

Willamette River Greenway
Section 28.150 / Section 28.160 Response

19155 Nixon Avenue
PA – 17 - 03

Willamette River Greenway Permit Approval Criteria Response to CED Chapter 28.150 & 28.160

28.150 Landscape Plan

1. The Lot has a very steep upslope ranging from 40% to 60% and there isn't sufficient area to do a full onsite Mitigation. We would like to propose a donation through the Parks Department Mitigation Program for an offsite Mitigation for the disturbed area for constructing our single family residence of approximately 1,563 square feet. Porous Concrete will be used for Patio's, Driveways and the Sport Court.
2. The Lot has a very steep upslope ranging from 40% to 60% and there isn't sufficient area to do a full onsite Mitigation. We would like to propose a donation through the Parks Department Mitigation Program for an offsite Mitigation for the disturbed area for constructing our single family residence of approximately 1,563 square feet. Porous Concrete will be used for Patio's, Driveways and the Sport Court.
3. The Lot has a very steep upslope ranging from 40% to 60% and there isn't sufficient area to do a full onsite Mitigation. We would like to propose a donation through the Parks Department Mitigation Program for an offsite Mitigation for the disturbed area for constructing our single family residence of approximately 1,563 square feet. Porous Concrete will be used for Patio's, Driveways and the Sport Court.
4. There will be no Fences or Buffering Screens on this Lot.
5. Please refer to 28.120 Preliminary Grading Plan and Key Map for Patios, Play Area and Retaining Walls.

28.160 Mitigation Plan

The Lot has a very steep upslope ranging from 40% to 60% and there isn't sufficient area to do a full onsite Mitigation. We would like to propose a donation through the Parks Department Mitigation Program for an offsite Mitigation for the disturbed area for constructing our single family residence of approximately 1,563 square feet. Porous Concrete will be used for Patio's, Driveways and the Sport Court.



Distance from proposed house to homes on adjacent properties



Adjacent ROW width and paved street width

Willamette River Greenway
Section 28.130 Narrative – Preliminary Grading Plan & MSE Wall(s)

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- A. See Attached Preliminary Grading Plan with Proposed Wall and Profile Locations. A licensed Geotechnical Engineer will evaluate the Subgrade of the House Foundation, Garage Area and ALL MSE Walls Subgrades. The recommendation of the licensed Geotextile Engineer will be followed at ALL times to ensure the integrity of constructing the Single Family Residence and ALL structures on this site.

- B. See Attached Preliminary Grading Plan with the Proposed Treatment Area. The Water Quality Treatment can be a Water Quality Planter, Stormtech Chamber System or 48” Residential Drywell. A licensed Engineer will perform Roofline Calculations to determine the Water Quality Treatment Area. The Driveway, Patio, Entry and Sport Court to be constructed with Porous Concrete.

Retaining Walls

- 1. ALL proposed Lock n Load MSE Walls to be Structurally Engineered by a licensed Geotechnical Engineer and constructed per the approved Engineering.

- 2. ALL proposed Ultra Block MSE Walls to be Structurally Engineered by a licensed Geotechnical Engineer and constructed per the approved Engineering.

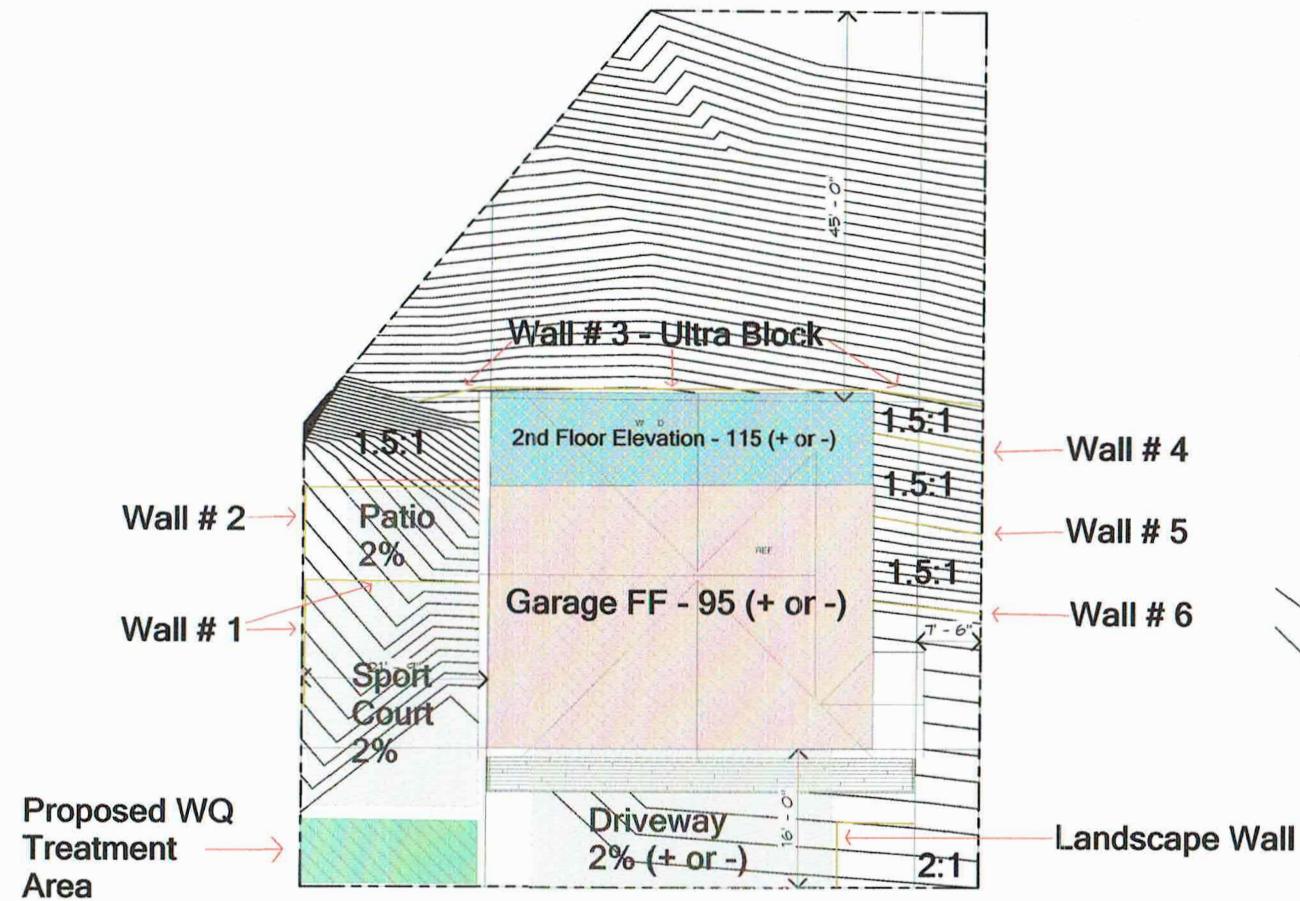
- 3. Lock n Load MSE Wall #1 will be designed to take into consideration and stabilize the Slide Area shown on submitted attachment #4 HCA & Slide Area(s).

- 4. Ultra Block Wall #3 will be designed to take the hillside from the roofline of the 3rd level of the House. The Ultra Block Wall design will work in conjunction with the Foundation plan and second story retaining wall to ensure the load is adequately dispersed off of the Foundation Wall. ALL proposed Ultra Block MSE Walls to be Structurally Engineered by a licensed Geotechnical Engineer and constructed per the approved Engineering.

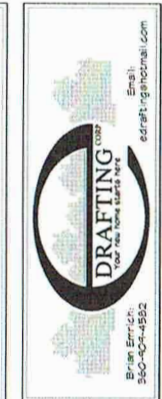
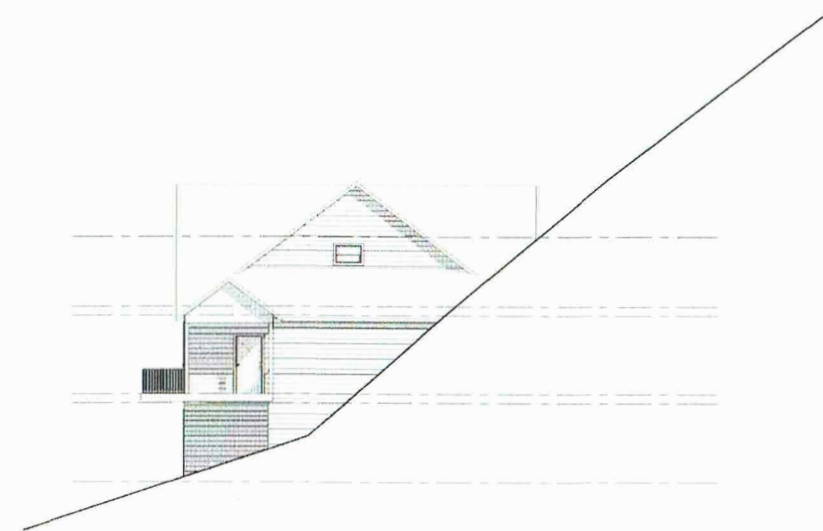
- 5. Top of / Bottom of all MSE Walls to be constructed and adjusted to ensure positive drainage away from the house. Additional drainage measures will be designed for Ultra Blocks MSE Wall #3 to mitigate ground water. Additional measures to include added Drain Chimney behind Ultra Block MSE Wall # 3. ALL proposed Ultra Block MSE Walls to be Structurally Engineered by a licensed Geotechnical Engineer and constructed per the approved Engineering.

19155 Nixon Avenue - 28.130 Huffman Residence Preliminary Grading Plan

1. See Attached Lock n Load Retaining Wall Key Map
2. See Attached Ultra Block Wall Preliminary Detail
3. Concrete Driveway, Patio & Sport Court to be Porous Concrete



Site Plan (Project North)
1/8" = 1'-0"
50% Reduced Set



19155 NIXON AVE

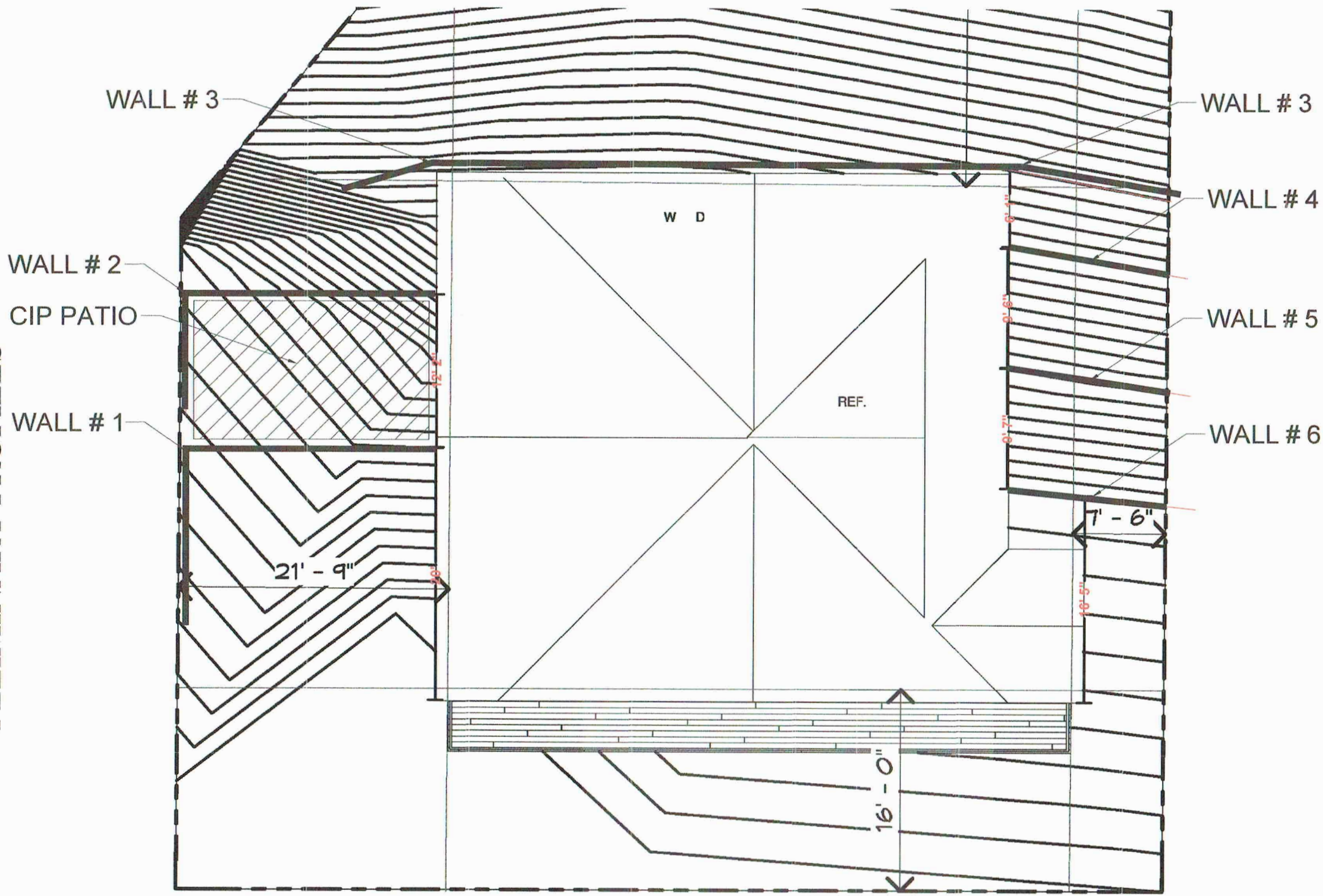
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44-58-DM-2
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We warrant dimensions on these drawings shall have precedence over verbal dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer shall be notified and consent to any variations from drawings set forth herein. The right to make such the retention and supporting details are all for the responsibility of the contractor. The Designer assumes no responsibility for the accuracy of the building envelope file, computer or the property of Drafting Solutions. No resale or reproduction allowed without the written consent from Drafting Solutions.

SHEET
Plan
Review

PR2

PELIMINARY PROFILES



KEYMAP
SCALE = NTS

ALL DETAILS = NOT TO SCALE

CONNECTING LOOP-DETAIL

NOTE: REINFORCEMENT SHALL BE WELDED TO THE WALL FACE. ALL DIMENSIONS ARE TO THE CENTER OF THE LOOP UNLESS OTHERWISE NOTED.

FRONT VIEW TOP VIEW SIDE VIEW

HALF PANEL CONNECTING LOOP DETAIL

NOTE: REINFORCEMENT SHALL BE WELDED TO THE WALL FACE. ALL DIMENSIONS ARE TO THE CENTER OF THE LOOP UNLESS OTHERWISE NOTED.

FRONT VIEW TOP VIEW SIDE VIEW

CORNER REINFORCEMENT DETAILS

NOTE: REINFORCEMENT SHALL BE WELDED TO THE WALL FACE. ALL DIMENSIONS ARE TO THE CENTER OF THE LOOP UNLESS OTHERWISE NOTED.

TOP VIEW FRONT VIEW SIDE VIEW

BAR BENDING DETAIL

NOTE: REINFORCEMENT SHALL BE WELDED TO THE WALL FACE. ALL DIMENSIONS ARE TO THE CENTER OF THE LOOP UNLESS OTHERWISE NOTED.

FRONT VIEW TOP VIEW SIDE VIEW REAR VIEW

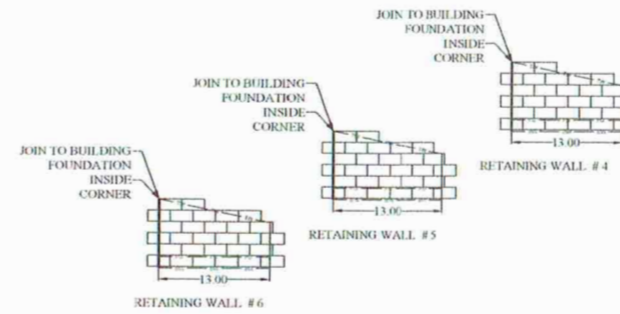
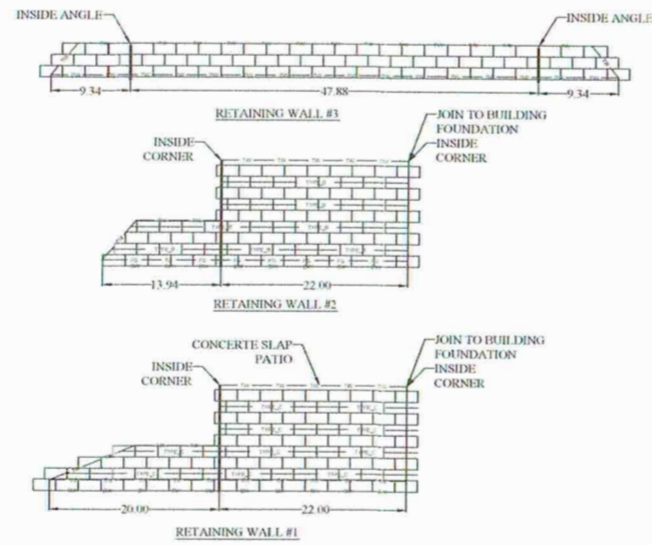
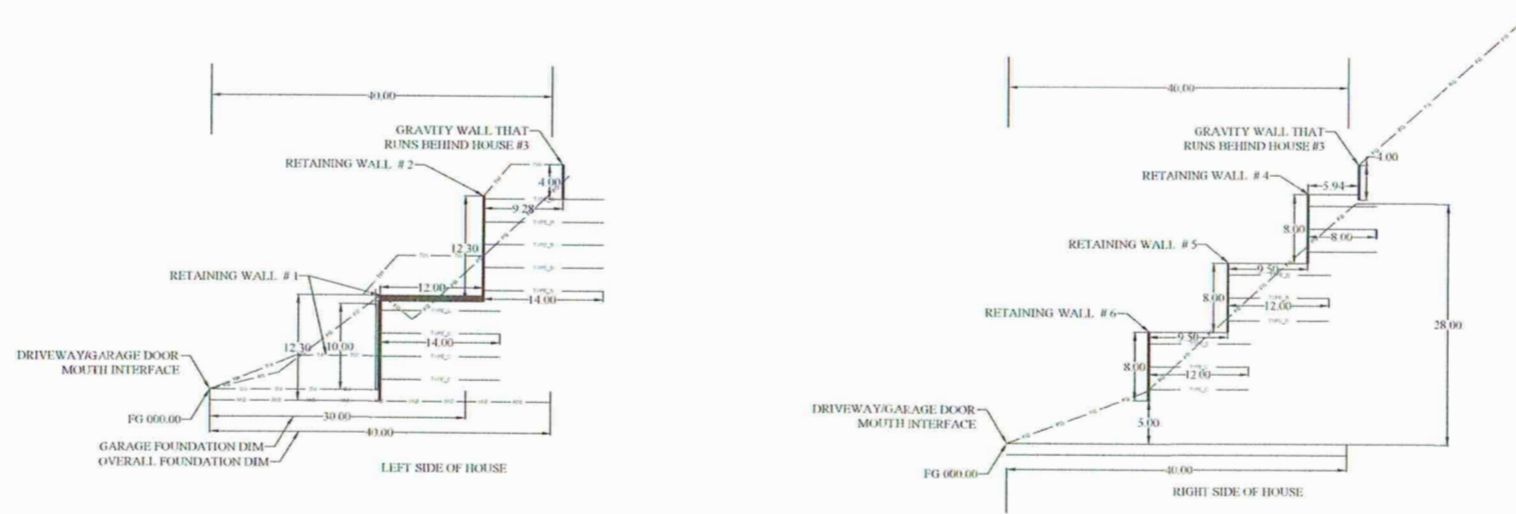
ALL DETAILS = NOT TO SCALE

DRAWN BY: KJA
DATE: 06/17/2008

PELIMINARY PROFILES
19155 NIXON AVE
PORTLAND OR

REVISION # :	06/17/2008
REVISION #1:	****
REVISION #2:	****
REVISION #3:	****
REVISION #4:	****
REVISION #5:	****
REVISION #6:	****
REVISION #7:	****

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14 FOOT MAXIMUM EXPOSED HEIGHT - 19155 NIXON AVENUE

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