



STAFF REPORT FOR THE HISTORIC REVIEW BOARD

FILE NUMBER: MISC-17-11

HEARING DATE: November 14, 2017

REQUEST: Amendment/new structure of an initial application DR-17-06 in the Historic District

APPROVAL CRITERIA: Community Development Code Chapter 13, R-5 Zoning
Community Development Code Chapter 25, Historic Resources
Community Development Code Chapter 99, Quasi-Judicial Decision Making
Community Development Code Chapter 99.120 Amendments

STAFF REPORT PREPARED BY: Jennifer Arnold, Associate Planner

Planning Manager's Review JB

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GENERAL INFORMATION

**APPLICANT/
OWNER:** Ann Scheuerell

SITE LOCATION: 1744 4th Ave

**LEGAL
DESCRIPTION:** Clackamas County Assessor's Map 3-1E-02BD, Tax Lot 1300

SITE SIZE: 5,000 square feet

ZONING: R-5, Single Family Residential Detached and Attached/Duplex

**COMP PLAN
DESIGNATION:** Medium Density Residential

120-DAY PERIOD: This application became complete on November 1, 2017. The 120-day maximum application processing period ends on February 28, 2018.

PUBLIC NOTICE: Public notice was mailed to the Willamette Neighborhood Association and to affected property owners on October 31, 2017. The property was posted with a sign on November 1, 2017. In addition, the application has been posted on the City's website. The notice requirements of CDC 99 have been met.

EXECUTIVE SUMMARY

The subject property is located in both the Willamette Historic District Overlay and Willamette Historic District National Register. It is a noncontributing historic home located in the Willamette neighborhood on the north side of 4th Avenue, between 14th and 13th Streets. It is approximately six blocks south of Willamette Falls Drive and two blocks west of the Willamette Primary School. The residence was built c. 1924 according to County Assessor and c. 1895 according to the State Historic Preservation Office information. The home is a Bungalow Style. The applicant proposed to add a front porch, a rear addition, and a new driveway/parking pad accessed from the alley along the rear of the property in a previous land use application (DR-17-06).

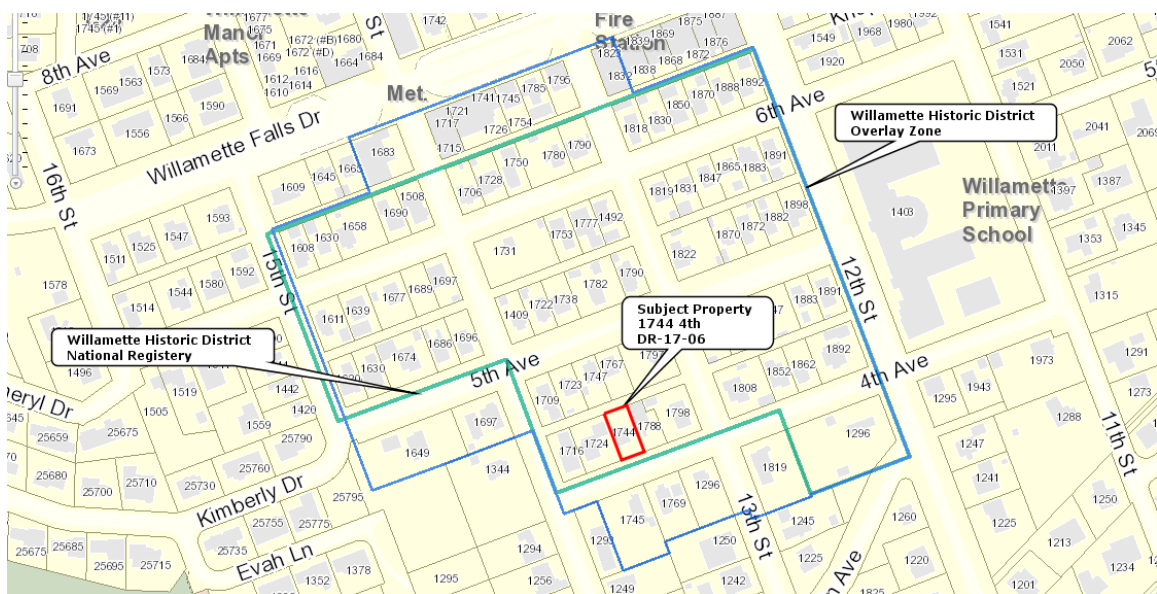
After construction began on the approved addition and front porch the original structural supports were exposed to reveal severe decay. In order to install new truss supports for the new roof, the original roof was removed. Once removed the original walls collapsed and original material was removed from the site. An additional change by the applicant requests an increase in the roof height 18 inches with no change to the roof pitch.

APPROVAL

Staff finds that the applicant's proposal, supplemented with one condition of approval, meets the applicable criteria. Therefore, staff recommends approval.

BACKGROUND

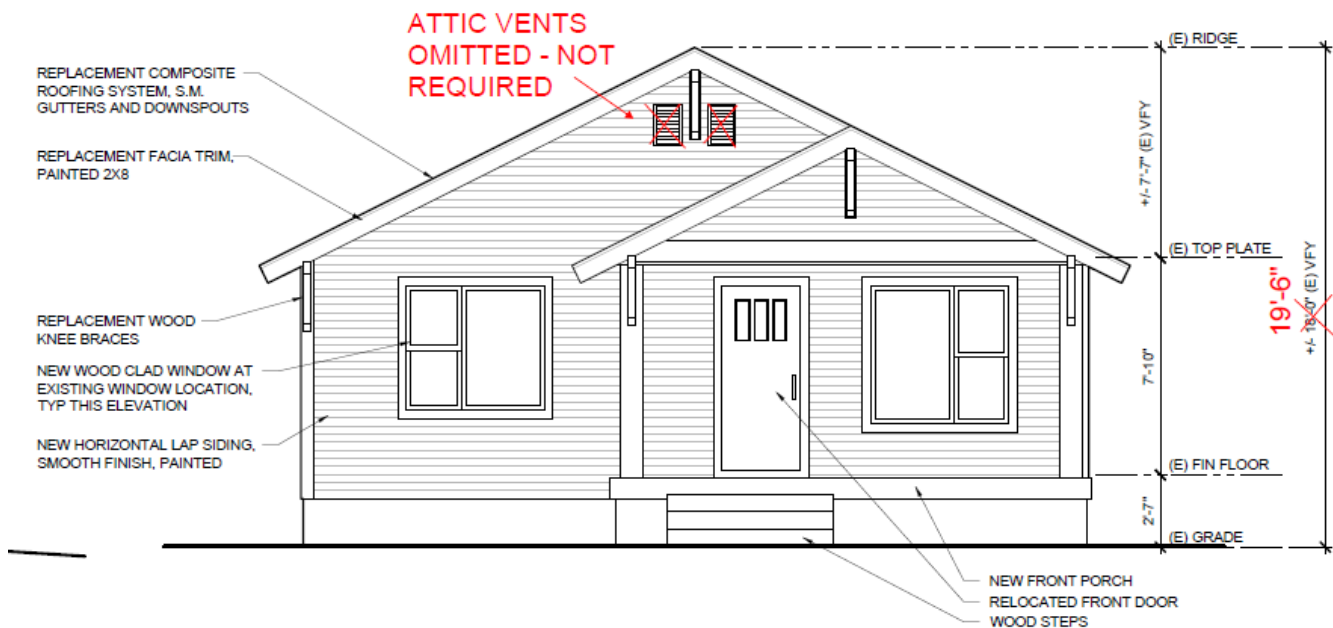
The subject property is 1744 4th Avenue and located in the Willamette neighborhood between 13th and 14th Streets. It is located within both the Local and National Willamette Historic Districts. The existing home is a noncontributing structure to the historic district.



Site Conditions: The lot currently accommodates a noncontributing single family house, constructed c. 1895/1924. The home was classified as noncontributing due to the siding and door types at the time of the survey. The residence is constructed in a simple Bungalow style. Since the home is noncontributing many of the details do not have historic characteristics. The existing siding is a mix of T1-11 and shingles. The paint colors of the home are brown and lime green. This home is not considered a landmark structure for preservation. Since the original approval of DR-17-06, the siding has been removed, three walls rebuilt, and the roof removed. See Exhibit HRB-7 for construction photos of the subject property's current condition.



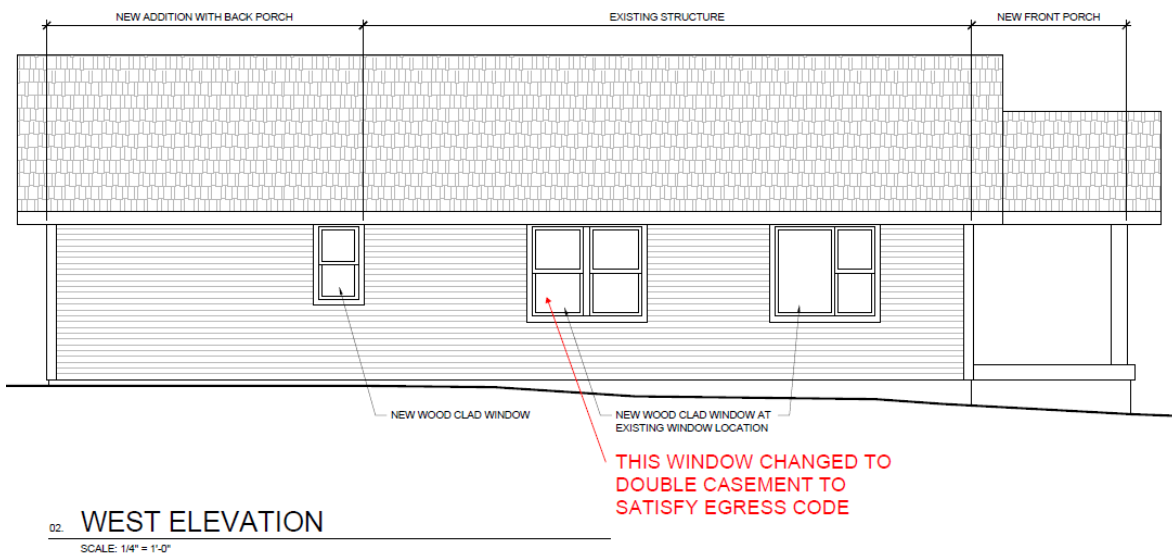
South elevation as approved by DR-17-06



Changes proposed by MISC-17-11 in Red of South elevation



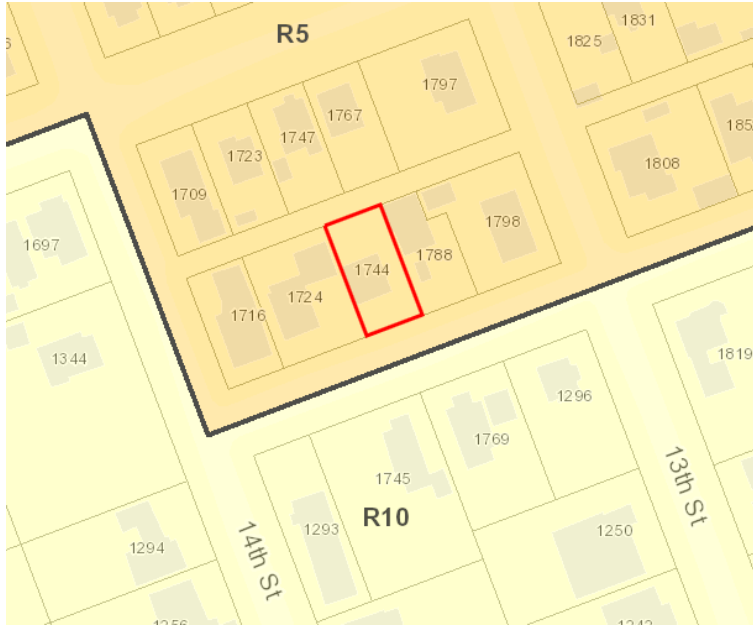
West elevation as approved by DR-17-06



Changes proposed by MISC-17-11 in **Red** of West elevation

Project Description: An amendment is requested to address changes to the original approval: the removal of existing exterior walls, replacement without matching historic material, and increasing the height of the roof 18 inches. After construction began on the approved addition and front porch the original structural supports were exposed to reveal severe decay. The original walls of the structure collapsed and then were rebuilt. In addition, the applicant also requests an increase in the roof height 18 inches with no change to the roof pitch.

Surrounding Land Use: The subject property is in the middle of the Historic District. The surrounding properties to the north, east, and west are R-5 and properties to the south (across 4th Ave.) are R-10.



Public comments. Staff has not received any comments from the public as of the publication of this Staff Report.

ANALYSIS

CDC Chapter 13, R-5 Zoning and CDC Chapter 25, Historic Resources, apply to this project. Staff has found the proposal is consistent with the applicable criteria.

RECOMMENDATION

Staff recommends approval of application MISC-17-11 subject to the following proposed condition:

1. Site Plan, Elevations, and Narrative. The project shall conform to the plans, elevations, and narrative submitted in Exhibit HRB-4.

**APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS
MISC-17-11**

99.120 AMENDMENTS

This section explains how amendments to projects subject to the quasi-judicial decision making process are processed.

A. An amendment application shall be required if the Planning Director determines that the proposed revisions will change the project by a factor greater than 10 percent in a quantifiable manner (e.g., number of proposed lots, square footage of proposed buildings, number of parking spaces, relocation of building footprints). Non-quantifiable changes shall also require an amendment if they result in significant differences between the approved project and the revised project, or if the changes call into question compliance with a relevant approval criterion.

B. Amendments shall be reviewed by the initial decision-making authority. For example, if the Planning Commission heard the application initially, then it would hear the amendment application.

C. Rather than provide full submittal, the Planning Director shall identify the parameters of the submittal appropriate to the amendment and applicable approval criteria. For example, if the applicant only requests to redesign the architecture of a building, but not increase square footage or building mass, then the submittal of a site plan, architectural elevations, material/color board, and narrative specific to the architecture and relevant design review approval criteria would be appropriate. Conversely, no new landscaping, grading plans, etc., would be necessary since no changes are proposed for those items. The submittal should be comprehensive and sufficient to provide the decision-making authority with all necessary information while not being redundant and requiring information which is already part of the record of the original application.

D. If the proposed revisions will change the project by a factor greater than 25 percent in a quantifiable manner, or if the land area upon which the project is proposed changes, then a new application shall be required. (Ord. 1568, 2008)

Staff finding 1: A modification to the original approval is required because walls intended to remain were removed. The side exterior walls were both lost. The second amendment was an increase the height of the home 18 inches. Although the roof height is proposed to increase, the applicant asserts on page 3 of the applicant's narrative that the pitch of the roof will not change. The applicant asserts the original building material was rotten and the original walls collapsed when construction began. The original material was replaced with new material which did not match the original due to building Code requirements. The third amendment is the applicant did not use the original structural supports were 1X10 boards and rotting. The new structural supports are larger and meet building code requirements. The original approval of DR-17-06 did not include rebuilding the original walls. When the walls collapsed, the applicant rebuilt them which was beyond the scope of the original approval.

The HRB must decide if this is an amendment (over 10% but under 25%) or a new construction application due to the changes impacting the entire structure.

CHAPTER 25, HISTORIC RESOURCES

25.040 HISTORIC DESIGN REVIEW PROCESSES

Proposed changes to historic resources that are not exempted by subsection A of this section, Exemptions from historic design review, are subject to subsection B of this section, Class I historic design review, or subsection C of this section, Class II historic design review. Class I historic design review addresses significant changes that warrant staff review. Class II historic design review addresses major changes including additions and new construction, subject to Historic Review Board approval. The processes for conducting Class I and Class II historic design review are in Chapter 99 CDC.

...

C. Class II historic design review. All proposed new construction, alterations, and additions, not identified as exempt under subsection A of this section, or subject to Class I historic design review under subsection B of this section, are subject to Class II historic design review and must meet the applicable approval standards.

Staff Finding 2: Alterations and additions require Class II historic design review. The rear addition and front porch were approved in a Class II historic design review (DR-17-06). This application will review the change in roof height, the replacement of exterior walls to the home and the use of not original building material. The materials used did not match the original materials. See Staff Finding 1. The criterion is met.

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC 25.080.

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

- 1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.*

Staff Finding 3: The applicant proposes an amendment to the original approval of DR-17-06. The applicant proposes to change roof height 18 inches and replace 3 of exterior walls to the home. The

original structural materials are not original and do not match the historic support material. The home was originally noncontributing based on the type of siding and door types. The home could be re-reviewed in an attempt to obtain contributing status after work is complete. The applicant and City have signed an agreement to allow the applicant to work at their own risk to get the home closed up from the rain to protect the remaining historic features.

- 2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.*

Staff Finding 4: This home is a noncontributing structure in the Historic District based on the type of siding and door types. The home will be re-reviewed for contributing status on the next survey of the districts. The existing characteristics of the home were not constant with the time period of the district. Subject to the HRB review and approval of the proposed amendments, the proposed alterations (changes from approved DR-17-06 and current) will be in keeping with surrounding properties and historic characteristics of the Historic district.

Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

Staff Finding 5: The intention of this project is to make a noncontributing home fit in with the neighborhood of historically significant homes (see page 2 of the applicant's submittal). Subject to the review and approval of the HRB for the amendments requested, this home had significant structural integrity issues which will be addressed with an approval of this application.

- 3. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.*

Staff Finding 6: The previous alterations of the home, prior to this application, do not appear to have any historical significance. This criterion is met.

- 4. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.*

Staff Finding 7: The roof line of the home is proposed to be increased 18 inches, but maintain the same pitch (see page 3 of the applicant's narrative). The roofline will be maintained through the rear addition (see sheet A3.10). Subject to the review and approval of the HRB for the requested amendments, the criteria would be met.

5. *Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.*

Staff Finding 8: The addition to the rear and the front porch could be removed to restore the original footprint of the home. Three original walls have been replaced but the exterior features (siding, windows, and doors) will match those approved in DR-17-06 (see page 4 of applicant's narrative). The material used to replace the exterior walls was not the original material nor was that material maintained on site. Subject to the review and approval of the HRB for the requested amendments, the criteria would be met.

6. *Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.*

Staff Finding 9: No pitch changes are proposed to the existing home's 6:12 roof per applicant's submittal page 4. The height is proposed to increase 18 inches.

7. *Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.*

Staff Finding 10: After receiving approval of DR-17-06, the applicant removed the existing siding. 3 of the 4 exterior walls collapsed and were rebuilt with new materials. The applicant asserts (page 1 of applicant submittal) most of the original structural supports were beyond salvaging and were not retained. Subject to the review and approval of the HRB for the requested amendments, the criteria would be met.

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

3. *Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.*

Staff Finding 11: The existing home is a noncontributing structure in the Historic District. The applicant has proposed changes to make this home more stylistically consistent with neighboring homes of the District. Subject to the review and approval of the HRB for the requested amendments see Staff Finding 1, the criteria would be met.

...

3. *Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable*

state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site.

Staff Finding 12: This property has an existing noncontributing home which will be re-reviewed on the next survey for achieving contributing status. The reason for noncontributing status was due to the siding and door types. CDC25.090.A lists several reasons for a home to be a contributing

25.080 MODIFICATIONS TO DESIGN STANDARDS

This section provides for deviation from site development standards in this chapter to enable flexibility and innovation consistent with the purposes of this chapter while ensuring that the features that historic designations are intended to preserve are maintained.

A. *Applicability. The provisions of Chapter 75 CDC, Variance, shall not apply to the standards in this chapter.*

B. *Assessment of modification. When an applicant proposes an alternative to the standards of this chapter the approval authority shall grant a modification when:*

1. *Historical records. The applicant demonstrates by review of historical records or photographs that the proposed alternative is consistent with and appropriate to the architecture in the historic district, or is appropriate to the applicable style of architecture;*
2. *Consistency. The resulting development of the proposal would be consistent with the intent of the standards for which the modification is requested, as determined by the approval authority;*
3. *Negative impacts. Negative impacts to adjacent homes and/or a historic district will be minimized. These include, but are not limited to, loss of solar access, light, or air to an adjacent structure, and scale or mass that visually overwhelm or are not deferential to an adjacent landmark or contributing structure; and*
4. *Exceptional architecture. The proposal incorporates exceptional and appropriate architectural elements into the building. (Ord. 1614 § 6, 2013)*

Staff Finding 13: The original structural supports were beyond repair (applicant's submittal page 1) and collapsed. The majority of the original structural material was not saved in the re-building of the 3 exterior walls. Current building code standards prevent the applicant to use the saved material for structural supports. The new material does not match the original, but the applicant asserts (submitted plans A0.00-A3.10) when the home is complete, the only noticeable change from the DR-17-06 approval will be the 18 inch height increase of the roof. Subject to the review and approval of the HRB for the requested amendments, the criteria would be met.

HRB -1

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. MISC-17-11 Applicant's Name Ann Scheuerell
Development Name _____
Scheduled Meeting/Decision Date 11-14-17

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A _____

- A. The applicant (date) _____ (signed) _____
- B. Affected property owners (date) _____ (signed) _____
- C. School District/ Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) _____ (signed) _____
- E. Affected neighborhood assns. (date) _____ (signed) _____
- F. All parties to an appeal or review (date) _____ (signed) _____

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) _____ (signed) _____
City's website (posted date) _____ (signed) _____

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 11-1-17 (signed) S. Skoyev

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B

- A. The applicant (date) 10-31-17 (signed) S. Skoyev
- B. Affected property owners (date) 10-31-17 (signed) S. Skoyev
- C. School District/ Board (date) _____ (signed) _____
- D. Other affected gov't. agencies (date) 10-31-17 (signed) S. Skoyev
- E. Affected neighborhood assns. (date) 10-31-17 (signed) S. Skoyev
Willamette: All

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.
Date: 10-31-17 (signed) S. Skoyev

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) 11-3-17 (signed) S. Skoyev

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

HRB- 2

CITY OF WEST LINN
HISTORIC REVIEW BOARD
PUBLIC HEARING NOTICE
FILE NO. MISC-17-11

The City of West Linn Historic Review Board (HRB) will hold a public hearing on **Tuesday, November 14, 2017 at 7:00 p.m.** in the Council Chambers at City Hall, 22500 Salamo Road, West Linn. The HRB will consider a major amendment/new structure amending an initial application DR-17-06 that approved a front porch and rear addition to an existing, noncontributing home in the Historic District. The applicant also proposes to replace the doors, window, and increase roof height. The amendment/new structure considers the substantial removal of two walls and partial removal of one wall of the structure not approved for removal. In addition, changes were made to the height of the structure with the addition of trusses and other support structures at 1744 4th Ave. in the Willamette Historic District.

The hearing will be based upon the provisions of Chapters 25, and 99 of the West Linn Community Development Code (CDC). Approval or disapproval of the request by the HRB will be based solely upon these criteria. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

You have received this notice because County records indicate that you own property within 300 feet of the affected site on Clackamas County Assessor's Map 31E02BD, Tax Lot 1300, or as otherwise required by Chapter 99 of the CDC.

All documents and applicable criteria for DR-17-06 are available for inspection, at no cost, in the Planning Department at City Hall or via the City's web site at <https://westlinnoregon.gov/planning/1744-4th-avenue-amendment-previous-approval-dr-17-06>. Copies can also be obtained for a minimal charge per page. At least 10 days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Jennifer Arnold, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR, (503) 742-6057, or jarnold@westlinnoregon.gov.

The hearing will be conducted in accordance with the rules of Section 99.170 of the CDC. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the HRB will receive a staff presentation, and invite both oral and written testimony. The HRB may continue the public hearing to another meeting to obtain additional information, leave the record open for additional evidence, arguments, or testimony, or close the public hearing and take action on the application as provided by state law. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.



CITY OF
West Linn

**CITY OF WEST LINN
NOTICE OF UPCOMING
HISTORIC REVIEW BOARD MEETING**

**PROJECT # MISC-17-11
MAIL: 10/31/17 TIDINGS: N/A**

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

HRB- 3

Oregon Historic Site Record

LOCATION AND PROPERTY NAME			
address:	1744 4th Ave West Linn, Clackamas County	historic name:	
assoc addresses:		current/other names:	
location descr:		block/lot/tax lot:	
		twshp/mng/sect/qtr sect:	3S 1E 2
PROPERTY CHARACTERISTICS			
resource type:	Building	height (stories):	1.0
elig evaluation:	not eligible/non-contributing	total elig resources:	0
prim constr date:	c.1895	NR Status:	Listed in Historic District
		total inelig resources:	1
		date indiv listed:	
primary orig use:	Single Dwelling	orig use comments:	
second orig use:			
primary style:	Bungalow (Type)	prim style comments:	
secondary style:		sec style comments:	
primary siding:	Vinyl Siding	siding comments:	
secondary siding:			
plan type:	Bungalow	architect:	
		builder:	
comments/notes:			
early settlers brought this home up from river			
GROUPINGS / ASSOCIATIONS			
Survey/Grouping Included In:		Type of Grouping	Date Listed
West Linn Survey- Willamette Conservation District		Survey & Inventory Project	2006
West Linn, Willamette Falls Neighborhood, RLS 2008		Survey & Inventory Project	2008
Willamette Historic District		Listed Historic District	09/24/2009
			2008
SHPO INFORMATION FOR THIS PROPERTY			
NR date listed:	N/A	106 Project(s):	None
ILS survey date:		Special Assess	None
RLS survey date:	03/17/2006	Project(s):	None
		Federal Tax	None
		Project(s):	None
ARCHITECTURAL / PROPERTY DESCRIPTION			
<i>(Includes expanded description of the building/property, setting, significant landscape features, outbuildings and alterations)</i>			
Refer to scanned documents links.			
HISTORY			
<i>(Chronological, descriptive history of the property from its construction through at least the historic period - preferably to the present)</i>			
Refer to scanned documents links.			
RESEARCH INFORMATION			
Title Records	Census Records	Property Tax Records	Local Histories
Sanborn Maps	Biographical Sources	SHPO Files	Interviews
Obituaries	Newspapers	State Archives	Historic Photographs
City Directories	Building Permits	State Library	
Local Library:		University Library:	
Historical Society:		Other Respository:	
Bibliography:			

HRB-4



CITY OF
West Linn

November 1, 2017

Ann Scheuerell
2537 Lancaster Street
West Linn, OR 97068

SUBJECT: MISC-17-11 Major amendment/new structure amending an initial application DR-17-06 that approved a front porch and rear addition to an existing, noncontributing home in the Historic District at 1744 4th Ave.

Dear Ann:

You submitted this application with all required information on October 31, 2017. The Planning Department found that this application is **complete**. The city has 120 days to exhaust all local review; that period ends February 28, 2018.

Please be aware that a determination of a complete application does not guarantee a recommendation of approval from staff for your proposal as submitted – it signals that staff believes you have provided the necessary information for the Historic Review Board to render a decision on your proposal.

A 14-day public notice will be prepared and mailed. The notice will identify the earliest possible Hearing date by the Historic Review Board.

Please contact me at 503-742-6057, or by email at jarnold@westlinnoregon.gov if you have any questions or comments.

Sincerely,

Jennifer Arnold

Jennifer Arnold
Associate Planner

HRB-5



DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Jennifer Arnold</i>	PROJECT NO(S). <i>MISC-17-11</i>	
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S)	TOTAL

Type of Review (Please check all that apply):

- Annexation (ANX)
- Appeal and Review (AP) *
- Conditional Use (CUP)
- Design Review (DR)
- Easement Vacation
- Extraterritorial Ext. of Utilities
- Final Plat or Plan (FP)
- Flood Management Area
- Hillside Protection & Erosion Control
- Historic Review
- Legislative Plan or Change
- Lot Line Adjustment (LLA) */**
- Minor Partition (MIP) (Preliminary Plat or Plan)
- Non-Conforming Lots, Uses & Structures
- Planned Unit Development (PUD)
- Pre-Application Conference (PA) */**
- Street Vacation
- Subdivision (SUB)
- Temporary Uses *
- Time Extension *
- Variance (VAR)
- Water Resource Area Protection/Single Lot (WAP)
- Water Resource Area Protection/Wetland (WAP)
- Willamette & Tualatin River Greenway (WRG)
- Zone Change

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1744 4TH AVE.	Assessor's Map No.: 31E02BD
	Tax Lot(s): 1300
	Total Land Area: 5000 sq. ft.

Brief Description of Proposal: **RESUBMITTAL/AMENDMENT TO DR-17-06**

Applicant Name: ANN SCHEUERELL <small>(please print)</small>	Phone: 503-778-0092
Address: 2537 LANCASTER STREET	Email:
City State Zip: WEST LINN OR 97068	


Owner Name (required): same as above <small>(please print)</small>	Phone: _____
Address: SAME	Email: _____
City State Zip: SAME	

Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
- The owner/applicant or their representative should be present at all public hearings.
- A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
- Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

Applicant's signature	Date		Date
		Owner's signature (required)	<i>10-31-2017</i>

4TH AVE RESIDENCE

REMODEL & ADDITION

HISTORIC DESIGN REVIEW RE-SUBMITTAL

2017 – 10/30

Original Submittal 2017 -06/01 with HRB Approval on 6/20. Building Permit Received on 9/14.

Revisions to the original submittal document are made in red below.

PROJECT INFORMATION

COUNTY: Clackamas

PROPERTY ID: C146553

ZONE: R-5

OVERLAY: Willamette Historic District

STATUS: Noncontributing Property

EXISTING BLDG AREA: 899 SF

PROPOSED NEW LIVING AREA: 364 SF

PROPOSED NEW PORCH AREA: 224 SF

TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA: 1,710 SF

LOT SIZE: 4,999SF

PERCENT COVERED AREA: 34%

OWNER

Ann M Scheuerell

Derek J Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

DESIGN CONTACT

Ann M Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

PROJECT DESCRIPTION – REVISIONS IN RED:

Remodel and addition to existing one-story single family residence. Scope of work includes the following:

- Master bedroom addition with back porch
- New front porch
- New windows at existing opening **locations** and taller windows at existing opening **locations**
- Relocated exterior doors, new side door
- New finishes

PROJECT DESCRIPTION NOTE:

THIS DOCUMENT IS RESUBMITTED FOR DESIGN REVIEW BY THE HRB BECAUSE EXISTING CONDITIONS OF THE RESIDENCE ARE FOUND TO BE OF STRUCTURALLY UNSOUND AND DETERIORATED CONDITION.

These conditions necessitate removal of building material beyond that originally shown in the scope. The material to be removed was originally not visible and was approved by the HRB and permitted by the Building Department to remain buried in the building's walls. Generally, removal of deteriorated building material is permitted without Design Review Approval under Chapter 25 of the Municipal Building Code (25.040.A.4).

The existing deteriorated building material proposed for removal is vertical 1x10, which formed the original sole vertical structure for the building. Portions of the deteriorated material has already been removed due to failure. *There were no existing studs, posts, or beams.* The 1x10 functioned like a house of cards. The roof framing bore directly on the top edge of the 1x10 – an unstable and structurally unsound condition. New 2x6 studs with new plywood sheathing was required by the project engineer and approved by the Building Department during the permitting process. The 1x10 was originally planned to be sandwiched in place by the new studs and new plywood, but was deteriorated beyond the point of saving. ***Retaining it in place would in fact negatively affect the integrity and lateral strength of the home.*** So, we are asking to remove it entirely.

Otherwise, the sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal. ***Every window, door, and finish material are UNCHANGED from the originally approved and permitted drawings.***

SUBMITTAL INDEX

1. PROPOSED ELEVATIONS - Drawings of Proposed elevations and exterior color palette.
2. NARRATIVE - Written Narrative Explaining the proposal and how it meets the approval criteria in CDC 25-060 and 25.070, as applicable.
3. PHOTOGRAPHS - Photographic summary of existing conditions. Historic photographs were not available.
4. SUPPLEMENTAL MATERIALS - Vicinity Map with property lines and adjacent structure summary. Aerial and street view images of neighboring homes with summary.
5. ARCHITECTURAL DRAWINGS - Existing and proposed plan and elevation drawings of home, including proposed site plan.

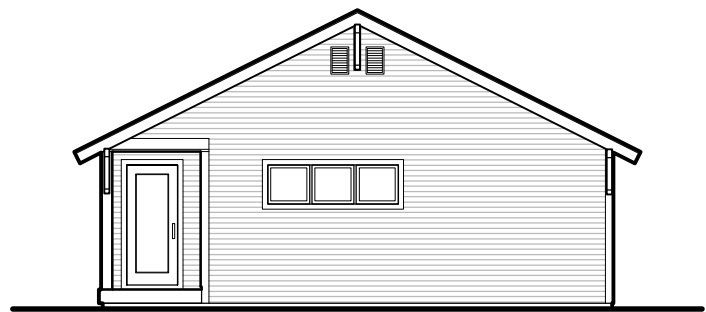
1. PROPOSED ELEVATIONS

ATTIC VENTS OMITTED AS UNREQUIRED

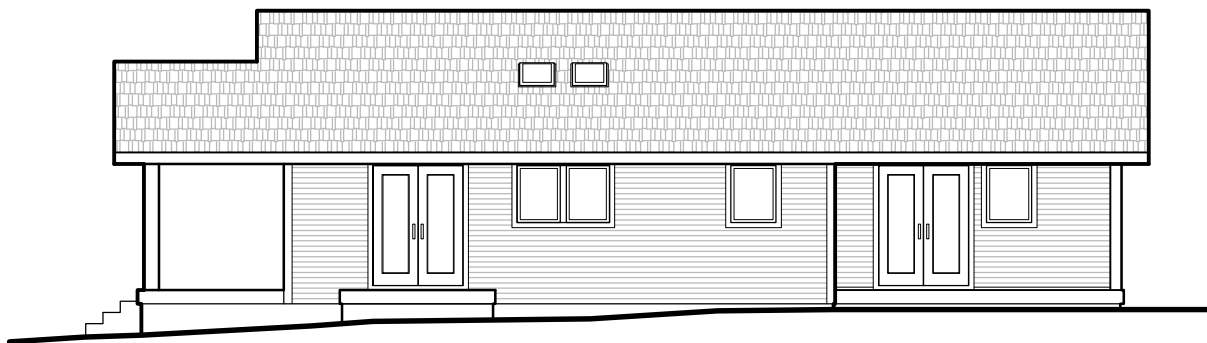
BUILDING HEIGHT INCREASES APPROX 16-18" FROM ORIGINAL STRUCTURE



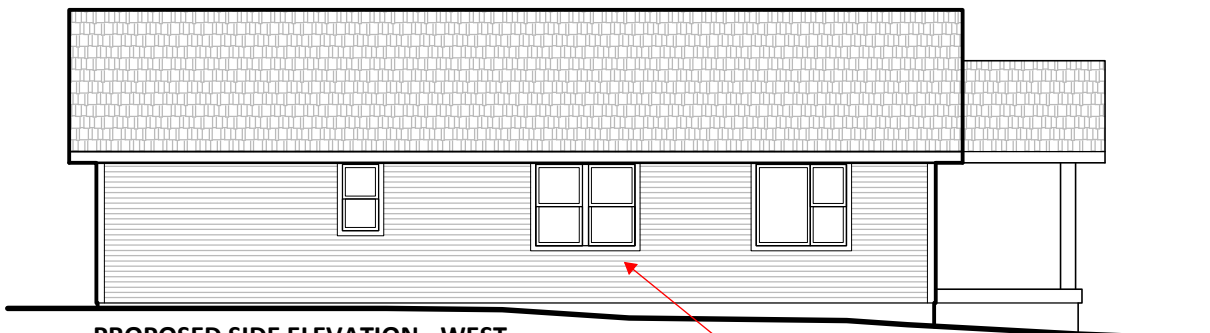
PROPOSED FRONT ELEVATION - SOUTH
1/8" = 1'-0"



PROPOSED REAR ELEVATION - NORTH
3/32" = 1'-0"



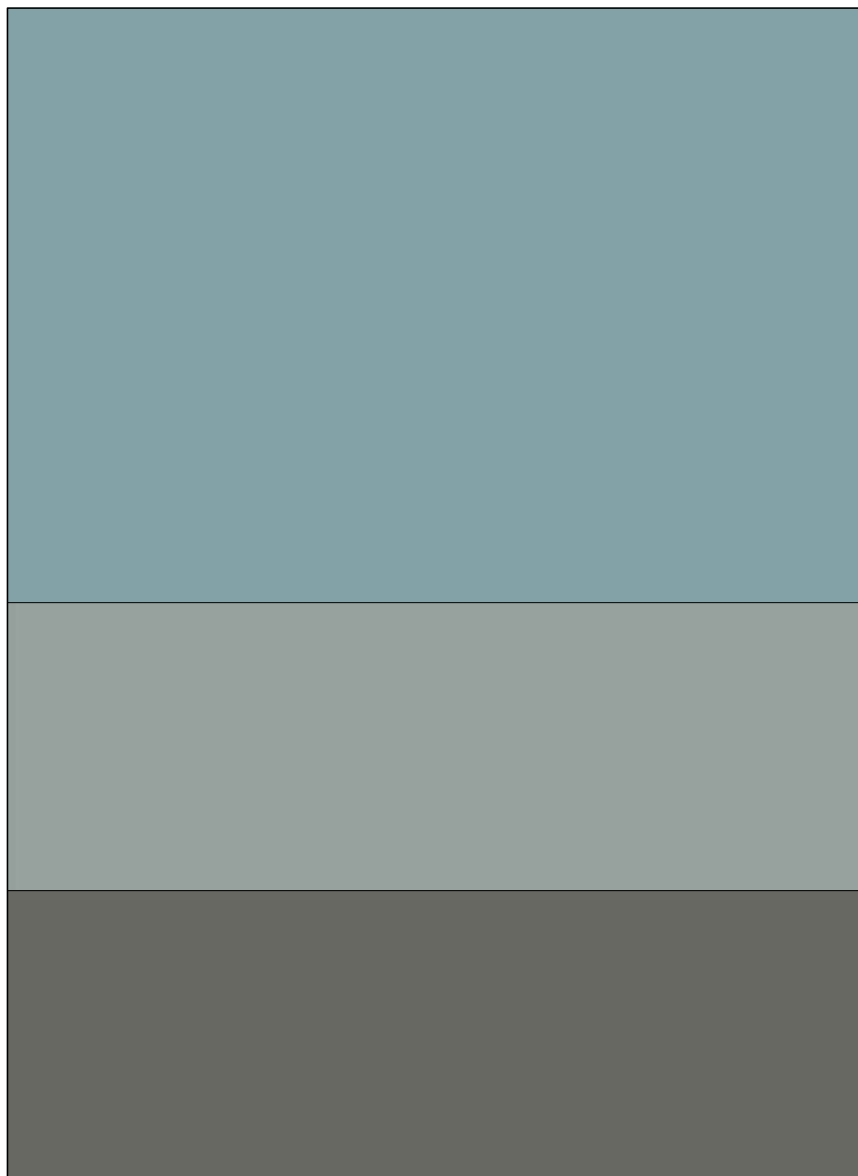
PROPOSED SIDE ELEVATION - EAST
3/32" = 1'-0"



PROPOSED SIDE ELEVATION - WEST
3/32" = 1'-0"

THIS WINDOW TO BE DOUBLE CASEMENT TO MEET EGRESS CODE REQUIREMENTS

1. PROPOSED COLOR PALETTE



LIGHT MEDIUM BLUE
Main Body of House

MEDIUM WARM GREY
Typical Trim Color

DARK WARM GREY
Windows and Doors

2. PROJECT NARRATIVE

Revisions to our original submittal document are made in red below. (10/30/2017)

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

- Original form of home to remain. Existing width of home to remain. Existing building ~~height and~~ roof slope to be maintained. The front elevation, as viewed from 4th Avenue will have ~~approximately~~ the same volume relative to the site and street.
- The sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal for review. Previous ceiling height was 7'-7." **UNCHANGED**
- Proposed revision to the front elevation is to increase the height of the two existing small windows, to move the front door over slightly to accommodate a new front porch. New front porch to be of similar craftsman/bungalow-type styling as many other homes in the neighborhood. **UNCHANGED**
- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built. **UNCHANGED**

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

- As noted above, existing mix of exterior siding does not appear to be original. **UNCHANGED**
- Existing concrete steps is also not believed to be original. New front porch will bury these steps, but maintain them in place, so that if future owners choose to use them, they are there. **UNCHANGED**

- New work will also include replacement of existing knee braces (in disrepair) at roof eaves with new wood braces of simple craftsman styling. **UNCHANGED**

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

- The original architecture of the home will remain recognizable. New work is intended to echo architecture in the area around 1929 when the home was built, but not imitate it or replicate it. Much care has been taken in the design to ensure the scale and craftsman/bungalow feel of the home are not disrupted. **UNCHANGED**
- The existing paint color of the home (glossy bright lime green) was not selected from an historically appropriate color palette. The new selected paint color for the home (light medium blue) is compatible with the neighborhood and homes from this period. **UNCHANGED**

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

- Because the home is non-contributing, it does not appear that any of the work on the home has acquired historic significance. Rather, we believe that the new work on this home will bring it in to greater harmony with the neighborhood. **UNCHANGED**

5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

- The new porch and addition will be compatible with local historic materials and features, and with the existing home's size, scale, proportion, and massing. **UNCHANGED**
- The new porch does not extend across the full length of the front elevation and has a lower ridgeline than the main body of the house. **UNCHANGED**
- The addition at the back of the house maintains the existing roof line of the existing structure and does not extend to the side of the home, thereby maintaining the relatively large existing side yard. The rear addition will only be visible from the alley. **UNCHANGED**

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

- The basic form of the home will remain. So, if someone wanted to remove the front porch and rear addition, the existing basic original **dimensions of the** structure of the home could be restored.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including

the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

- As noted in #5, the front porch is subordinate to the main house and the addition is located entirely at the rear of the structure. **UNCHANGED**
- The location, size, and height of the addition and front porch meet the requirements of the R5 zone and Willamette Historic District. **UNCHANGED**

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

- Existing building ~~height and~~ slope to remain. New front porch to have same roof pitch as existing structure. Rear addition to continue existing roof at same height and pitch.
- The sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal for review. Previous ceiling height was 7'-7."

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

- Existing roofing to be replaced with new architectural composition shingles. **UNCHANGED**

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the nearby homes and with the time period in which the home was built. **UNCHANGED**

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built. New horizontal lap siding to be either cedar lap or smooth finish fiber cement lap siding. **UNCHANGED**

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New gutters and downspouts to be prefinished sheet metal, K-shaped. **UNCHANGED**

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period. **UNCHANGED**
- Existing trim is not believed to be original to the house. New trim to be 2x4 painted wood, which is in keeping with homes of this period. **UNCHANGED**

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

- No storm windows are proposed. **UNCHANGED**

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period. **UNCHANGED**
- At the front rooms, windows are proposed to be enlarged due to the existing windows' exceptionally small size and low head height. **UNCHANGED**
- The existing ganged pair of double hung windows located at the current master bedroom and kitchen are the basis of design for the majority of the new windows at the home. Where double hung windows are not appropriate, window type is primarily casement. Existing ganged double-hung windows at Master Bedroom (at side elevation facing west fence) were found not to meet code required egress dimensions. Windows are not visible from street. To meet code, they have been changed to casement windows of the same size and dimensions. **Otherwise, all windows are UNCHANGED from originally HRB approved and permitted plans.**

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- New doors to be wood clad or painted wood. **UNCHANGED**
- A new French door is to be located at the side elevation, where there is currently no access to the side yard. The side yard is planned to be the primary outdoor seating and dining area. **UNCHANGED**

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

- a. Maintain the shape, width, and spacing of the original columns; and
 - b. Maintain the height, detail, and spacing of the original balustrade.
- Since the house is a non-contributing structure, it is our understanding that the proposed new front porch is an acceptable addition. The new porch is subordinate to the primary structure and maintains the existing roof slope. It will coordinate stylistically and have the same materials and detailing as the primary structure. **UNCHANGED**
 - The new front porch is located within the front and side setbacks. **UNCHANGED**
 - Because the current structure sets approximately 32' from the front property line, it is relatively far from street activity and largely hidden from view. The new front porch will provide greater connectivity between the house and the street. **UNCHANGED**

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- No deck is proposed as part of the work. **UNCHANGED**

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- No change in foundation height is proposed as part of the work. **UNCHANGED**

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- New exterior lighting at front and rear of home to be downlights located at the porch ceilings. At the side of the home, 1-2 wall sconces will provide shielded light for the patio. All exterior lighting to be compatible with the architectural character of the home. **UNCHANGED**

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter [34](#) CDC:

- No accessory structures are proposed as part of the work. **UNCHANGED**

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:

- a. Compatible in scale and mass to adjacent properties; and
 - The front porch and rear addition are compatible in scale and mass to the adjacent properties. With the additional square footage, the home will remain among the smaller homes in the area. **UNCHANGED**
- b. Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.
 - The new addition is located at the rear of the home and is not visible from the street. The addition is oriented primarily toward the large sideyard at the east side of the home. The addition maintains the privacy of the of the residents of the adjacent properties on both sides. **UNCHANGED**

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history. **UNCHANGED**

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history. **UNCHANGED**

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

- This home is existing. Standard does not apply to this project. **UNCHANGED**

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

- The existing home and new front porch set within the 20' front setback. **UNCHANGED**

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

- The existing home and new front porch set within the 20' front setback. **UNCHANGED**

2. Side yard setback. Side yard setbacks shall be five feet, except:

a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.

- On the east side, the existing home and proposed addition set within the 5' side setback. **UNCHANGED**
- On the west side, the existing home is 3' from the property line. The addition aligns with the existing structure and maintains the home's current relationship to the property line. **UNCHANGED**
- There are no bays, chimneys, or other projections from the house, excepting the existing roof eaves. **UNCHANGED**

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:

- The property does not sit on a side street. **UNCHANGED**

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

- The existing home and new front porch set within the 20' rear setback. **UNCHANGED**

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

- The property does not sit on a corner lot. **UNCHANGED**

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

- The property and residence are existing. **UNCHANGED**

7. Building height.

a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

- The existing home is single level. Its ridgeline is approximately ~~18'-0"~~ 19'-6" above the lowest adjacent grade.

b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.

- No accessory structure is proposed. **UNCHANGED**

c. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.

d. Accessory structures shall not exceed the height of the primary dwelling.

8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

- The existing home is less than 23' in overall width. **UNCHANGED**

9. Roof pitch. Roofs shall have a pitch of at least 6:12.

- The existing roof pitch is approximately 6:12. The existing roof pitch will be maintained in the new work. **UNCHANGED**

10. Garage access and parking areas.

a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

- No Garage is proposed. **UNCHANGED**

b. Parking areas.

1) No residential lot shall be converted solely to parking use.

- Parking area is constrained to an approximate 14' gravel drive aisle at the rear of the lot. **UNCHANGED**
 - 2) No rear yard area shall be converted solely to parking use.
- Parking area is less than a third of the width of the rear property line. **UNCHANGED**
 - 3) When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)
- Parking access is located off the alley. **UNCHANGED**

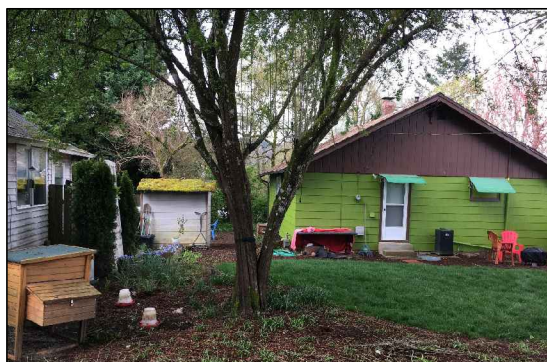
3. PHOTOGRAPHS: Existing Home, Rear Elevation



REAR ELEVATION - NORTH
View From Alley



REAR ELEVATION - NORTH
View From Alley Along West Fenceline



REAR ELEVATION - NORTH
View From Alley with East Side Yard Beyond

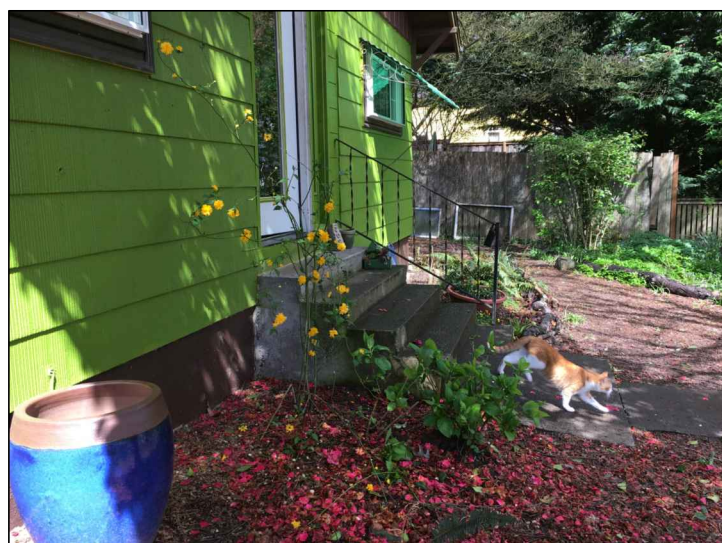
3. PHOTOGRAPHS: Existing Home, Front Elevation



FRONT ELEVATION - SOUTH
Street View From Sidewalk



FRONT ELEVATION - SOUTH
Looking Toward East Side Yard



FRONT ELEVATION - SOUTH
Detail of Concrete Steps

3. PHOTOGRAPHS: Existing Home, Side Elevations

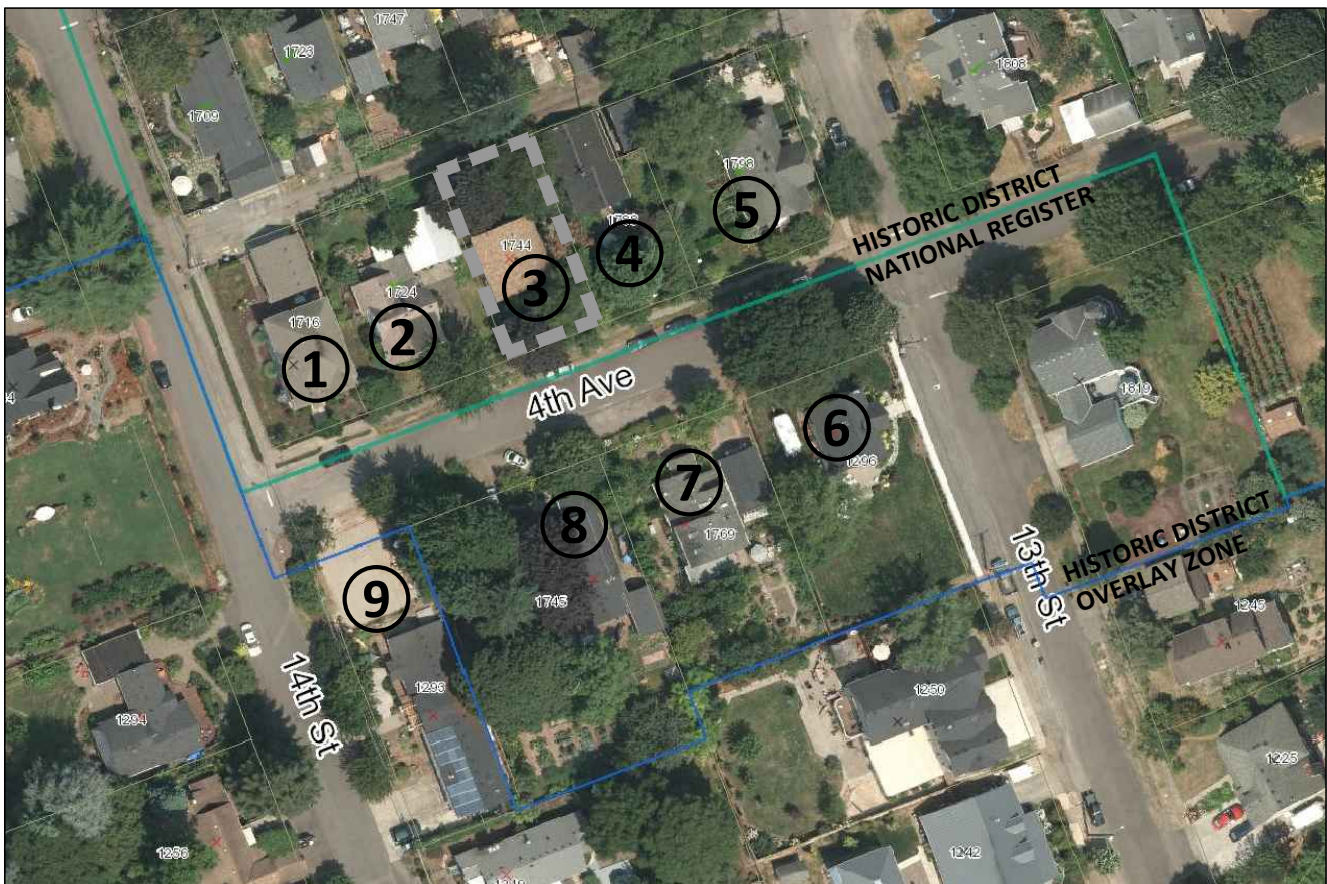


SIDE ELEVATION - EAST
View with Side Yard



SIDE ELEVATION - WEST
View Along West Fenceline

4. SUPPLEMENTAL MATERIALS: Vicinity Map



IMMEDIATE NEIGHBORHOOD - HOME SURVEY

- ① **1716 4th AVENUE**
STATUS: Not In Period
YEAR BUILT: 2008
STORIES / AREA: 2 Stories / 2,360sf
- ② **1724 4th AVENUE**
STATUS: Eligible Contributing
YEAR BUILT: 1910
STORIES / AREA: 2 Stories / 1,826sf
- ③ **1744 4th AVENUE - SUBJECT PROPERTY**
STATUS: Non-Contributing
YEAR BUILT: 1924
EXISTING STORIES / AREA: 1 Story / 899sf
PROPOSED STORIES / AREA: 1 Story / 1,263sf
- ④ **1788 4th AVENUE**
STATUS: Not In Period
YEAR BUILT: 1934
STORIES / AREA: 1 Story / 884sf

- ⑤ **1798 4th AVENUE**
STATUS: Eligible Contributing
YEAR BUILT: 1900
STORIES / AREA: 2 Stories / 3,600sf
- ⑥ **1296 13th STREET**
STATUS: Non-Contributing
YEAR BUILT: 1927
STORIES / AREA: 2,140sf
- ⑦ **1769 4th AVENUE**
STATUS: Non-Contributing
YEAR BUILT: 1915
STORIES / AREA: 2 Stories / 1,893sf
- ⑧ **1745 4th AVENUE**
STATUS: Non-Contributing
YEAR BUILT: 1924
STORIES / AREA: 2 Stories / 2,010sf
- ⑨ **1293 14th STREET**
STATUS: Non-Contributing
YEAR BUILT: 1920
STORIES / AREA: 2 Stories / 2,102sf



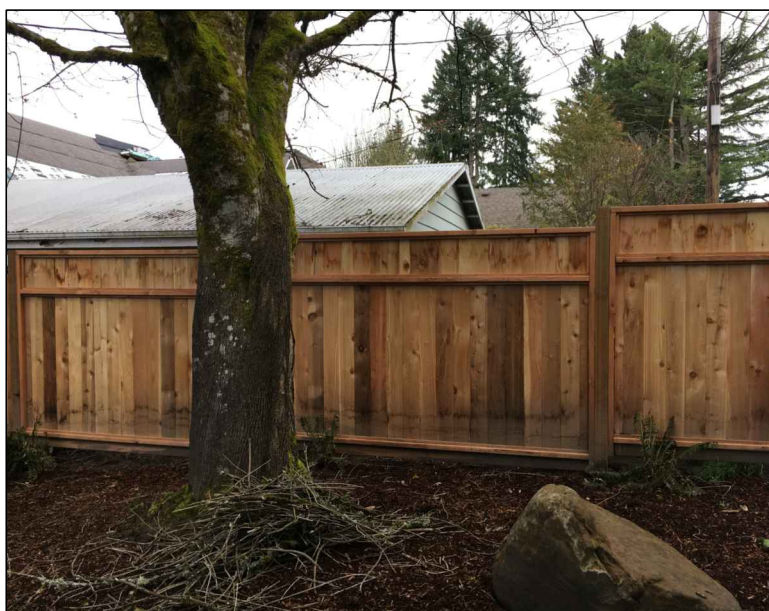
4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at West Property Line



NEIGHBOR TO THE WEST AT 1724 4th AVENUE
View From Sidewalk Looking Northwest



NEIGHBOR TO THE WEST
View from Backyard Looking Southwest
Over Fenceline



NEIGHBOR TO THE WEST
View from Backyard Looking West Over Fenceline

4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at East Property Line



NEIGHBOR TO THE EAST AT 1788 4th AVENUE
View From Sidewalk Looking Nortwest - Home Obscured by Foliage

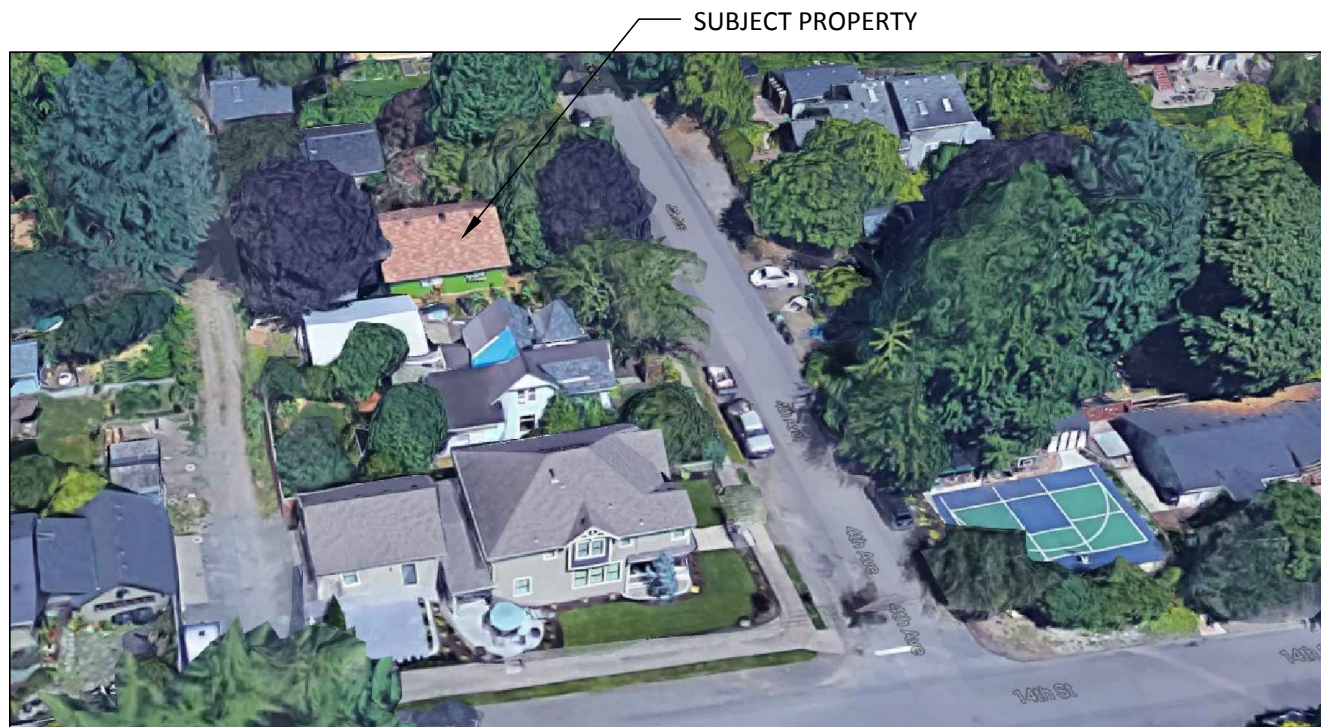


NEIGHBOR TO THE EAST
View from Backyard Looking East

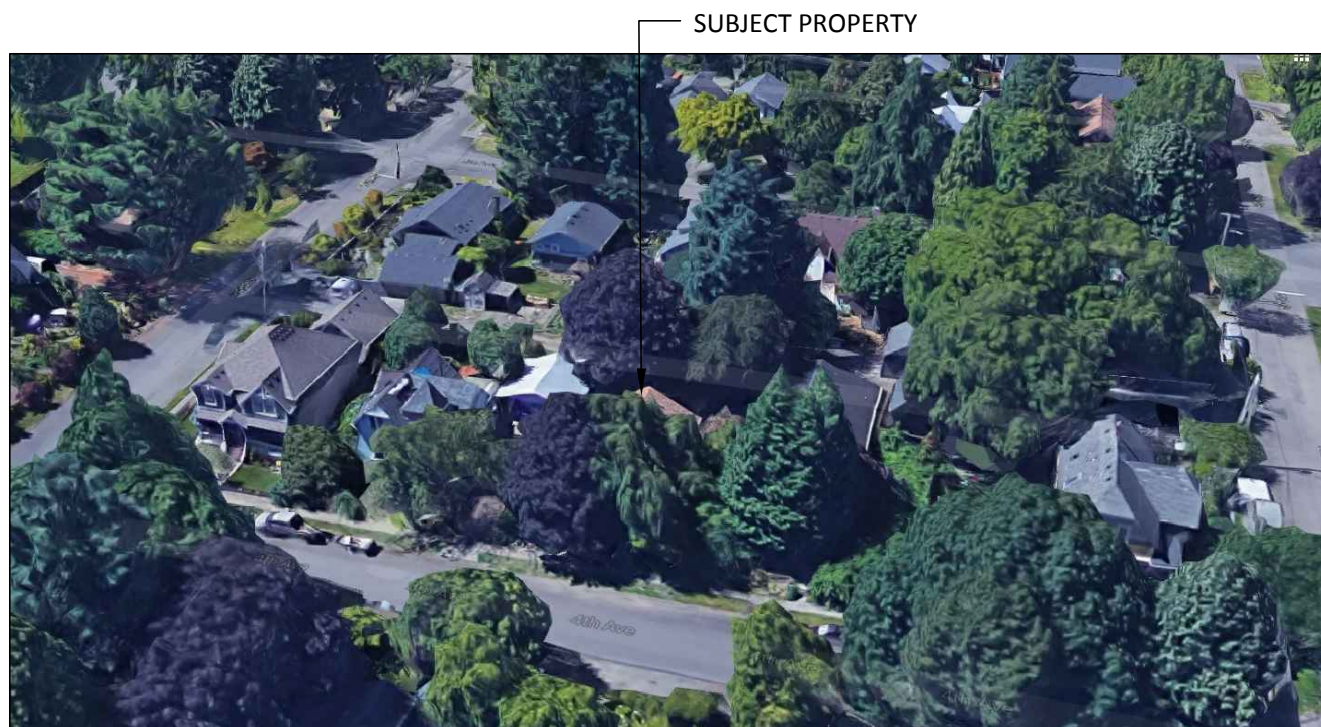


NEIGHBOR TO THE EAST
View from Backyard Looking Southeast Over Fenceline

4. SUPPLEMENTAL MATERIALS: Aerial View



AERIAL VIEW - LOOKING SOUTHEAST



AERIAL VIEW - LOOKING NORTHEAST

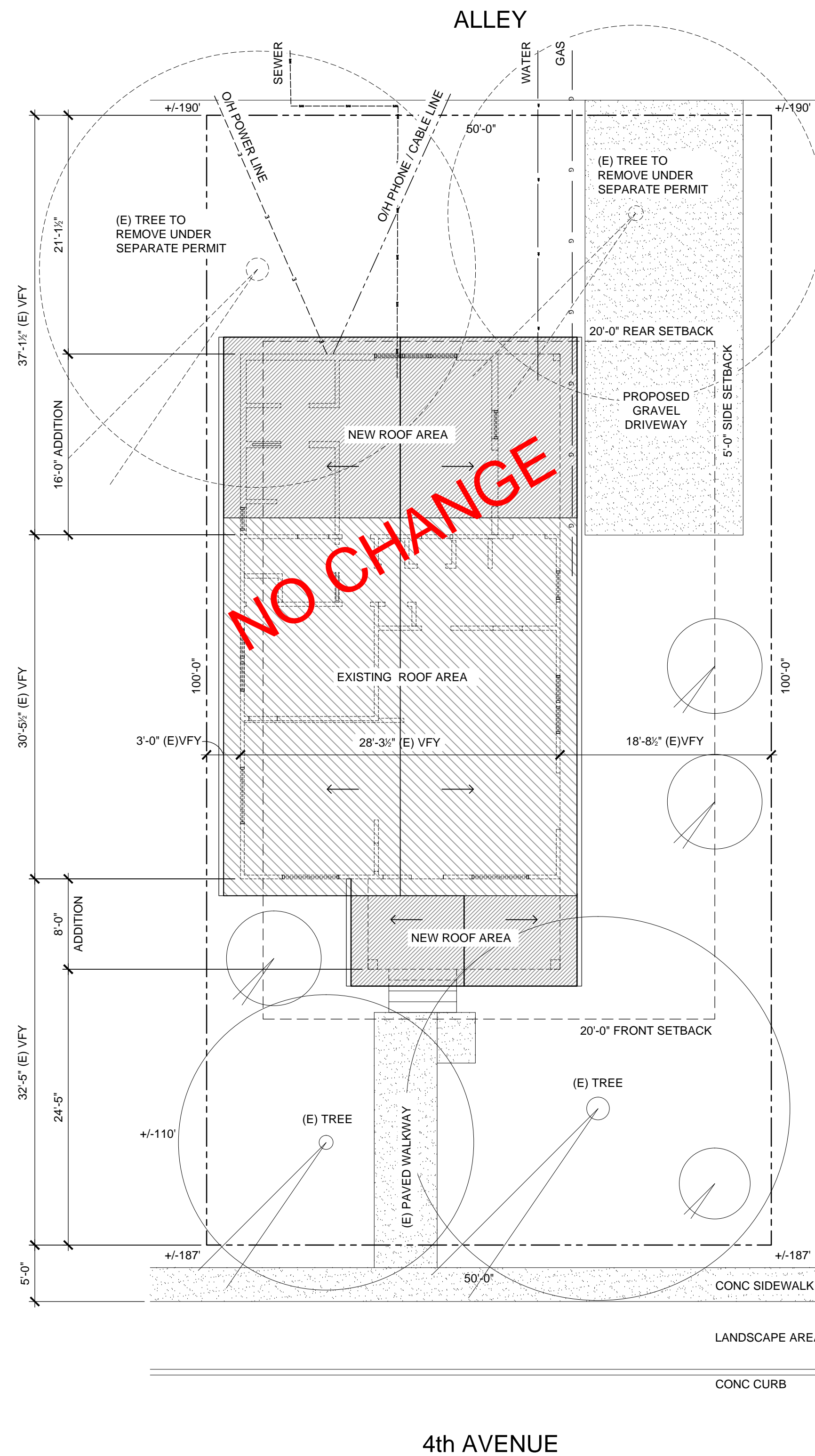
HRB DESIGN REVIEW RESUBMITTAL
CHANGES IN RED - 2017 - 10/30

4th AVE RESIDENCE REMODEL & ADDITION

design contact:
ANN M SCHEUERELL
2537 LANCASTER STREET
WEST LINN, OR 97068
503-778-0092

project owner:
ANN M SCHEUERELL
DEREK J SCHEUERELL
2537 LANCASTER STREET
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503-778-0092

**PRELIMINARY
NOT FOR
CONSTRUCTION**



02. **SITE PLAN**
SCALE: 1/8" = 1'-0"



CONTACTS

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DEREK J SCHEUERELL
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503-778-0902

DESIGN CONTACT:
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503-778-0902

CONTRACTOR:
TBD

PROJECT INFORMATION

1744 4th AVENUE
WEST LINN, OREGON 97068

COUNTY: CLACKAMAS
TAX LOT:
PROPERTY ID: C146553

ZONE: R-5
OVERLAY: WILLAMETTE HISTORIC DISTRICT
STATUS: NONCONTRIBUTING PROPERTY
EXISTING BLDG AREA: 899 SF
PROPOSED NEW LIVING AREA: 364 SF
PROPOSED NEW PORCH AREA: 224 SF
TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA, INCL EAVES: 1,710 SF
LOT SIZE: 4,999SF

PERCENT COVERED AREA: 34%
**REFERENCE HRB NARRATIVE FOR REVISIONS
TO PROJECT DESCRIPTION**
PROJECT DESCRIPTION

REMODEL AND ADDITION TO EXISTING ONE-STORY SINGLE FAMILY RESIDENCE. SCOPE OF WORK INCLUDES THE FOLLOWING:
- MASTER BEDROOM ADDITION WITH BACK PORCH
- NEW FRONT PORCH
- NEW WINDOWS AT EXISTING OPENINGS AND TALLER WINDOWS AT EXISTING OPENINGS
- RELOCATED EXTERIOR DOORS, NEW SIDE DOOR
- NEW FINISHES

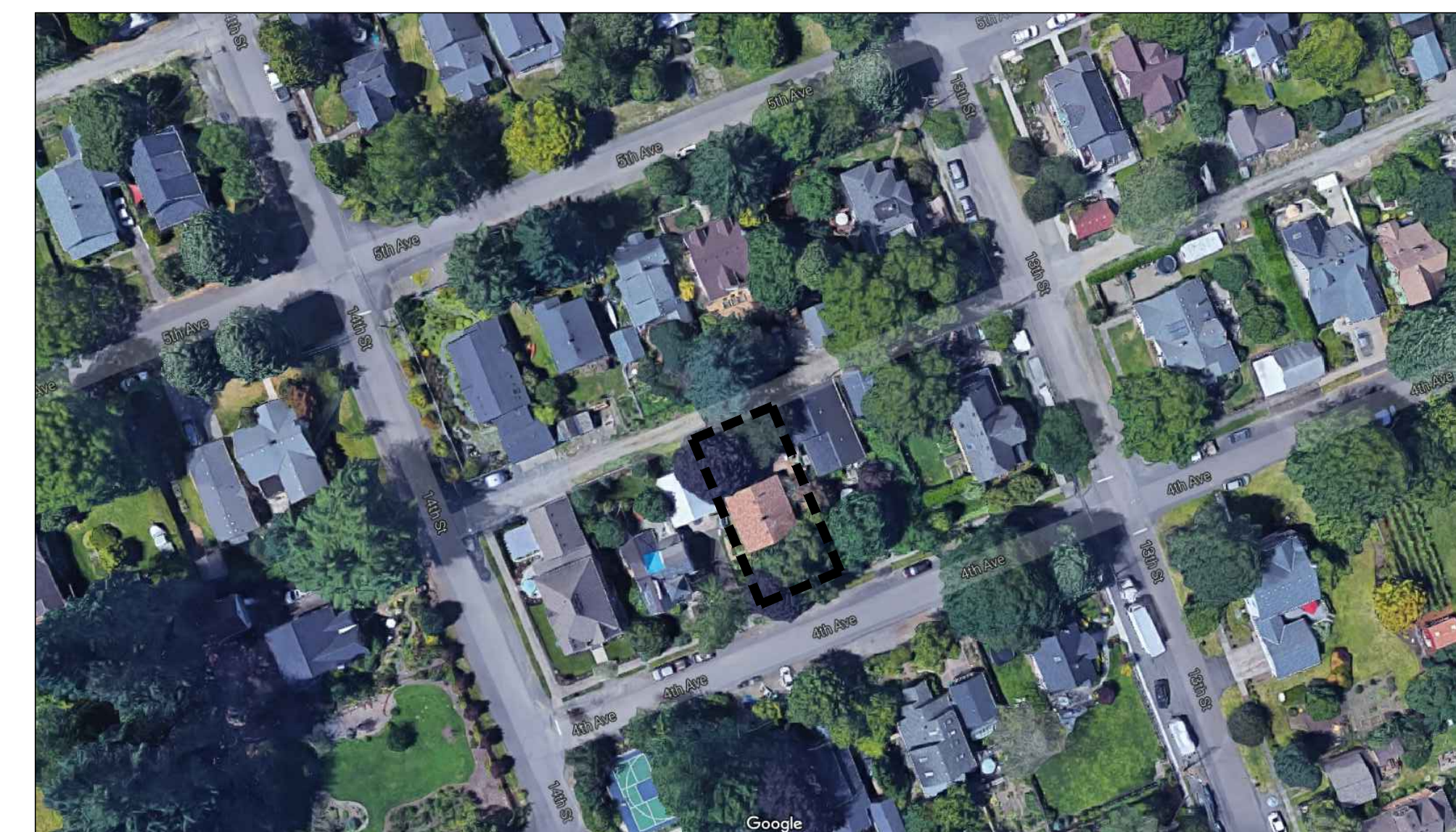
NOTE:
PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS BY SEPARATE TRADE PERMITS.

SHEET INDEX

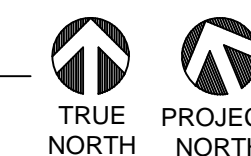
A0.00 - COVER SHEET / SITE PLAN
A2.00 - DEMO PLAN, FLOOR PLAN
A3.00 - EXISTING BUILDING ELEVATIONS
A3.10 - PROPOSED BUILDING ELEVATIONS

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE APPLICABLE CODES. THE CONTRACTOR, ANY SUBCONTRACTOR, TRADEPERSONS NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY. DOING SO SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO WORK CONTAINED IN THESE DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY STATE, CITY, COUNTY, FIRE DEPARTMENT, STATE ELECTRICAL INSPECTOR AND ANY OTHER GOVERNING AUTHORITIES AS REQUIRED.
- CONTRACTOR TO COORDINATE ALL TRADES AND NOTIFY THE DESIGNER OF ANY CONFLICTS THAT ARISE.
- SCOPE OF WORK SHALL INCLUDE WORK INDICATED AND IMPLIED BY THESE DRAWINGS.
- CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION DEBRIS TO BE REMOVED OFF-SITE. ALL DEBRIS IS TO BE DISPOSED OF IN A LEGAL MANNER AT A LANDFILL OR RECYCLING FACILITY. NO DEBRIS SHALL BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
- GIVEN DIMENSIONS TAKE PRECEDENT OVER SCALE AND SHALL BE VERIFIED ON SITE. DIMENSIONS ARE TO FACE OF EXISTING FINISH, OR NEW STUD, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO LOCATE EXACT LOCATIONS OF UTILITIES.
- SEE REFLECTED CEILING PLANS FOR SMOKE DETECTOR LOCATIONS.
- INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
- ALL SHEET METAL WORK SHALL CONFORM TO CURRENT SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOC., INC) STANDARDS.



01. **VICINITY MAP**
SCALE: NTS



issues & revisions:
2017-06/01 DESIGN REVIEW

COVER SHEET
SITE PLAN

A0.00

4th AVE RESIDENCE
1744 4th AVENUE, WEST LINN, OREGON 97268

design contact:
ANN M SCHEUERELL
 2537 LANCASTER STREET
 WEST LINN, OR 97068
 503-778-0092

project owner:
ANN M SCHEUERELL
DEREK J SCHEUERELL
 2537 LANCASTER STREET
 WEST LINN, OR 97068
 503-778-0092

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 NOT FOR
 CONSTRUCTION**

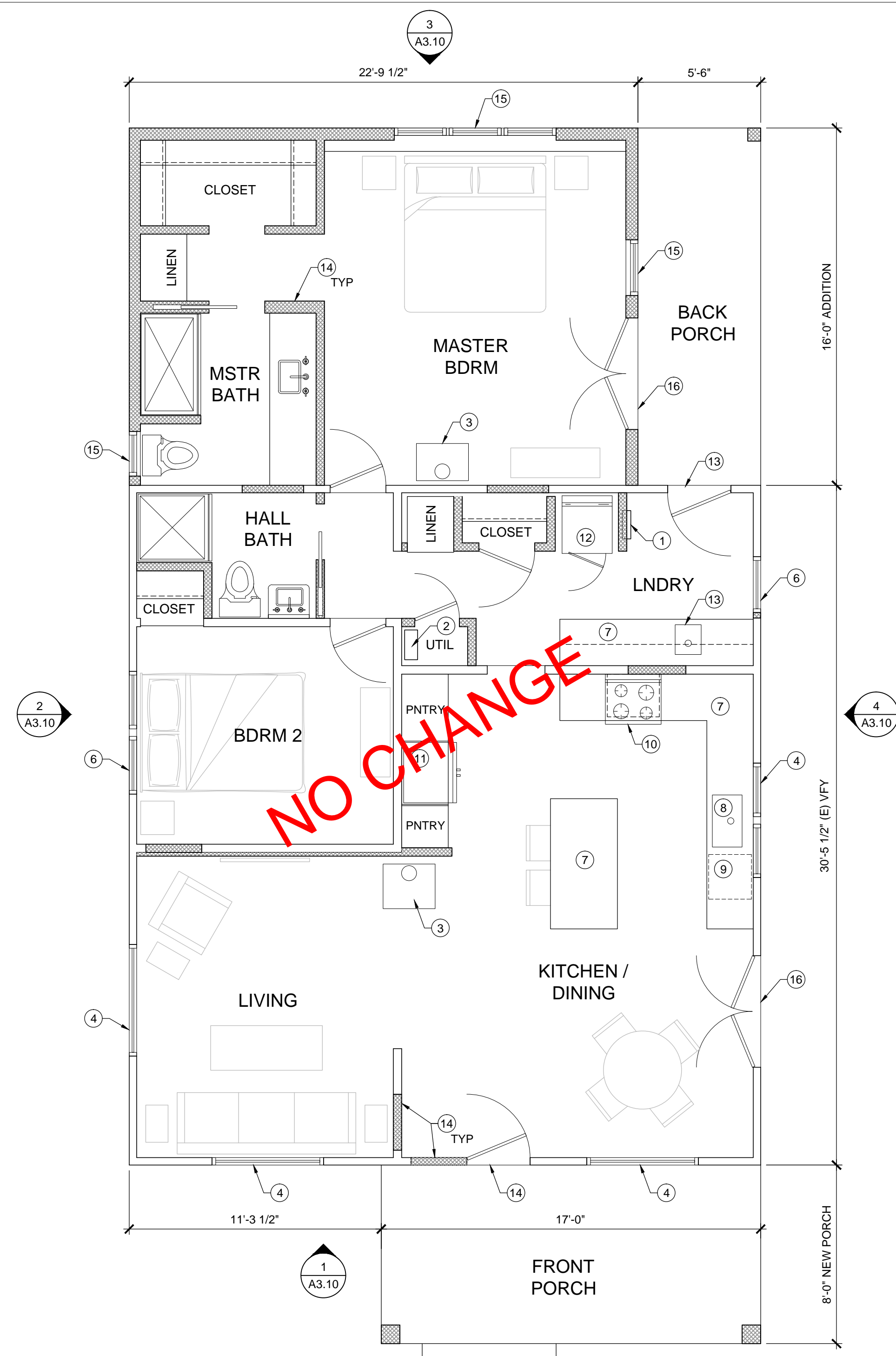
4th AVE RESIDENCE
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:
 2017-06/01 DESIGN REVIEW

DEMO PLAN, FLOOR PLAN

A2.00

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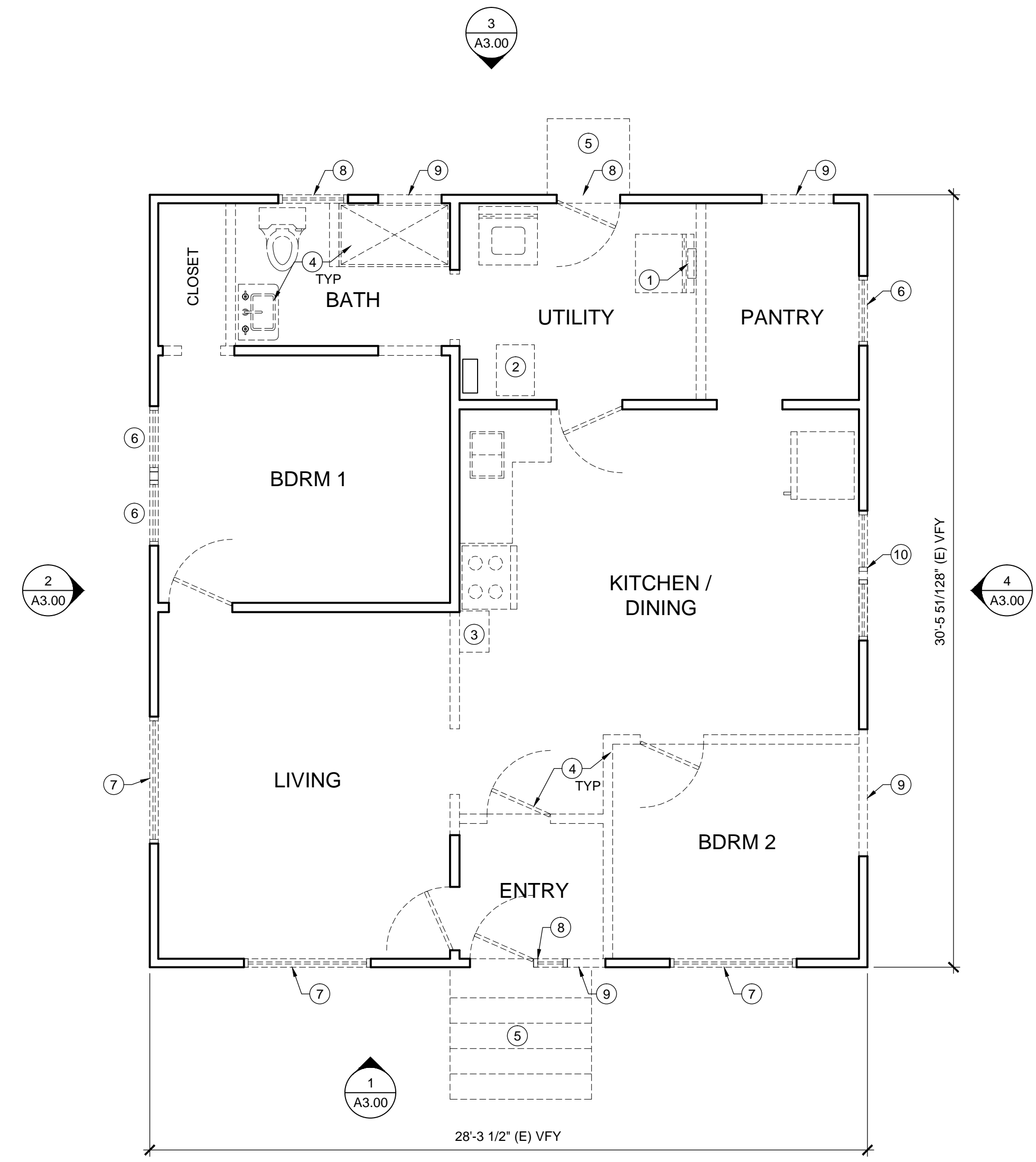
02. FLOOR PLAN
 SCALE: 1/4" = 1'-0"

GEN NOTES - FLOOR PLAN:

1. TYPICAL NEW EXTERIOR WALL TO BE: LAP SIDING OVER 1/2" PLYWOOD SHEATHING OVER DRAINWRAP WRB. OVER 2X6 AT MIN 16" O.C. FRAMING, WITH 1/2" GWB AT INTERIOR FACE, UNO; FILL CAVITY WITH R-21 BATT INSUL.
2. TYPICAL NEW INTERIOR WALL TO BE: 2X4 AT MIN 24" O.C. FRAMING, WITH 1/2" GWB EA SIDE
3. CONTRACTOR TO PROVIDE MIN ELEC OUTLETS PER CODE AT AREA OF WORK; FINAL LOCATIONS TO BE DETERMINED ON SITE; REPLACE EXISTING SWITCHES AND OUTLETS WITH WHITE DECORA STYLE, TYP AT AREA OF WORK

KEY NOTES - FLOOR PLAN:

1. (E) ELEC PANEL, RELOCATED
2. (E) ON DEMAN WATER HEATER
3. GAS HEATING STOVE
4. NEW WINDOW AT VERTICALLY ENLARGED OPENING
5. NEW WINDOW AT VERTICALLY REDUCED OPENING
6. NEW REPLACEMENT WINDOW AT EXISTING OPENING
7. CABINETS WITH SOLID SURFACE COUNTERS, SEE INTERIOR ELEVATIONS
8. SINK AND FAUCET, SNK-1 & FCT-1
9. DISHWASHER, DW
10. GAS RANGE WITH MICRO ABOVE, VENT TO EXTERIOR
11. REFRIGERATOR, REF-1
12. STACKING WASHER / DRYER
13. LAUNDRY SINK AND FAUCET, SNK-2 & FCT-2
14. RELOCATED FRONT DOOR OPENING, NEW DOOR
15. NEW WINDOW
16. NEW FRENCH DOORS
17. NEW DOOR
18. NEW WALL OR INFILL FRAMING, MATCH (E) ADJ FINISH, EA SIDE



01. AS-BUILT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

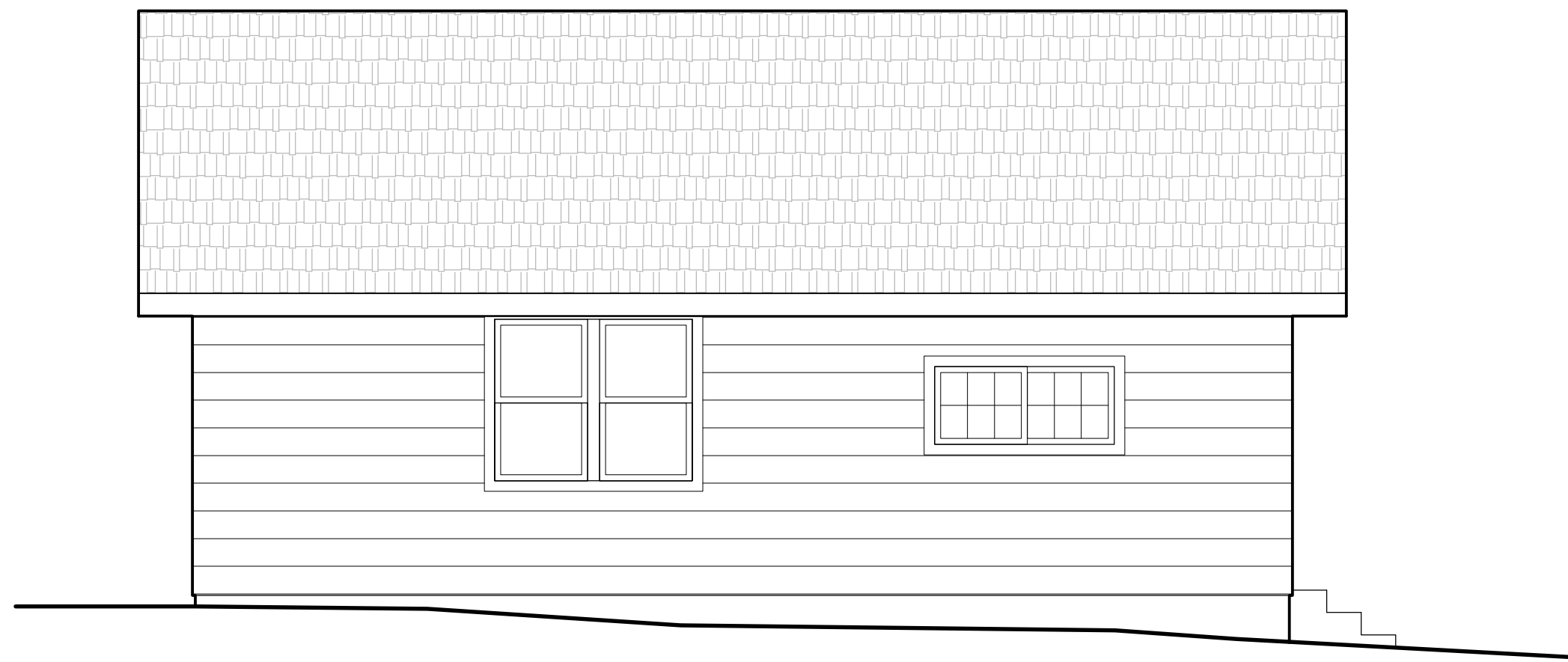
GEN. NOTES - DEMO PLAN:

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.
- B. CONDUCT ALL DEMOLITION WORK IN ACCORDANCE WITH OREGON AND FEDERAL OSHA RULES FOR SAFETY & PROTECTIVE GEAR.
- C. REMOVE ALL DEBRIS AND DISPOSE OF ACCORDING TO JURISDICTIONAL ORDINANCES & RECYCLE MATERIALS WHERE POSSIBLE.
- D. PROVIDE TEMPORARY SHORING AS REQUIRED TO PROTECT WALLS TO REMAIN.
- E. PROVIDE TEMPORARY BARRIERS TO ENCLOSE WORK AREA DURING DEMOLITION.
- F. REMOVE OR RECONFIGURE ALL EXISTING MECHANICAL AND PLUMBING FIXTURES, VENTS, ETC., AS REQUIRED FOR NEW WORK, UNLESS NOTED OTHERWISE. CAP EXISTING PLUMBING LINES BELOW FLOOR OR IN WALL AS REQUIRED.

KEY NOTES - DEMO PLAN:

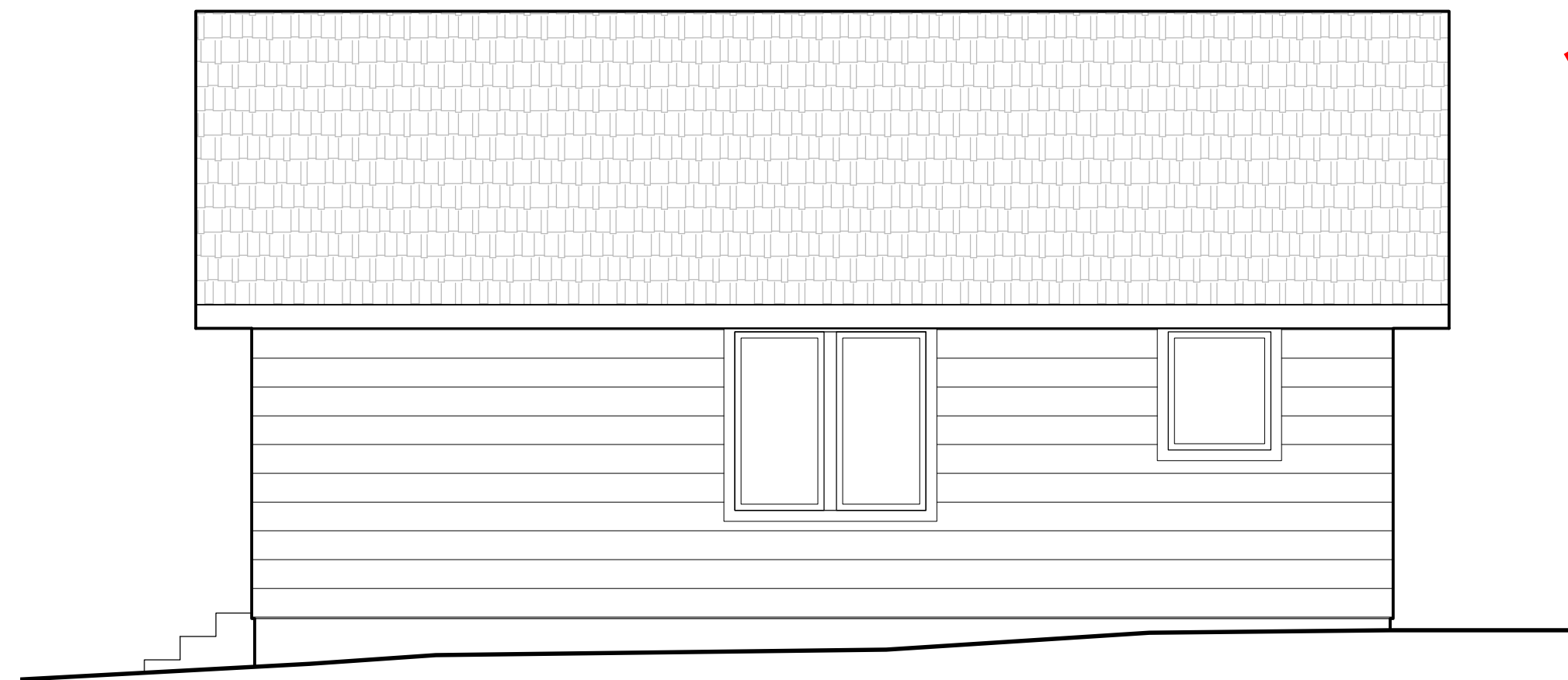
1. (E) ELEC PANEL TO RELOCATE
2. (E) FURNACE TO DEMO
3. (E) CHIMNEY TO DEMO
4. (E) WALLS, DOORS, CABINETS, APPLIANCES TO DEMO
5. (E) CONC STEPS TO ABANDON
6. (E) WINDOW TO REMOVE AND REPLACE
7. (E) WINDOW TO REMOVE, INCREASE HEAD AND SILL HEIGHT, INSTALL NEW
8. (E) WINDOW / DOOR / OPENING TO DEMO
9. (E) WALL TO DEMO FOR NEW WINDOW OR DOOR
10. (E) WINDOW TO REMOVE, REDUCE SILL HEIGHT, INSTALL NEW

EXISTING ROOF AND WALL STRUCTURE FAILING DUE TO DETERIORATION AND SUBSTANDARD CONSTRUCTION; REQUIRES REMOVAL AND REPLACEMENT



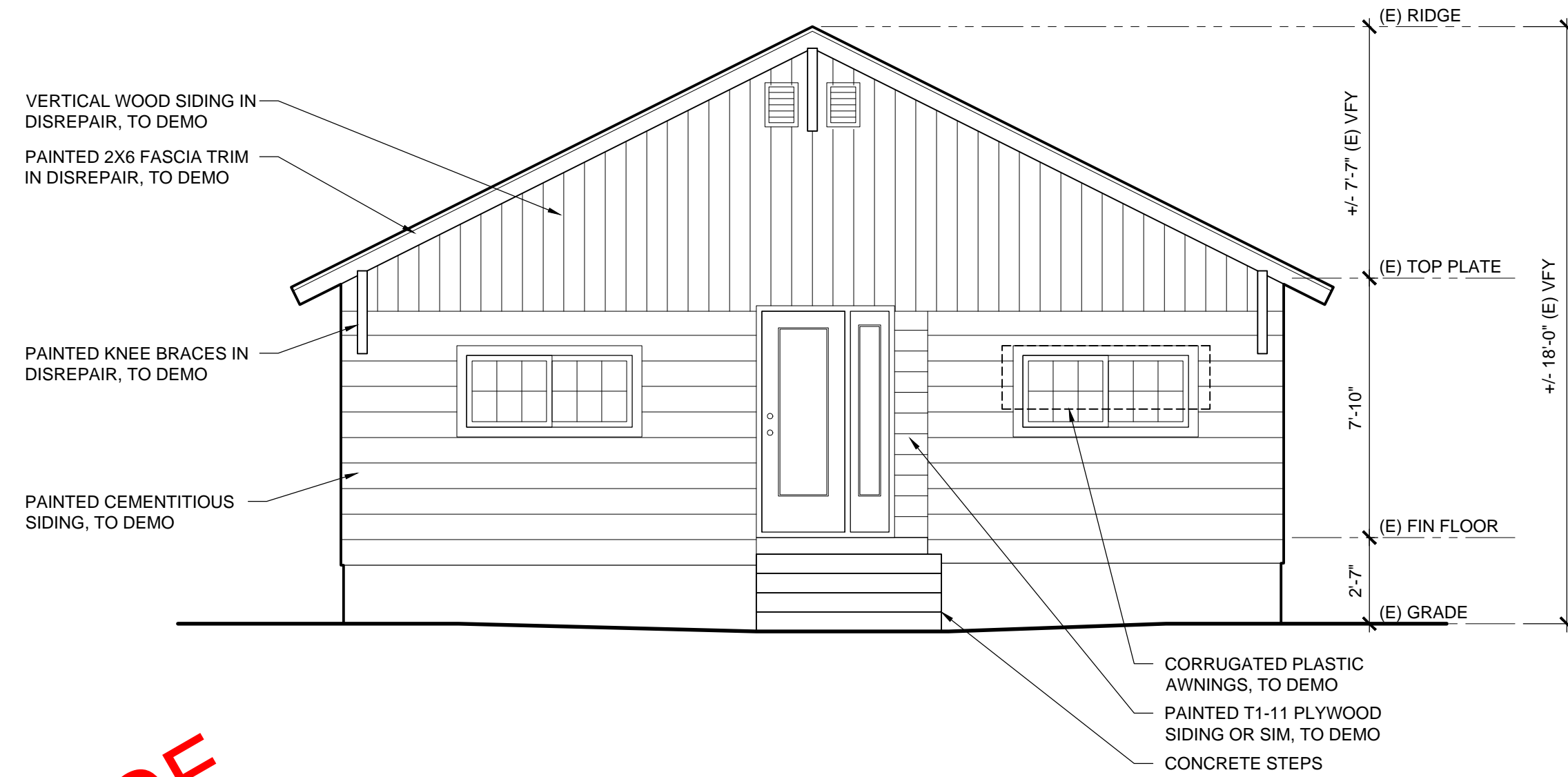
02. AS-BUILT - WEST ELEVATION

SCALE: 1/4" = 1'-0"



04. AS-BUILT - EAST ELEVATION

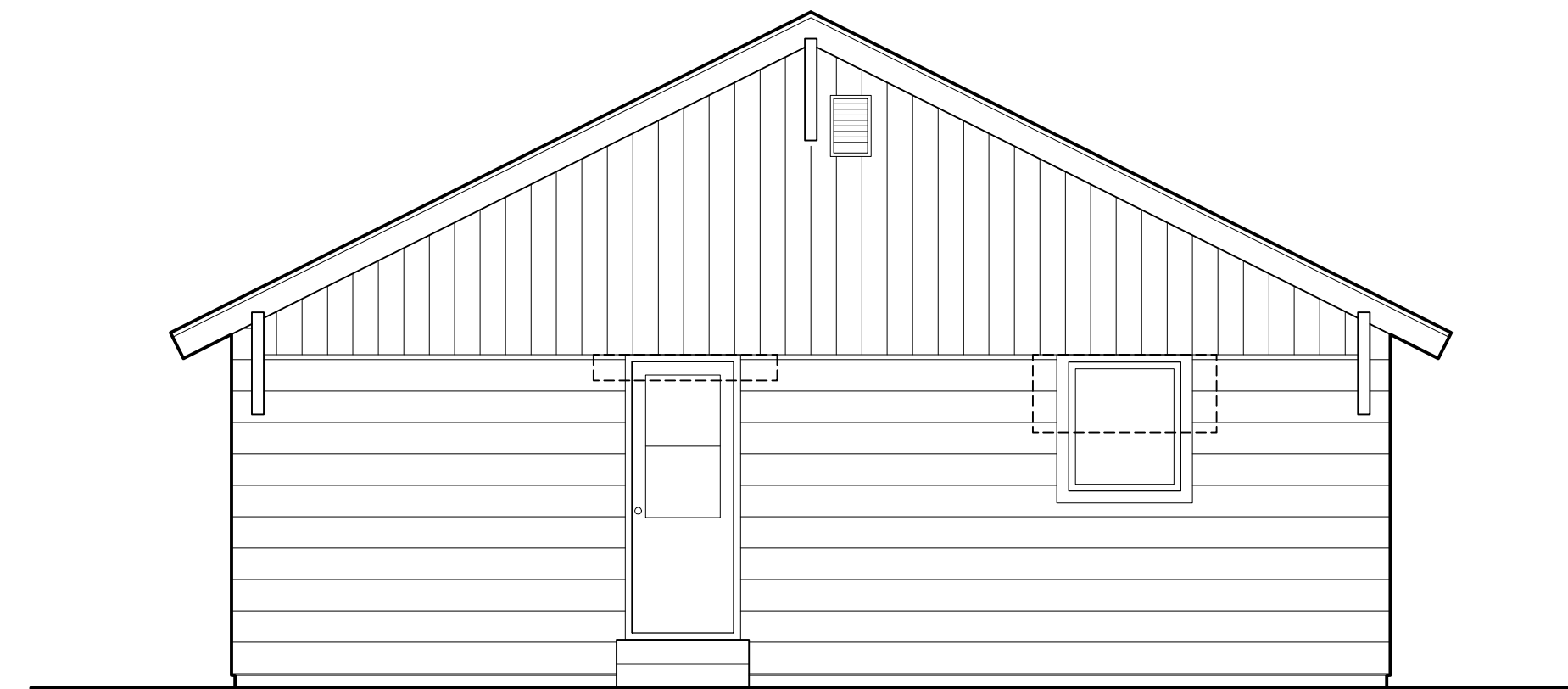
SCALE: 1/4" = 1'-0"



01. AS-BUILT - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NO CHANGE



03. AS-BUILT - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

design contact:
ANN M SCHEUERELL
 2537 LANCASTER STREET
 WEST LINN, OR 97068
 503-778-0092

project owner:
ANN M SCHEUERELL
DEREK J SCHEUERELL
 2537 LANCASTER STREET
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 503-778-0092

**PRELIMINARY
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4th AVE RESIDENCE
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:
 2017-06/01 DESIGN REVIEW

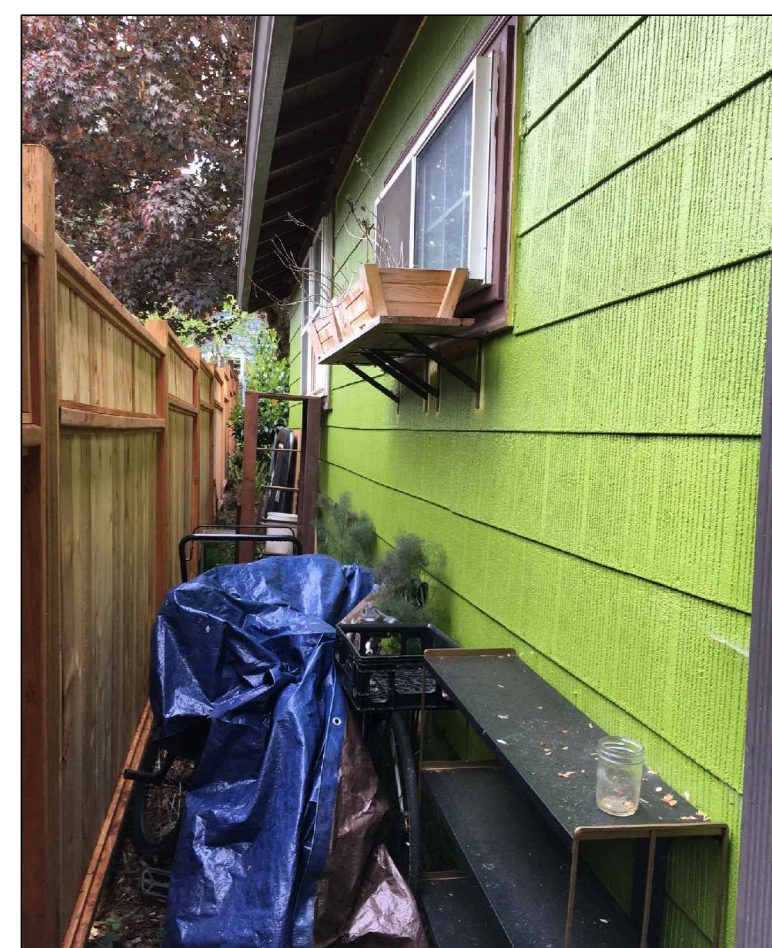
AS-BUILT
 EXTERIOR ELEVATIONS

A3.00

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08. (E) EAST ELEVATION



07. (E) WEST ELEV



06. (E) NORTH ELEVATION



05. (E) SOUTH ELEVATION

design contact:
ANN M SCHEUERELL
 2537 LANCASTER STREET
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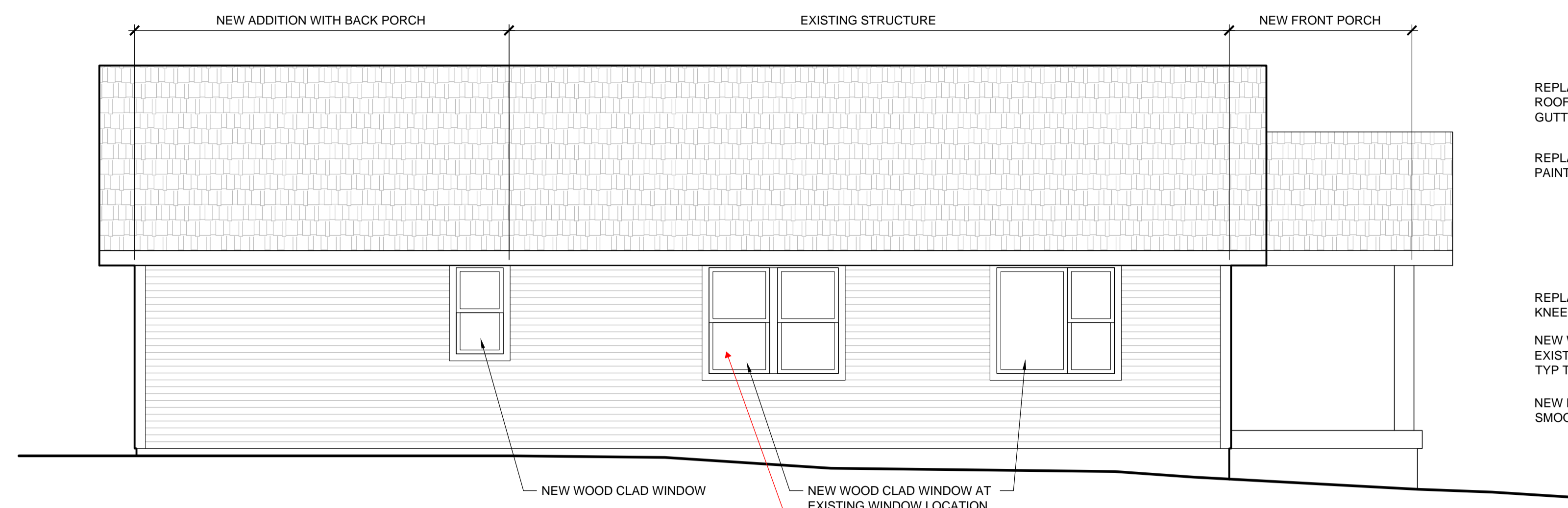
4th AVE RESIDENCE
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:
 2017-06/01 DESIGN REVIEW

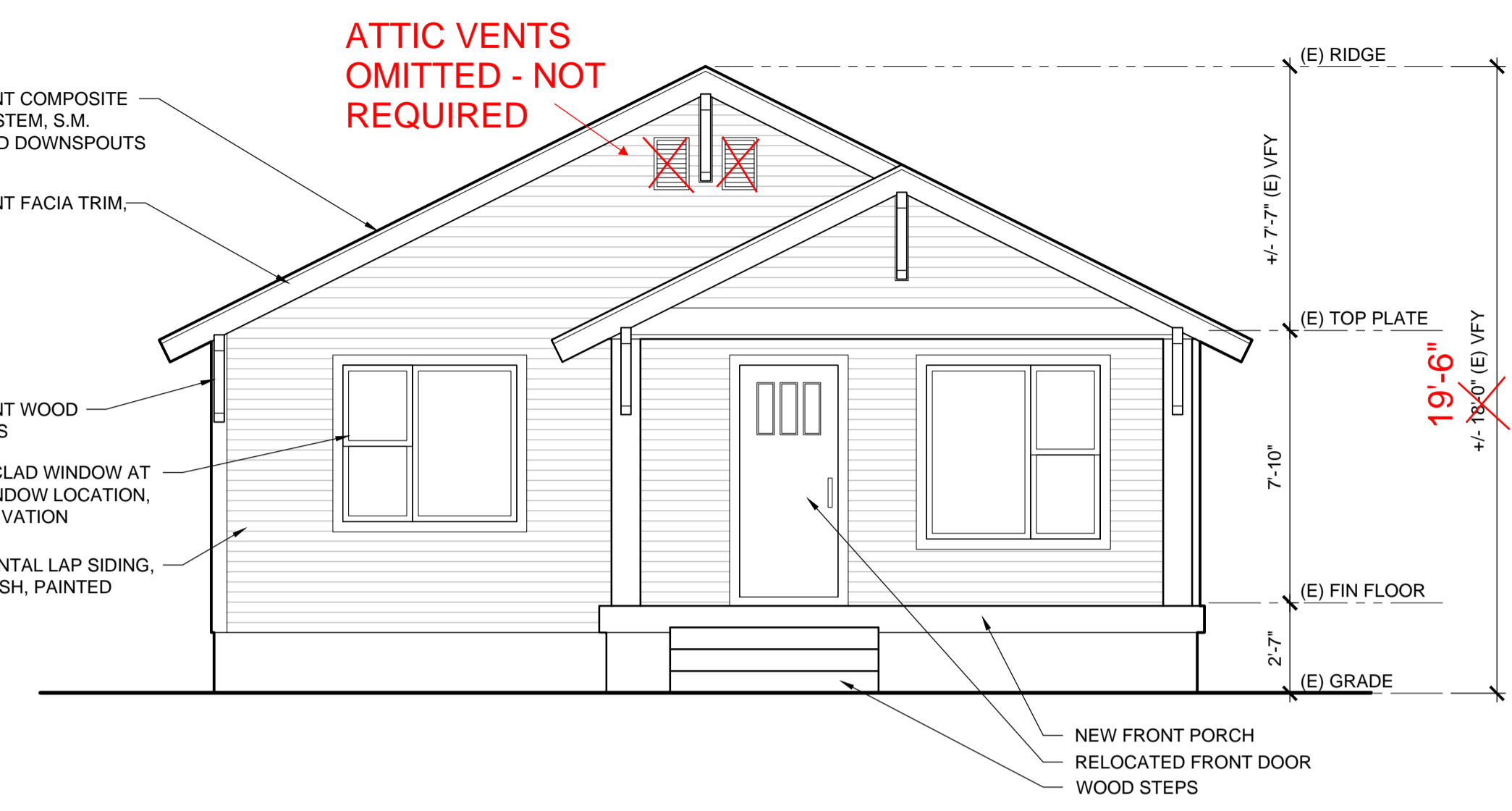
EXTERIOR ELEVATIONS

A3.10

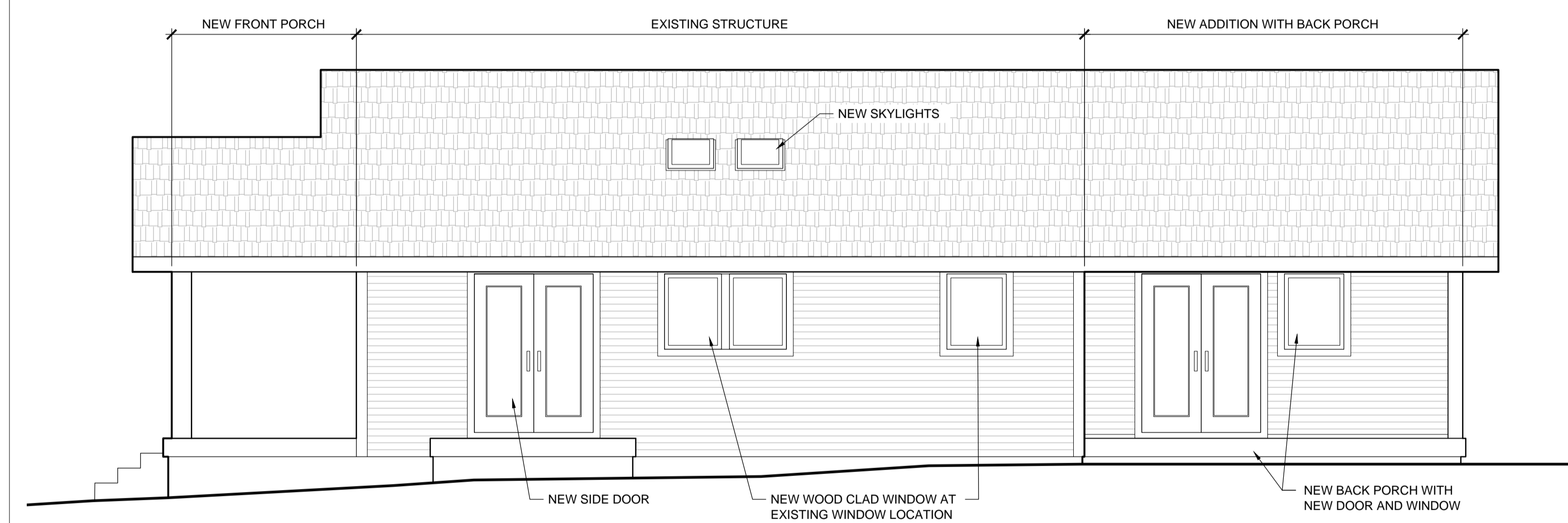
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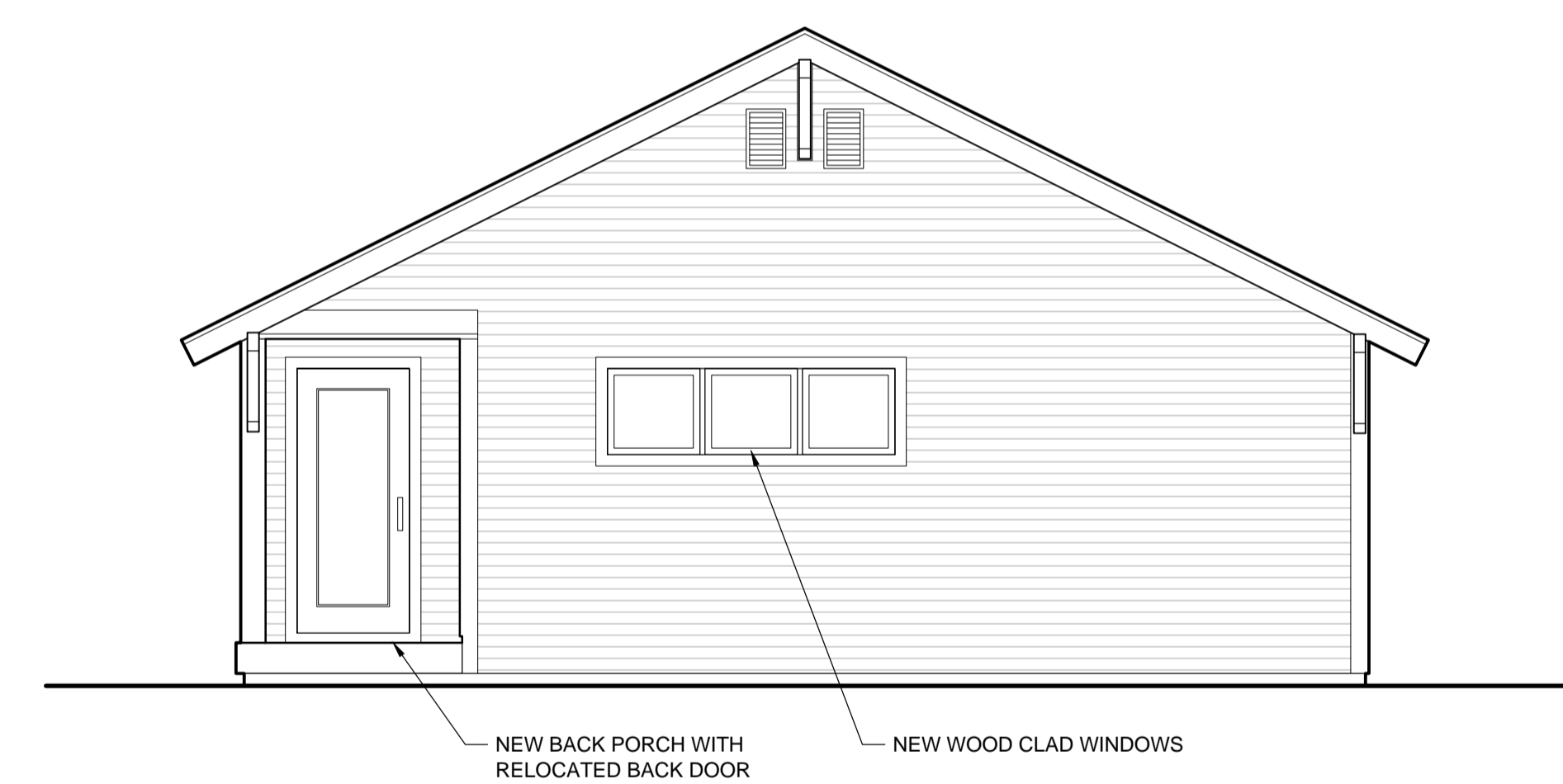
02. **WEST ELEVATION**
 SCALE: 1/4" = 1'-0"



01. **SOUTH ELEVATION**
 SCALE: 1/4" = 1'-0"



04. **EAST ELEVATION**
 SCALE: 1/4" = 1'-0"



03. **NORTH ELEVATION**
 SCALE: 1/4" = 1'-0"

HRB-6

4TH AVE RESIDENCE

REMODEL & ADDITION

HISTORIC DESIGN REVIEW RE-SUBMITTAL

2017 – 10/30 - **REV 2: 11/02**

Original Submittal 2017 -06/01 with HRB Approval on 6/20. Building Permit Received on 9/14.

Revisions to the original submittal document are made in red below. Follow up revisions Underlined.

PROJECT INFORMATION

COUNTY: Clackamas

PROPERTY ID: C146553

ZONE: R-5

OVERLAY: Willamette Historic District

STATUS: Noncontributing Property

EXISTING BLDG AREA: 899 SF

PROPOSED NEW LIVING AREA: 364 SF

PROPOSED NEW PORCH AREA: 224 SF

TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA: 1,710 SF

LOT SIZE: 4,999SF

PERCENT COVERED AREA: 34%

OWNER

Ann M Scheuerell

Derek J Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

DESIGN CONTACT

Ann M Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

PROJECT DESCRIPTION:

Remodel and addition to existing one-story single family residence. Scope of work includes the following:

- Master bedroom addition with back porch
- New front porch
- New windows at existing opening **locations** and taller windows at existing opening **locations**
- Relocated exterior doors, new side door
- New finishes

PROJECT DESCRIPTION NOTE:

THIS DOCUMENT IS RESUBMITTED FOR DESIGN REVIEW BY THE HRB BECAUSE EXISTING CONDITIONS OF THE RESIDENCE ARE FOUND TO BE OF STRUCTURALLY UNSOUND AND DETERIORATED CONDITION.

These conditions necessitate removal of building material beyond that originally shown in the scope. The material to be removed was originally not visible and was approved by the HRB and permitted by the Building Department to remain buried in the building's walls. Generally, removal of deteriorated building material is permitted without Design Review Approval under Chapter 25 of the Municipal Building Code (25.040.A.4). However, we recognize the extent of this removal is greater than expected or is typically encountered.

The existing deteriorated building material proposed for removal is vertical 1x10, which formed the original sole vertical structure for the building. Portions of the deteriorated material has already been removed due to failure. *There were no existing studs, posts, or beams.* The 1x10 functioned like a house of cards. The roof framing bore directly on the top edge of the 1x10 – an unstable and structurally unsound condition. New 2x6 studs with new plywood sheathing was required by the project engineer and approved by the Building Department during the permitting process.

<<Continues...>>

The 1x10 was originally planned to be sandwiched in place by the new studs and new plywood, but was deteriorated beyond the point of saving at the south and east walls of the structure. ***Retaining it in place would in fact negatively affect the integrity and lateral strength of the home.*** ~~So, we are asking to remove it entirely.~~

At the north and west walls, we are in process removing and resetting the 1x10. This should be completed by time of the HRB meeting. This process involves trimming boards showing signs of rot and carpenter ant infestation, and in some cases discarding boards warped beyond salvaging. The preserved boards are then reset back in place where they are sandwiched by the new studs and plywood.

Otherwise, the sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Christine Lewis of the HRB and Jennifer Arnold of the West Linn Planning Department in mid-July as below the 10% threshold for changes requiring resubmittal. This approval was received prior to our submittal for building permit. The roof height change is a result of having to reframe the roof and walls due to the structural deficiencies described above. We opted to increase the ceiling plate height at this time from the very low 7'-7" to the more standard 9'-0."

Every window, door, and finish material are UNCHANGED from the originally approved and permitted drawings. Roof pitch and overhang depth are also unchanged. The completed structure will look almost identical to the one originally submitted and approved by the HRB. This home will still be a small, one-level bungalow with only two bedrooms and a new front porch. We made a very earnest effort to keep as much as possible of the existing shell of the structure, but came across a lot of building material in deteriorated condition and, unfortunately, a very poorly built structure that does not meet building code requirements.

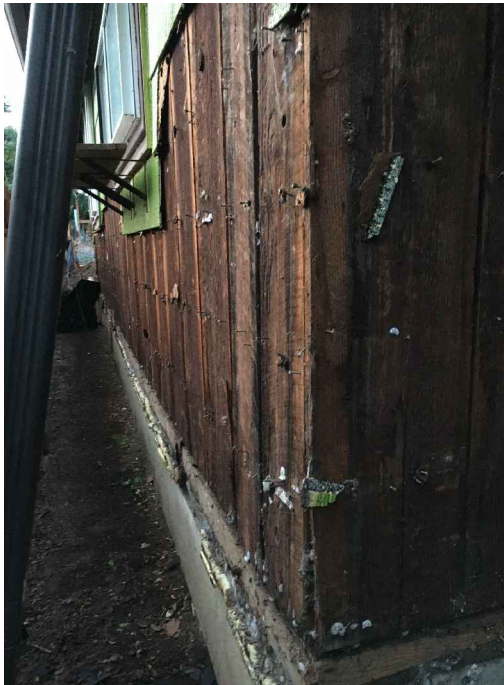
We ask for the HRB's support in helping us finish this project by approving our revised submittal regarding the removal of the deteriorated 1x10 material on the south and east sides of the structure, with 1x10 shell to remain on the east and north walls, and confirming the previous post-submittal approval of reframing and resetting of the roof. Thank you!

PHOTOS OF EXISTING CONDITIONS AND NEW WALL CONSTRUCTION FOLLOW

SUBMITTAL INDEX

1. PROPOSED ELEVATIONS - Drawings of Proposed elevations and exterior color palette.
2. NARRATIVE - Written Narrative Explaining the proposal and how it meets the approval criteria in CDC 25-060 and 25.070, as applicable.
3. PHOTOGRAPHS - Photographic summary of existing conditions. Historic photographs were not available.
4. SUPPLEMENTAL MATERIALS - Vicinity Map with property lines and adjacent structure summary. Aerial and street view images of neighboring homes with summary.
5. ARCHITECTURAL DRAWINGS - Existing and proposed plan and elevation drawings of home, including proposed site plan.

EXISTING 1X10 BUILDING SHELL



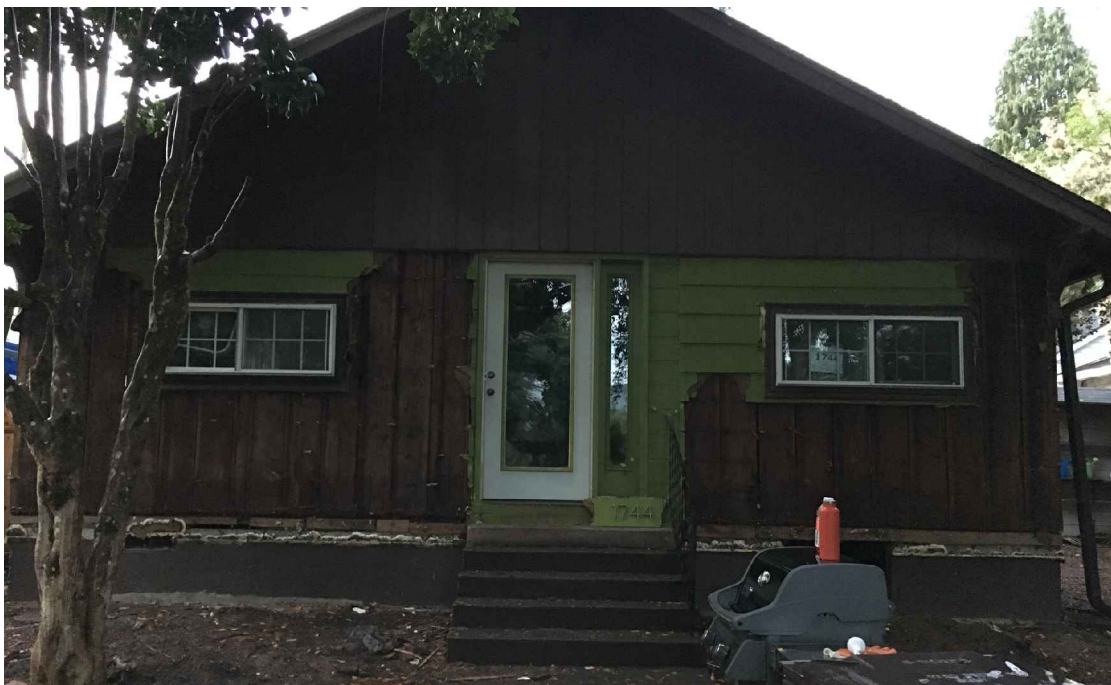
SOUTHWEST CORNER

At Exterior Face of Sill Connection; Bottom of Boards Were Partly Exposed Under Old Siding with Many Rotten and Deformed; Carpenter Ant Damage Higher on Boards



SOUTH WALL FROM INTERIOR

Large, Irregular Gaps Between 1x10 Boards, Cracks Down Center of Warped Boards



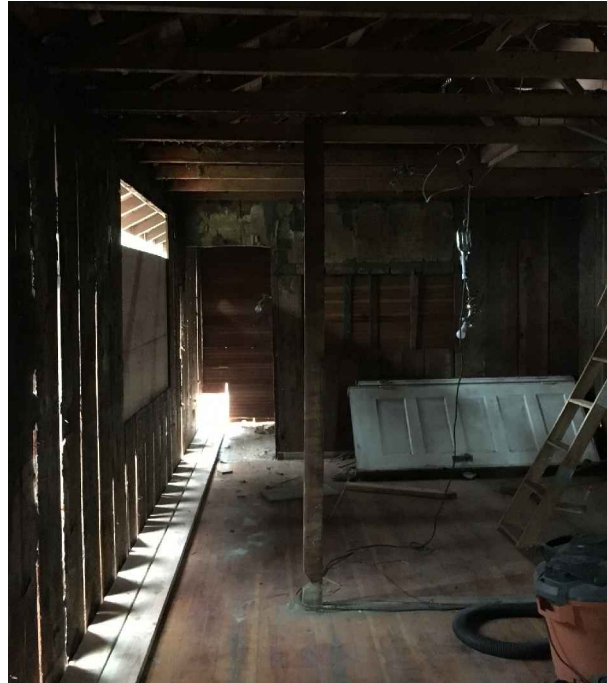
SOUTH WALL FROM EXTERIOR

Large, Irregular Gaps Between 1x10, Cracks Down Center of Warped Boards, Rot at Board Ends

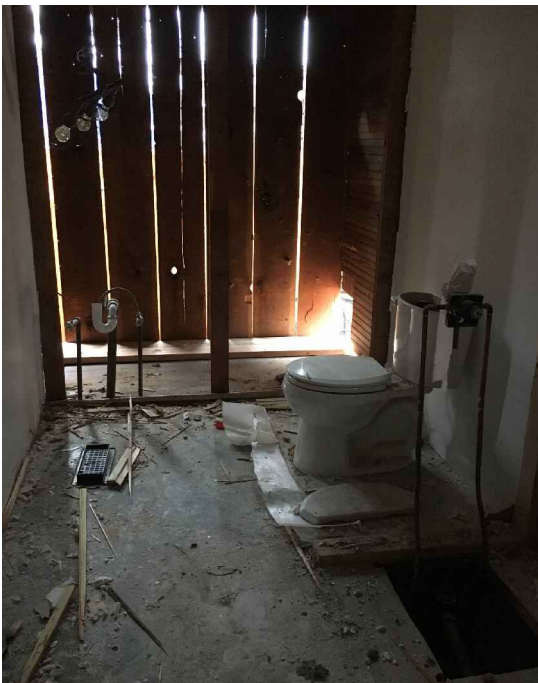
EXISTING 1X10 BUILDING SHELL



SOUTH WALL
At Exterior Face of Sill Connection; Bottom or Boards Were Partly Exposed with Many Rotting and Deformed



EAST WALL FROM INTERIOR
Large, Irregular Gaps Between 1x10, Cracks Down Center of Warped Board



WEST WALL FROM INTERIOR
Large, Irregular Gaps Between 1x10, Cracks Down Center of Warped Boards, Rot at Board Ends

FORTIFIED EXISTING SHELL WITH NEW FRAMING



RECONSTRUCTED NORTH WALL

1X10 Removed, Sorted, Cleaned, Rot Trimmed, Then Re-Installed Against New Structural Wall. Boards to Be Sandwiched Between New Studs and Plywood - Meeting the Detail Required by the Engineer and Approved by the Building Department as Part of the Building Permit

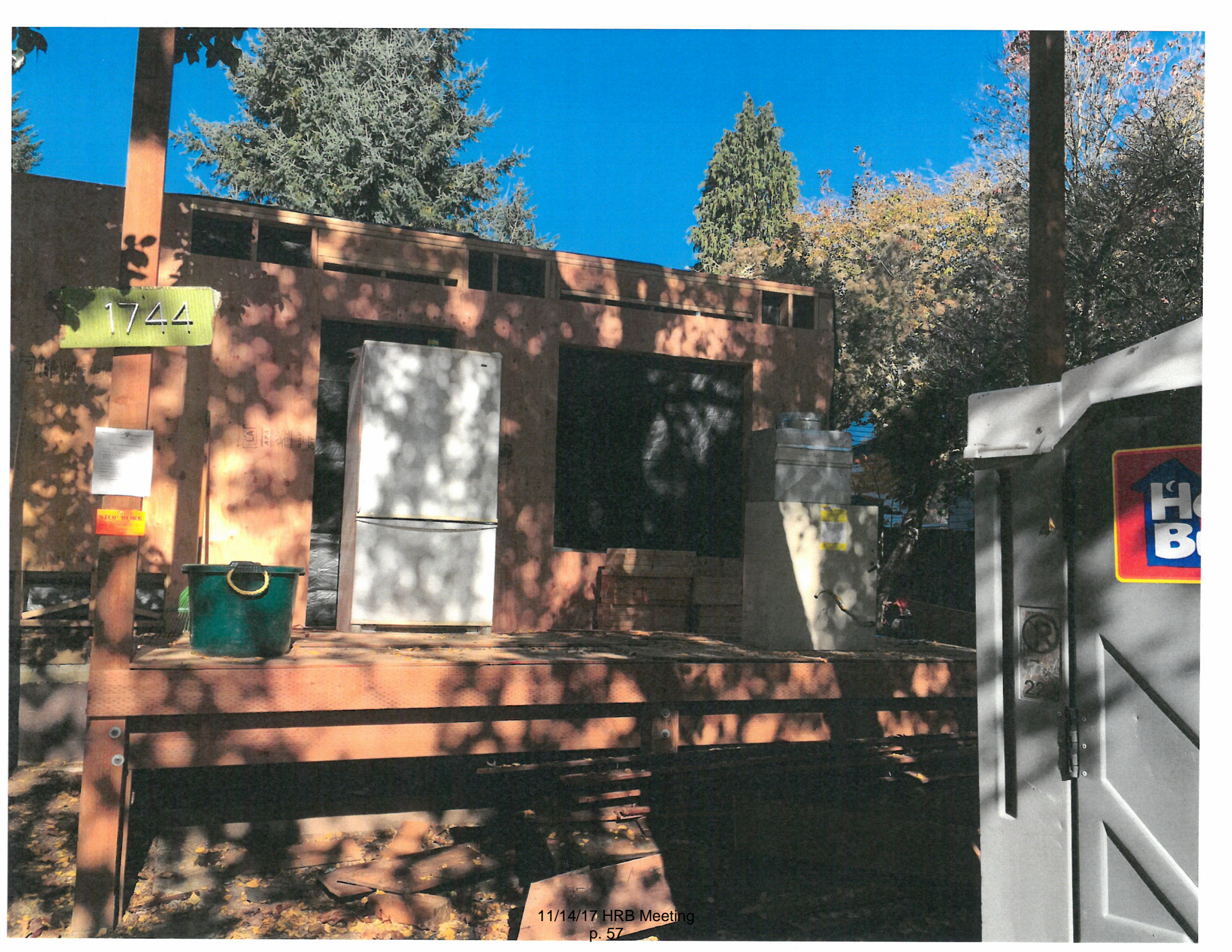


RECONSTRUCTED NORTH WALL FROM OPPOSITE SIDE

This Same Condition Will Occur at the West Wall. The 1x10 Boards Are Shorter Than the New Studs Due to the Plate Height Change and Because Rotten Ends Have Been Trimmed

HRB-7





1744

NOTICE
SCHEDULING

HCB

22



