILDING ELEVATIONS & DETAILS
- A3.3 BUILDING SECTIONS & DETAILS
- A3.4 BUILDING SECTIONS & DETAILS
- A4.1 WALL SECTIONS
- A4.2 ARCHITECTURAL DETAILS
- S1.0 STRUCTURAL NOTES
- S1.1 FOUNDATION PLAN
- S1.2 SECOND FLOOR FRAMING PLAN
- S1.3 ROOF FRAMING PLAN

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW TWO STORY RESIDENCE.

LEGAL DESCRIPTION:

PROPERTY ID :
COUNTY :
SUBDIVISION :
BLOCK :
LOT NO :
STATE ID :

LOCATION:
LAKE OSWEGO

ZONE CLASSIFICATION:
ADDRESS:

ZONING INFORMATION

ZONE CLASSIFICATION:
SETBACKS APPLIED: PER PD APPROVAL
20' FRONT
20' REAR
5' SIDES
10' SIDE STREET
MAX BLDG HEIGHT: . FT

CODE ANALYSIS:

CODE USED 2014 OREGON RESIDENTIAL SPECIALTY CODE

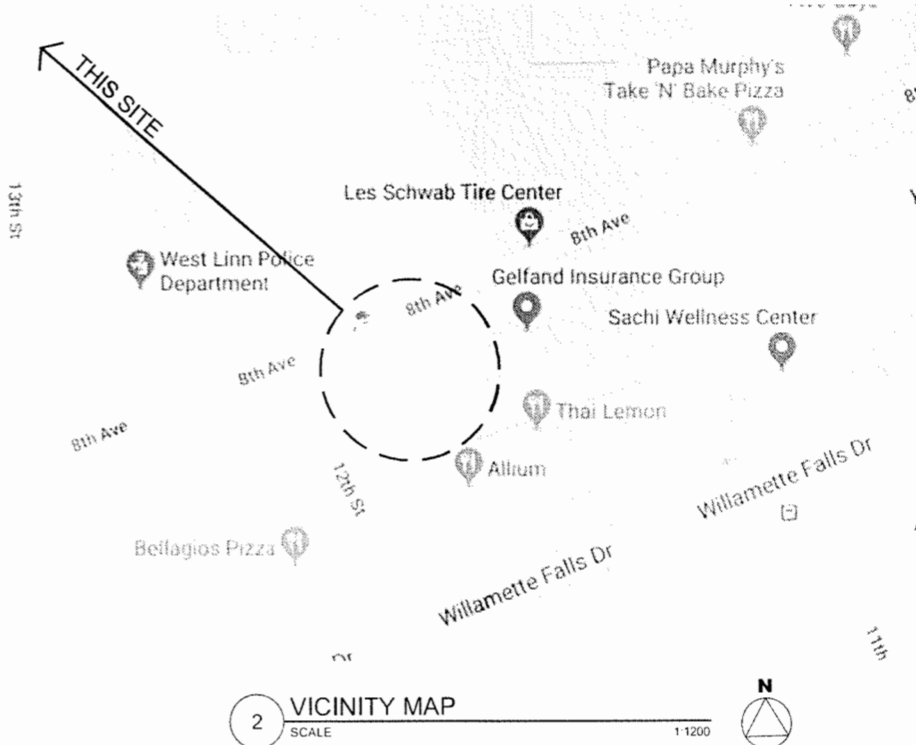
LOT AREA = . SF
BUILDING COVERAGE = . SF
ALLOWABLE BUILDING COVERAGE = . SF

ACTUAL HEIGHT . FT
STREET SETBACK . FT
SIDE SETBACK . FT
BACKYARD SETBACKS . FT

MAX FLOOR AREA ALLOWED

STORM DRAIN CALCULATION

BUILDING INFO
FLOOR AREA CALCULATION
FIRST FLOOR . SF
SECOND FLOOR . SF
TOTAL FLOOR AREA . SF
GARAGE . SF
ENTRY . SF
COVERED PATIO . SF
OVERALL TOTAL AREA . SF



CHECKED BY: RALPH TAHRAN
DRAWN BY: RGM
NO. DATE ISSUE/REVISION

PROJ NO.
2017-026

12-17-17

SHEET CONTENTS
SITE PLAN

SHEET NUMBER

A0.1

PLAN NOTES:

- REFERENCE DETAILS 8/A4.1 EXTERIOR DOOR AND 6/A4.1 FOR INTERIOR DOOR TRIM DETAILS.
- PROVIDE EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS AT ALL BATHROOMS AND LAUNDRY ROOMS-TYPICAL

ENERGY COMPLIANCE TABLE N1101.1(1) AND N1101.1(2) PRESCRIPTIVE ENVELOPE REQUIREMENTS 2014 OREGON RESIDENTIAL SPECIALTY CODE.

HIGH EFFICIENCY ENVELOPE
ENVELOPE ENHANCEMENT MEASURE 3
HIGH EFFICIENCY CEILING, WINDOW & SEALING: (CANNOT BE USED WITH CONSERVATION MEASURE E)
VAULTED CEILINGS - U-0.033/R-30A d.e. AND
FLAT CEILING - U-0.025/R-49. AND
WINDOWS - U-0.30. AND PERFORMANCE TESTED DUCT SYSTEMS b

CONSERVATION MEASURE A
HIGH EFFICIENCY HVAC SYSTEM:
GAS-FIRED FURNACE OR BOILER WITH MINIMUM AFUE OF 90% OR AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 8.5 OR CLOSED-LOOP GROUND SOURCE HEAT PUMP MINIMUM COP OF 3.0.

NOTE: FURNACES LOCATED WITH THE BUILDING ENVELOPE SHALL HAVE SEALED COMBUSTION AIR INSTALLED. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS.

PER APPENDIX F OF 11 OF THE LATEST EDITION OF THE OREGON RESIDENTIAL SPECIALTY CODE-RADON CONTROL METHODS:

AF103.4- OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPE WIRES OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES THAT SHALL BE FILLED WITH POLYURETHANE CAULK OR EQUIVALENT SEALANT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

AF103.4.3- CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.

AF103.4.5- PENETRATIONS OF CONCRETE FOUNDATION WALLS SHALL BE FILLED WITH A POLYURETHANE CAULK OR EQUIVALENT SEALANT.

AF103.4.6- THE EXTERIOR SURFACE OF PORTIONS OF CONCRETE MASONRY OR BLOCK WALLS BELOW THE GROUND SURFACE SHALL BE DAMPROOFED IN ACCORDANCE WITH SECTION R406 OF THIS CODE.

AF103.4.7- AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR BEING DRAWN INTO THE UNIT.

EXCEPTION-UNITS WITH CASKETS SEALS OR UNITS THAT ARE OTHERWISE SEALED BY THE MANUFACTURER TO PREVENT AIR LEAKAGE.

AF103.4.8 DUCTS- DUCTWORK LOCATED IN CRAWL SPACES OR SLAB S SHALL HAVE ALL SEAMS AND JOINTS SEALED BY CLOSURE SYSTEMS IN ACCORDANCE WITH SECTION M1601.4.1- DUCTWORK SHALL BE PERFORMANCE TESTED TO DEMONSTRATE CONFORMANCE TO ODDE DUCT PERFORMANCE STANDARDS.

AF103.4.9- CRAWL SPACE FLOORS-OPENINGS AROUND ALL PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

AF103.4.10- ACCESS DOORS OR OTHER OPENINGS OR PENETRATIONS THROUGH FLOORS ABOVE CRAWL SPACES SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE.

SECTION AF103.5.2 OPTION USED:

AF103.5.2.1- VENTILATION- CRAWL SPACES SHALL BE PROVIDED WITH VENTS TO THE EXTERIOR OF THE BUILDING SUCH THAT THE MINIMUM NET AREA OF VENTILATION OPENINGS IS NOT LESS THAN 1 SQ. FT FOR EACH 150 S.F. OR UNDER FLOOR SPACE AREA(REFERENCE FOUNDATION PLAN - SHEET S-1 FOR CRAWL SPACE VENT LOCATIONS AND CALCULATIONS)

AF103.5.2.2- VENTILATION OPENINGS- VENTILATION OPENINGS ARE COVERED WITH WIRE MESH SCREENS ONLY-OPERABLE LOUVERS OR DAMPERS ARE NOT PERMITTED THAT WOULD TEMPORARILY STOP THE VENTILATION.

AF103.5.2.3- BUILDING TIGHTNESS- A BLOWER DOOR TEST IS TO BE PERFORMED PRIOR TO BUILDING OCCUPANCY-DWELLING TO BE TESTED WITH A BLOWER DOOR. DEPRESSURIZING TO 50 PASCAL'S FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 5.0 AIR CHANGES PER HOUR. A MECHANICAL EXHAUST, SUPPLY OR COMBINATION VENTILATION SYSTEM PROVIDING WHOLE- BUILDING VENTILATION RATES SPECIFIED IN TABLE N1101.1(3) OR ASHRAE 62.2 SHALL BE INSTALLED IN THE DWELLING UNIT.

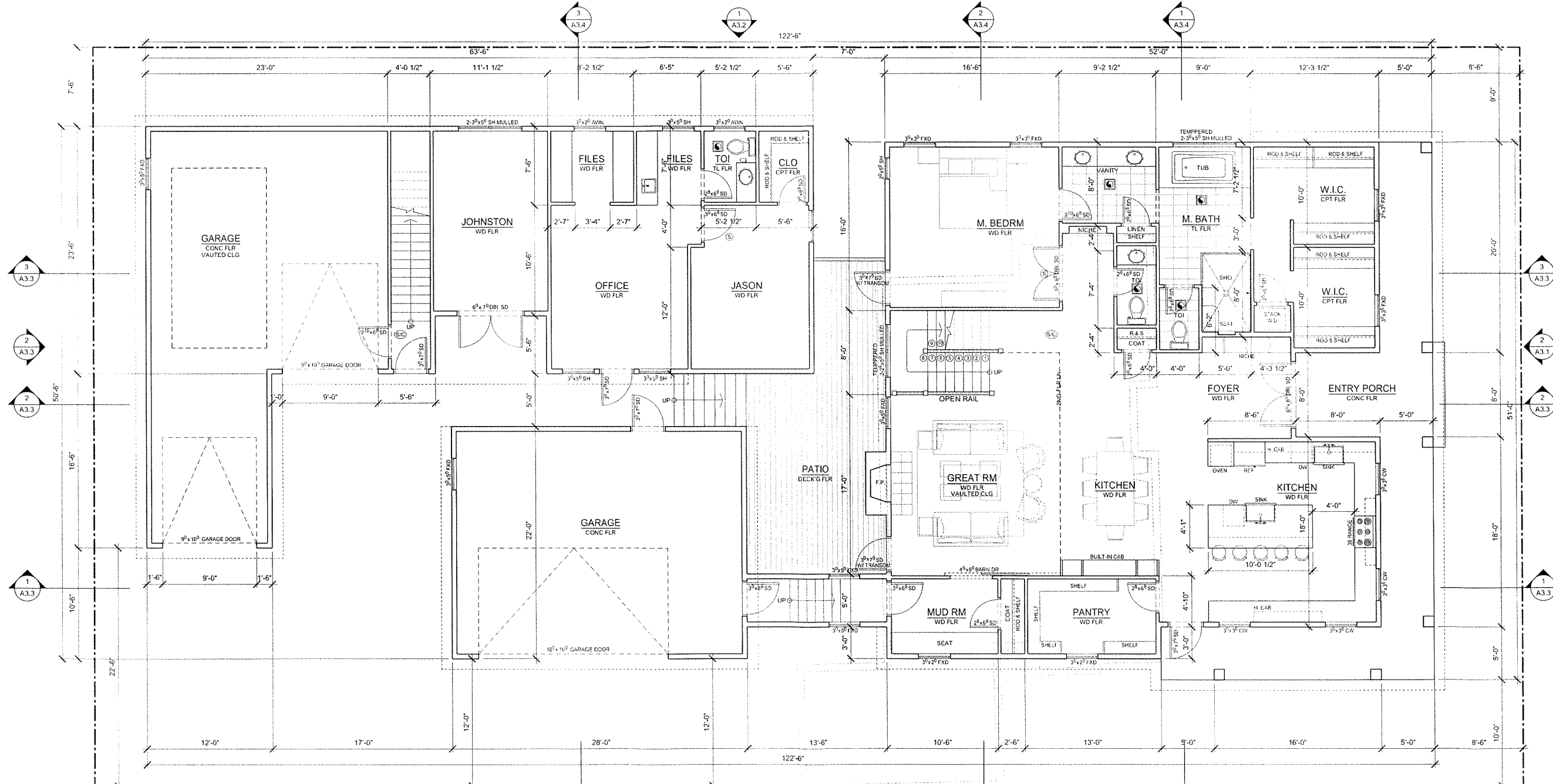
(ALL BATHROOMS ARE TO BE PROVIDED WITH EXHAUST FANS WITH AUTOMATIC TIMER CONTROLS (AS NOTED ABOVE) FOR A "WHOLE HOUSE" VENTILATION SYSTEM)

FLOOR AREA CALCULATION

MAIN HOUSE	
FIRST FLOOR	2,176 SF
SECOND FLOOR	1,612 SF
TOTAL FLR AREA	3,788 SF

ADU SECOND FLOOR	556 SF
OFFICE FIRST FLOOR	894 SF

GARAGE - (OFFICE, ADU)	739 SF
GARAGE - (MAIN HOUSE)	684 SF
ENTRY	424 SF
OPEN PATIO	333 SF



1 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"
3/32" = 1'-0"
R400640

- LEGEND**
- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
 - EXTERIOR/ INTERIOR WALL
 - RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELF-TIME TO DEHUMIDISTATE.
 - SMOKE DETECTOR LOCATIONS
 - COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

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TAHRAN ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034
T (503) 539 8802 | F (503) 697 1985 | e ralph.tahran@comcast.net

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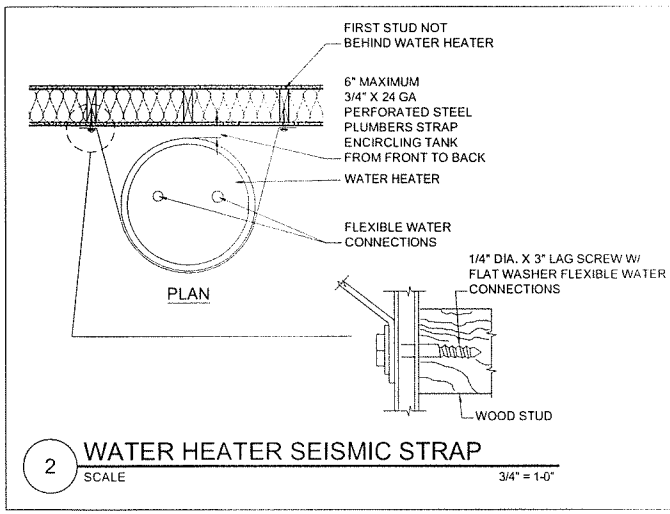
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SHEET CONTENTS

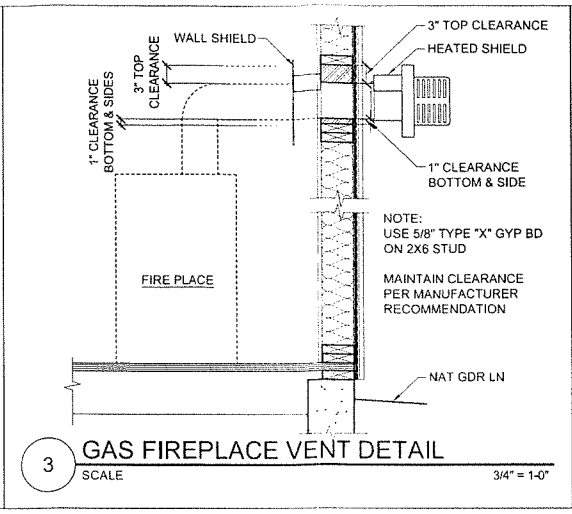
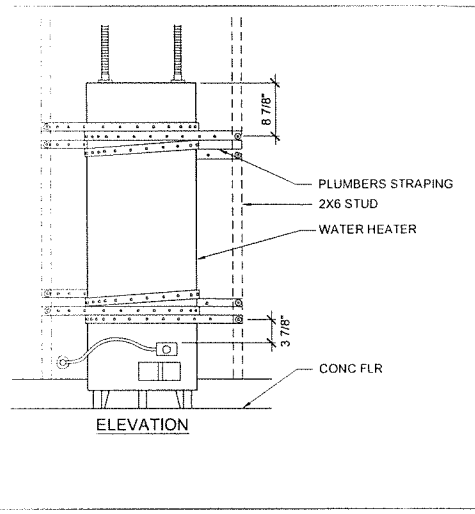
FIRST FLOOR PLAN

SHEET NUMBER

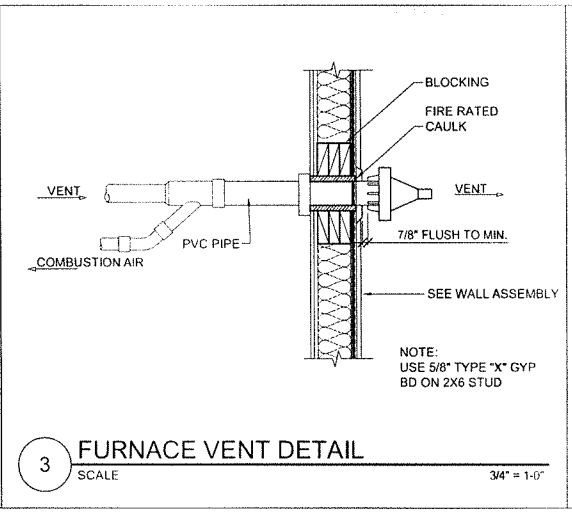
A2.1



2 WATER HEATER SEISMIC STRAP
SCALE 3/4" = 1'-0"



3 GAS FIREPLACE VENT DETAIL
SCALE 3/4" = 1'-0"



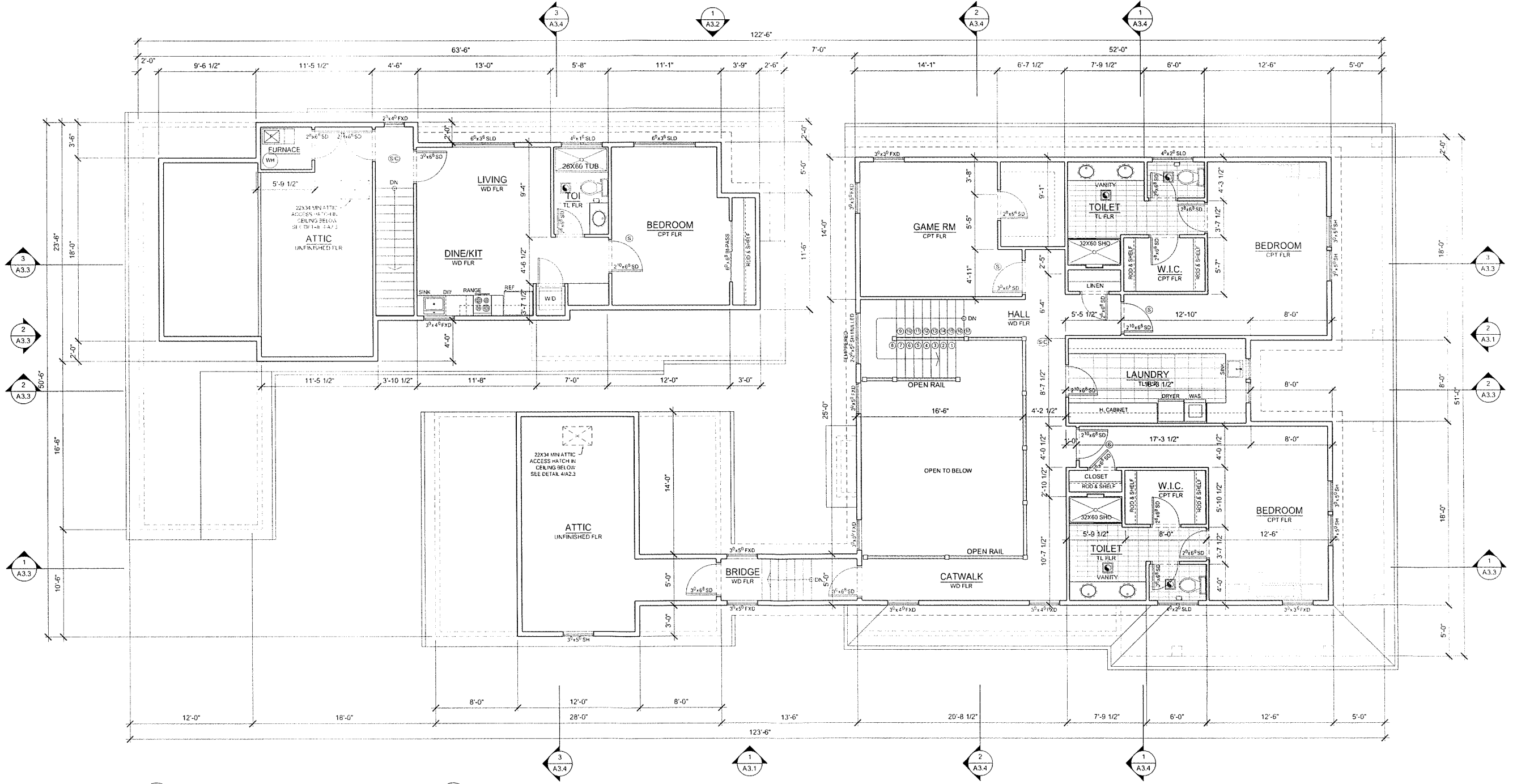
3 FURNACE VENT DETAIL
SCALE 3/4" = 1'-0"

LEGEND

- SHEAR WALL LOCATION SEE S1.0 SHEAR WALL SCHEDULE
- EXTERIOR/ INTERIOR WALL
- RECESSED EXHAUST FAN VENTED TO OUTSIDE FAN TO PROVIDE MINIMUM OF 80 CFM AND BY A SELFTIME TO DEHUMIDISTATE.
- SMOKE DETECTOR LOCATIONS
- COMBINATION SMOKE / CARBON MONOXIDE DETECTOR LOCATIONS

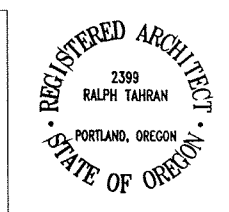
FLOOR AREA CALCULATION

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OFFICE FIRST FLOOR	894 SF
GARAGE - (OFFICE, ADU)	739 SF
GARAGE - (MAIN HOUSE)	684 SF
ENTRY	424 SF
OPEN PATIO	333 SF



1 SECOND FLOOR PLAN
SCALE 3/32" = 1'-0" R240UC40

01/23/18 - 6:03am - flury - F:\My Documents\Architecture\2017-26 - Amy & Jason House\1726 - A2.2 master.dwg



TAHRAH ARCHITECTURE & PLANNING LLC
13741 KNAUS ROAD LAKE OSWEGO, OREGON 97034
T (503) 539-8802 | F (503) 697-1985 | e ralph@tahrah.com

JOHNSTON RESIDENCE
1693 12TH ST.,
WEST LINN, OR 97068

CHECKED BY	RALPH TAHRAH	
DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION

PROJ NO.
2017-026

12-17-17
SHEET CONTENTS

SECOND FLOOR PLAN
DETAILS

SHEET NUMBER

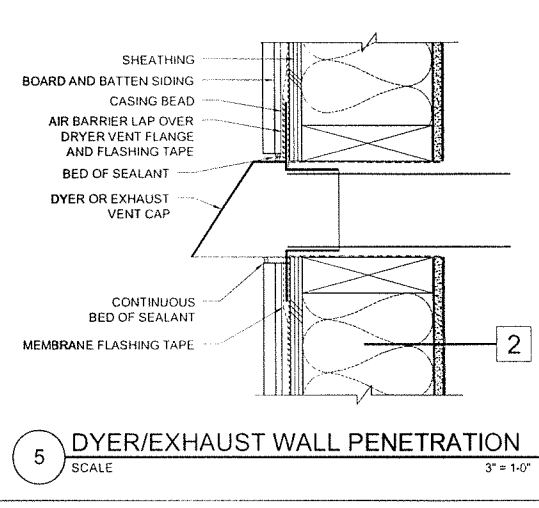
A2.2

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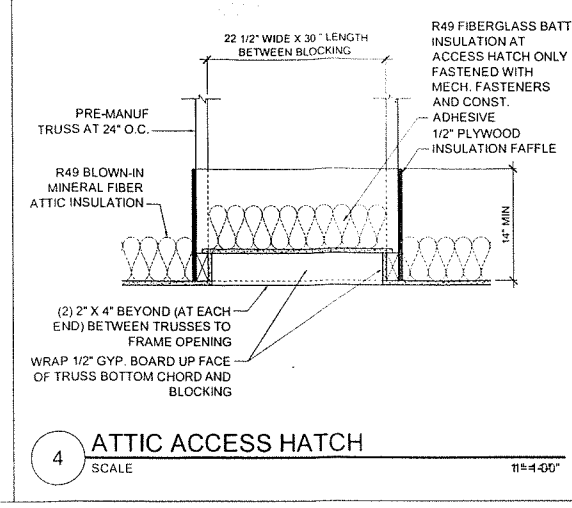
ATTIC AREA VENTILATION CALCULATIONS

ATTIC VENTILATION AREA	AREA	REQUIRED ATTIC VENTILATION AREA	RIDGE VENTILATION AREA PROVIDED
#1			
#2			
#3			

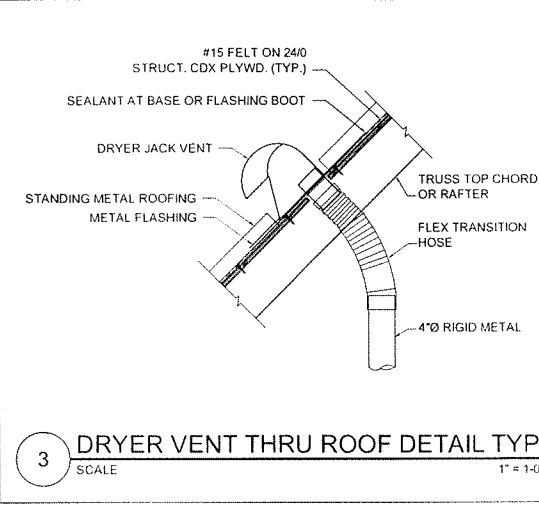
ROOF NOTES:
1. PROVIDE ROOF VENTILATOR IN THE UPPER PORTION OF THE ROOF AS SHOWN ON PLAN SO THAT THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/300 OF THE AREA OF THE SPACE BEING VENTILATED - UNLESS NOTED OTHERWISE (PER THE LATEST EDITION OF THE 2014 ORSC
2. VENTILATION CALCULATIONS FOR SLOPED ROOF AREAS BASED ON USING 12X12 ROOF VENTILATORS (PROVIDE .35 SQUARE FEET OF NET FREE VENTILATION AREA PER VENT).
3. PROVIDE 2X BLOCKING BETWEEN TRUSSES AT EAVES WITH (3) 1 1/2" DIA SCREENED VENT HOLES IN BLOCKING AT EVERY OTHER FRAMING BAY (48" O.C.) - THE REMAINDER OF THE VENTILATION TO BE PROVIDED AT UPPER PORTION OF THE ROOF WITH ROOF VENTILATION AS SHOWN ON PLAN



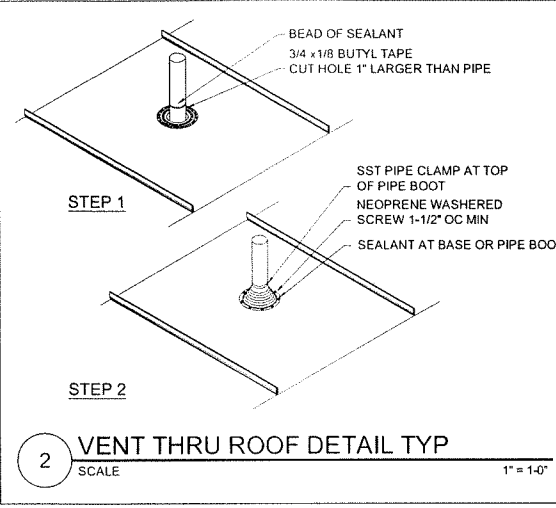
5 DYER/EXHAUST WALL PENETRATION
SCALE 3" = 1'-0"



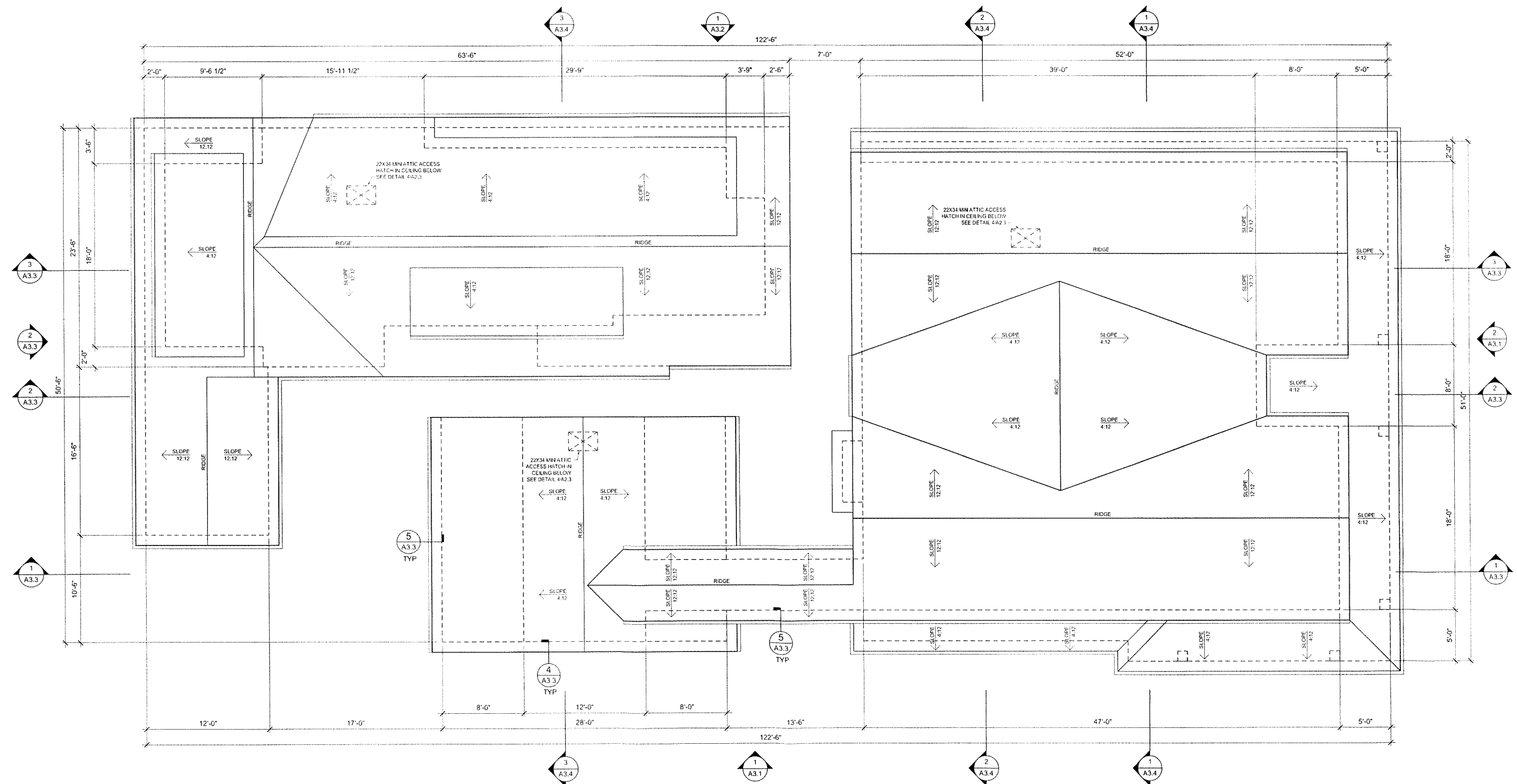
4 ATTIC ACCESS HATCH
SCALE 11" = 4'-00"



3 DRYER VENT THRU ROOF DETAIL TYP
SCALE 1" = 1'-0"



2 VENT THRU ROOF DETAIL TYP
SCALE 1" = 1'-0"



1 SECOND FLOOR PLAN
SCALE 3/32" = 1'-0"
REDUCED

01/23/18 - 6:24am - Purty - F:\My Documents\Architecture\2017-26 - Amy & Jason House\172b - A2.3.dwg

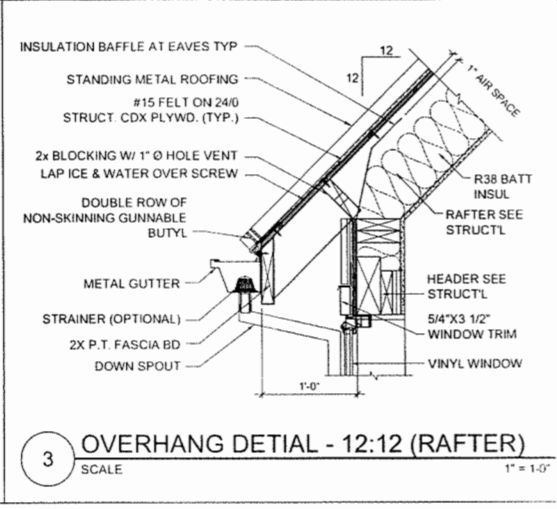
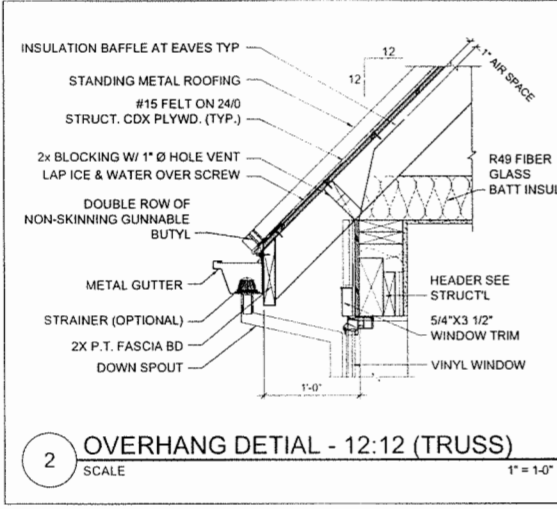
CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO.	DATE	ISSUE/REVISION

PROJ. NO.
2017-026

12-17-17
 SHEET CONTENTS
 SOUTH, WEST
 ELEVATIONS
 DETAILS

SHEET NUMBER

A3.1



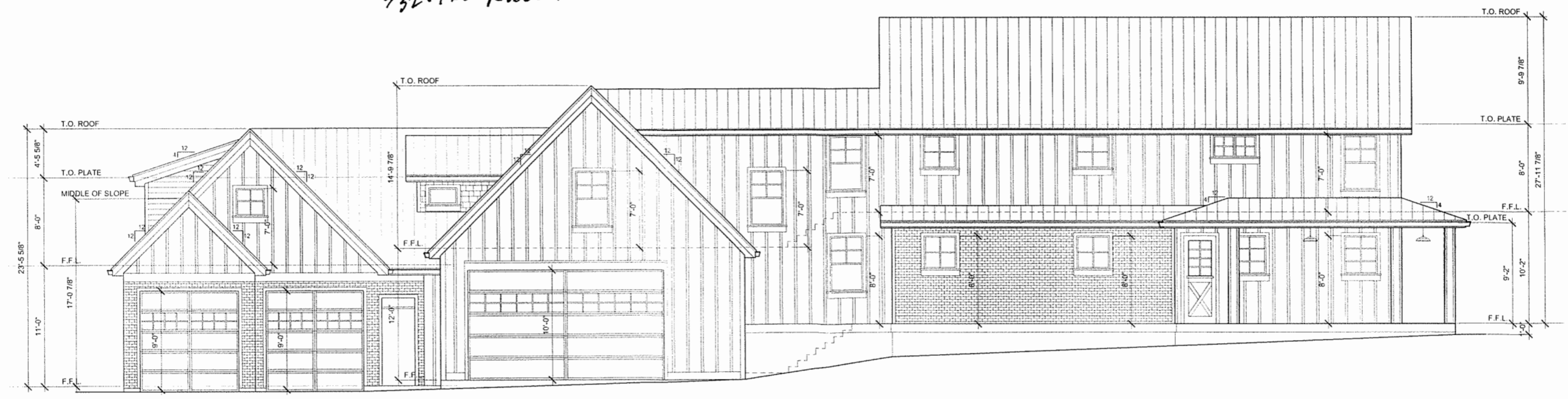
2 OVERHANG DETAIL - 12:12 (TRUSS)
 SCALE 1" = 1'-0"

3 OVERHANG DETAIL - 12:12 (RAFTER)
 SCALE 1" = 1'-0"



2 WEST ELEVATION
 SCALE 3/16" = 1'-0"

3/32" = 1'-0" REVISED



1 NORTH ELEVATION
 SCALE 3/16" = 1'-0"

3/32" = 1'-0" REVISED

CHECKED BY	RALPH TAHRAN	
DRAWN BY	RCM	
NO	DATE	ISSUE/REVISION

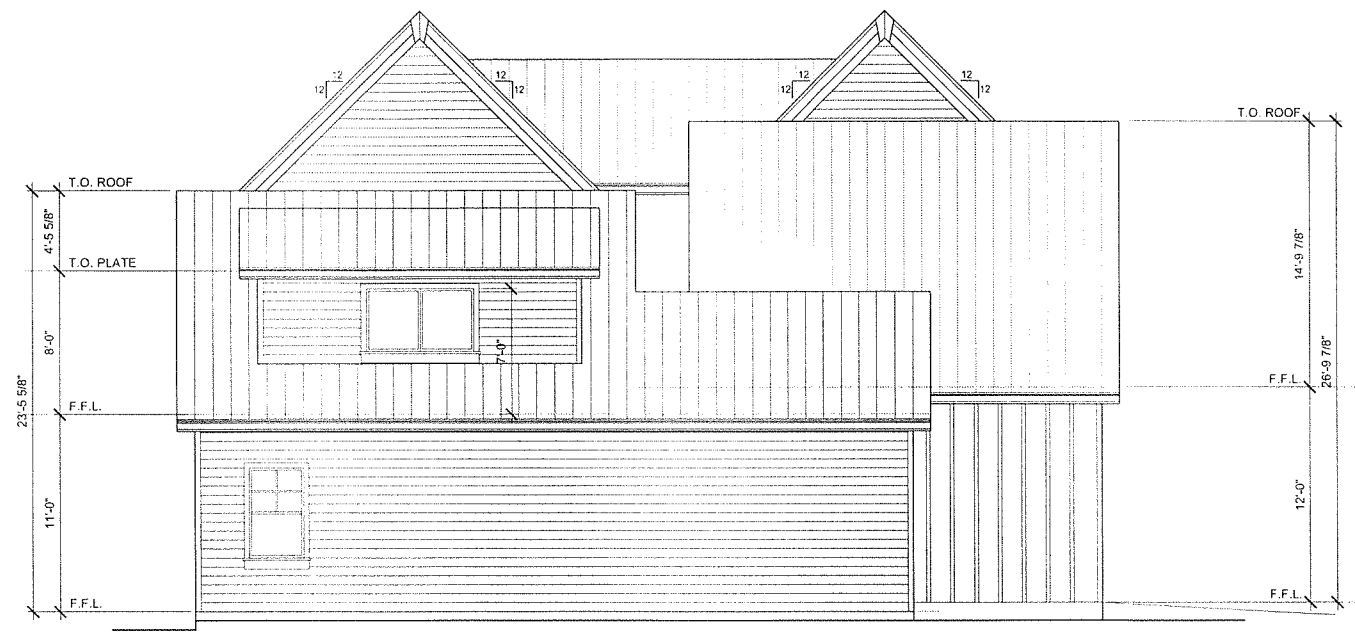
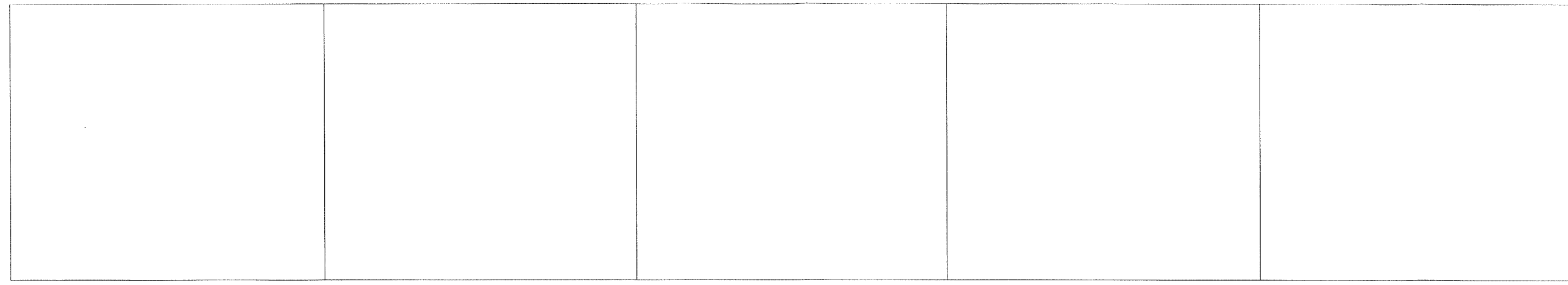
PROJ NO.
2017-026

12-17-17
SHEET CONTENTS

NORTH, EAST ELEVATIONS
DETAILS

SHEET NUMBER

A3.2



2 EAST ELEVATION
SCALE

3/16" = 1'-0"
3/32" = 1'-0" REDUCED



1 SOUTH ELEVATION
SCALE

3/16" = 1'-0"
3/32" = 1'-0" REDUCED