



DEVELOPMENT REVIEW APPLICATION

| For Office Use Only | | |
|---|-------------------------------------|-------|
| STAFF CONTACT <i>Jennifer Arnold</i> | PROJECT NO(S). <i>MISC-17-11</i> | |
| NON-REFUNDABLE FEE(S) | REFUNDABLE DEPOSIT(S) | TOTAL |

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input checked="" type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

| | |
|---|--------------------------------------|
| Site Location/Address: 1744 4TH AVE. | Assessor's Map No.: 31E02BD |
| | Tax Lot(s): 1300 |
| | Total Land Area: 5000 sq. ft. |

Brief Description of Proposal: RESUBMITTAL/AMENDMENT TO DR-17-06

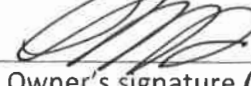
| | |
|--|---------------------|
| Applicant Name: ANN SCHEUERELL <small>(please print)</small> | Phone: 503-778-0092 |
| Address: 2537 LANCASTER STREET | Email: |
| City State Zip: WEST LINN OR 97068 | |

| | |
|--|--------------|
| Owner Name (required): same as above <small>(please print)</small> | Phone: _____ |
| Address: SAME | Email: _____ |
| City State Zip: SAME | |

| | |
|--|--------|
| Consultant Name: <small>(please print)</small> | Phone: |
| Address: | Email: |
| City State Zip: | |

- All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
 - The owner/applicant or their representative should be present at all public hearings.
 - A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
 - Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.
- * No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

| | | | |
|-----------------------|------|--|-------------------|
| Applicant's signature | Date |  | Date |
| | | Owner's signature (required) | <i>10-31-2017</i> |

4TH AVE RESIDENCE

REMODEL & ADDITION

HISTORIC DESIGN REVIEW RE-SUBMITTAL

2017 – 10/30

Original Submittal 2017 -06/01 with HRB Approval on 6/20. Building Permit Received on 9/14.

Revisions to the original submittal document are made in red below.

PROJECT INFORMATION

COUNTY: Clackamas

PROPERTY ID: C146553

ZONE: R-5

OVERLAY: Willamette Historic District

STATUS: Noncontributing Property

EXISTING BLDG AREA: 899 SF

PROPOSED NEW LIVING AREA: 364 SF

PROPOSED NEW PORCH AREA: 224 SF

TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA: 1,710 SF

LOT SIZE: 4,999SF

PERCENT COVERED AREA: 34%

OWNER

Ann M Scheuerell

Derek J Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

DESIGN CONTACT

Ann M Scheuerell

2537 Lancaster Street

West Linn, Oregon 97068

503-778-0902

PROJECT DESCRIPTION – REVISIONS IN RED:

Remodel and addition to existing one-story single family residence. Scope of work includes the following:

- Master bedroom addition with back porch
- New front porch
- New windows at existing opening **locations** and taller windows at existing opening **locations**
- Relocated exterior doors, new side door
- New finishes

PROJECT DESCRIPTION NOTE:

THIS DOCUMENT IS RESUBMITTED FOR DESIGN REVIEW BY THE HRB BECAUSE EXISTING CONDITIONS OF THE RESIDENCE ARE FOUND TO BE OF STRUCTURALLY UNSOUND AND DETERIORATED CONDITION.

These conditions necessitate removal of building material beyond that originally shown in the scope. The material to be removed was originally not visible and was approved by the HRB and permitted by the Building Department to remain buried in the building's walls. Generally, removal of deteriorated building material is permitted without Design Review Approval under Chapter 25 of the Municipal Building Code (25.040.A.4).

The existing deteriorated building material proposed for removal is vertical 1x10, which formed the original sole vertical structure for the building. Portions of the deteriorated material has already been removed due to failure. *There were no existing studs, posts, or beams.* The 1x10 functioned like a house of cards. The roof framing bore directly on the top edge of the 1x10 – an unstable and structurally unsound condition. New 2x6 studs with new plywood sheathing was required by the project engineer and approved by the Building Department during the permitting process. The 1x10 was originally planned to be sandwiched in place by the new studs and new plywood, but was deteriorated beyond the point of saving. ***Retaining it in place would in fact negatively affect the integrity and lateral strength of the home.*** So, we are asking to remove it entirely.

Otherwise, the sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal. ***Every window, door, and finish material are UNCHANGED from the originally approved and permitted drawings.***

SUBMITTAL INDEX

1. PROPOSED ELEVATIONS - Drawings of Proposed elevations and exterior color palette.
2. NARRATIVE - Written Narrative Explaining the proposal and how it meets the approval criteria in CDC 25-060 and 25.070, as applicable.
3. PHOTOGRAPHS - Photographic summary of existing conditions. Historic photographs were not available.
4. SUPPLEMENTAL MATERIALS - Vicinity Map with property lines and adjacent structure summary. Aerial and street view images of neighboring homes with summary.
5. ARCHITECTURAL DRAWINGS - Existing and proposed plan and elevation drawings of home, including proposed site plan.

1. PROPOSED ELEVATIONS

ATTIC VENTS OMITTED AS UNREQUIRED

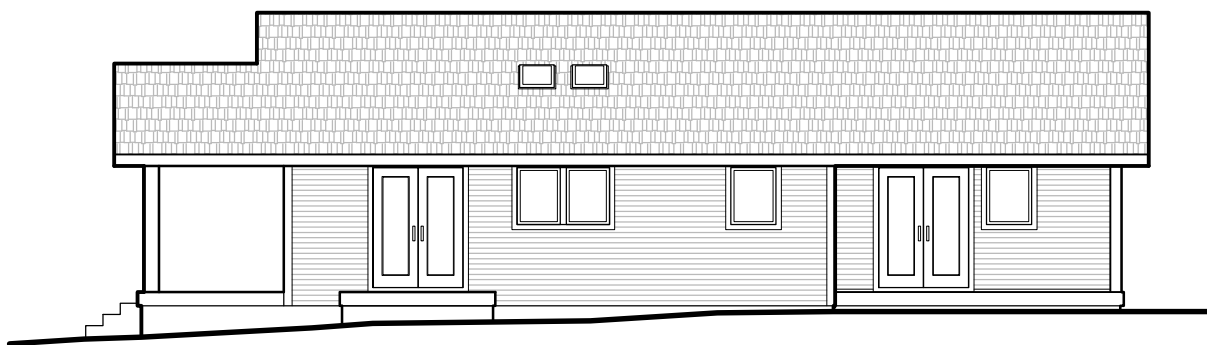
BUILDING HEIGHT INCREASES APPROX 16-18" FROM ORIGINAL STRUCTURE



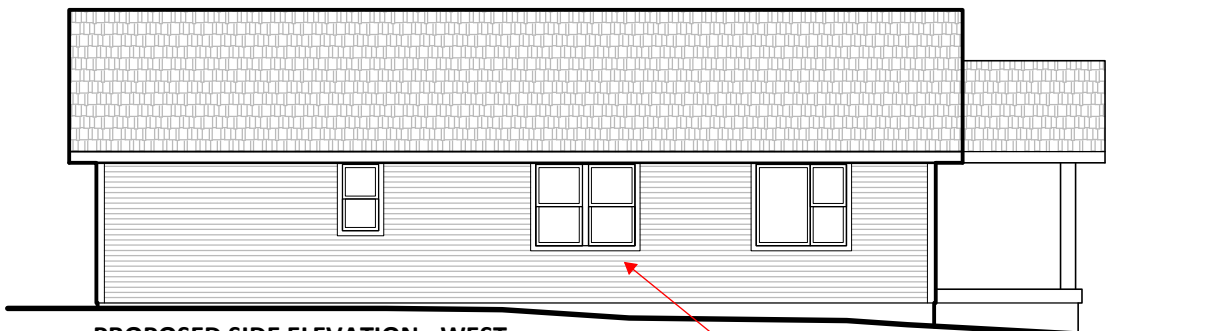
PROPOSED FRONT ELEVATION - SOUTH
1/8" = 1'-0"



PROPOSED REAR ELEVATION - NORTH
3/32" = 1'-0"



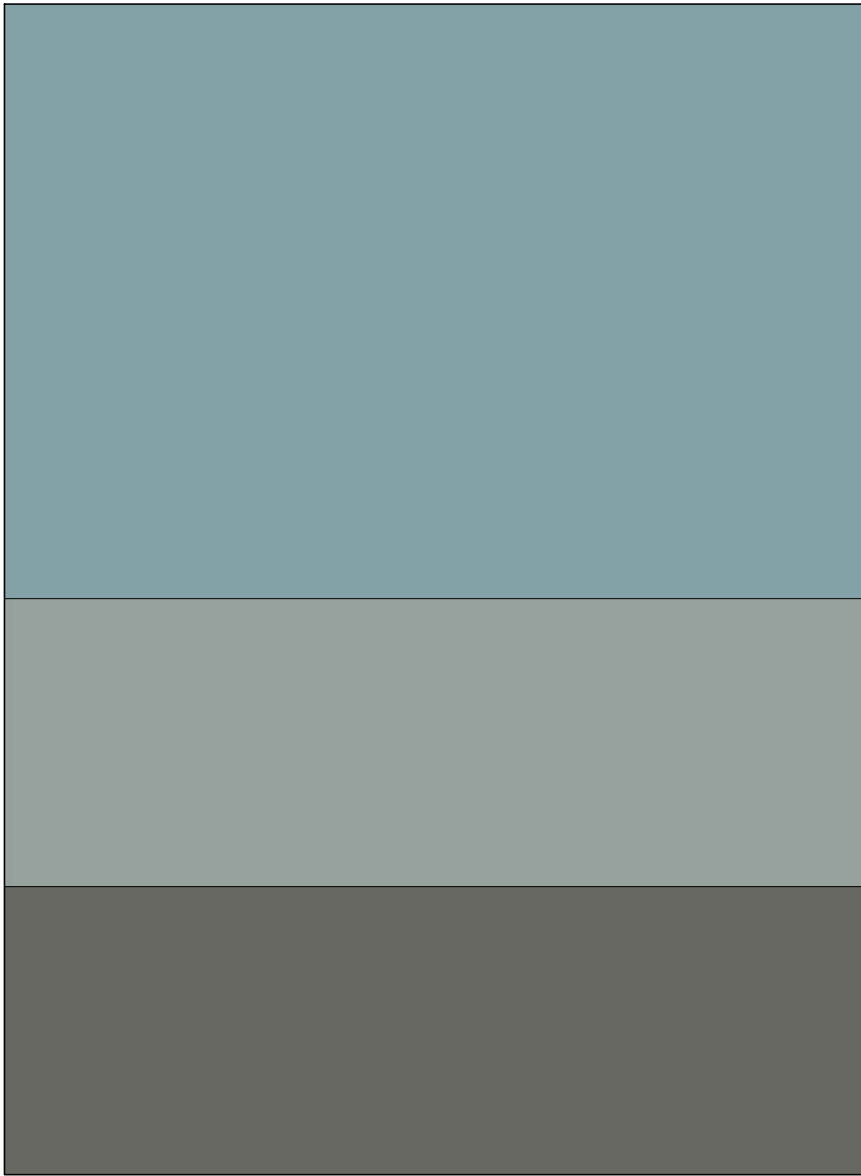
PROPOSED SIDE ELEVATION - EAST
3/32" = 1'-0"



PROPOSED SIDE ELEVATION - WEST
3/32" = 1'-0"

THIS WINDOW TO BE DOUBLE CASEMENT TO MEET EGRESS CODE REQUIREMENTS

1. PROPOSED COLOR PALETTE



LIGHT MEDIUM BLUE
Main Body of House

MEDIUM WARM GREY
Typical Trim Color

DARK WARM GREY
Windows and Doors

2. PROJECT NARRATIVE

Revisions to our original submittal document are made in red below. (10/30/2017)

25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

- Original form of home to remain. Existing width of home to remain. Existing building height and roof slope to be maintained. The front elevation, as viewed from 4th Avenue will have approximately the same volume relative to the site and street.
- The sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal for review. Previous ceiling height was 7'-7." **UNCHANGED**
- Proposed revision to the front elevation is to increase the height of the two existing small windows, to move the front door over slightly to accommodate a new front porch. New front porch to be of similar craftsman/bungalow-type styling as many other homes in the neighborhood. **UNCHANGED**
- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built. **UNCHANGED**

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

- As noted above, existing mix of exterior siding does not appear to be original. **UNCHANGED**
- Existing concrete steps is also not believed to be original. New front porch will bury these steps, but maintain them in place, so that if future owners choose to use them, they are there. **UNCHANGED**

- New work will also include replacement of existing knee braces (in disrepair) at roof eaves with new wood braces of simple craftsman styling. **UNCHANGED**

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

- The original architecture of the home will remain recognizable. New work is intended to echo architecture in the area around 1929 when the home was built, but not imitate it or replicate it. Much care has been taken in the design to ensure the scale and craftsman/bungalow feel of the home are not disrupted. **UNCHANGED**
- The existing paint color of the home (glossy bright lime green) was not selected from an historically appropriate color palette. The new selected paint color for the home (light medium blue) is compatible with the neighborhood and homes from this period. **UNCHANGED**

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

- Because the home is non-contributing, it does not appear that any of the work on the home has acquired historic significance. Rather, we believe that the new work on this home will bring it in to greater harmony with the neighborhood. **UNCHANGED**

5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

- The new porch and addition will be compatible with local historic materials and features, and with the existing home's size, scale, proportion, and massing. **UNCHANGED**
- The new porch does not extend across the full length of the front elevation and has a lower ridgeline than the main body of the house. **UNCHANGED**
- The addition at the back of the house maintains the existing roof line of the existing structure and does not extend to the side of the home, thereby maintaining the relatively large existing side yard. The rear addition will only be visible from the alley. **UNCHANGED**

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

- The basic form of the home will remain. So, if someone wanted to remove the front porch and rear addition, the existing basic original **dimensions of the** structure of the home could be restored.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including

the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

- As noted in #5, the front porch is subordinate to the main house and the addition is located entirely at the rear of the structure. **UNCHANGED**
- The location, size, and height of the addition and front porch meet the requirements of the R5 zone and Willamette Historic District. **UNCHANGED**

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

- Existing building ~~height and~~ slope to remain. New front porch to have same roof pitch as existing structure. Rear addition to continue existing roof at same height and pitch.
- The sole change to the originally approved plans is to the height of the building, which we propose to increase by approximately 16-18 inches – a change already approved by Planning staff as below the 10% threshold for changes requiring resubmittal for review. Previous ceiling height was 7'-7."

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

- Existing roofing to be replaced with new architectural composition shingles. **UNCHANGED**

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

- Existing mix of ribbed cementitious shingles, vertical siding, and T1-11 siding are not original to the structure. New siding to be horizontal lap siding in keeping with many of the nearby homes and with the time period in which the home was built. **UNCHANGED**

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New siding to be horizontal lap siding in keeping with many of the homes in the neighborhood and with the time period in which the home was built. New horizontal lap siding to be either cedar lap or smooth finish fiber cement lap siding. **UNCHANGED**

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- New gutters and downspouts to be prefinished sheet metal, K-shaped. **UNCHANGED**

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period. **UNCHANGED**
- Existing trim is not believed to be original to the house. New trim to be 2x4 painted wood, which is in keeping with homes of this period. **UNCHANGED**

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

- No storm windows are proposed. **UNCHANGED**

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

- Existing windows are a mix of vinyl and old wood of varied operation and condition, some with storm windows installed. New windows to be prefinished wood clad. Color of window cladding is selected from historic color palette. Wood clad windows are consistent stylistically with windows of this period. **UNCHANGED**
- At the front rooms, windows are proposed to be enlarged due to the existing windows' exceptionally small size and low head height. **UNCHANGED**
- The existing ganged pair of double hung windows located at the current master bedroom and kitchen are the basis of design for the majority of the new windows at the home. Where double hung windows are not appropriate, window type is primarily casement. Existing ganged double-hung windows at Master Bedroom (at side elevation facing west fence) were found not to meet code required egress dimensions. Windows are not visible from street. To meet code, they have been changed to casement windows of the same size and dimensions. **Otherwise, all windows are UNCHANGED from originally HRB approved and permitted plans.**

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- New doors to be wood clad or painted wood. **UNCHANGED**
- A new French door is to be located at the side elevation, where there is currently no access to the side yard. The side yard is planned to be the primary outdoor seating and dining area. **UNCHANGED**

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged. Alterations to existing front porches and side yard porches that face a street shall:

- a. Maintain the shape, width, and spacing of the original columns; and
 - b. Maintain the height, detail, and spacing of the original balustrade.
- Since the house is a non-contributing structure, it is our understanding that the proposed new front porch is an acceptable addition. The new porch is subordinate to the primary structure and maintains the existing roof slope. It will coordinate stylistically and have the same materials and detailing as the primary structure. **UNCHANGED**
 - The new front porch is located within the front and side setbacks. **UNCHANGED**
 - Because the current structure sets approximately 32' from the front property line, it is relatively far from street activity and largely hidden from view. The new front porch will provide greater connectivity between the house and the street. **UNCHANGED**

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- No deck is proposed as part of the work. **UNCHANGED**

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- No change in foundation height is proposed as part of the work. **UNCHANGED**

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- New exterior lighting at front and rear of home to be downlights located at the porch ceilings. At the side of the home, 1-2 wall sconces will provide shielded light for the patio. All exterior lighting to be compatible with the architectural character of the home. **UNCHANGED**

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter [34](#) CDC:

- No accessory structures are proposed as part of the work. **UNCHANGED**

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

This section provides additional standards that are applicable to properties within a historic district.

A. Standards for alterations and additions.

1. Compatibility with nearby context. Alterations and additions shall be:

- a. Compatible in scale and mass to adjacent properties; and
 - The front porch and rear addition are compatible in scale and mass to the adjacent properties. With the additional square footage, the home will remain among the smaller homes in the area. **UNCHANGED**
- b. Constructed such that they maintain the privacy of the residents of adjacent properties through window placement, orientation or landscaping.
 - The new addition is located at the rear of the home and is not visible from the street. The addition is oriented primarily toward the large sideyard at the east side of the home. The addition maintains the privacy of the of the residents of the adjacent properties on both sides. **UNCHANGED**

2. Not in period buildings. Alterations to compatible, not in period buildings shall follow all applicable standards of this chapter to avoid creating a false sense of history.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history. **UNCHANGED**

3. Not in period noncompatible buildings. Alterations to not in period, noncompatible buildings shall be consistent with applicable standards in CDC [25.060](#) and [25.070](#). Such buildings do not contribute to the historic value of the district and are not subject to standards pertaining to siding, windows, and other materials listed in CDC [25.060\(A\)](#); however, such buildings shall not be so stylistically different from adjacent buildings that they detract from the district's historic character.

- The home is a non-contributing structure. Alterations to the building are compatible with the historic district and are intended to bring the existing home into greater alignment with existing adjacent properties that are contributing / in period without creating a false sense of history. **UNCHANGED**

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

- This home is existing. Standard does not apply to this project. **UNCHANGED**

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

- The existing home and new front porch set within the 20' front setback. **UNCHANGED**

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

- The existing home and new front porch set within the 20' front setback. **UNCHANGED**

2. Side yard setback. Side yard setbacks shall be five feet, except:

a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.

- On the east side, the existing home and proposed addition set within the 5' side setback. **UNCHANGED**
- On the west side, the existing home is 3' from the property line. The addition aligns with the existing structure and maintains the home's current relationship to the property line. **UNCHANGED**
- There are no bays, chimneys, or other projections from the house, excepting the existing roof eaves. **UNCHANGED**

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:

- The property does not sit on a side street. **UNCHANGED**

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

- The existing home and new front porch set within the 20' rear setback. **UNCHANGED**

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

- The property does not sit on a corner lot. **UNCHANGED**

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

- The property and residence are existing. **UNCHANGED**

7. Building height.

a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

- The existing home is single level. Its ridgeline is approximately ~~18'-0"~~ 19'-6" above the lowest adjacent grade.

b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.

- No accessory structure is proposed. **UNCHANGED**

c. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.

d. Accessory structures shall not exceed the height of the primary dwelling.

8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

- The existing home is less than 23' in overall width. **UNCHANGED**

9. Roof pitch. Roofs shall have a pitch of at least 6:12.

- The existing roof pitch is approximately 6:12. The existing roof pitch will be maintained in the new work. **UNCHANGED**

10. Garage access and parking areas.

a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

- No Garage is proposed. **UNCHANGED**

b. Parking areas.

1) No residential lot shall be converted solely to parking use.

- Parking area is constrained to an approximate 14' gravel drive aisle at the rear of the lot. **UNCHANGED**
 - 2) No rear yard area shall be converted solely to parking use.
- Parking area is less than a third of the width of the rear property line. **UNCHANGED**
 - 3) When a lot is adjacent to an alley, all parking access shall be from the alley. (Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)
- Parking access is located off the alley. **UNCHANGED**

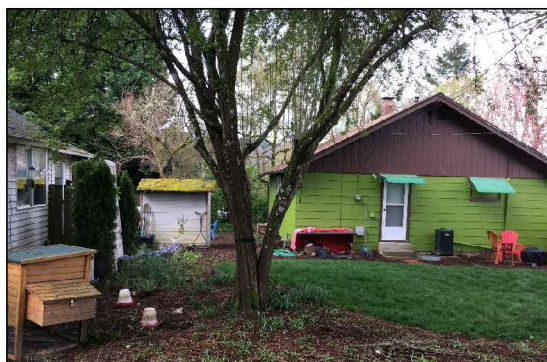
3. PHOTOGRAPHS: Existing Home, Rear Elevation



REAR ELEVATION - NORTH
View From Alley



REAR ELEVATION - NORTH
View From Alley Along West Fenceline



REAR ELEVATION - NORTH
View From Alley with East Side Yard Beyond

3. PHOTOGRAPHS: Existing Home, Front Elevation



FRONT ELEVATION - SOUTH
Street View From Sidewalk



FRONT ELEVATION - SOUTH
Looking Toward East Side Yard



FRONT ELEVATION - SOUTH
Detail of Concrete Steps

3. PHOTOGRAPHS: Existing Home, Side Elevations

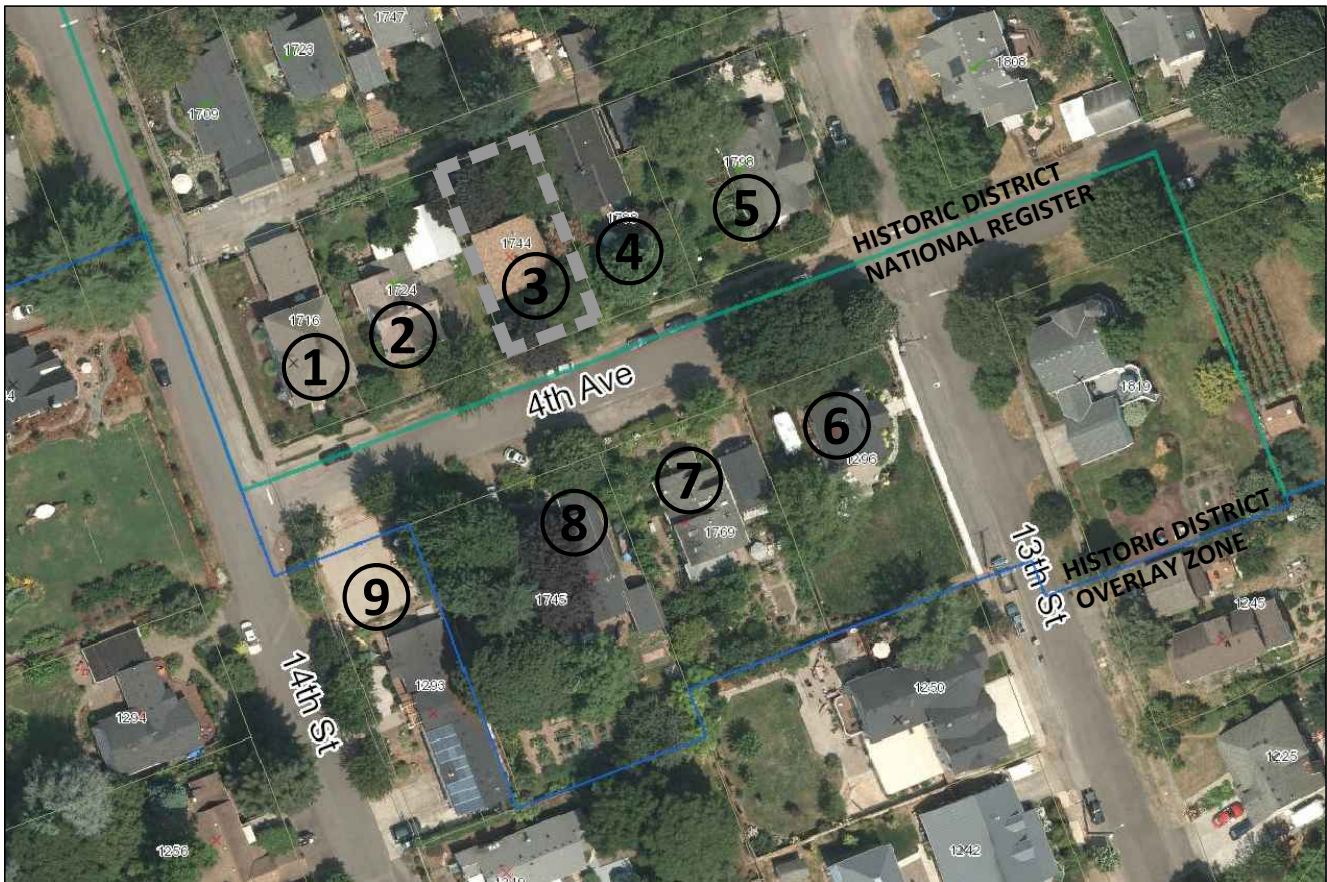


SIDE ELEVATION - EAST
View with Side Yard



SIDE ELEVATION - WEST
View Along West Fenceline

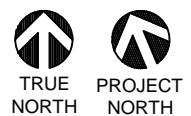
4. SUPPLEMENTAL MATERIALS: Vicinity Map



IMMEDIATE NEIGHBORHOOD - HOME SURVEY

- ① **1716 4th AVENUE**
STATUS: Not In Period
YEAR BUILT: 2008
STORIES / AREA: 2 Stories / 2,360sf
- ② **1724 4th AVENUE**
STATUS: Eligible Contributing
YEAR BUILT: 1910
STORIES / AREA: 2 Stories / 1,826sf
- ③ **1744 4th AVENUE - SUBJECT PROPERTY**
STATUS: Non-Contributing
YEAR BUILT: 1924
EXISTING STORIES / AREA: 1 Story / 899sf
PROPOSED STORIES / AREA: 1 Story / 1,263sf
- ④ **1788 4th AVENUE**
STATUS: Not In Period
YEAR BUILT: 1934
STORIES / AREA: 1 Story / 884sf

- ⑤ **1798 4th AVENUE**
STATUS: Eligible Contributing
YEAR BUILT: 1900
STORIES / AREA: 2 Stories / 3,600sf
- ⑥ **1296 13th STREET**
STATUS: Non-Contributing
YEAR BUILT: 1927
STORIES / AREA: 2,140sf
- ⑦ **1769 4th AVENUE**
STATUS: Non-Contributing
YEAR BUILT: 1915
STORIES / AREA: 2 Stories / 1,893sf
- ⑧ **1745 4th AVENUE**
STATUS: Non-Contributing
YEAR BUILT: 1924
STORIES / AREA: 2 Stories / 2,010sf
- ⑨ **1293 14th STREET**
STATUS: Non-Contributing
YEAR BUILT: 1920
STORIES / AREA: 2 Stories / 2,102sf



4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at West Property Line



NEIGHBOR TO THE WEST AT 1724 4th AVENUE
View From Sidewalk Looking Northwest



NEIGHBOR TO THE WEST
View from Backyard Looking Southwest
Over Fenceline



NEIGHBOR TO THE WEST
View from Backyard Looking West Over Fenceline

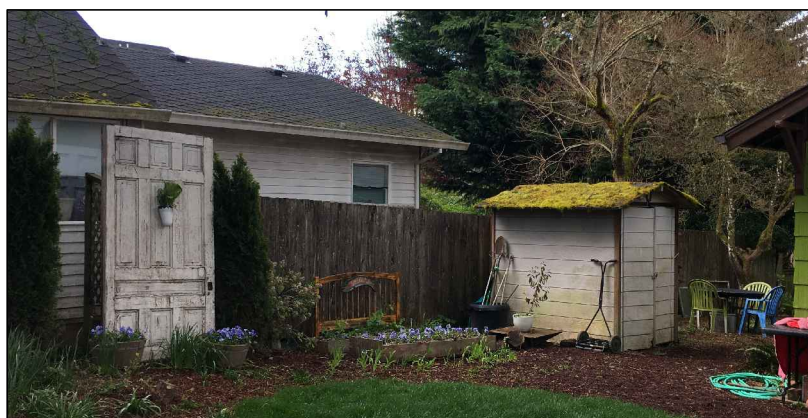
4. SUPPLEMENTAL MATERIALS: Existing Neighboring Home at East Property Line



NEIGHBOR TO THE EAST AT 1788 4th AVENUE
View From Sidewalk Looking Northwest - Home Obscured by Foliage

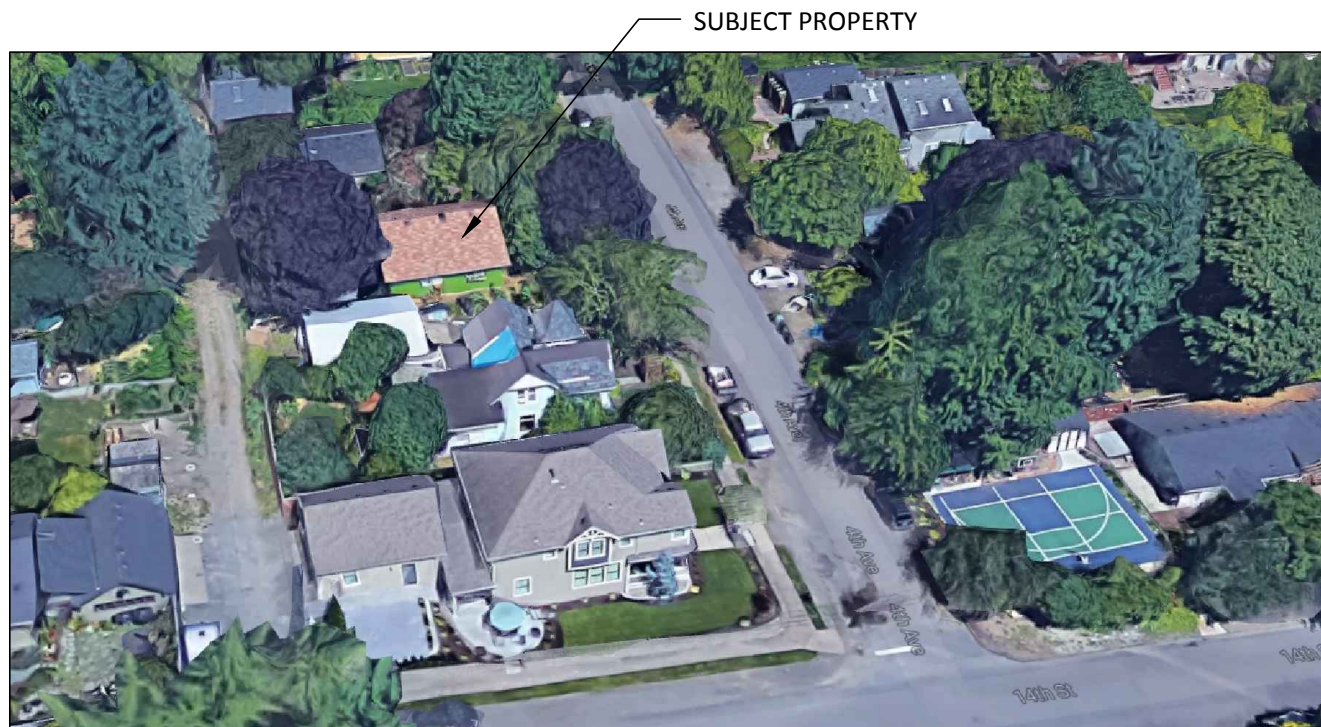


NEIGHBOR TO THE EAST
View from Backyard Looking East

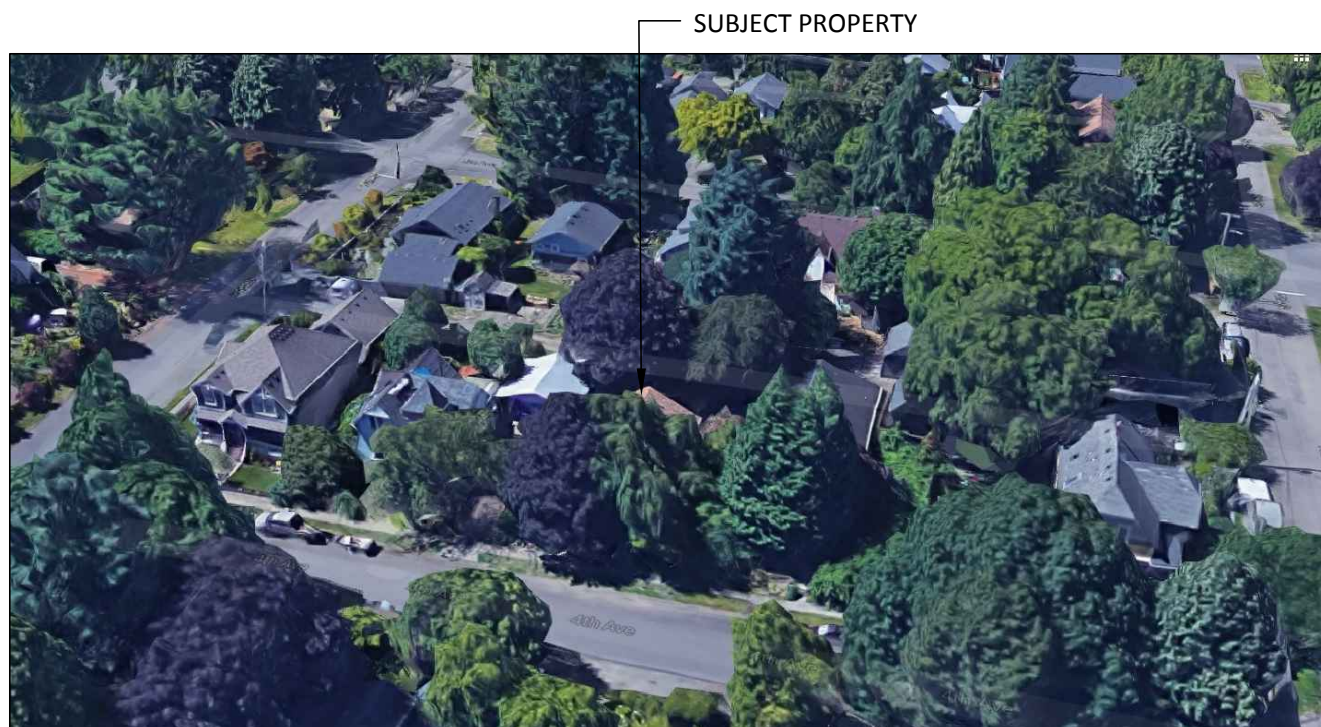


NEIGHBOR TO THE EAST
View from Backyard Looking Southeast Over Fenceline

4. SUPPLEMENTAL MATERIALS: Aerial View



AERIAL VIEW - LOOKING SOUTHEAST



AERIAL VIEW - LOOKING NORTHEAST

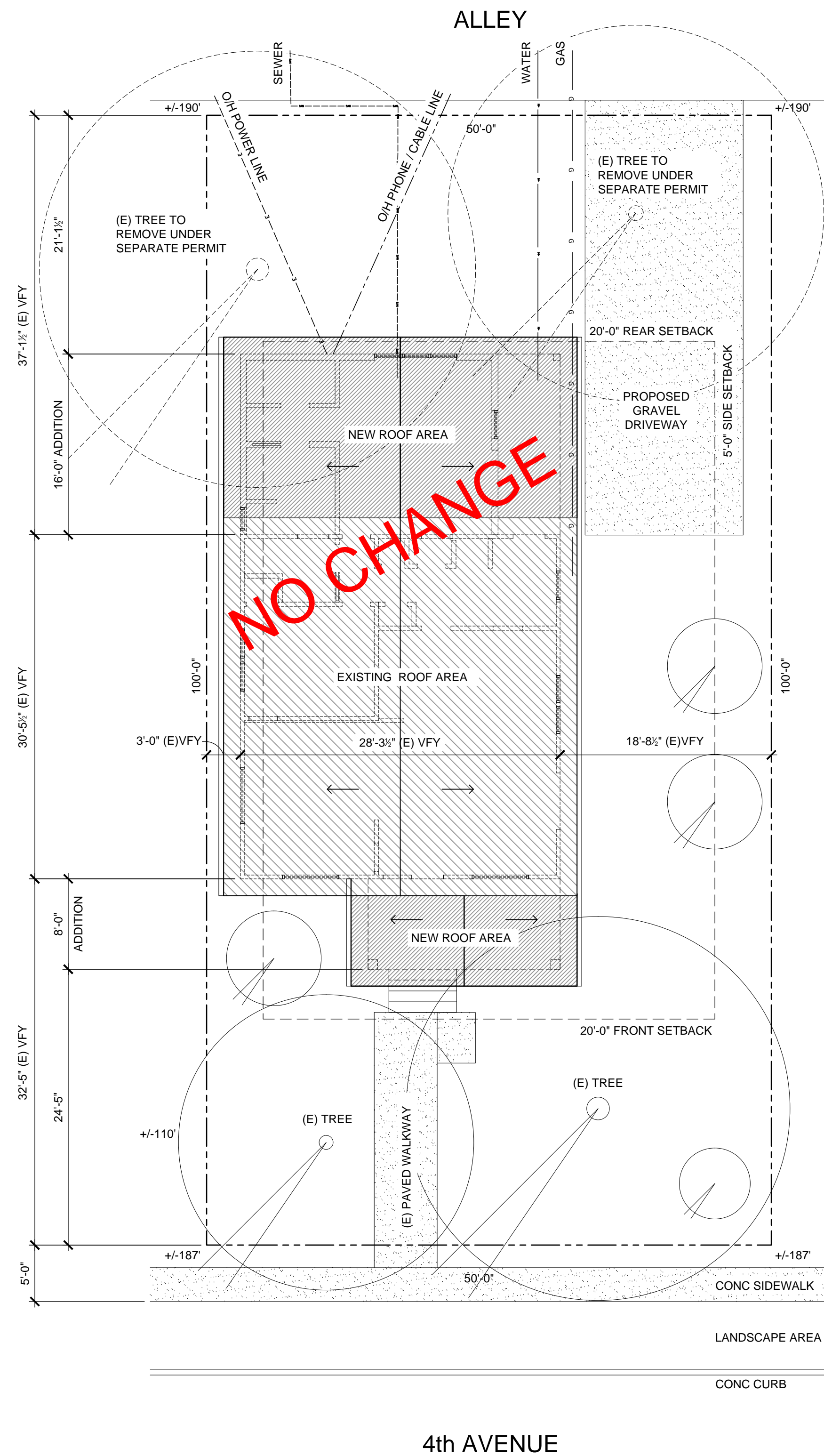
HRB DESIGN REVIEW RESUBMITTAL
CHANGES IN RED - 2017 - 10/30

4th AVE RESIDENCE REMODEL & ADDITION

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project owner:
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DEREK J SCHEUERELL
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**PRELIMINARY
NOT FOR
CONSTRUCTION**



02. **SITE PLAN**
SCALE: 1/8" = 1'-0"



CONTACTS

OWNER:
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DEREK J SCHEUERELL
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DESIGN CONTACT:
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CONTRACTOR:
TBD

PROJECT INFORMATION

1744 4th AVENUE
WEST LINN, OREGON 97068

COUNTY: CLACKAMAS
TAX LOT:
PROPERTY ID: C146553

ZONE: R-5
OVERLAY: WILLAMETTE HISTORIC DISTRICT
STATUS: NONCONTRIBUTING PROPERTY
EXISTING BLDG AREA: 899 SF
PROPOSED NEW LIVING AREA: 364 SF
PROPOSED NEW PORCH AREA: 224 SF
TOTAL PROPOSED LIVING AREA (899+364): 1,263 SF

TOTAL PROPOSED ROOF AREA, INCL EAVES: 1,710 SF
LOT SIZE: 4,999SF
PERCENT COVERED AREA: 34%

**REFERENCE HRB NARRATIVE FOR REVISIONS
TO PROJECT DESCRIPTION**

PROJECT DESCRIPTION

SHEET INDEX

A0.00 - COVER SHEET / SITE PLAN
A2.00 - DEMO PLAN, FLOOR PLAN
A3.00 - EXISTING BUILDING ELEVATIONS
A3.10 - PROPOSED BUILDING ELEVATIONS

REMODEL AND ADDITION TO EXISTING ONE-STORY SINGLE FAMILY RESIDENCE. SCOPE OF WORK INCLUDES THE FOLLOWING:

- MASTER BEDROOM ADDITION WITH BACK PORCH
- NEW FRONT PORCH
- NEW WINDOWS AT EXISTING OPENINGS AND TALLER WINDOWS AT EXISTING OPENINGS
- RELOCATED EXTERIOR DOORS, NEW SIDE DOOR
- NEW FINISHES

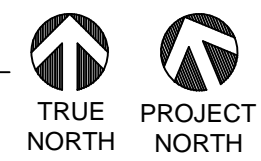
NOTE:
PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS BY SEPARATE TRADE PERMITS.

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE APPLICABLE CODES. THE CONTRACTOR, ANY SUBCONTRACTOR, TRADEPERSONS NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY. DOING SO SHALL NOT RELIEVE THE CONTRACTOR FROM CONFORMING TO WORK CONTAINED IN THESE DOCUMENTS.
2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY STATE, CITY, COUNTY, FIRE DEPARTMENT, STATE ELECTRICAL INSPECTOR AND ANY OTHER GOVERNING AUTHORITIES AS REQUIRED.
3. CONTRACTOR TO COORDINATE ALL TRADES AND NOTIFY THE DESIGNER OF ANY CONFLICTS THAT ARISE.
4. SCOPE OF WORK SHALL INCLUDE WORK INDICATED AND IMPLIED BY THESE DRAWINGS.
5. CONTRACTOR AND SUBCONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS PRIOR TO COMMENCING WORK.
6. ALL CONSTRUCTION DEBRIS TO BE REMOVED OFF-SITE. ALL DEBRIS IS TO BE DISPOSED OF IN A LEGAL MANNER AT A LANDFILL OR RECYCLING FACILITY. NO DEBRIS SHALL BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
7. GIVEN DIMENSIONS TAKE PRECEDENT OVER SCALE AND SHALL BE VERIFIED ON SITE. DIMENSIONS ARE TO FACE OF EXISTING FINISH, OR NEW STUD, UNLESS NOTED OTHERWISE.
8. CONTRACTOR TO LOCATE EXACT LOCATIONS OF UTILITIES.
9. SEE REFLECTED CEILING PLANS FOR SMOKE DETECTOR LOCATIONS.
10. INSTALL ALL MATERIALS PER MANUFACTURER RECOMMENDATIONS.
11. ALL SHEET METAL WORK SHALL CONFORM TO CURRENT SMACNA (SHEET METAL AND AIR CONDITIONING CONTRACTORS' NATIONAL ASSOC., INC) STANDARDS.



01. **VICINITY MAP**
SCALE: NTS



issues & revisions:
2017-06/01 DESIGN REVIEW

COVER SHEET
SITE PLAN
A0.00

4th AVE RESIDENCE
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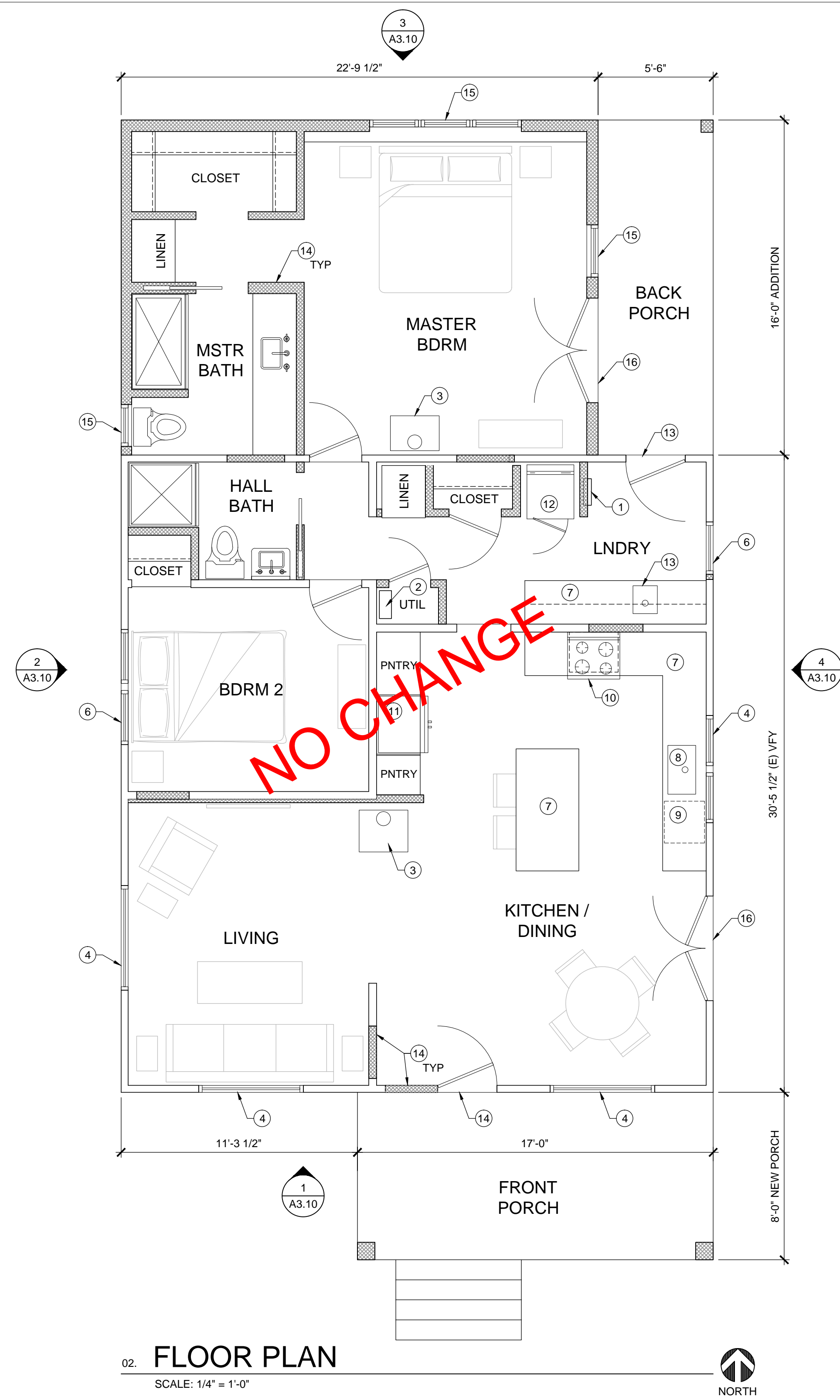
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4th AVE RESIDENCE
 1744 4th AVENUE, WEST LINN, OREGON 97268

issues & revisions:
 2017-06/01 DESIGN REVIEW

DEMO PLAN, FLOOR PLAN

A2.00



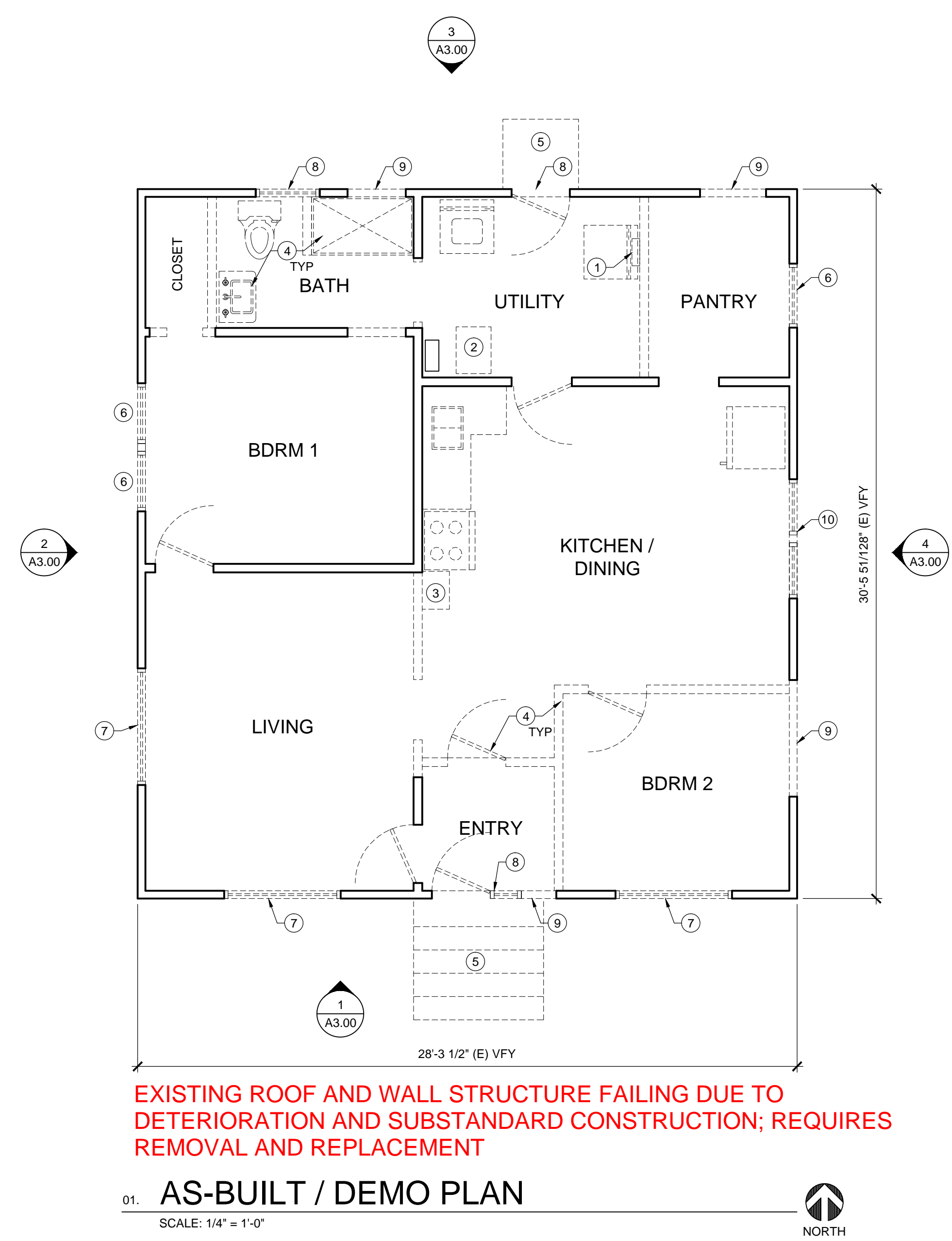
02. FLOOR PLAN
 SCALE: 1/4" = 1'-0"

GEN NOTES - FLOOR PLAN:

1. TYPICAL NEW EXTERIOR WALL TO BE: LAP SIDING OVER 1/2" PLYWOOD SHEATHING OVER DRAINWRAP WRB. OVER 2X6 AT MIN 16" O.C. FRAMING, WITH 1/2" GWB AT INTERIOR FACE, UNO; FILL CAVITY WITH R-21 BATT INSUL.
2. TYPICAL NEW INTERIOR WALL TO BE: 2X4 AT MIN 24" O.C. FRAMING, WITH 1/2" GWB EA SIDE
3. CONTRACTOR TO PROVIDE MIN ELEC OUTLETS PER CODE AT AREA OF WORK; FINAL LOCATIONS TO BE DETERMINED ON SITE; REPLACE EXISTING SWITCHES AND OUTLETS WITH WHITE DECORA STYLE, TYP AT AREA OF WORK

KEY NOTES - FLOOR PLAN:

1. (E) ELEC PANEL, RELOCATED
2. (E) ON DEMAN WATER HEATER
3. GAS HEATING STOVE
4. NEW WINDOW AT VERTICALLY ENLARGED OPENING
5. NEW WINDOW AT VERTICALLY REDUCED OPENING
6. NEW REPLACEMENT WINDOW AT EXISTING OPENING
7. CABINETS WITH SOLID SURFACE COUNTERS, SEE INTERIOR ELEVATIONS
8. SINK AND FAUCET, SNK-1 & FCT-1
9. DISHWASHER, DW
10. GAS RANGE WITH MICRO ABOVE, VENT TO EXTERIOR
11. REFRIGERATOR, REF-1
12. STACKING WASHER / DRYER
13. LAUNDRY SINK AND FAUCET, SNK-2 & FCT-2
14. RELOCATED FRONT DOOR OPENING, NEW DOOR
15. NEW WINDOW
16. NEW FRENCH DOORS
17. NEW DOOR
18. NEW WALL OR INFILL FRAMING, MATCH (E) ADJ FINISH, EA SIDE



EXISTING ROOF AND WALL STRUCTURE FAILING DUE TO DETERIORATION AND SUBSTANDARD CONSTRUCTION; REQUIRES REMOVAL AND REPLACEMENT

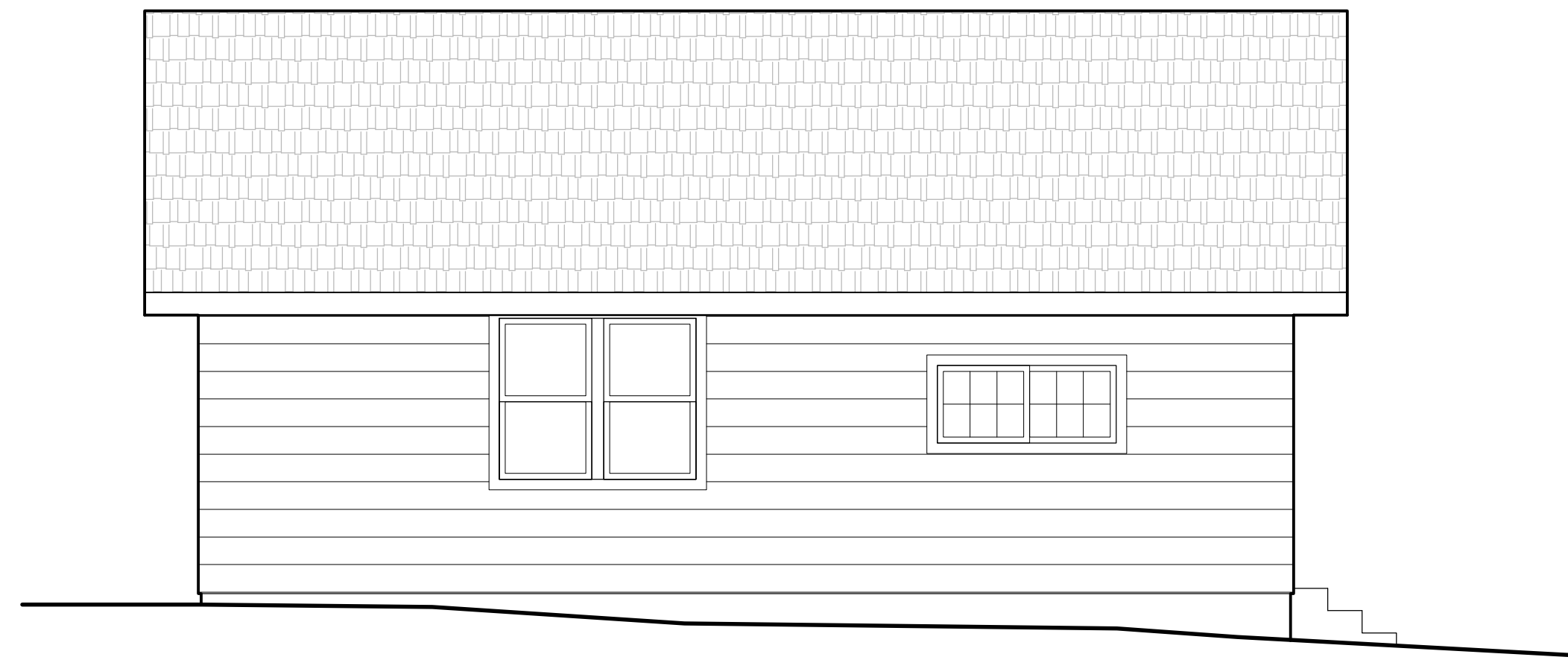
01. AS-BUILT / DEMO PLAN
 SCALE: 1/4" = 1'-0"

GEN. NOTES - DEMO PLAN:

- A. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGNER OF ALL DISCREPANCIES.
- B. CONDUCT ALL DEMOLITION WORK IN ACCORDANCE WITH OREGON AND FEDERAL OSHA RULES FOR SAFETY & PROTECTIVE GEAR.
- C. REMOVE ALL DEBRIS AND DISPOSE OF ACCORDING TO JURISDICTIONAL ORDINANCES & RECYCLE MATERIALS WHERE POSSIBLE.
- D. PROVIDE TEMPORARY SHORING AS REQUIRED TO PROTECT WALLS TO REMAIN.
- E. PROVIDE TEMPORARY BARRIERS TO ENCLOSE WORK AREA DURING DEMOLITION.
- F. REMOVE OR RECONFIGURE ALL EXISTING MECHANICAL AND PLUMBING FIXTURES, VENTS, ETC., AS REQUIRED FOR NEW WORK, UNLESS NOTED OTHERWISE. CAP EXISTING PLUMBING LINES BELOW FLOOR OR IN WALL AS REQUIRED.

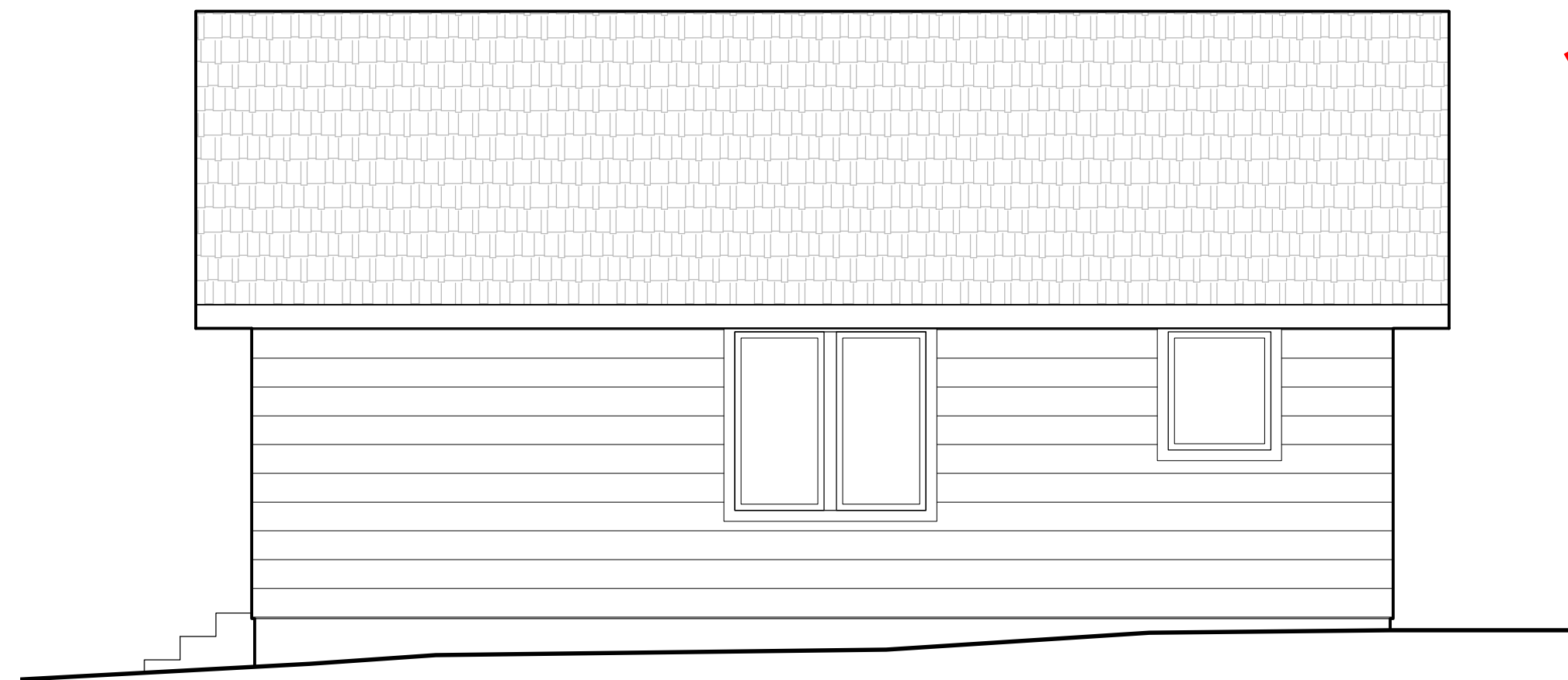
KEY NOTES - DEMO PLAN:

1. (E) ELEC PANEL TO RELOCATE
2. (E) FURNACE TO DEMO
3. (E) CHIMNEY TO DEMO
4. (E) WALLS, DOORS, CABINETS, APPLIANCES TO DEMO
5. (E) CONC STEPS TO ABANDON
6. (E) WINDOW TO REMOVE AND REPLACE
7. (E) WINDOW TO REMOVE, INCREASE HEAD AND SILL HEIGHT, INSTALL NEW
8. (E) WINDOW / DOOR / OPENING TO DEMO
9. (E) WALL TO DEMO FOR NEW WINDOW OR DOOR
10. (E) WINDOW TO REMOVE, REDUCE SILL HEIGHT, INSTALL NEW



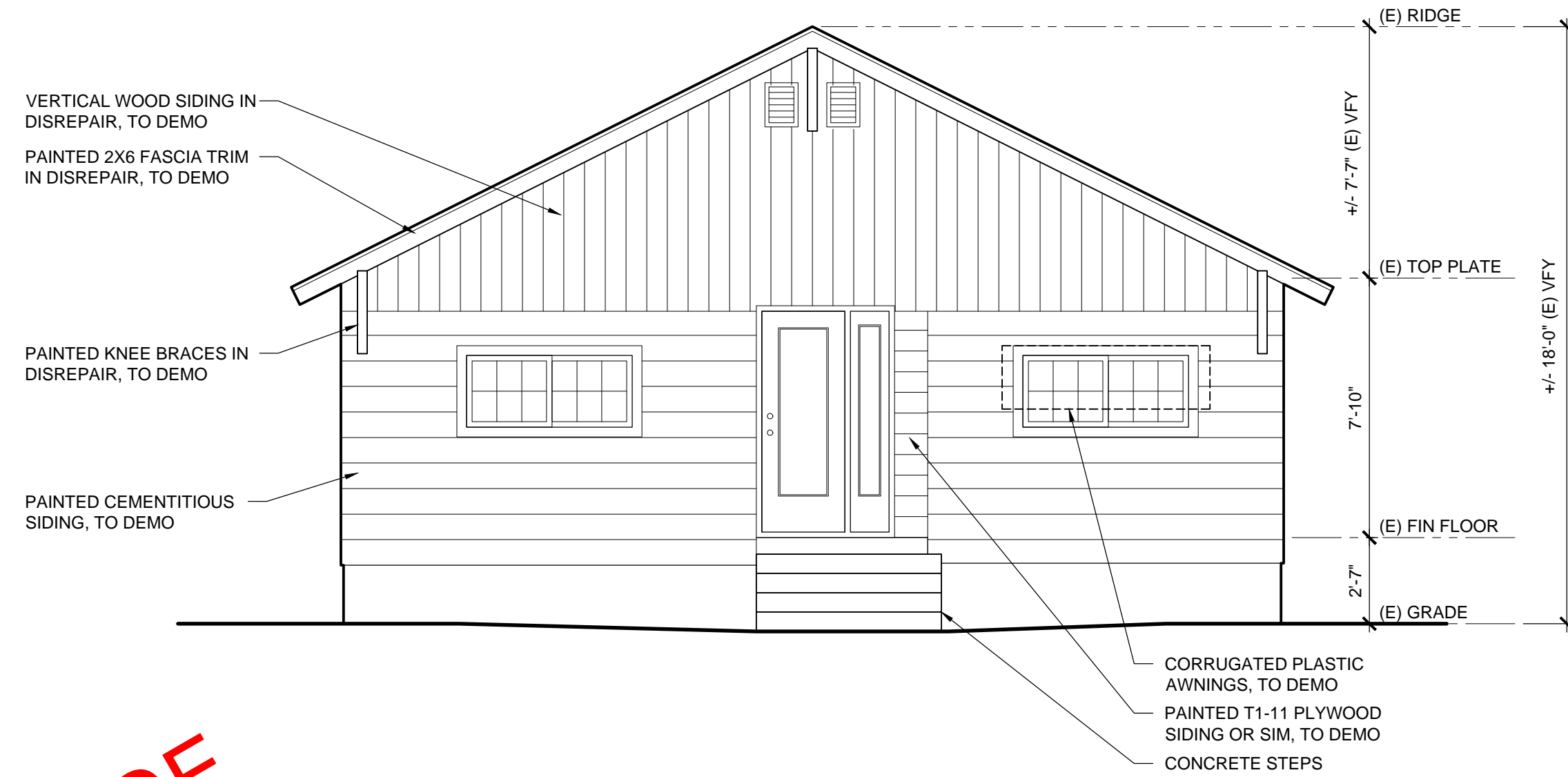
02. AS-BUILT - WEST ELEVATION

SCALE: 1/4" = 1'-0"



04. AS-BUILT - EAST ELEVATION

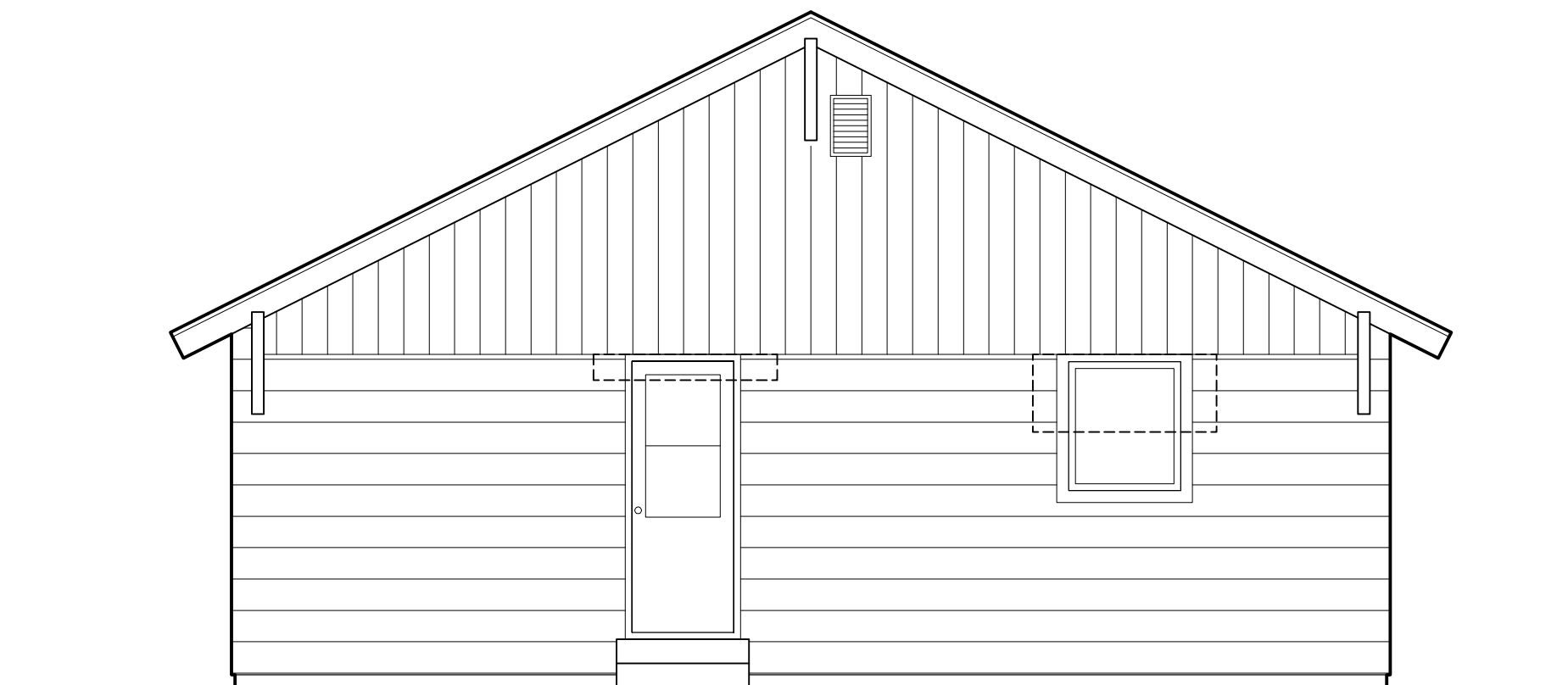
SCALE: 1/4" = 1'-0"



01. AS-BUILT - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NO CHANGE



03. AS-BUILT - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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4th AVE RESIDENCE
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issues & revisions:
 2017-06/01 DESIGN REVIEW

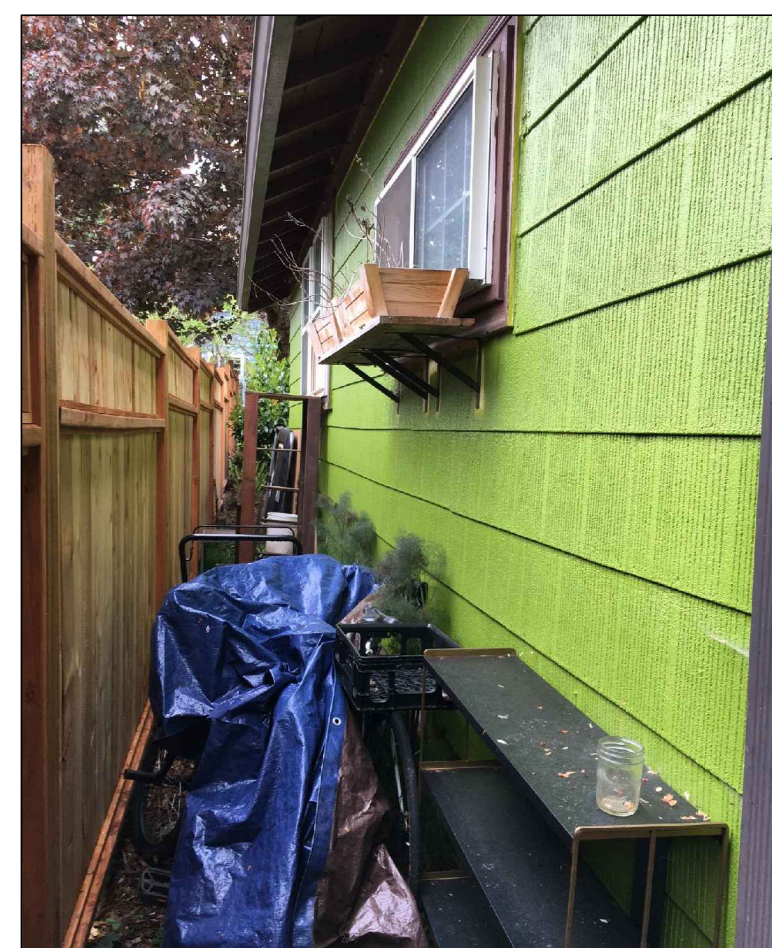
AS-BUILT
 EXTERIOR ELEVATIONS

A3.00

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08. (E) EAST ELEVATION



07. (E) WEST ELEV



06. (E) NORTH ELEVATION



05. (E) SOUTH ELEVATION

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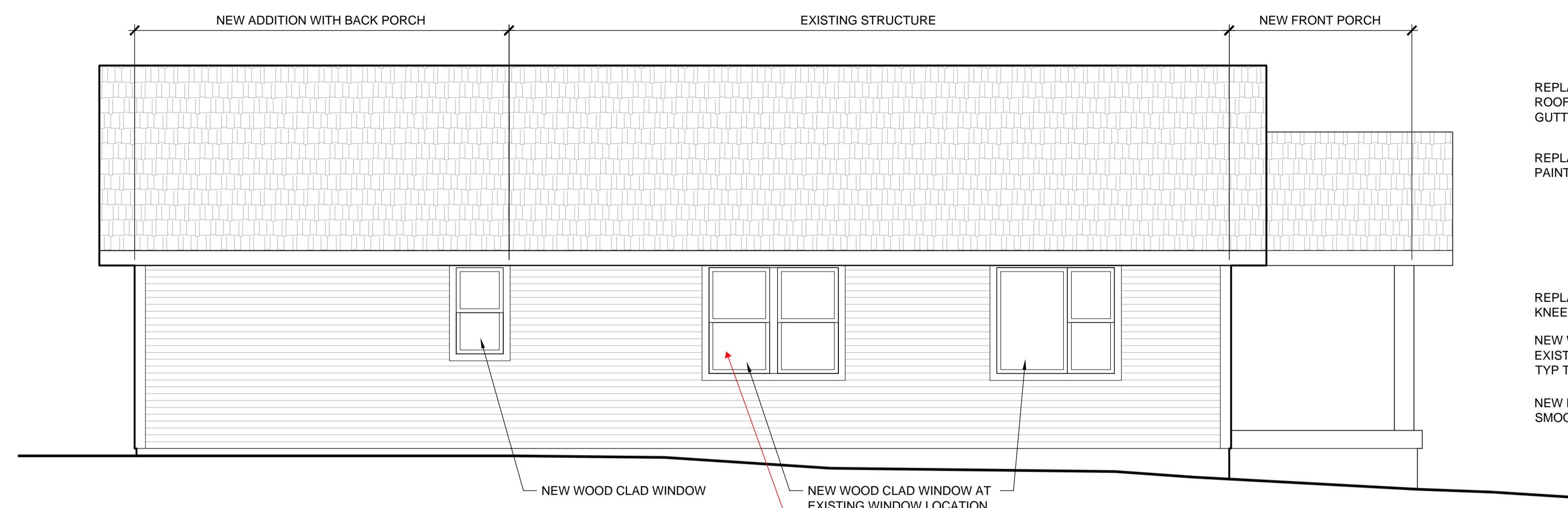
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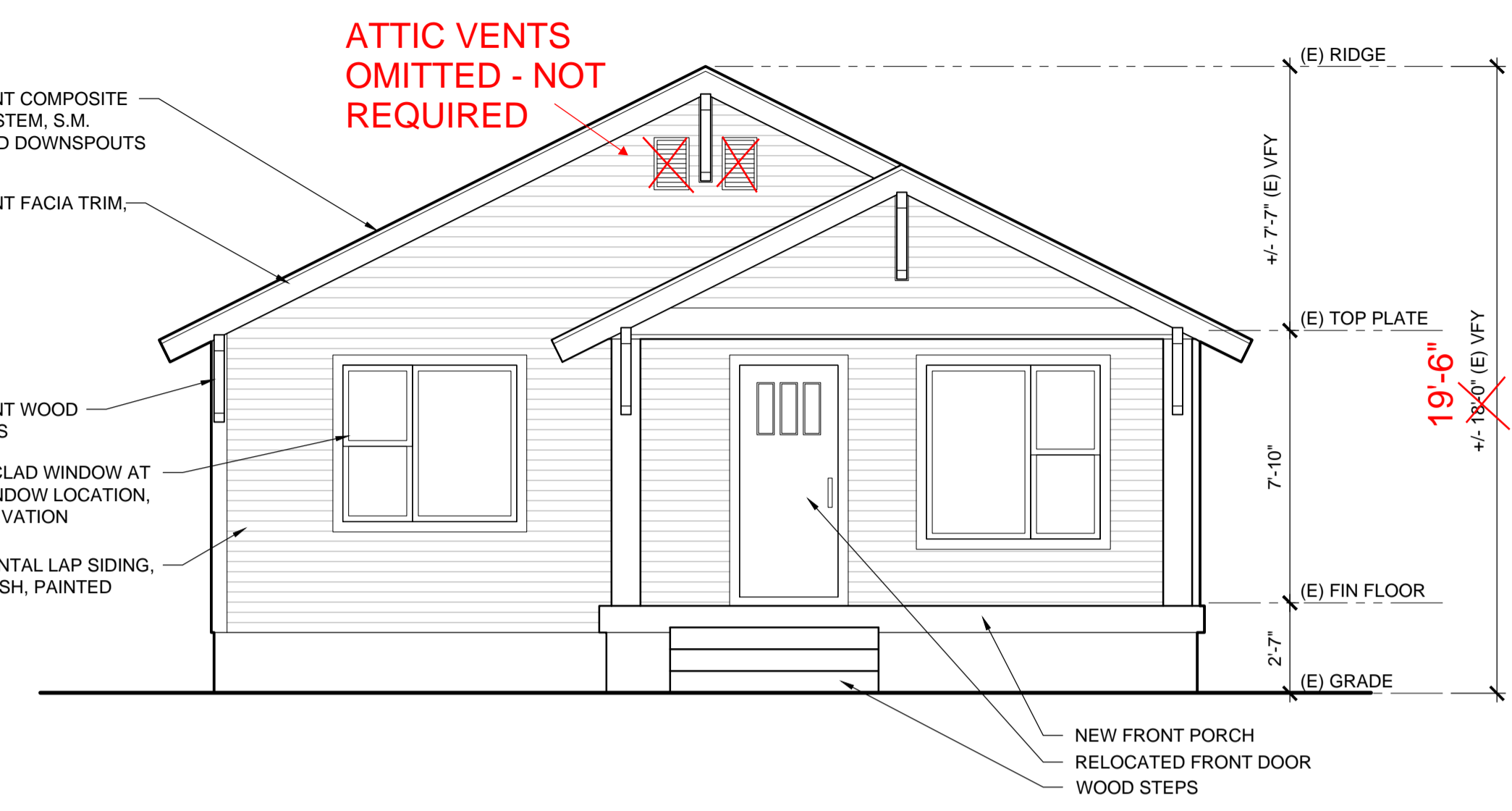
EXTERIOR ELEVATIONS

A3.10

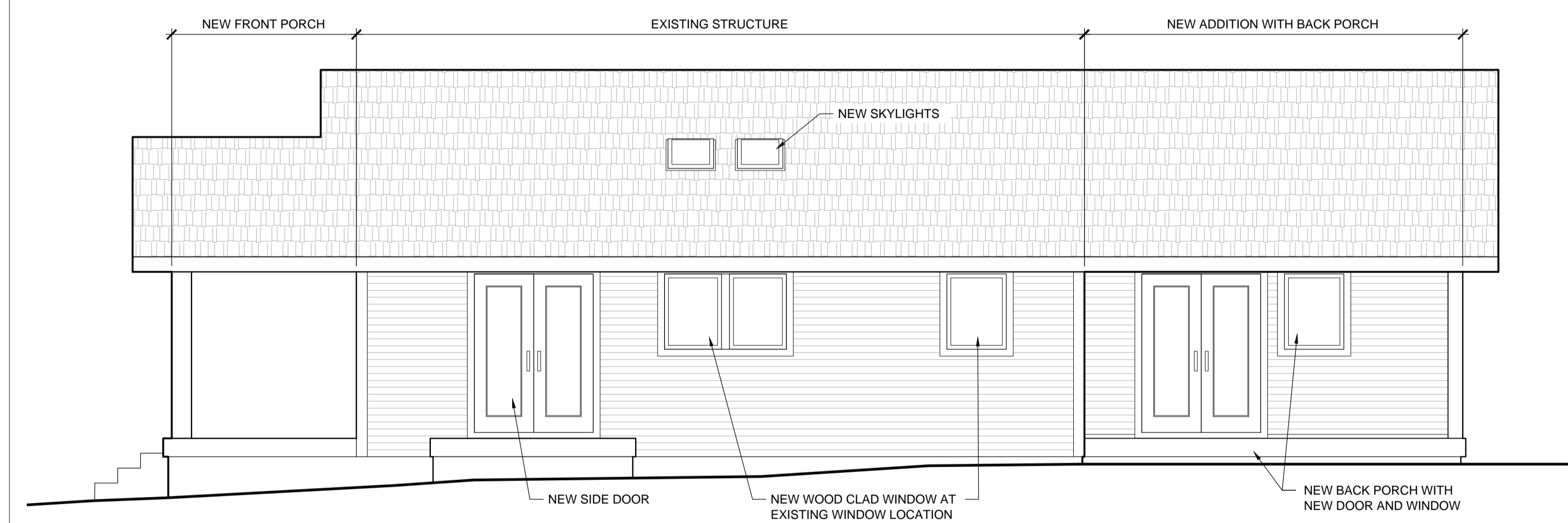
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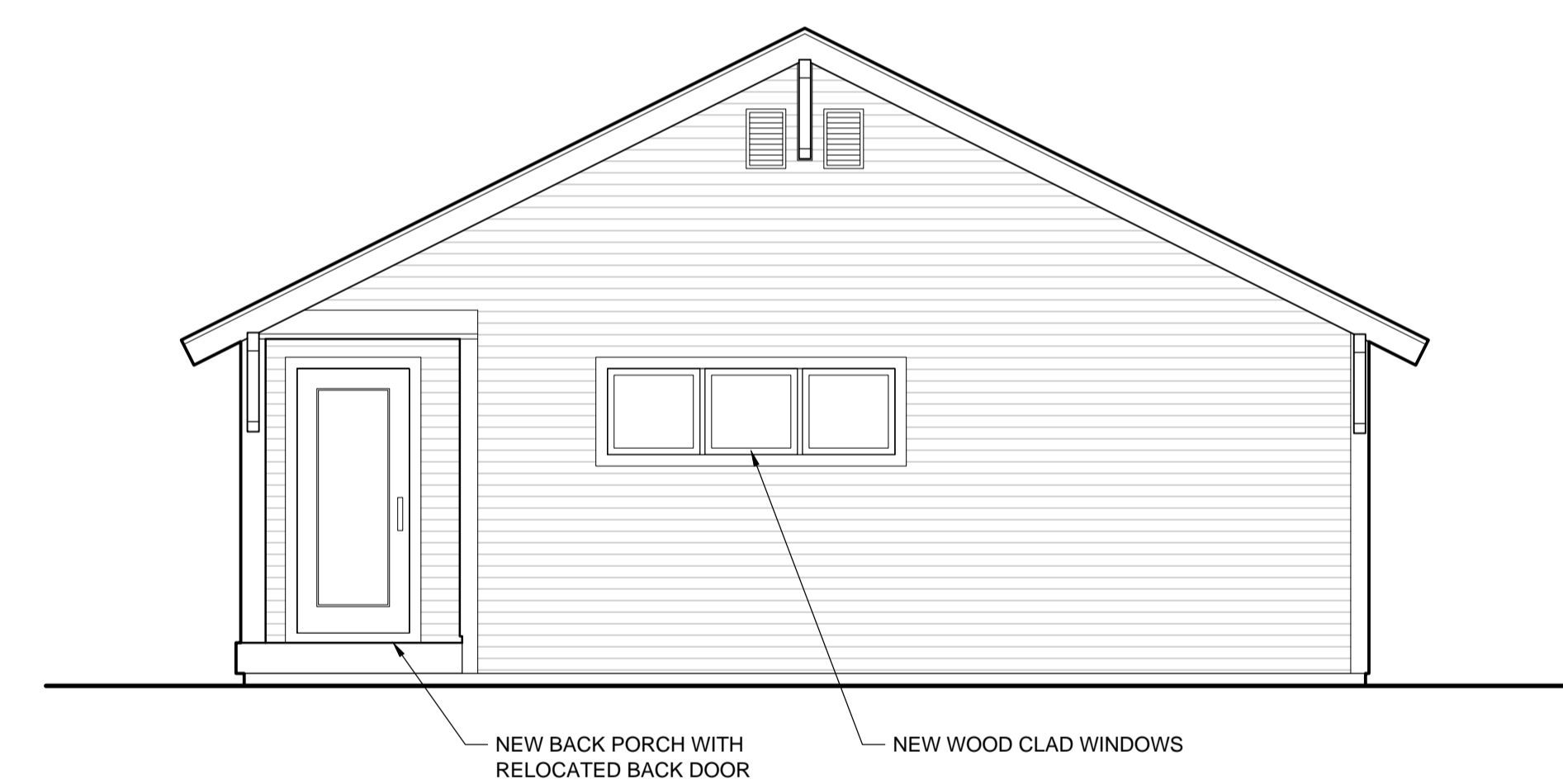
02. **WEST ELEVATION**
 SCALE: 1/4" = 1'-0"



01. **SOUTH ELEVATION**
 SCALE: 1/4" = 1'-0"



04. **EAST ELEVATION**
 SCALE: 1/4" = 1'-0"



03. **NORTH ELEVATION**
 SCALE: 1/4" = 1'-0"