



## STAFF REPORT FOR THE HISTORIC REVIEW BOARD

**FILE NUMBER:** DR-17-02

**HEARING DATE:** April 18, 2017

**REQUEST:** Class II Design Review to construct a new home and detached garage in the Historic District Overlay Zone at 1689 6<sup>th</sup> Avenue

### APPROVAL

**CRITERIA:** Community Development Code (CDC) Chapter 13, Single Family Residential Detached and Attached/Duplex, and Chapter 25, Historic Resources

### STAFF REPORT

**PREPARED BY:** Jennifer Arnold, Associate Planner

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Planning Manager's Review 

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## EXECUTIVE SUMMARY

The subject property is an existing vacant lot located within the Willamette Historic District. The applicant is proposing an approximately 3,218 square foot American Foursquare style residence, with a full basement, at 1689 6<sup>th</sup> Ave. The proposed residence is 2 1/2 stories, with monitor dormer (dormer with a roof line that mirrors the primary roof) in the attic on the front. The applicant is also proposing a detached 400 square foot garage in the rear of the property. Detached single family residences are a permitted use in the underlying R-5 zone. New home construction is subject to Class II historic design review and the approval criteria in CDC Chapter 25, Historic Resources. The property is located near the intersection of 6<sup>th</sup> Avenue and 14<sup>th</sup> Street. It was platted in 1893 as part of the Willamette Falls plat.

Staff finds that the applicant's proposal, supplemented with the condition of approval, meets the applicable criteria. Therefore, staff recommends approval subject to the condition on page 6.

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## GENERAL INFORMATION

**APPLICANT/  
OWNER:** Home Guardian NW, LLC

**SITE LOCATION:** 1689 6<sup>th</sup> Avenue

**LEGAL  
DESCRIPTION:** Clackamas County Assessor's Map 31E02BC, Tax Lot 900

**SITE SIZE:** 5,000 square feet (0.11 ac)

**ZONING:** R-5, Single Family Residential Detached and Attached/Duplex

**COMP PLAN  
DESIGNATION:** Medium Density

**120-DAY PERIOD:** The application was complete on March 16, 2017. Therefore, the 120-day application processing period ends on July 17, 2017.

**PUBLIC NOTICE:** Public notice was mailed to all Neighborhood Associations, including the Willamette Neighborhood Association, and to affected property owners on March 30, 2017, a notice posted on the site on April 6, 2017, and the application has been posted on the City's website. Therefore, notice requirements have been satisfied.

# BACKGROUND

As previously noted, the subject property is located on 6th Avenue in the Willamette Historic District, approximately two blocks from Willamette Elementary.



*Existing lot*

Site Conditions. The lot is currently vacant with some small shrubs and an old apple tree in the rear. The applicant is proposing to remove the apple tree to allow access for a proposed garage off the alley in the rear of the property.

Project Description. The applicant is proposing an approximately 3,218 square foot American Foursquare style residence, with a full basement, at 1689 6<sup>th</sup> Ave. The proposed residence is 2 1/2 stories, with monitor dormer (dormer with a roof line that mirrors the primary roof) in the attic on the front. The proposed roof will have a 6:12 pitch and architectural composition shingles. The front porch will have a 2.5:12 pitch roof. The porch has simple wood columns and spans the width of the home. The columns will be trimmed out to match the siding of the home. The front door is located in the center of the front porch. The porch will have tongue and groove wood decking for the flooring. The home will have wood siding that mimics the style of the era. The siding is horizontal lap fiber cement board with predominantly a 4 inch exposure. The front and rear porch ceiling will be 1x6 tongue and groove wood plank. The applicant is proposing 5/4x10" Frieze board with crown molding surrounding the house against the bottom of the eaves.

The right, or west elevation has a side wall protrusion with a window. On the first floor there are a pair of windows, one on each side of the front door, under the front porch. The second floor has two sets of windows mirroring the first floor. The attic gable has two small windows in the center. There are also two proposed basement windows, one with a well large enough to allow for emergency egress.

On the rear elevation, there is a deck on the second floor with one set of windows. A solid window on the right side of the second floor and a back porch under the second floor deck.

The applicant is also proposing a detached 400 square foot (20'x 20') garage in the rear of the property. The proposed garage will be in the southeast corner of the property 3 feet from the alley (rear property line) and 3 feet from the side property line.

Surrounding Land Use. The lot is surrounded by parcels that are zoned Single Family Residential, Detached and Attached/Duplex.

DIRECTION FROM SITE	LAND USE	ZONING
North	Single family residence	R-5
East	Single family residence	R-5
South	Single family residence	R-5
West	Single family residence	R-5

Public comments. To date, staff has not received any comments from the public.



## ANALYSIS

CDC Chapter 25, Historic Resources applies to this project, specifically CDC 25.060 Design Standards Applicable to Historic Resources, subsection (A) Standards for alterations and additions and CDC 25.070 Additional Standards Applicable to Historic Districts subsections (B) and (C). The proposed residence is contemporary in appearance, while having similar massing, height, and form of the nearby historic residences.

## RECOMMENDATION

Staff recommends approval of the application subject to the following condition:

1. Site Plan, Elevations, and Narrative. The project shall conform to the plans, elevations, and narrative submitted in Exhibit HRB-3.

# APPLICABLE REGULATIONS AND ASSOCIATED SUPPLEMENTAL FINDINGS

DR-17-02

## **CHAPTER 13, R-5 ZONING**

### **13.070 DIMENSIONAL REQUIREMENTS, USES PERMITTED OUTRIGHT AND USES PERMITTED UNDER PRESCRIBED CONDITIONS**

**Staff Finding 1:** The applicant is proposing a single family home with detached garage. Single family homes are an outright permitted use per CDC 13.030. The home is less than the maximum allowed height of 35 feet and the setbacks have been satisfied per applicant's submitted site plan. These criteria are met.

## **CHAPTER 25, HISTORIC RESOURCES**

### **25.030 PERMITTED USES**

*Unless otherwise provided for in this chapter, uses permitted by the base zoning district that are in accordance with the CDC are allowed on sites containing historic resources.*

**Finding 2:** A detached single family residence is a permitted use within the zone (R-5). The criterion is met.

### **25.040 HISTORIC DESIGN REVIEW PROCESSES**

*Proposed changes to historic resources that are not exempted by subsection A of this section, Exemptions from historic design review, are subject to subsection B of this section, Class I historic design review, or subsection C of this section, Class II historic design review. Class I historic design review addresses significant changes that warrant staff review. Class II historic design review addresses major changes including additions and new construction, subject to Historic Review Board approval. The processes for conducting Class I and Class II historic design review are in Chapter 99 CDC.*

...

*C. Class II historic design review. All proposed new construction, alterations, and additions, not identified as exempt under subsection A of this section, or subject to Class I historic design review under subsection B of this section, are subject to Class II historic design review and must meet the applicable approval standards.*

**Finding 3:** New construction requires Class II historic design review. The criterion is met.

### **25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES**



*The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC 25.080.*

*A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:*

...

*9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.*

**Finding 4: The applicant is proposing architectural composition shingles. Staff finds that this type of dimensional shingle is appropriate for new construction in the historic district. The criterion is met.**

*11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

**Finding 5: The applicant is proposing smooth cement board lap siding in a 4 inch exposure. The siding is from the James Hardie product line and is designed to be consistent with the era. Staff finds that fiber cement siding is an appropriate material for new home construction in the historic district. The criterion is met.**

*12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.*

**Finding 6: The applicant is proposing metal gutters and downspouts. The gutters will be aluminum with factory baked paint and a 6 inch K style. Staff finds that this is an appropriate material for new construction in the historic district. The criterion is met.**

*13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts,*

*including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.*

**Finding 7:** The applicant is proposing single-hung paint grade windows with clear glass (low E as per building code). The windows under the front porch will be the only windows to have muntins in the upper portions of the windows (see submitted plans sheet 1). Windows throughout the proposed home will have mullions (see submitted plans sheet 1). No storm windows are proposed. The criterion is met.

...

*16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.*

**Finding 8:** The applicant is proposing wood doors. The front door will be natural wood with glass in the upper portion. The rear doors (upper and lower floors) will be wood French doors allowing full light. The criterion is met.

*17. Porches. Front porches are allowed on new construction...*

**Finding 9:** The applicant is proposing a traditional American Foursquare style home with a front porch spanning the entire width of the home. There will be 4 columns trimmed out to match the style and materials of the home. The applicant is proposing wood tongue and groove planks for the porch ceiling, and tongue and groove 5/4x3 fir decking for the porch floor. Staff finds that the proposed wood material is appropriate for new home construction in the historic district. The criterion is met.

*18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.*

**Finding 10:** The applicant is proposing two decks on the rear elevation, behind the main part of the house, on both the first and second floor (see submitted plans sheet 1). The criterion is met.

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC:

...

**Finding 11:** The proposed garage will be located in the southeast corner of the rear yard. The garage will be setback from the alley/rear property line 3 feet and 3 feet from the side property line. Access for the garage will be from the alley. The garage is 20'x20' (400 sq. ft.) and is proposed to be 15 feet or less in height. The garage will be built using matching materials as the proposed home. The hipped roof pitch of the garage is 6:12. The garage is large enough to accommodate two cars, and no other parking areas are proposed on this lot.



## **25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS**

*This section provides additional standards that are applicable to properties within a historic district.*

...

*B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC 25.020).*

*1. New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:*

*a. Lot size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.*

*b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.*

*c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.*

**Finding 12: The lot size, massing, scale, and proportions of the proposed residence correspond to that of the contributing buildings in the historic district. The underlying zone for the property is R-5, which permits single family detached homes on a minimum of a 5,000 square foot lot; the size of this property. This is a common size in the historic district, although as with the property next door, many owners had double lots. It is relatively similar in proportion to surrounding homes at approximately 3,218 square feet (including basement) and 2 ½ stories. The form, siting, and floor area ratio are also appropriate. The siting of it is similar to other residences, particularly since it faces 6<sup>th</sup> Avenue. The front of the home will be setback from the front property line 20 feet, but the front porch will encroach into the front setback 6 feet (allowed per CDC 25.070(C)(1)). The proposed lot coverage is 37.4% which is under the allowed maximum of 40% per CDC Chapter 13 (R-5 Zone).**

**The proposed residence relates to and strengthens the defining characteristics of the historic district with its American Foursquare architectural styles. The applicant is proposing modern materials, such as fiber cement siding, and materials that have been used over time, including wood windows.**

The proposed detached garage will be located in the southeast corner of the rear of the property. The applicant proposes to use materials similar to the proposed residence.

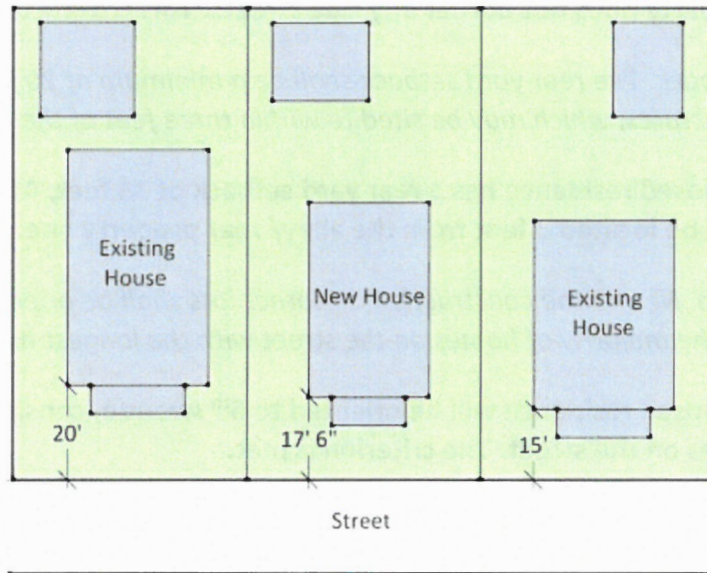
The criteria are met.

*C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter 58 CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.*

1. Front yard setback.

a. *The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.*

b. *Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.*



**Figure 4: Front Yard Setback**

**Finding 13:** The applicant is proposing a setback of 20 feet to the front of the house and setback of 14 feet to the front of the porch. The front setback would be the average of 20 feet, which is generally required in the R-5 zone, and the adjacent property. The porch is allowed to extend into the setback six feet from the dominant vertical face of the building. The unenclosed front porch does not have any living space above. The criterion is met.



2. *Side yard setback. Side yard setbacks shall be five feet, except:*

*a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and*

*b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.*

**Finding 14:** The applicant is proposing a setback of 5 feet on the east side and 16.5 feet on the west side. The west side proposed setback is in excess of the minimum of five feet and the east side setback meets the requirements of the R-5 zone. The west side of the home has a protrusion less than 20% of the overall wall and will be no more than 18 inches. The proposed detached garage will be 3 feet from both the rear property line (along the alley) and the west side property line. The criterion is met

3. *Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:*

...

**Finding 15:** This property does not border any side streets. This criteria does not apply.

2. *Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.*

**Finding 16:** The proposed residence has a rear yard setback of 34 feet, 4 inches. The proposed garage will be located 3 feet from the alley/ rear property line.

5. *Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.*

**Finding 17:** The proposed residence will be oriented to 6<sup>th</sup> Avenue, consistent with the majority of the homes on the street. The criterion is met.

6. *New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.*

**Finding 18:** This lot is an existing platted lot, this criteria does not apply.

7. *Building height.*



*a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.*

...

**Finding 19: The proposed residence is 28 feet tall from grade. There are no cupolas or towers. The criterion is met.**

*8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.*

**Finding 20: The proposed residence is 28.5 feet in width. The criterion is met.**

*9. Roof pitch. Roofs shall have a pitch of at least 6:12.*

**Finding 21: The proposed residence has a roof pitch of 6:12. The criterion is met.**

*10. Garage access and parking areas.*

*a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.*

...

**Finding 22: The proposed garage will be located in the southeast corner of the rear yard. The garage will be setback from the alley/rear property line 3 feet and 3 feet from the side property line. Access for the garage will be from the alley. The garage is 20'x20' (400 sq. ft.) and is proposed to be 15 feet or less in height. The garage will be built using matching materials as the proposed home. The hipped roof pitch of the garage is 6:12. The garage is large enough to accommodate two cars, and no other parking areas are proposed on this lot.**

**HRB-1**

**Affidavit of Notice**

**AFFIDAVIT OF NOTICE**

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

**GENERAL**

File No. SR-17-02 Applicant's Name Home Guardian NW  
Development Name \_\_\_\_\_  
Scheduled Meeting/Decision Date 4-18-17

**NOTICE:** Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE A** \_\_\_\_\_

- A. The applicant (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- B. Affected property owners (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- C. School District/Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- F. All parties to an appeal or review (date) \_\_\_\_\_ (signed) \_\_\_\_\_

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) \_\_\_\_\_ (signed) \_\_\_\_\_  
City's website (posted date) \_\_\_\_\_ (signed) \_\_\_\_\_

**SIGN**

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 4-6-17 (signed) Jennifer Asold

**NOTICE:** Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

**TYPE B**   /  

- A. The applicant (date) 3-30-17 (signed) S. Shroyer
- B. Affected property owners (date) 3-30-17 (signed) S. Shroyer
- C. School District/Board (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- D. Other affected gov't. agencies (date) \_\_\_\_\_ (signed) \_\_\_\_\_
- E. Affected neighborhood assns. (date) 3-30-17 (signed) S. Shroyer  
ALL

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.  
Date: 3-30-17 (signed) S. Shroyer

**STAFF REPORT** mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) 4-7-17 (signed) S. Shroyer

**FINAL DECISION** notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) \_\_\_\_\_ (signed) \_\_\_\_\_

**HRB-2**

**Notice of Mailing Packet**

**CITY OF WEST LINN  
HISTORIC REVIEW BOARD  
PUBLIC HEARING NOTICE  
FILE NO. DR-17-02**

The City of West Linn Historic Review Board (HRB) will hold a public hearing on **Tuesday, April 18, 2017, at 7:00 p.m.** in the Council Chambers at City Hall, 22500 Salamo Road, West Linn. The HRB will review an application to construct a new single-family home and detached garage at 1689 6<sup>th</sup> Ave. in the Willamette Historic District. See the attached map.

The hearing will be based upon the provisions of Chapters 13, 25, and 99 of the West Linn Community Development Code (CDC). Approval or disapproval of the request by the HRB will be based solely upon these criteria. At the hearing, it is important that comments relate specifically to the applicable criteria listed.

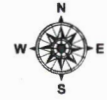
You have received this notice because County records indicate that you own property within 300 feet of the affected site on Clackamas County Assessor's Map 31E02BC, Tax Lot 900, or as otherwise required by Chapter 99 of the CDC.

All documents and applicable criteria for DR-17-02 are available for inspection, at no cost, in the Planning Department at City Hall or via the City's web site at <http://westlinnoregon.gov/planning/1689-6th-avenue-class-ii-historic-review-construct-new-2-story-home>. Copies can also be obtained for a minimal charge per page. At least 10 days prior to the hearing, a copy of the staff report will be available for inspection. For further information, please contact Jennifer Arnold, Associate Planner, at City Hall, 22500 Salamo Road, West Linn, OR, (503) 723-2542, or [jarnold@westlinnoregon.gov](mailto:jarnold@westlinnoregon.gov).

The hearing will be conducted in accordance with the rules of Section 99.170 of the CDC. Anyone wishing to present written testimony on this proposed action may do so in writing prior to, or at the public hearing. Oral testimony may be presented at the public hearing. At the public hearing, the HRB will receive a staff presentation, and invite both oral and written testimony. The HRB may continue the public hearing to another meeting to obtain additional information, leave the record open for additional evidence, arguments, or testimony, or close the public hearing and take action on the application as provided by state law. Failure to raise an issue in person or by letter at some point prior to the close of the hearing, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes an appeal to the Land Use Board of Appeals (LUBA) based on that issue.



# 1689 6th Avenue Notification Map



Scale 1:3,600 - 1 in = 300 ft  
Scale is based on 8-1/2 x 11 paper size



Map created by: SSHROYER  
Date Created: 28-Mar-17 01:37 PM

**WEST LINN GIS**

DISCLAIMER: This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. Map scale is approximate. Source: West Linn GIS (Geographic Information System) MapOptix.





# CITY OF West Linn

## **CITY OF WEST LINN NOTICE OF UPCOMING HISTORIC REVIEW BOARD HEARING**

**PROJECT # DR-17-02  
MAIL: 3/30/17 TIDINGS: N/A**

### **CITIZEN CONTACT INFORMATION**

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

**HRB-3**

**Applicant Submittal**

## 25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

*N/A – The lot is vacant with no existing structures.*

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

*N/A – The lot is vacant with no existing structures.*

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

*The American Foursquare was a popular architectural design between 1890–1930's. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.*

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

*N/A – The lot is vacant with no existing structures.*

5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

*N/A – The lot is vacant with no existing structures.*

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

*N/A – The lot is vacant with no existing structures.*

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

*N/A – The lot is vacant with no existing structures.*

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

*The home will have a 6:12 pitch roof over the main house with 24" eaves with smooth soffit. The front porch will have a 2.5:12 pitch roof.*

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

*Three tab composition roofing throughout*

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

*N/A – The lot is vacant with no existing structures.*



11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *The home will have a smooth cement based lap siding (James Hardie product line) with 4" exposure.*
- *The front and rear porch will have a 1x6 tongue and groove ceiling.*
- *24" eaves consist of a smooth painted material with continuous venting channel as required by code.*
- *5/4x10" Frieze board with crown molding surrounding the house against bottom of eave*
- *10" perimeter bottom band surrounding the home*
- *Vertical outside corners consisting of 5/4x4"*
- *5/4x4" window and door trim with a historic sill and upper rams crown trim manufactured by James Hardie. Note: rams crown will not be installed on top of windows connected to the frieze board.*
- *Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.*

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *Gutters will be continuous and seamless. Constructed of aluminum with factory baked paint and 6 inch K style (ogee)*
- *Downspouts will be of pre painted aluminum and 3 inch in diameter*

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- *Windows will be single-hung paint grade with clear glass (low E as per code)*
- *No muntins will be present in the windows with the exception of the front porch windows which will have muntins in the upper portion of the window (see site elevation)*
- *See site elevation for windows with mullions*

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

***N/A – Storm windows will not be installed.***

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

***N/A – The lot is vacant with no existing structures.***

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- ***Front door – natural wood with upper glass***
- ***Rear door (upper and lower) – pair of French door full light wood***
- ***Carriage style garage door***

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged.

- ***The home will have a full-width, one story porch consistent with the architectural style of the home.***
- ***Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.***
- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or

***N/A – The lot is vacant with no existing structures.***

- b. That it is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter 27 CDC).

***The foundation will consist of a full finished basement to meet current code requirements (see plans).***

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- ***Ceiling mount exterior fixture above the front door consistent with the era***
- ***Interior fixtures will be consistent with the era***

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter 34 CDC:

1. All accessory structures.

a. Location.

1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC 25.070(C)(1) through (4);

***20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 3' setback along the alley.***

2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter 34 CDC;

***20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 3' setback along the alley.***

3) Detached accessory structures shall be in the rear yard; and

***20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 3' setback along the alley.***

4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

***NA - the garage is less than 15' high***



b. Height. Accessory structures in the Willamette Historic District are subject to CDC 25.070(C)(7). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter 34 CDC.

- *Garage siding and exterior components will match the main house*
- *9' High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

*N/A – The lot is vacant with no existing structures.*

## 25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC 25.020).

1. New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:

a. Lot or parcel size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.

- *The lot is 5000 s.f. which is consistent the zoning and neighboring lots*
- *The home will be positioned with the front face at 20' feet plus a 6' porch which protrudes into the front yard and is consistent with the neighboring properties.*
- *Lot coverage percentage is 37% which is consistent with the codes required standard of 40% or less.*
- *The building height will be 27'9" which is consistent with the 28' requirement*

b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.

- *The American Foursquare was a popular architectural design between 1890–1930's. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.*
- *The home is differentiated by use of Hardie Products that mimic the style and texture of the era. Windows will meet current code with Low E glazing. All elements of construction and methodology of applications will meet current code.*

c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.

- *Garage siding and exterior components will match the main house*
- *9' High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Reconstruction. Reconstruction of buildings that existed within the district during the period of significance is allowed. Reconstructions shall be done in accordance with the Secretary of the Interior's Standards for Reconstruction.

*N/A – The lot is vacant with no existing structures.*

3. Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site.

*N/A – The lot is vacant with no existing structures.*

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter 58 CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

*Front setback will be 20' to the front of the house face (excluding the front porch).*

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

*6' front porch will encroach into the front yard.*

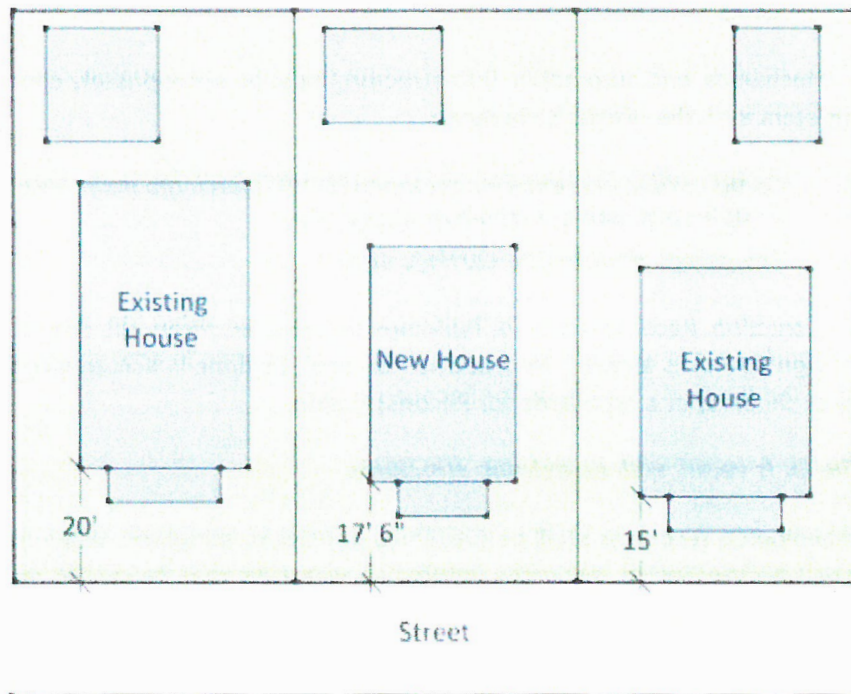


Figure 4: Front Yard Setback

2. Side yard setback. Side yard setbacks shall be five feet, except:

- *5' setback on the east side of the home*
- *16'6" setback on the west side of the home*



- a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

***West side wall contains one protrusion less than 20% of the overall wall and will be no more than 18".***

- b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.

***Garage will be a 1 story structure and sited 3' away from the west property line***

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:

- a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and

***N/A - this is not a corner lot***

- c. One and two story accessory structures may be sited within five feet of the side street property line.

***N/A - this is not a corner lot***

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

- ***The main house will be set back from the rear property line 34'4"***

- ***Garage will be set back 3' from the alley***

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

***N/A - This is not a corner lot***

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

***N/A - This is not a new lot***

7. Building height.

- a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

*The home is 28' high and there are no cupolas or towers present*

- b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.

*The garage will be 15' or less in height*

- d. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.

*N/A – there are no two story accessory structures*

- e. Accessory structures shall not exceed the height of the primary dwelling.

*N/A – the primary dwelling is 28' in height and the accessory garage will be less than 15'*

- 8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

*The house is 28'6"*

- 9. Roof pitch. Roofs shall have a pitch of at least 6:12.

*The roof will be 6:12 pitch*

- 10. Garage access and parking areas.

- a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

*Alley access is available and the garage will be sited in the rear of the home facing the alley.*

- b. Parking areas.

- 1) No residential lot shall be converted solely to parking use.

*N/A – a home and garage will be built on the lot*

- 2) No rear yard area shall be converted solely to parking use.

*N/A – a home and garage will be built on the lot*

3) When a lot is adjacent to an alley, all parking access shall be from the alley.  
(Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)

*Two car garage in the rear of the home off the alley*

**DEVELOPMENT REVIEW APPLICATION**

For Office Use Only		
STAFF CONTACT: <i>Jennifer Hancock</i>	PROJECT NO(S): <i>DR-17-02</i>	
NON-REFUNDABLE FEE(S) <i>4,500-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>4,500-</i>

**Type of Review (Please check all that apply):**

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)<br><input type="checkbox"/> Appeal and Review (AP) *<br><input type="checkbox"/> Conditional Use (CUP)<br><input type="checkbox"/> Design Review (DR)<br><input type="checkbox"/> Easement Vacation<br><input type="checkbox"/> Extraterritorial Ext. of Utilities<br><input type="checkbox"/> Final Plat or Plan (FP)<br><input type="checkbox"/> Flood Management Area<br><input type="checkbox"/> Hillside Protection & Erosion Control | <input checked="" type="checkbox"/> Historic Review <i>Class II</i><br><input type="checkbox"/> Legislative Plan or Change<br><input type="checkbox"/> Lot Line Adjustment (LLA) */**<br><input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)<br><input type="checkbox"/> Non-Conforming Lots, Uses & Structures<br><input type="checkbox"/> Planned Unit Development (PUD)<br><input type="checkbox"/> Pre-Application Conference (PA) */**<br><input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)<br><input type="checkbox"/> Temporary Uses *<br><input type="checkbox"/> Time Extension *<br><input type="checkbox"/> Variance (VAR)<br><input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)<br><input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)<br><input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)<br><input type="checkbox"/> Zone Change |
|--|---|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

<b>Site Location/Address:</b> <i>1689 6<sup>TH</sup> AVE WEST LINN, OR 97068</i>	Assessor's Map No.: <b>31E0BC</b>
	Tax Lot(s): <b>31E02BC00900</b>
	Total Land Area: <b>5000 SF</b>

**Brief Description of Proposal:** 1) **Construct a new American Foursquare style home consisting of two levels plus a full basement.** 2) **Construct a detached two car garage in rear of new home with access from the alley.**

<b>Applicant Name:</b> <b>HOME GUARDIAN NW, LLC -</b> <small>(please print)</small> <b>ANGELA/CLAUDIO PERNISCO</b>	Phone: <b>503-807-2146</b> <b>503-701-4039</b>
Address: <b>1798 4<sup>TH</sup> AVE</b>	Email: <b>angelapernisco@gmail.com</b>

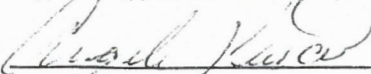
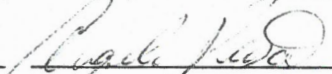
<b>Owner Name</b> (required): <b>HOME GUARDIAN NW, LLC</b> <small>(please print)</small>	Phone: <b>above</b>
Address: <b>1798 4<sup>TH</sup> AVE</b>	Email:
City State Zip: <b>WEST LINN, OR 97068</b>	<b>homeguardiannw@gmail.com</b>

<b>Consultant Name:</b> <b>NA</b> <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**  
**One (1) complete set of digital application materials must also be submitted on CD in PDF format.**  
**If large sets of plans are required in application please submit only two sets.**

\* No CD required / \*\* Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	<u>3/8/17</u>		<u>3/8/17</u>
Applicant's signature	Date	Owner's signature (required)	Date



## 25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

*N/A – The lot is vacant with no existing structures.*

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

*N/A – The lot is vacant with no existing structures.*

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

*The American Foursquare was a popular architectural design between 1890–1930's. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.*

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

*N/A – The lot is vacant with no existing structures.*



5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

*N/A - The lot is vacant with no existing structures.*

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

*N/A - The lot is vacant with no existing structures.*

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

*N/A - The lot is vacant with no existing structures.*

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

*The home will have a 6:12 pitch roof over the main house with 24" eaves with smooth soffit. The front porch will have a 2.5:12 pitch roof.*

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

*Three tab composition roofing throughout*

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

*N/A - The lot is vacant with no existing structures.*

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *The home will have a smooth cement based lap siding (James Hardie product line) with 4" exposure.*
- *The front and rear porch will have a 1x6 tongue and groove ceiling.*
- *24" eaves consist of a smooth painted material with continuous venting channel as required by code.*
- *5/4x10" Frieze board with crown molding surrounding the house against bottom of eave*
- *10" perimeter bottom band surrounding the home*
- *Vertical outside corners consisting of 5/4x4"*
- *5/4x4" window and door trim with a historic sill and upper rams crown trim manufactured by James Hardie. Note: rams crown will not be installed on top of windows connected to the frieze board.*
- *Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.*

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *Gutters will be continuous and seamless. Constructed of aluminum with factory baked paint and 6 inch K style (ogee)*
- *Downspouts will be of pre painted aluminum and 3 inch in diameter*

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- *Windows will be single-hung paint grade with clear glass (low E as per code)*
- *No muntins will be present in the windows with the exception of the front porch windows which will have muntins in the upper portion of the window (see site elevation)*
- *See site elevation for windows with mullions*

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

***N/A – Storm windows will not be installed.***

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

***N/A – The lot is vacant with no existing structures.***

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- ***Front door – natural wood with upper glass***
- ***Rear door (upper and lower) – pair of French door full light wood***
- ***Carriage style garage door***

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged.

- ***The home will have a full-width, one story porch consistent with the architectural style of the home.***
- ***Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.***
- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or

***N/A – The lot is vacant with no existing structures.***



- b. That it is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter [27](#) CDC).

*The foundation will consist of a full finished basement to meet current code requirements (see plans).*

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- *Ceiling mount exterior fixture above the front door consistent with the era*
- *Interior fixtures will be consistent with the era*

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter [34](#) CDC:

1. All accessory structures.

a. Location.

- 1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC [25.070](#)(C)(1) through (4);

*20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.*

- 2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter [34](#) CDC;

*20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.*

- 3) Detached accessory structures shall be in the rear yard; and

*20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.*

- 4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

*NA - the garage is less than 15' high*

b. Height. Accessory structures in the Willamette Historic District are subject to CDC [25.070\(C\)\(7\)](#). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter [34](#) CDC.

- *Garage siding and exterior components will match the main house*
- *9' High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

*N/A - The lot is vacant with no existing structures.*

## 25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

1. New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:

a. Lot or parcel size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.

- *The lot is 5000 s.f. which is consistent the zoning and neighboring lots*
- *The home will be positioned with the front face at 20' feet plus a 6' porch which protrudes into the front yard and is consistent with the neighboring properties.*
- *Lot coverage percentage is 37% which is consistent with the codes required standard of 40% or less.*
- *The building height will be 27'9" which is consistent with the 28' requirement*

b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.

- *The American Foursquare was a popular architectural design between 1890–1930's. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.*
- *The home is differentiated by use of Harie Products that mimic the style and texture of the era. Windows will meet current code with Low E glazing. All elements of construction and methodology of applications will meet current code.*

c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district's character.

- *Garage siding and exterior components will match the main house*
- *9' High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Reconstruction. Reconstruction of buildings that existed within the district during the period of significance is allowed. Reconstructions shall be done in accordance with the Secretary of the Interior's Standards for Reconstruction.

*N/A – The lot is vacant with no existing structures.*

3. Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site.

*N/A – The lot is vacant with no existing structures.*

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter 58 CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.



1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

*Front setback will be 20' to the front of the house face (excluding the front porch).*

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

*6' front porch will encroach into the front yard.*

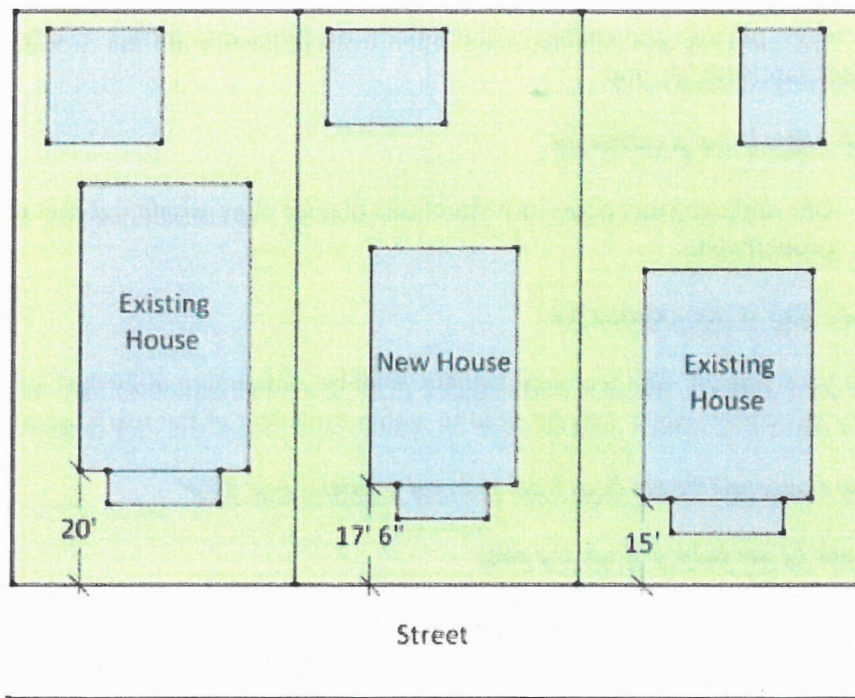


Figure 4: Front Yard Setback

2. Side yard setback. Side yard setbacks shall be five feet, except:

- *5' setback on the east side of the home*
- *16'6" setback on the west side of the home*

- a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

***West side wall contains one protrusion less than 20% of the overall wall and will be no more than 18".***

- b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.

***Garage will be a 1 story structure and sited 3' away from the west property line***

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:

- a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and

***N/A - this is not a corner lot***

- c. One and two story accessory structures may be sited within five feet of the side street property line.

***N/A - this is not a corner lot***

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

- ***The main house will be set back from the rear property line 34'4"***

- ***Garage will be set back 3' from the alley***

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

***N/A - This is not a corner lot***

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

***N/A - This is not a new lot***

7. Building height.

- a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

*The home is 28' high and there are no cupolas or towers present*

- b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.

*The garage will be 15' or less in height*

- d. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter 41 CDC.

*N/A - there are no two story accessory structures*

- e. Accessory structures shall not exceed the height of the primary dwelling.

*N/A - the primary dwelling is 28' in height and the accessory garage will be less than 15'*

- 8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

*The house is 28'6"*

- 9. Roof pitch. Roofs shall have a pitch of at least 6:12.

*The roof will be 6:12 pitch*

- 10. Garage access and parking areas.

- a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

*Alley access is available and the garage will be sited in the rear of the home facing the alley.*

- b. Parking areas.

- 1) No residential lot shall be converted solely to parking use.

*N/A - a home and garage will be built on the lot*

- 2) No rear yard area shall be converted solely to parking use.

*N/A - a home and garage will be built on the lot*



3) When a lot is adjacent to an alley, all parking access shall be from the alley.  
(Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)

*Two car garage in the rear of the home off the alley*

Lot Views





## Samples

This sample Foursquare is located in downtown Portland. Below are details that we will incorporate into the design of the home we are building:



- 24" eaves
- The windows tie into the 5/4 x 10" frieze board
- Windows that do not tie into the frieze board will have a cap crown
- Corner boards are present
- Siding wrapped porch post
- Trim and Lattice below deck

- Right Elevation pop-out will look very similar to what is pictured
- Mullion windows throughout home will look similar to what is pictured
- Crown molding will be present at frieze boards
- Windows do not have muntins with the exception of the front porch windows with upper muntins





## Sample Porch Columns



- Porch columns will be siding wrapped and tapered
- Roof pitch of porch will be 2.5:12

## Sample Massing-Scale-Clustering



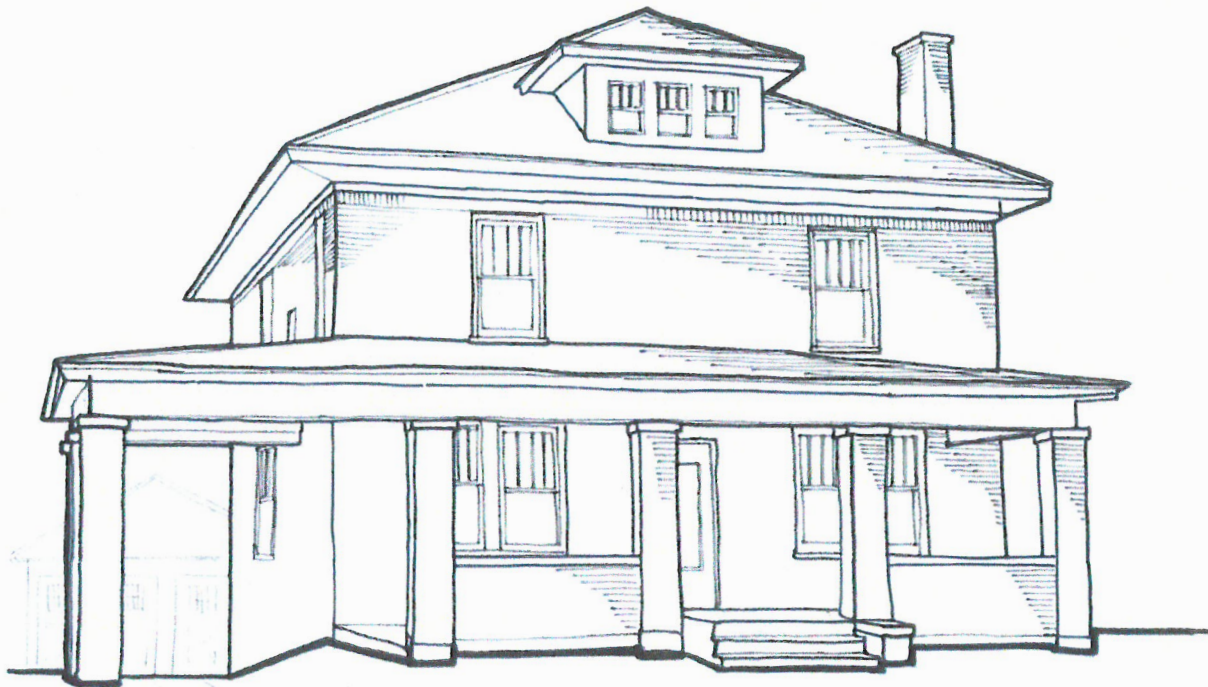
- Building clustering will be most comparable to the property located at 1639 6<sup>th</sup> Ave
- The home will be positioned at the 5' setback on the east side to provide for a 16'6" yard on the west side
- The garage will be positioned 3' from the west setback to provide for a 27' yard in the rear of the home







# American Foursquare (1900-1930)



## Historical Origins



*American Foursquare Kit Home from the Sears, Roebuck & Co. Mail-Order Catalog*

The American Foursquare began appearing on American streets—from Seattle to San Diego, Miami to New York, and here in Roanoke—around the turn of the twentieth century. This new style promised affordable, utilitarian housing for middle-class families trying to gain the most from a modest lot. Simplistic and practical, American Foursquares are one of the most common housing types found in Roanoke’s diverse neighborhoods.

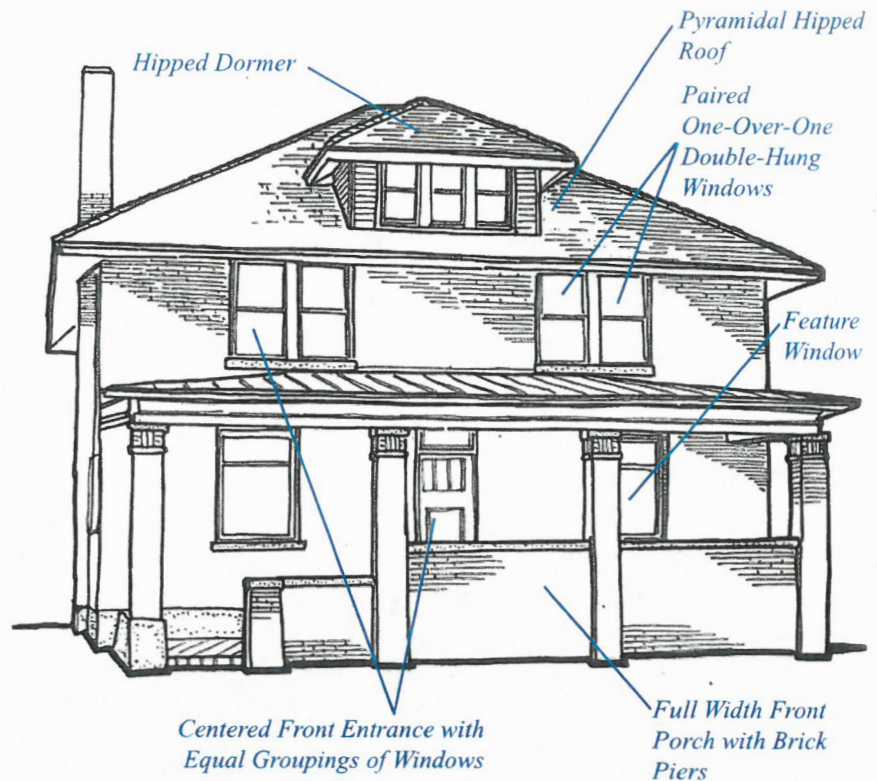
The American Foursquare’s origins are rooted in the work of Frank Lloyd Wright, the American architect who shunned asymmetrical late-Victorian era pretension and pioneered a humbler, boxier, more down-to-earth alternative for domestic architecture.

Pattern books and mail-order catalog companies such as Sears, Roebuck & Co., and Aladdin Houses helped promote Wright’s new “Prairie” vision by offering kit homes that included American Foursquare house plans. The pieces were trucked or shipped by boxcar to cities across the country, which helps explain why American Foursquares were built in neighborhoods near rail lines.

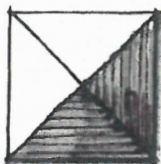


## Essential Elements

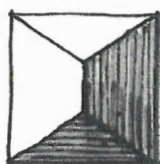
- Cubical-shaped, two-story house, square in plan and elevation.
- **Hipped** or pyramidal hipped roof with hipped, **gabled** or **pedimented** dormers on one or more sides of main roof.
- Deep, full-width or wrap around porch, one story in height, with significant structural components.
- Centered front entrance with equal groupings of windows on either side of both stories; or off-centered entrance with symmetrical upper story window arrangement.
- Craftsman or Colonial Revival influence present on doors, windows, porches, and *eaves*.



## Massing & Roof Forms



Pyramidal



Hipped

The American Foursquare is characterized more by its simple box-like form and low-**hipped** roof, than its style, thus gaining its name from a straightforward floor plan of four rooms on each level. The standard American Foursquare truly is square in form often measuring 28' x 28', 29' x 29', or 30' x 30'. The roof is either hipped or pyramidal hipped with a hipped, **gabled** or **pedimented** dormer on one or more sides with a **pitch** ranging from 6:12 to 8:12. The roof is typically accented with a wide *eave*.

The American Foursquare is always two stories tall. Window and door composition on the front façade typically consists of two windows (sometimes paired) and a centered or off-centered door on the first floor, two windows (sometimes paired) on the second floor and a centered dormer in the roof. The American Foursquare typically has an exterior end chimney projecting through the eaves.

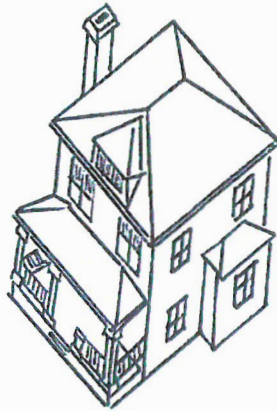


Gabled Dormer



Hipped Dormer with Exposed Rafters





## Wall Cladding



*Diapering with Soldier Course Above*



*Combination of Brick and Shingle Siding*

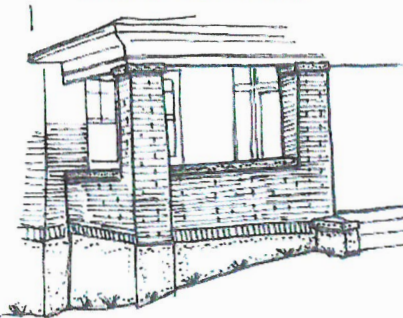
Walls were almost always laid in brick. Occasionally, decorative geometric patterns called *diapering* were used with darker brick highlighting the pattern. Many American Foursquares feature a horizontal band of vertical bricks (a *soldier course*) at the roof wall junction. Wood siding (4 to 6 inch exposure), wood shingles and stucco were often used to accent the second story and dormer windows.

## Porches

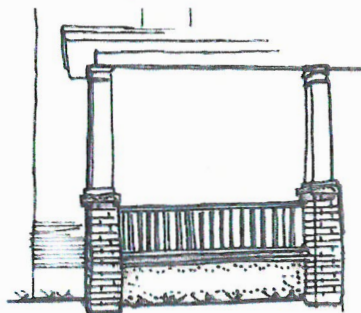


A full-length, one-story front porch is a widespread element of the American Foursquare. The porch often extends to one side as either a wrap around porch or as a *porte-cochere* for parking vehicles. American Foursquare porches are typically accessed by concrete steps that match the foundation with flanking square brick posts.

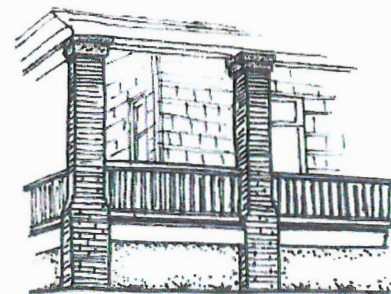
Because most American Foursquares are brick, most porch supports are 12 inch square brick posts of full height. Brick knee-walls capped with concrete *coping* usually span between the brick posts. Other variations will feature a brick pier with tapered wood posts (10 to 12 inches wide) and wood railings with 2 inch square *balusters*.



*Brick Piers with Knee-Wall Capped with Concrete Coping*



*Tapered Post on Brick Pedestal with Wood Railings*

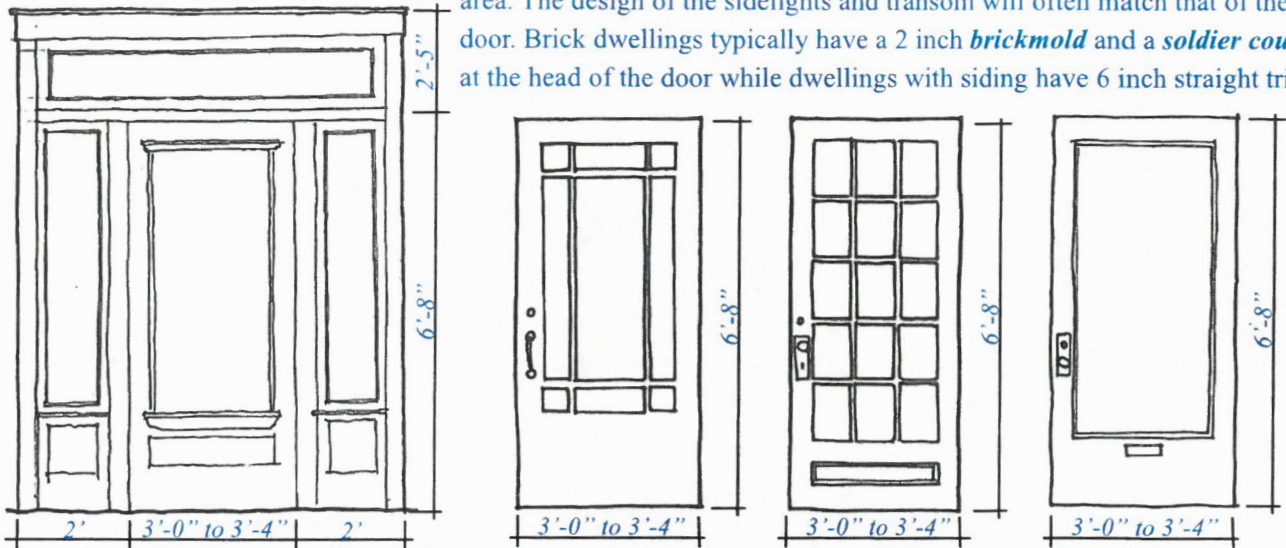


*Brick Piers with Wood Railings*



## Doors

The American Foursquare door is similar to other front doors of the 1920s with rectangular-shaped glass and raised wood panels. *Sidelights* and a *transom* often accent the front door while allowing more light into the living area. The design of the sidelights and transom will often match that of the door. Brick dwellings typically have a 2 inch *brickmold* and a *soldier course* at the head of the door while dwellings with siding have 6 inch straight trim.

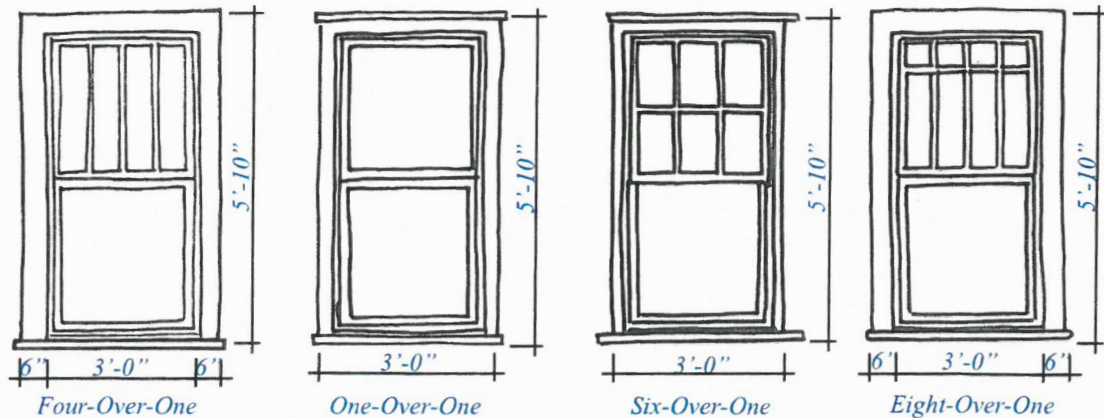


Typical Doors found on the American Foursquare

## Windows

Paired, *double-hung* wood windows with four-over-one *sashes* typify the American Foursquare. Other common window sash types include a one-over-one or a six-over-one double-hung window. Sometimes decorative six or eight-over-one windows were used. Brick dwellings typically have a 2 inch *brickmold* and a *soldier course* at the head of the window while dwellings with siding have 6 inch straight trim. Shutters were rarely used on the American Foursquare.

Window placement reflects the American Foursquare floor plan. For example, sets of double or triple windows, and in some instances a *bay* window, on a side elevation will denote the first floor living room/dining room or a second floor master bedroom. A small window between floors will light the staircase, while a small second floor window located between larger windows indicates a bathroom or closet.





## Stylistic Influences

The modest American Foursquare design lent itself to changing architectural tastes effortlessly and inexpensively. Thus an American Foursquare in Roanoke is often decorated with stylistic features from either the Colonial Revival or the Craftsman styles:



### *Colonial Revival Influence*

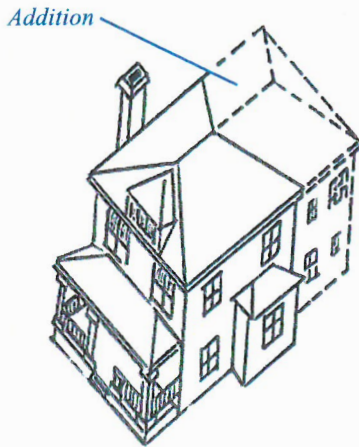
- ***Pedimented gable*** over a porch entry.
- Classical ***columns***
- ***Cornice*** with ***dentils*** or ***modillions***.
- Dormer with a ***Palladian***-style window.



### *Craftsman Influence*

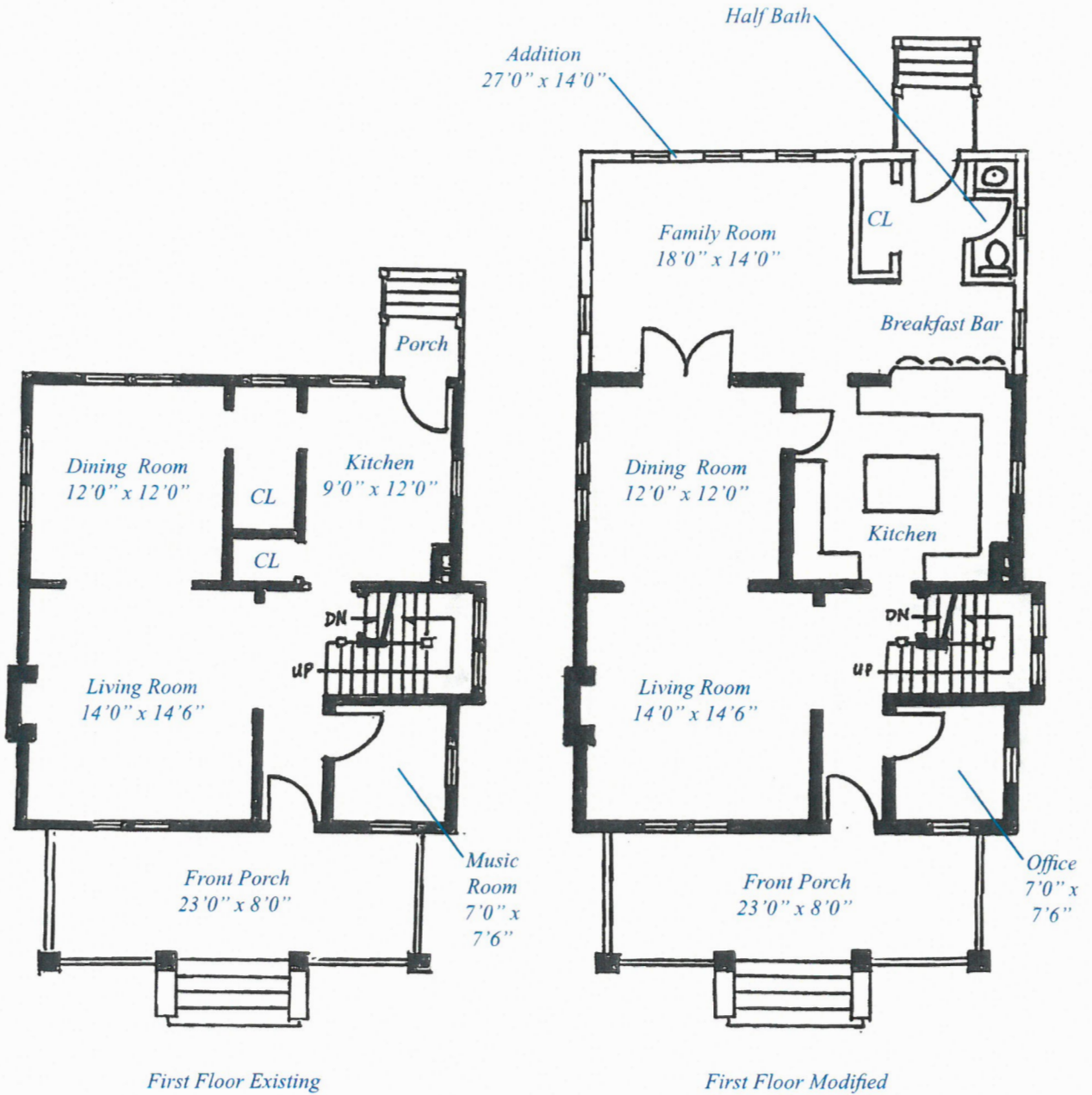
- ***Low-pitched*** roof
- Tapered posts
- Wide ***eaves*** with exposed ***rafter tails*** or ***knee braces***.
- Large ***gabled*** or shed dormers with exposed ***rafter tails*** and braces.

## Additions



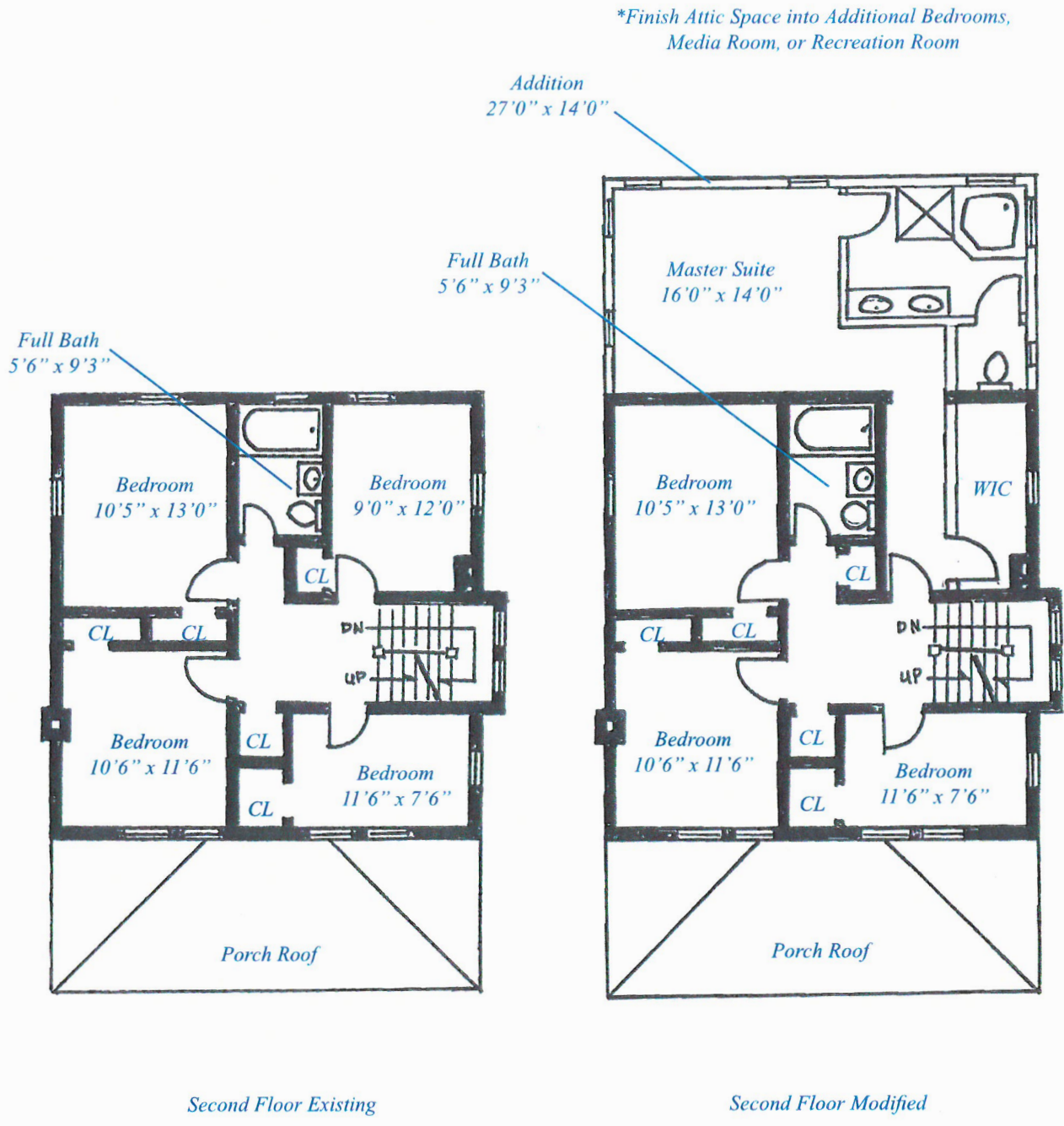
New additions to American Foursquares should be designed as secondary elements or wings that are compatible with the overall ***massing*** and scale of the original house. An addition should never be larger or wider than the main residence. The most appropriate location for an addition is to the rear of the property to minimize visibility from the street. Additions should be designed and built so that the form and character of the primary residence will remain intact if the addition is ever removed.

An addition should respect the stylistic influences that may be found on an American Foursquare. Similar exterior finish materials should be used whenever possible. A list of appropriate materials specific to the American Foursquare is provided at the end of this section. Roofing forms and materials should match those of the original structure if possible, with ***low-pitch*** roofs that are subordinate to the primary roof line. Windows should be similar to the original in type and style, employing wooden ***double-hung sash*** or ***casement*** windows as necessary. More information on additions can be found within the New Construction section of this document.



Reallocation of Existing Square Footage and Addition to an American Foursquare





*Reallocation of Existing Square Footage and Addition to an American Foursquare*

## Garages and Porte-Cocheres



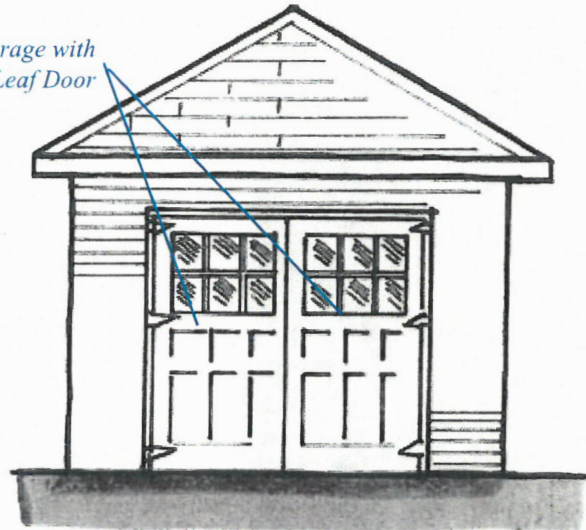
Two Bay Garage with Sliding Doors



Porte-Cochere Accessed by Double Strips of Concrete

Like other early 20th-Century residences, American Foursquare houses had matching garages; most garages were one *bay* wide, while some featured two bays divided by a centered brick post (as opposed to one wide door that is common today). The garages were often brick that matched the house with double-leaf doors or sliding doors. The roof *pitch* is usually lower than the main house. The garages were located off the rear corner of the house at the end of double strips of concrete. Vehicles were also parked under a *porte-cochere*.

One Bay Garage with Double Leaf Door



## Painting an American Foursquare

Soft colors such as white or ivory should be used on the American Foursquare's wood *sashes*, *eaves*, and trim. Soft earth tones such as brown, yellow, and green should be used on siding and shingles. Unpainted brick should never be painted as it could drastically alter the home's original character and trap moisture inside walls.

## Maintaining Character Defining Features



Roanoke's stock of American Foursquares is nearly one hundred years old. This longevity attests to the sturdiness of construction and craftsmanship that made these houses an American tradition. Despite their durability, homeowners should take a few simple maintenance steps to preserve the character-defining elements that add richness to local American Foursquares.

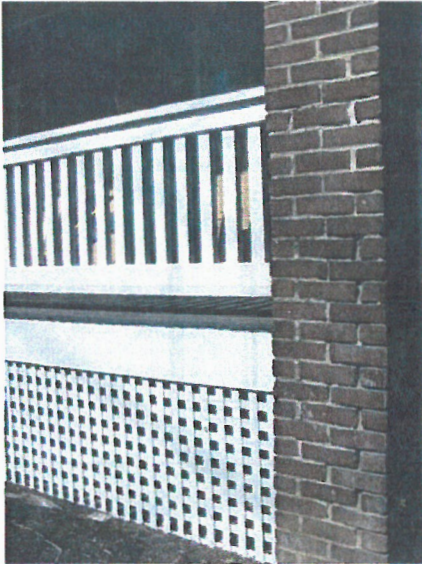
The symmetrical *massing* for which the American Foursquare is named is one of the most important architectural features to maintain. A simple insensitive window replacement can impact the house by skewing its façade proportions. Because exterior architectural elements are character-defining features of an American Foursquare, their ongoing maintenance is essential to preserving the historic significance of a building.

Doors and windows are among the most highly visible features of any residence. All windows should be maintained and repaired annually. Windows located beneath the full-width porches are always protected from the sun and



rain and rarely require replacement. Porches and *porte-cocheres* are fundamental aspects of an American Foursquare and should be maintained and repaired annually. Front porches should never be enclosed with siding, nor should they be removed or altered. Unpainted brick should never be painted.

## Appropriate Materials



- *Roofs:* Fiberglass shingles (architectural grade), cementitious shingles, slate and faux slate materials, and pressed metal shingles.
- *Wall Cladding:* Smooth finish brick. Wood or smooth finished fiber-cement boards in *novelty* siding and lap siding with a 4 inch to 6 inch lap exposure where appropriate on wood clad houses.
- *Porch Ceilings:* Tongue-and-groove wood or composite boards, or beaded-profile plywood.
- *Columns and Posts:* Solid brick posts or brick piers with tapered square posts. Architecturally correct proportions and details in wood, fiberglass, or composite material; as appropriate to the porch type.
- *Railings:* Milled wood top and bottom rails with thick square *balusters* (2" x 2" nominal dimension).
- *Doors:* Wood, fiberglass or steel with traditional stile-and-rail proportions, raised panel profiles, and *glazing* proportions.
- *Windows:* Wood, or aluminum-clad wood. Vinyl clad windows (generally not allowed in the H-1 or H-2 Historic Districts) should only be used in conjunction with brick veneer. True divided light or *simulated divided light* (SDL) *sash* with traditional exterior *muntin* profile (7/8 inch wide).
- *Shutters:* Shutters were not typically used on the American Foursquare and should not be added embellish the exterior.
- *Trim:* Wood, composite, or polyurethane millwork.



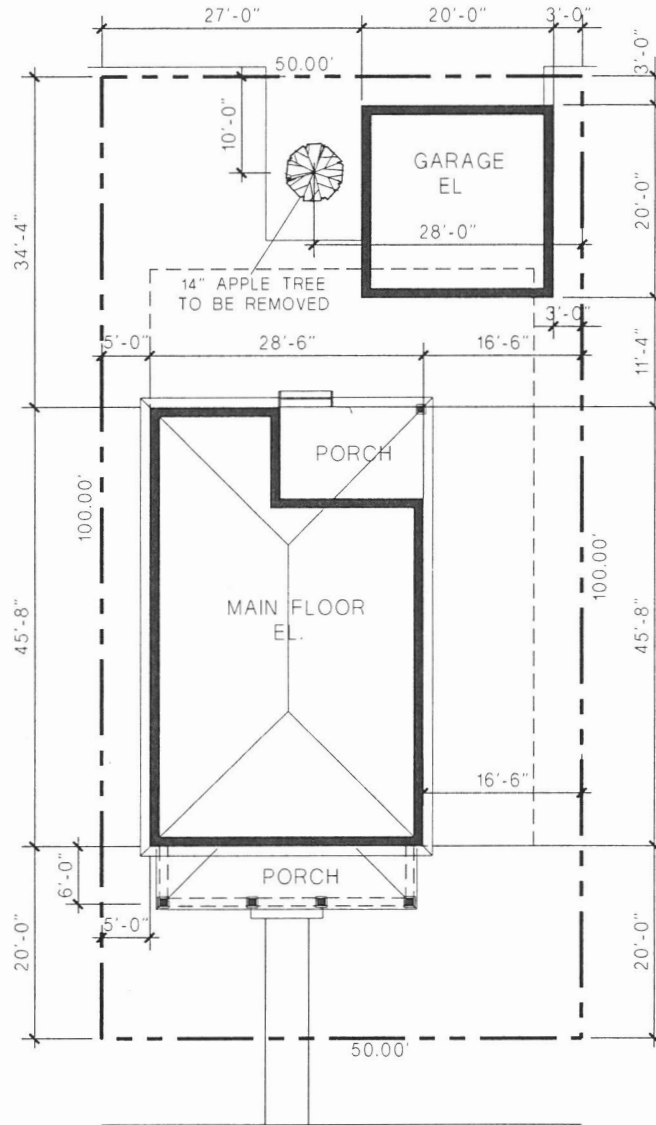


Gallery of Examples



**LOT COVERAGE**

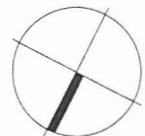
HOUSE	1,470 SQ. FT.
GARAGE	400 SQ. FT.
TOTAL AREA	1,870 SQ. FT.
<hr/>	
LOT AREA	5,000 SQ. FT.
PERCENTAGE	37.4 %
IMPERVIOUS (DRIVE)	0 SQ. FT.




6TH AVENUE

**S I T E & EROSION CONTROL PLAN**

SCALE 1" = 20'-0"



 <p><b>WATSON DESIGN WORKS, Inc.</b> 1880 Willamette Falls Drive Suite #200-D West Linn, Or. 97108 503.655.1901 watsondesign.com</p>	<p>WATSON DESIGN WORKS WILL NOT BE LIABLE FOR THE ACCURACY OF THE TOPOGRAPHY INFORMATION IF IS THE SOLE RESPONSIBILITY OF THE BIDDER / OWNER TO VERIFY ALL SITE CONDITIONS, INCLUDING ANY HAZARDOUS CONDITIONS ON THE SITE THAT MAY CAUSE OF ANY POTENTIAL FIELD MODIFICATIONS.</p>	<p><b>PROJECT:</b> HOME GUARDIAN N.W.</p>	<p><b>SITE INFORMATION:</b></p>	<p>JOB No. 17051</p>
		<p>PROJECT ADDRESS: 1689 6th AVENUE CITY OF WEST LINN, OREGON</p>	<p>DATE 1/30/2017</p>	
		<p><b>SITE</b></p>		





REAR ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

ROOFING MATERIAL  
40 YEAR COMPOSITION  
G. I. GUTTER ON 2 X 8 FASCIA  
HORIZONTAL HARDI LAP SIDING  
SMOOTH FINISH - 4" EXPOSURE  
5/4 X 6 CEDAR CORNER BOB.



RIGHT ELEVATION - WEST

SCALE: 1/8" = 1'-0"



LEFT ELEVATION - EAST

SCALE: 1/8" = 1'-0"



FRONT ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

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Willamette Falls Drive  
Suite #200-D  
West Linn, Or 97068  
503.655.1001  
wattondesign.com

PROJECT: SINGLE FAMILY - NEW CONSTRUCTION

BUILDING SITE ADDRESS:  
1689 6th AVENUE  
CITY OF WEST LINN  
WILLAMETTE HISTORIC DISTRICT

EXTERIOR ELEVATIONS

BUILDER  
HOME GUARDIAN N.W.  
503-701-4039

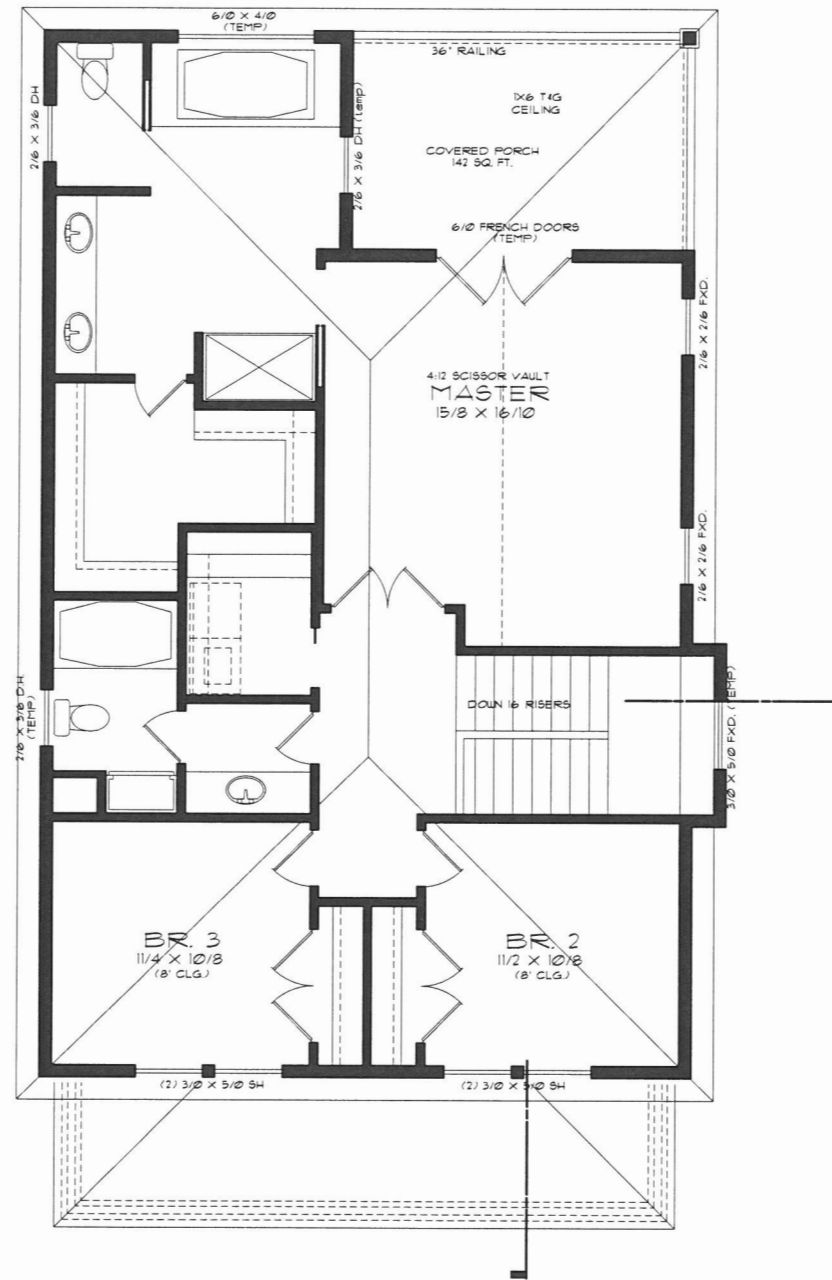
SQUARE FOOTAGE	1,459 S.F.
MAIN AREA	1,089 S.F.
UPPER AREA	248 S.F.
TOTAL AREA	2,248 S.F.
BASEMENT	+934 S.F.
PORCH AREA	446 S.F.

DATE:  
Est. 1-30-2017  
Rev.

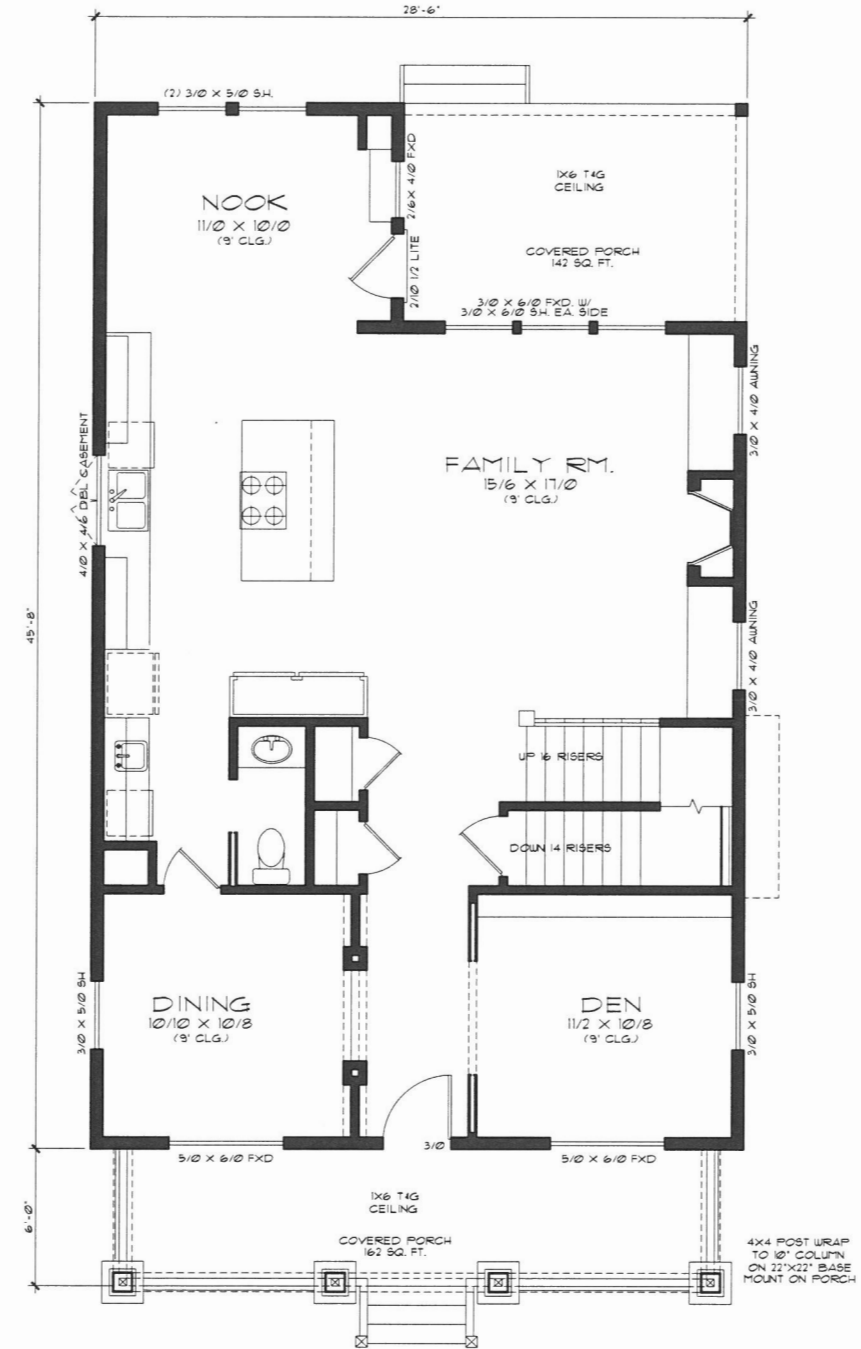
JOB No.  
17051

SHEET  
**1**





UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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West Linn, Or. 97068  
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**PROJECT:** SINGLE FAMILY - NEW CONSTRUCTION  
**BUILDING SITE ADDRESS:**  
1689 6th AVENUE  
CITY OF WEST LINN  
WILLAMETTE HISTORIC DISTRICT

**FLOOR PLANS**  
**BUILDER**  
HOME GUARDIAN N.W.  
503-701-4039

SQUARE FOOTAGE	
FIN AREA	1159 S.F.
UPPER AREA	188 S.F.
TOTAL AREA	2348 S.F.
BASEMENT	+934 S.F.
PORCH AREA	446 S.F.

DATE:  
Est. 1-30-2017  
Rev.

JOB No.  
17051

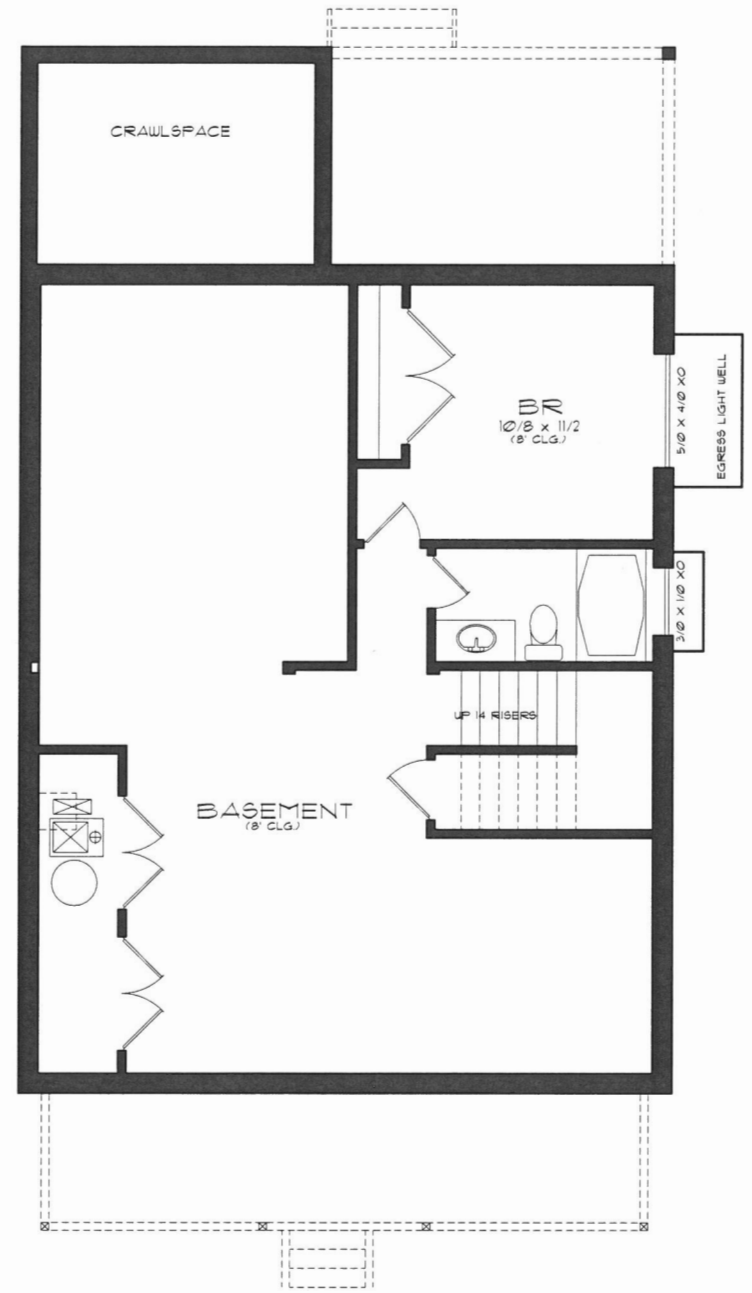
SHEET  
**2**

A PROFESSIONAL ARCHITECTURAL DESIGN HAS BEEN PREPARED FOR THE CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT. THE ARCHITECT ASSURES THAT THE CONSTRUCTION OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF WEST LINN, OREGON, ORDINANCES AND REGULATIONS. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE SAFETY OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.



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**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**PROJECT:** SINGLE FAMILY - NEW CONSTRUCTION

**BUILDING SITE ADDRESS:**  
1689 6th AVENUE  
CITY OF WEST LINN  
WILLAMETTE HISTORIC DISTRICT

**BASEMENT / FOUNDATION**

**BUILDER**  
HOME GUARDIAN N.W.  
503-701-4039

SQUARE FOOTAGE	1159 S.F.
MAIN AREA	1089 S.F.
TOTAL AREA	2248 S.F.
BASEMENT	+914 S.F.
PORCH AREA	446 S.F.

DATE:  
Est. 1-30-2017  
Rev.

JOB No.  
17051

SHEET  
**3**

ALL DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



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503.655.1001  
wattondesign.com

**PROJECT:** SINGLE FAMILY - NEW CONSTRUCTION

**BUILDING SITE ADDRESS:**

1689 6th AVENUE  
CITY OF WEST LINN  
WILLAMETTE HISTORIC DISTRICT

**BUILDER**

HOME GUARDIAN N.W.  
503-701-4039

**GARAGE**

SQUARE FOOTAGE  
GARAGE AREA 480 S.F.

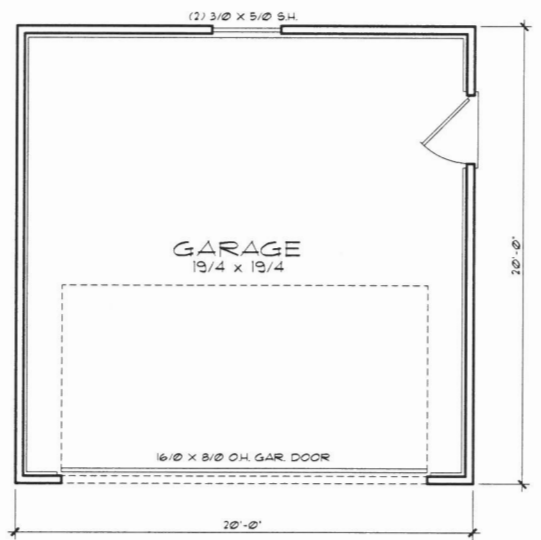
DATE:  
Est. 1-30-2017  
Rev.

JOB No.

17051

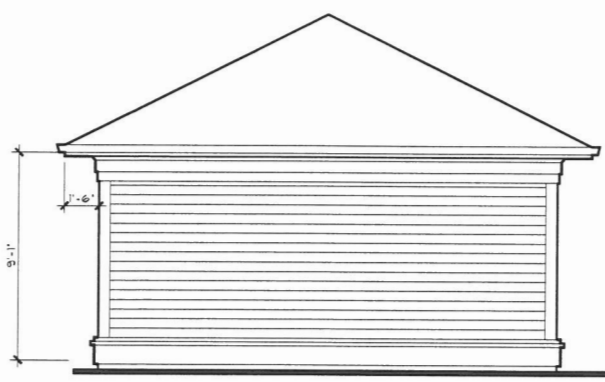
SHEET

4

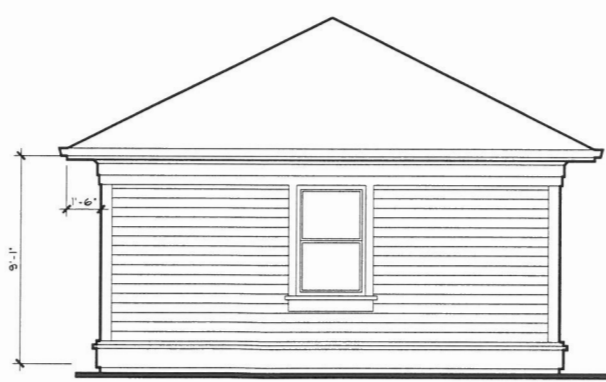


**PLAN**

SCALE : 1/4" = 1'-0"



WEST ELEVATION  
SCALE : 1/8" = 1'-0"



NORTH ELEVATION  
SCALE : 1/8" = 1'-0"



EAST ELEVATION  
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION - ALLEY  
SCALE : 1/8" = 1'-0"