

DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Jennifer Arnold</i>	PROJECT NO(S). <i>DR-17-02</i>	
NON-REFUNDABLE FEE(S) <i>4,500-</i>	REFUNDABLE DEPOSIT(S)	TOTAL <i>4,500-</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|---|
| <input type="checkbox"/> Annexation (ANX)
<input type="checkbox"/> Appeal and Review (AP) *
<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Review (DR)
<input type="checkbox"/> Easement Vacation
<input type="checkbox"/> Extraterritorial Ext. of Utilities
<input type="checkbox"/> Final Plat or Plan (FP)
<input type="checkbox"/> Flood Management Area
<input type="checkbox"/> Hillside Protection & Erosion Control | <input checked="" type="checkbox"/> Historic Review <i>Class II</i>
<input type="checkbox"/> Legislative Plan or Change
<input type="checkbox"/> Lot Line Adjustment (LLA) */**
<input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan)
<input type="checkbox"/> Non-Conforming Lots, Uses & Structures
<input type="checkbox"/> Planned Unit Development (PUD)
<input type="checkbox"/> Pre-Application Conference (PA) */**
<input type="checkbox"/> Street Vacation | <input type="checkbox"/> Subdivision (SUB)
<input type="checkbox"/> Temporary Uses *
<input type="checkbox"/> Time Extension *
<input type="checkbox"/> Variance (VAR)
<input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP)
<input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)
<input type="checkbox"/> Willamette & Tualatin River Greenway (WRG)
<input type="checkbox"/> Zone Change |
|--|---|---|

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1689 6TH AVE WEST LINN, OR 97068	Assessor's Map No.: 31E0BC
	Tax Lot(s): 31E02BC00900
	Total Land Area: 5000 SF

Brief Description of Proposal: 1) **Construct a new American Foursquare style home consisting of two levels plus a full basement.** 2) **Construct a detached two car garage in rear of new home with access from the alley.**

Applicant Name: HOME GUARDIAN NW, LLC - <small>(please print)</small> ANGELA/CLAUDIO PERNISCO	Phone: 503-807-2146 503-701-4039
Address: 1798 4TH AVE	Email: angelapernisco@gmail.com

Owner Name (required): HOME GUARDIAN NW, LLC <small>(please print)</small>	Phone: above
Address: 1798 4TH AVE	Email: homeguardiannw@gmail.com
City State Zip: WEST LINN, OR 97068	

Consultant Name: NA <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
 2. The owner/applicant or their representative should be present at all public hearings.
 3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
 4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.
- * No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

 Applicant's signature	<u>3/8/17</u> Date	 Owner's signature (required)	<u>3/8/17</u> Date
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25.060 DESIGN STANDARDS APPLICABLE TO HISTORIC RESOURCES

The following design standards apply to all changes, including alterations, additions, and new construction proposed on a designated historic resource. These standards are intended to preserve the features that made the resources eligible for historic designation. Development must comply with all applicable standards, or be approved through the modifications process specified in CDC [25.080](#).

A. Standards for alterations and additions. This section applies to historic reviews for alteration of and additions to designated historic resources:

1. Retention of original construction. The original construction shall be maintained or restored to the greatest extent practicable. Stylistic features of original construction that shall be preserved include, but are not limited to: a line of columns, decorative shingles, projecting bays, other primary structural elements, spatial relationships that characterize the property, examples of skilled craftsmanship that characterize the building, and architectural details defining the structure's character and historic significance.

N/A – The lot is vacant with no existing structures.

2. Retention of historic material. Removal or alteration of historic materials and features shall be avoided during the construction of new additions or exterior alterations. Whenever possible, deteriorated materials and architectural features shall be repaired rather than replaced. In the event replacement of an existing feature is necessary, new materials shall, to the extent possible, match those of the original building in terms of composition, design, color, texture, and other visual features.

N/A – The lot is vacant with no existing structures.

3. Time period consistency. Buildings shall be recognizable as a physical record of their time and place. Alterations which have no historical basis or which seek to create a false sense of historical development are not allowed.

The American Foursquare was a popular architectural design between 1890–1930's. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.

4. Significance over time. Changes to a property that have acquired historic significance in their own right, and during the period of significance, shall be retained and preserved.

N/A – The lot is vacant with no existing structures.

5. Differentiate old from new. Alterations and additions shall be differentiated from the original buildings and shall be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property.

N/A – The lot is vacant with no existing structures.

6. Reversibility. Additions and alterations shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its context would be unimpaired.

N/A – The lot is vacant with no existing structures.

7. Building additions. Building additions shall be subordinate to the original building, smaller in scale, and attached to the rear or set back along the side. Features of building additions, including the proportions of window and door openings, shall be consistent with those of the existing building. Dimensional and other requirements in the underlying zone, as applicable, shall apply.

N/A – The lot is vacant with no existing structures.

8. Building height and roof pitch. Existing or historic building heights and roof pitch shall be maintained.

The home will have a 6:12 pitch roof over the main house with 24" eaves with smooth soffit. The front porch will have a 2.5:12 pitch roof.

9. Roof materials. Replacement of a roof or installation of a new roof with materials other than cedar shingles, three tab asphalt shingles, or architectural composition shingles must be demonstrated, using photographic or other evidence, to be in character with those of the original roof, or with materials that are consistent with the original construction.

Three tab composition roofing throughout

10. Existing exterior walls and siding. Replacement of the finish materials of existing walls and siding with different material must be demonstrated, using photographic or other evidence, to be in character with those of the original materials, or with materials that are consistent with the original construction.

N/A – The lot is vacant with no existing structures.

11. New exterior walls and siding. Wood siding or shingles shall be used unless the applicant demonstrates that an alternative material has a texture and finish typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *The home will have a smooth cement based lap siding (James Hardie product line) with 4" exposure.*
- *The front and rear porch will have a 1x6 tongue and groove ceiling.*
- *24" eaves consist of a smooth painted material with continues venting channel as required by code.*
- *5/4x10" Frieze board with crown molding surrounding the house against bottom of eave*
- *10" perimeter bottom band surrounding the home*
- *Vertical outside corners consisting of 5/4x4"*
- *5/4x4" window and door trim with a historic sill and upper rams crown trim manufactured by James Hardie. Note: rams crown will not be installed on top of windows connected to the frieze board.*
- *Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.*

12. Gutters and downspouts. Replacement or new gutters and downspouts shall be rectangular, ogee, or K-shaped and comprised of wood or metal material, or styles and materials that match those that were typically used on similar style buildings of the era, or the era the building style references. Vinyl or other materials and styles that do not match those that were typically used on similar style buildings of the era, or the era the building style references, are not permitted.

- *Gutters will be continuous and seamless. Constructed of aluminum with factory baked paint and 6 inch K style (ogee)*
- *Downspouts will be of pre painted aluminum and 3 inch in diameter*

13. New windows. New windows shall match the appearance of the original windows as closely as possible. Wood window frames and sashes shall be used unless the applicant demonstrates that the non-wood windows are consistent with their wooden counterparts, including profile and proportion of the sash, sill, trim, light patterns, glass color, and profile of mullions and muntins. The window trim and sill shall match the original trim.

- *Windows will be single-hung paint grade with clear glass (low E as per code)*
- *No muntins will be present in the windows with the exception of the front porch windows which will have muntins in the upper portion of the window (see site elevation)*
- *See site elevation for windows with mullions*

14. Storm windows. Storm windows shall be made of painted wood, baked enamel, anodized aluminum, or another material that is consistent with the color, detail, and proportions of the building.

N/A – Storm windows will not be installed.

15. Window replacement. Replacement of windows or window sashes shall be consistent with the original historic appearance, including the profile of the sash, sill, trim, window plane relative to the building wall plane, light pattern, glass color, profile of mullions and muntins, and color.

N/A – The lot is vacant with no existing structures.

16. Doors. Doors shall be painted or stained wood, fiberglass clad, or metal clad, or another material that is consistent with the original historic appearance.

- ***Front door – natural wood with upper glass***
- ***Rear door (upper and lower) – pair of French door full light wood***
- ***Carriage style garage door***

17. Porches. Front porches are allowed on new construction. No front porch shall be added to a structure if there was not one originally. Existing front porches shall not be enclosed or enlarged.

- ***The home will have a full-width, one story porch consistent with the architectural style of the home.***
- ***Porch column base will be constructed of siding to match home with a smooth wood painted tapered shaft.***
- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

18. Decks. Decks shall be located in rear yard or the portion of the side yard behind the front 50 percent of the primary structure.

- ***Floor decking consists of 5/4x3 tongue and groove fir (stained)***

19. Foundations. Repair or construction of a foundation that results in raising or lowering the building elevation must demonstrate that:

- a. The proposal is consistent with the original design and, if applicable, is consistent in the context of adjacent and other structures on the block, based on photographic or other evidence; or

N/A – The lot is vacant with no existing structures.

b. That it is necessary to satisfy a requirement of the building code and/or floodplain regulations (Chapter [27](#) CDC).

The foundation will consist of a full finished basement to meet current code requirements (see plans).

20. Lighting. Residential lighting shall be shielded to prevent glare and compatible with the architectural character of the building. Blinking, flashing, or moving lighting is not permitted.

- ***Ceiling mount exterior fixture above the front door consistent with the era***
- ***Interior fixtures will be consistent with the era***

B. Standards for accessory structures. The following standards apply to accessory structures on properties designated as historic resources in addition to the regulations in Chapter [34](#) CDC:

1. All accessory structures.

a. Location.

1) Accessory structures in the Willamette Historic District are subject to the setback requirements of CDC [25.070](#)(C)(1) through (4);

20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.

2) Accessory structures on historic landmark properties must meet the setback requirements of the underlying zone and Chapter [34](#) CDC;

20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.

3) Detached accessory structures shall be in the rear yard; and

20x20 Garage will be constructed at the SE corner of the property with a 3' setback on the south side and a 1' setback along the alley.

4) Two-story accessory structures shall be at least 10 feet from the house; and one-story accessory structures shall be at least three feet from the house.

NA – the garage is less than 15' high

b. Height. Accessory structures in the Willamette Historic District are subject to CDC [25.070\(C\)\(7\)](#). Accessory structures on historic landmark properties must meet the height requirements of the underlying zone and Chapter [34](#) CDC.

- *Garage siding and exterior components will match the main house*
- *9' High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Conversions and additions. Existing detached, unheated structures including, but not limited to, workshops and garages, may be converted into other allowable accessory uses under the following conditions:

N/A – The lot is vacant with no existing structures.

25.070 ADDITIONAL STANDARDS APPLICABLE TO HISTORIC DISTRICTS

B. Standards for new construction. The standards in this section apply only to new construction in a historic district beyond alterations and additions, including new accessory structures. These standards shall apply in addition to any other applicable standards (see the Standards Applicability Matrix in CDC [25.020](#)).

1. New construction shall complement and support the district. The historic district's defining characteristics include a discernible aesthetic rhythm of massing, scale, and siting. Infill buildings shall not deviate in a detracting manner from these elements, but appear as complementary members of the district, by conforming to the following:

a. Lot or parcel size, massing, scale, proportion, form, siting, floor area ratio, window patterns, building divisions, and height shall correspond to the contributing buildings within the district, and any specific historic district standards and the applicable requirements of the underlying zone.

- *The lot is 5000 s.f. which is consistent the zoning and neighboring lots*
- *The home will be positioned with the front face at 20' feet plus a 6' porch which protrudes into the front yard and is consistent with the neighboring properties.*
- *Lot coverage percentage is 37% which is consistent with the codes required standard of 40% or less.*
- *The building height will be 27'9" which is consistent with the 28' requirement*

b. Infill buildings shall relate to and strengthen the defining characteristics, including architectural style, without replicating the historic buildings. Buildings shall differentiate by use of materials, mechanical systems, construction methods, and, if applicable, signage. Architectural style shall not be the primary indicator of differentiation.

- *The American Foursquare was a popular architectural design between 1890–1930’s. The typical design consists of two and a half stories on a full basement with a monitor dormer (a dormer with a roof line that mirrors the primary roof) in the attic. The front porch spans the full width of the house with simple columns supporting the porch roof. Foursquare style homes are symmetrical with a centered front door and with equal groupings of windows.*
- *The home is differentiated by use of Harie Products that mimic the style and texture of the era. Windows will meet current code with Low E glazing. All elements of construction and methodology of applications will meet current code.*

c. Mechanical and automobile infrastructure must be appropriately concealed when not consistent with the district’s character.

- *Garage siding and exterior components will match the main house*
- *9’ High walls with a 6:12 pitch hipped roof*
- *The garage door will be Carriage style*

2. Reconstruction. Reconstruction of buildings that existed within the district during the period of significance is allowed. Reconstructions shall be done in accordance with the Secretary of the Interior’s Standards for Reconstruction.

N/A – The lot is vacant with no existing structures.

3. Archaeological resources shall be preserved in place or mitigated. When new construction must disturb archaeological resources, mitigation measures shall be carried out consistent with applicable state and federal laws. As appropriate, information yielded from archaeological mitigation shall be interpreted in the new building or site.

N/A – The lot is vacant with no existing structures.

C. Willamette Historic District general design standards. This subsection applies only to alterations and additions, new construction, and accessory structure construction of residential and historically residential properties in the Willamette Historic District. Other buildings are subject to the requirements in Chapter [58](#) CDC. Dimensional and other requirements of the underlying zone, as applicable, shall apply.

1. Front yard setback.

a. The front yard setback shall equal the average of the front setbacks of adjacent homes on the block face. For corner lots, the setback shall be the average between the adjacent house to the side and 20 feet. The setback shall be the distance measured from the front property line to the dominant vertical face of the building, exclusive of any porches or front landings.

Front setback will be 20' to the front of the house face (excluding the front porch).

b. Unenclosed porches with no living space above may encroach into the front yard setback six feet from the dominant vertical face of the building.

6' front porch will encroach into the front yard.

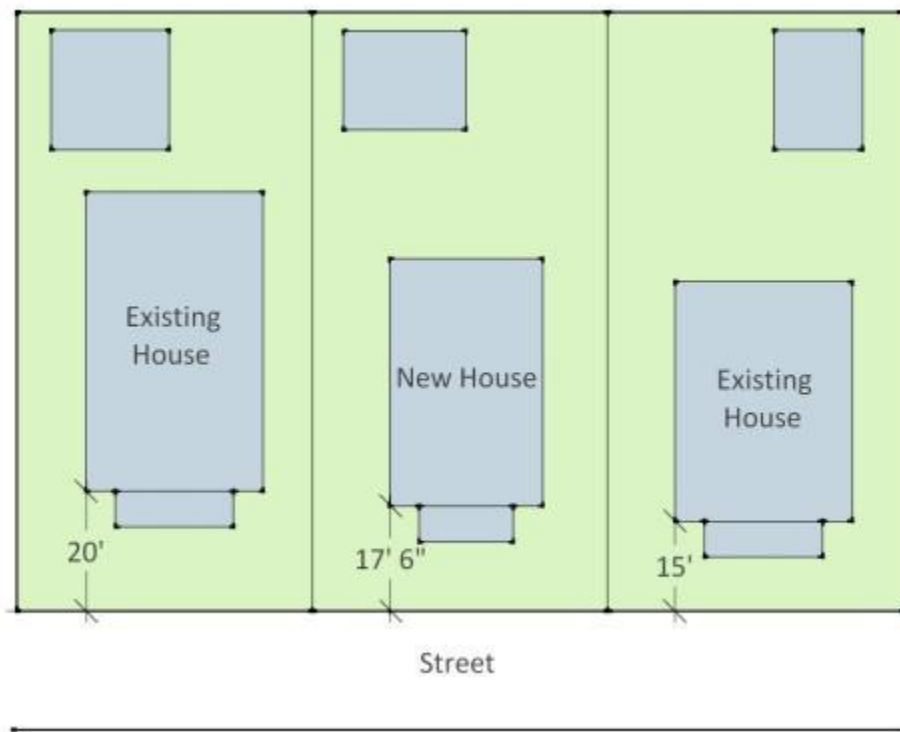


Figure 4: Front Yard Setback

2. Side yard setback. Side yard setbacks shall be five feet, except:

- ***5' setback on the east side of the home***
- ***16'6" setback on the west side of the home***

- a. Bays, porches and chimneys and other projections that are cumulatively no more than 20 percent of the overall respective building wall length may intrude 18 inches into the side yard setback; and

West side wall contains one protrusion less than 20% of the overall wall and will be no more than 18".

- b. One story accessory structures may be sited within three feet of the side property line and two story accessory structures shall be a minimum of 15 feet from the side property line.

Garage will be a 1 story structure and sited 3' away from the west property line

3. Side street setback. Setbacks from side streets shall be 10 feet for both developed and undeveloped streets, except:

- a. Bays, porches and chimneys and other projections may intrude two feet into side street yard setback; and

N/A - this is not a corner lot

- c. One and two story accessory structures may be sited within five feet of the side street property line.

N/A - this is not a corner lot

4. Rear yard setback. The rear yard setback shall be a minimum of 20 feet, except for accessory structures, which may be sited to within three feet of the rear property lines.

- ***The main house will be set back from the rear property line 34'4"***
- ***Garage will be set back 3' from the alley***

5. Orientation. New home construction on corner lots shall be oriented the same direction as the majority of homes on the street with the longest block frontage.

N/A - This is not a corner lot

6. New lot configuration. In addition to other requirements of the CDC, all new lots in the historic district shall be perpendicular to the street and extend directly from the lot line along the street to the opposite lot line. The primary structure and any other contributing structures on the original property shall not be located on separate lots.

N/A - This is not a new lot

7. Building height.

a. Residential structures are limited to 28 feet in height. Cupolas and towers shall not exceed 50 feet in height.

The home is 28' high and there are no cupolas or towers present

b. One story accessory structures shall not exceed a height of 15 feet. For the purposes of this chapter, any one story accessory structure over 15 feet is considered a two story structure.

The garage will be 15' or less in height

d. Two story accessory structures shall not exceed the maximum height of 23 feet as measured per Chapter [41](#) CDC.

N/A – there are no two story accessory structures

e. Accessory structures shall not exceed the height of the primary dwelling.

N/A – the primary dwelling is 28' in height and the accessory garage will be less than 15'

8. Building shapes and sizes. No building shall exceed 35 feet in overall width. Front facade gables shall not exceed 28 feet in overall width.

The house is 28'6"

9. Roof pitch. Roofs shall have a pitch of at least 6:12.

The roof will be 6:12 pitch

10. Garage access and parking areas.

a. Garages shall be accessed from an alley, if present. No garage door may face or have access onto a street except when alley access is not available.

Alley access is available and the garage will be sited in the rear of the home facing the alley.

b. Parking areas.

1) No residential lot shall be converted solely to parking use.

N/A – a home and garage will be built on the lot

2) No rear yard area shall be converted solely to parking use.

N/A – a home and garage will be built on the lot

3) When a lot is adjacent to an alley, all parking access shall be from the alley.
(Ord. 1614 § 6, 2013; Ord. 1636 § 23, 2014)

Two car garage in the rear of the home off the alley

Lot Views



Samples

This sample Foursquare is located in downtown Portland. Below are details that we will incorporate into the design of the home we are building:



- 24" eaves
- The windows tie into the 5/4 x 10" frieze board
- Windows that do not tie into the frieze board will have a cap crown
- Corner boards are present
- Siding wrapped porch post
- Trim and Lattice below deck

- Right Elevation pop-out will look very similar to what is pictured
- Mullion windows throughout home will look similar to what is pictured
- Crown molding will be present at frieze boards
- Windows do not have muntins with the exception of the front porch windows with upper muntins

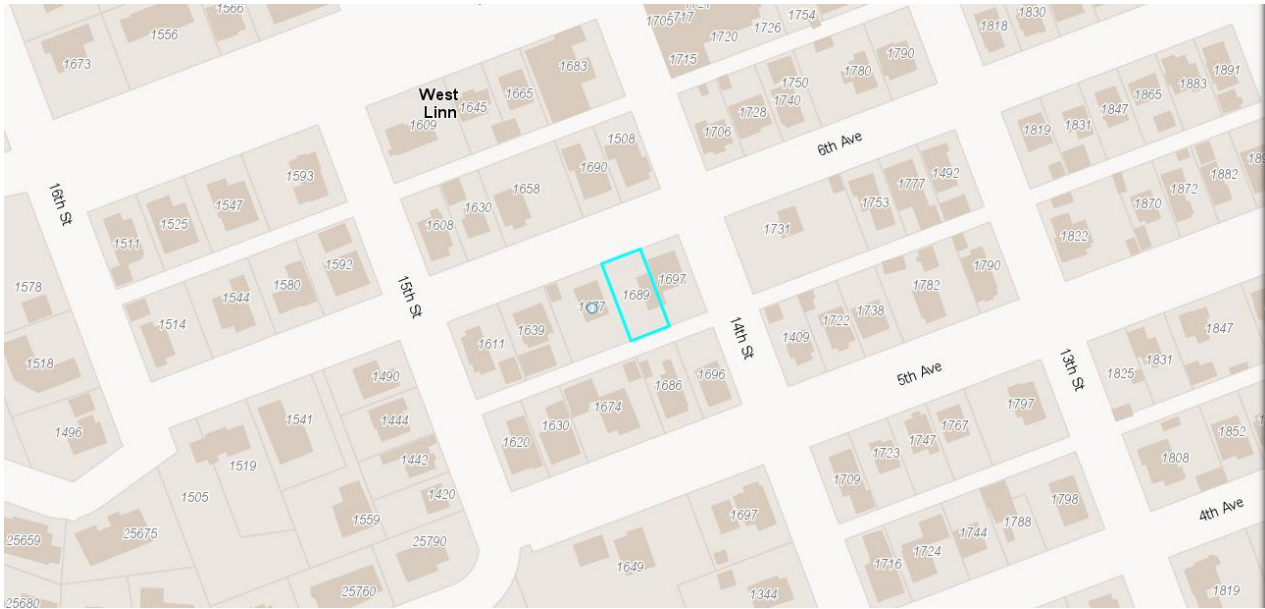


Sample Porch Columns



- Porch columns will be siding wrapped and tapered
- Roof pitch of porch will be 2.5:12

Sample Massing-Scale-Clustering



- Building clustering will be most comparable to the property located at 1639 6th Ave
- The home will be positioned at the 5' setback on the east side to provide for a 16'6" yard on the west side
- The garage will be positioned 3' from the west setback to provide for a 27' yard in the rear of the home



American Foursquare (1900-1930)



Historical Origins



American Foursquare Kit Home from the Sears, Roebuck & Co. Mail-Order Catalog

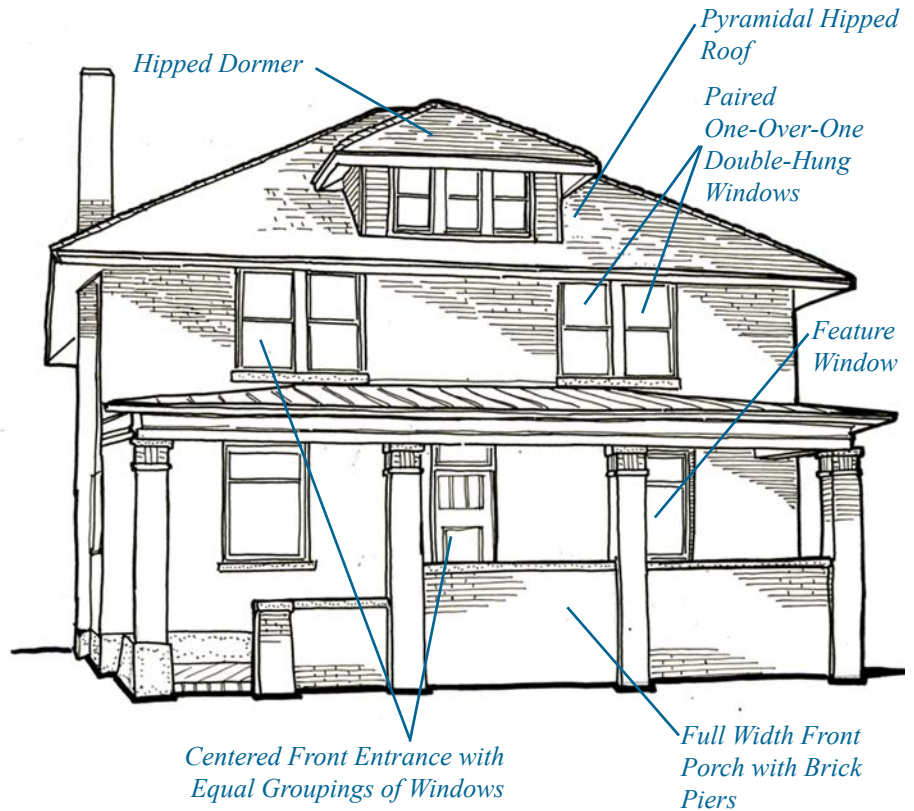
The American Foursquare began appearing on American streets—from Seattle to San Diego, Miami to New York, and here in Roanoke—around the turn of the twentieth century. This new style promised affordable, utilitarian housing for middle-class families trying to gain the most from a modest lot. Simplistic and practical, American Foursquares are one of the most common housing types found in Roanoke’s diverse neighborhoods.

The American Foursquare’s origins are rooted in the work of Frank Lloyd Wright, the American architect who shunned asymmetrical late-Victorian era pretension and pioneered a humbler, boxier, more down-to-earth alternative for domestic architecture.

Pattern books and mail-order catalog companies such as Sears, Roebuck & Co., and Aladdin Houses helped promote Wright’s new “Prairie” vision by offering kit homes that included American Foursquare house plans. The pieces were trucked or shipped by boxcar to cities across the country, which helps explain why American Foursquares were built in neighborhoods near rail lines.

Essential Elements

- Cubical-shaped, two-story house, square in plan and elevation.
- **Hipped** or pyramidal hipped roof with hipped, **gabled** or **pedimented** dormers on one or more sides of main roof.
- Deep, full-width or wrap around porch, one story in height, with significant structural components.
- Centered front entrance with equal groupings of windows on either side of both stories; or off-centered entrance with symmetrical upper story window arrangement.
- Craftsman or Colonial Revival influence present on doors, windows, porches, and *eaves*.



Massing & Roof Forms



Pyramidal



Hipped

The American Foursquare is characterized more by its simple box-like form and low-**hipped** roof, than its style, thus gaining its name from a straightforward floor plan of four rooms on each level. The standard American Foursquare truly is square in form often measuring 28' x 28', 29' x 29', or 30' x 30'. The roof is either hipped or pyramidal hipped with a hipped, **gabled** or **pedimented** dormer on one or more sides with a **pitch** ranging from 6:12 to 8:12. The roof is typically accented with a wide *eave*.

The American Foursquare is always two stories tall. Window and door composition on the front façade typically consists of two windows (sometimes paired) and a centered or off-centered door on the first floor, two windows (sometimes paired) on the second floor and a centered dormer in the roof. The American Foursquare typically has an exterior end chimney projecting through the eaves.



Gabled Dormer



Hipped Dormer with Exposed Rafters



Wall Cladding



Diapering with Soldier Course Above



Combination of Brick and Shingle Siding

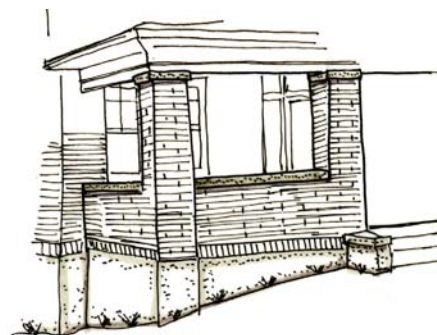
Walls were almost always laid in brick. Occasionally, decorative geometric patterns called *diapering* were used with darker brick highlighting the pattern. Many American Foursquares feature a horizontal band of vertical bricks (a *soldier course*) at the roof wall junction. Wood siding (4 to 6 inch exposure), wood shingles and stucco were often used to accent the second story and dormer windows.

Porches

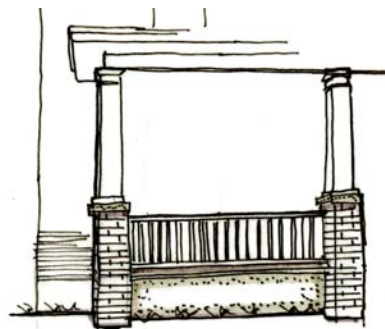


A full-length, one-story front porch is a widespread element of the American Foursquare. The porch often extends to one side as either a wrap around porch or as a *porte-cochere* for parking vehicles. American Foursquare porches are typically accessed by concrete steps that match the foundation with flanking square brick posts.

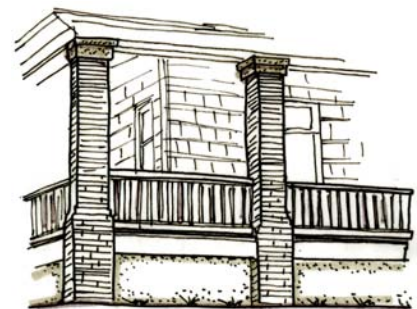
Because most American Foursquares are brick, most porch supports are 12 inch square brick posts of full height. Brick knee-walls capped with concrete *coping* usually span between the brick posts. Other variations will feature a brick pier with tapered wood posts (10 to 12 inches wide) and wood railings with 2 inch square *balusters*.



Brick Piers with Knee-Wall Capped with Concrete Coping



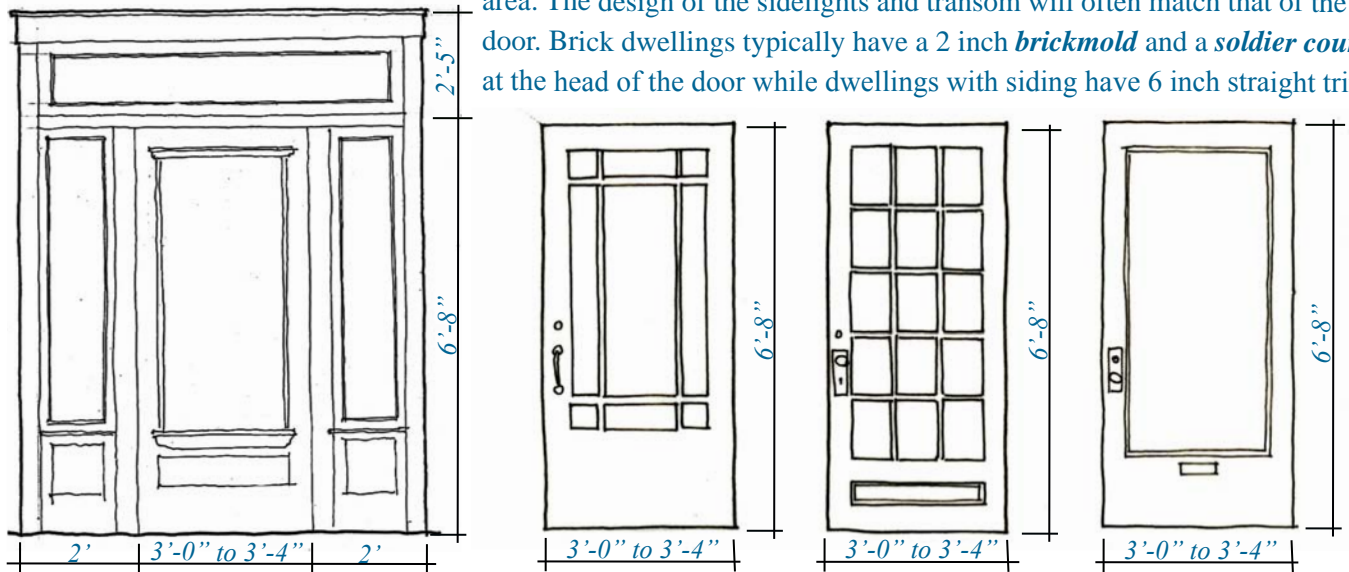
Tapered Post on Brick Pedestal with Wood Railings



Brick Piers with Wood Railings

Doors

The American Foursquare door is similar to other front doors of the 1920s with rectangular-shaped glass and raised wood panels. *Sidelights* and a *transom* often accent the front door while allowing more light into the living area. The design of the sidelights and transom will often match that of the door. Brick dwellings typically have a 2 inch *brickmold* and a *soldier course* at the head of the door while dwellings with siding have 6 inch straight trim.

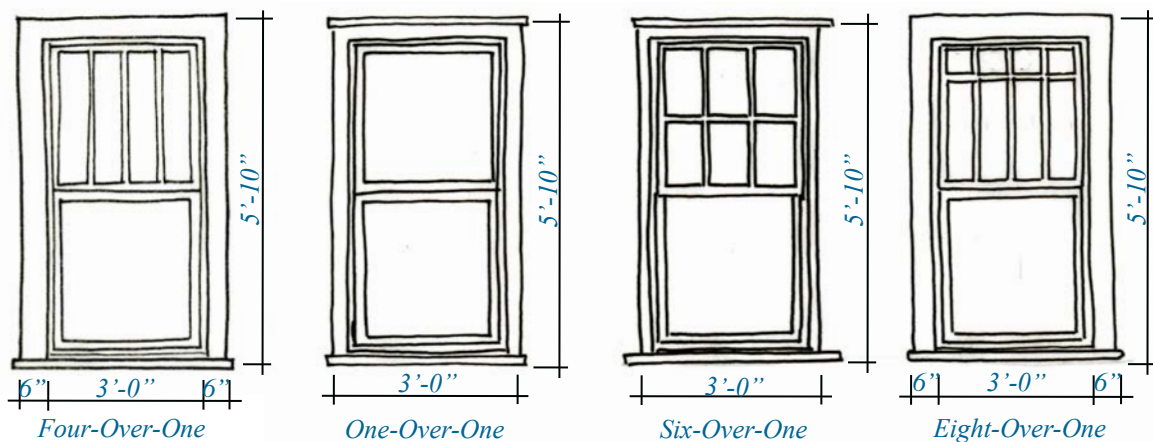


Typical Doors found on the American Foursquare

Windows

Paired, *double-hung* wood windows with four-over-one *sashes* typify the American Foursquare. Other common window sash types include a one-over-one or a six-over-one double-hung window. Sometimes decorative six or eight-over-one windows were used. Brick dwellings typically have a 2 inch *brickmold* and a *soldier course* at the head of the window while dwellings with siding have 6 inch straight trim. Shutters were rarely used on the American Foursquare.

Window placement reflects the American Foursquare floor plan. For example, sets of double or triple windows, and in some instances a *bay* window, on a side elevation will denote the first floor living room/dining room or a second floor master bedroom. A small window between floors will light the staircase, while a small second floor window located between larger windows indicates a bathroom or closet.



Stylistic Influences

The modest American Foursquare design lent itself to changing architectural tastes effortlessly and inexpensively. Thus an American Foursquare in Roanoke is often decorated with stylistic features from either the Colonial Revival or the Craftsman styles:



Colonial Revival Influence

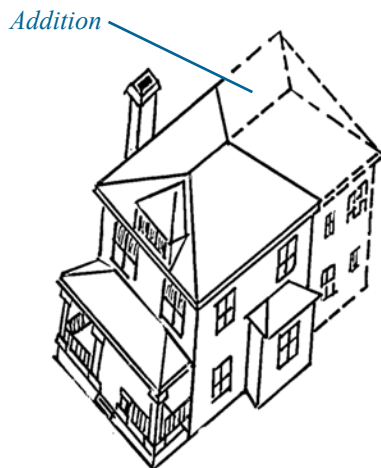
- **Pedimented gable** over a porch entry.
- Classical **columns**
- **Cornice** with **dentils** or **modillions**.
- Dormer with a **Palladian**-style window.



Craftsman Influence

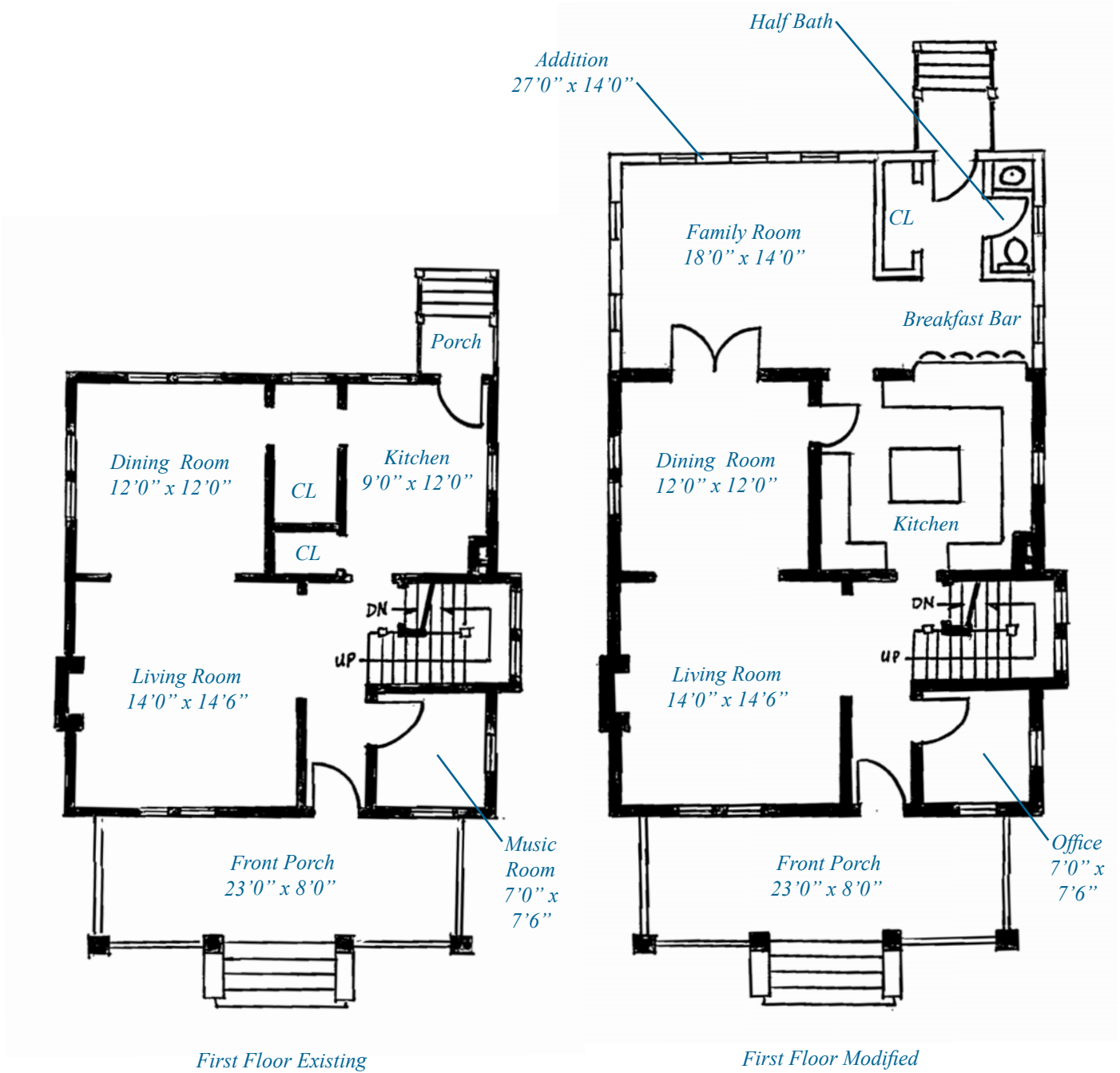
- Low-**pitched** roof
- Tapered posts
- Wide **eaves** with exposed **rafter tails** or **knee braces**.
- Large **gabled** or shed dormers with exposed **rafter tails** and braces.

Additions



New additions to American Foursquares should be designed as secondary elements or wings that are compatible with the overall **massing** and scale of the original house. An addition should never be larger or wider than the main residence. The most appropriate location for an addition is to the rear of the property to minimize visibility from the street. Additions should be designed and built so that the form and character of the primary residence will remain intact if the addition is ever removed.

An addition should respect the stylistic influences that may be found on an American Foursquare. Similar exterior finish materials should be used whenever possible. A list of appropriate materials specific to the American Foursquare is provided at the end of this section. Roofing forms and materials should match those of the original structure if possible, with low-**pitch** roofs that are subordinate to the primary roof line. Windows should be similar to the original in type and style, employing wooden **double-hung sash** or **casement** windows as necessary. More information on additions can be found within the New Construction section of this document.



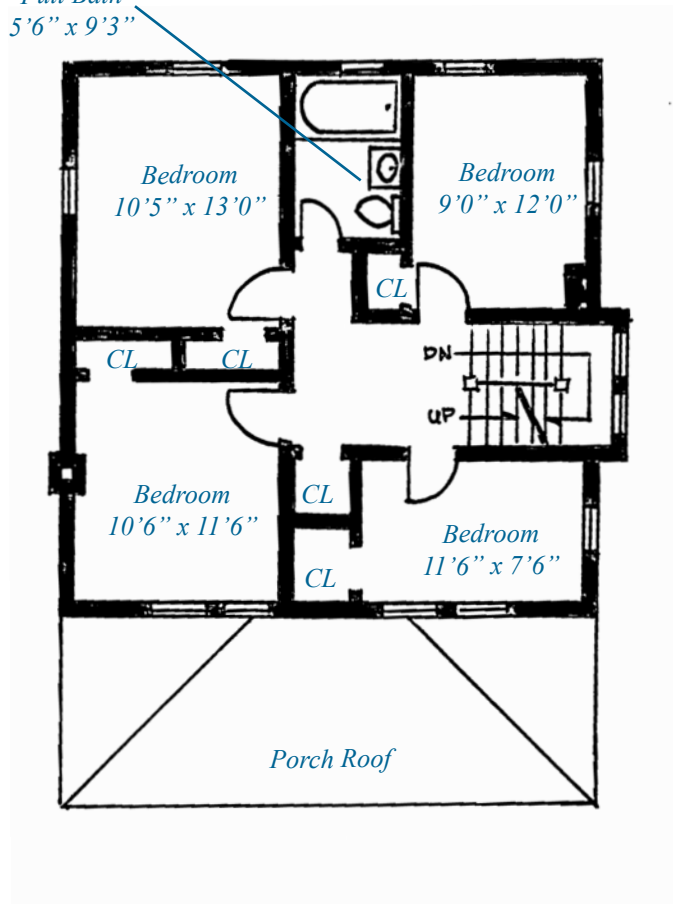
Reallocation of Existing Square Footage and Addition to an American Foursquare

**Finish Attic Space into Additional Bedrooms,
Media Room, or Recreation Room*

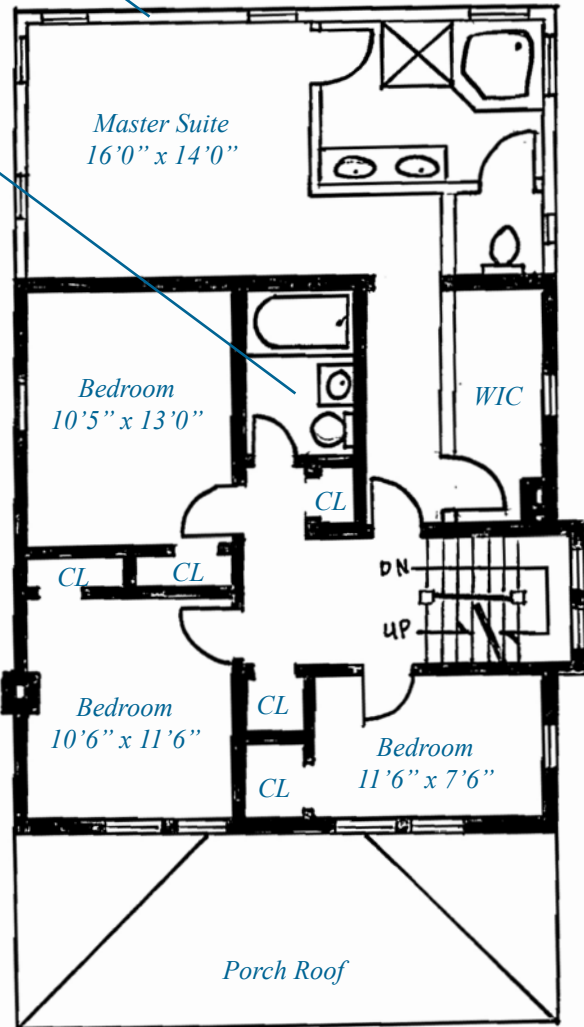
*Addition
27'0" x 14'0"*

*Full Bath
5'6" x 9'3"*

*Full Bath
5'6" x 9'3"*



Second Floor Existing



Second Floor Modified

Reallocation of Existing Square Footage and Addition to an American Foursquare

Garages and Porte-Cocheres



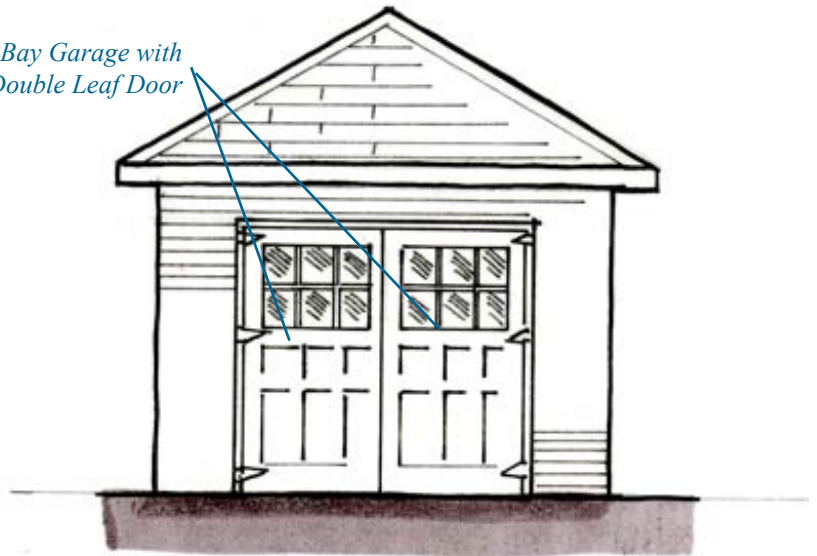
Two Bay Garage with Sliding Doors



Porte-Cochere Accessed by Double Strips of Concrete

Like other early 20th-Century residences, American Foursquare houses had matching garages; most garages were one *bay* wide, while some featured two bays divided by a centered brick post (as opposed to one wide door that is common today). The garages were often brick that matched the house with double-leaf doors or sliding doors. The roof *pitch* is usually lower than the main house. The garages were located off the rear corner of the house at the end of double strips of concrete. Vehicles were also parked under a *porte-cochere*.

One Bay Garage with Double Leaf Door



Painting an American Foursquare

Soft colors such as white or ivory should be used on the American Foursquare's wood *sashes*, *eaves*, and trim. Soft earth tones such as brown, yellow, and green should be used on siding and shingles. Unpainted brick should never be painted as it could drastically alter the home's original character and trap moisture inside walls.

Maintaining Character Defining Features



Roanoke's stock of American Foursquares is nearly one hundred years old. This longevity attests to the sturdiness of construction and craftsmanship that made these houses an American tradition. Despite their durability, homeowners should take a few simple maintenance steps to preserve the character-defining elements that add richness to local American Foursquares.

The symmetrical *massing* for which the American Foursquare is named is one of the most important architectural features to maintain. A simple insensitive window replacement can impact the house by skewing its façade proportions. Because exterior architectural elements are character-defining features of an American Foursquare, their ongoing maintenance is essential to preserving the historic significance of a building.

Doors and windows are among the most highly visible features of any residence. All windows should be maintained and repaired annually. Windows located beneath the full-width porches are always protected from the sun and

rain and rarely require replacement. Porches and *porte-cocheres* are fundamental aspects of an American Foursquare and should be maintained and repaired annually. Front porches should never be enclosed with siding, nor should they be removed or altered. Unpainted brick should never be painted.

Appropriate Materials

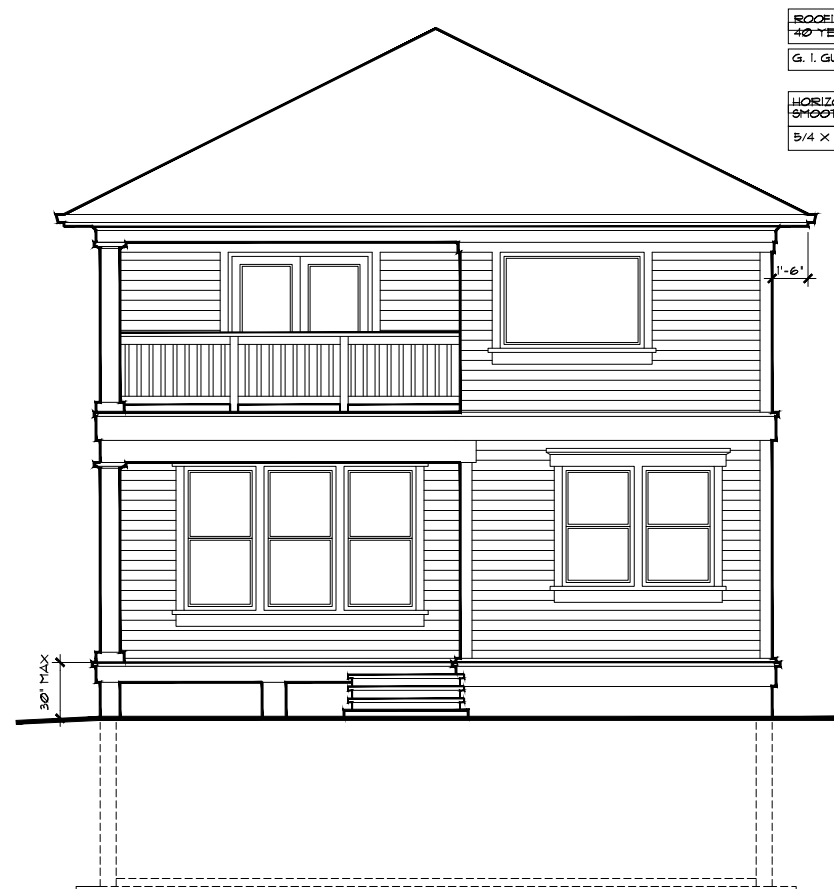


- *Roofs:* Fiberglass shingles (architectural grade), cementitious shingles, slate and faux slate materials, and pressed metal shingles.
- *Wall Cladding:* Smooth finish brick. Wood or smooth finished fiber-cement boards in *novelty* siding and lap siding with a 4 inch to 6 inch lap exposure where appropriate on wood clad houses.
- *Porch Ceilings:* Tongue-and-groove wood or composite boards, or beaded-profile plywood.
- *Columns and Posts:* Solid brick posts or brick piers with tapered square posts. Architecturally correct proportions and details in wood, fiberglass, or composite material; as appropriate to the porch type.
- *Railings:* Milled wood top and bottom rails with thick square *balusters* (2" x 2" nominal dimension).
- *Doors:* Wood, fiberglass or steel with traditional stile-and-rail proportions, raised panel profiles, and *glazing* proportions.
- *Windows:* Wood, or aluminum-clad wood. Vinyl clad windows (generally not allowed in the H-1 or H-2 Historic Districts) should only be used in conjunction with brick veneer. True divided light or *simulated divided light* (SDL) *sash* with traditional exterior *muntin* profile (7/8 inch wide).
- *Shutters:* Shutters were not typically used on the American Foursquare and should not be added embellish the exterior.
- *Trim:* Wood, composite, or polyurethane millwork.



Gallery of Examples





REAR ELEVATION - SOUTH
SCALE 1/8" = 1'-0"

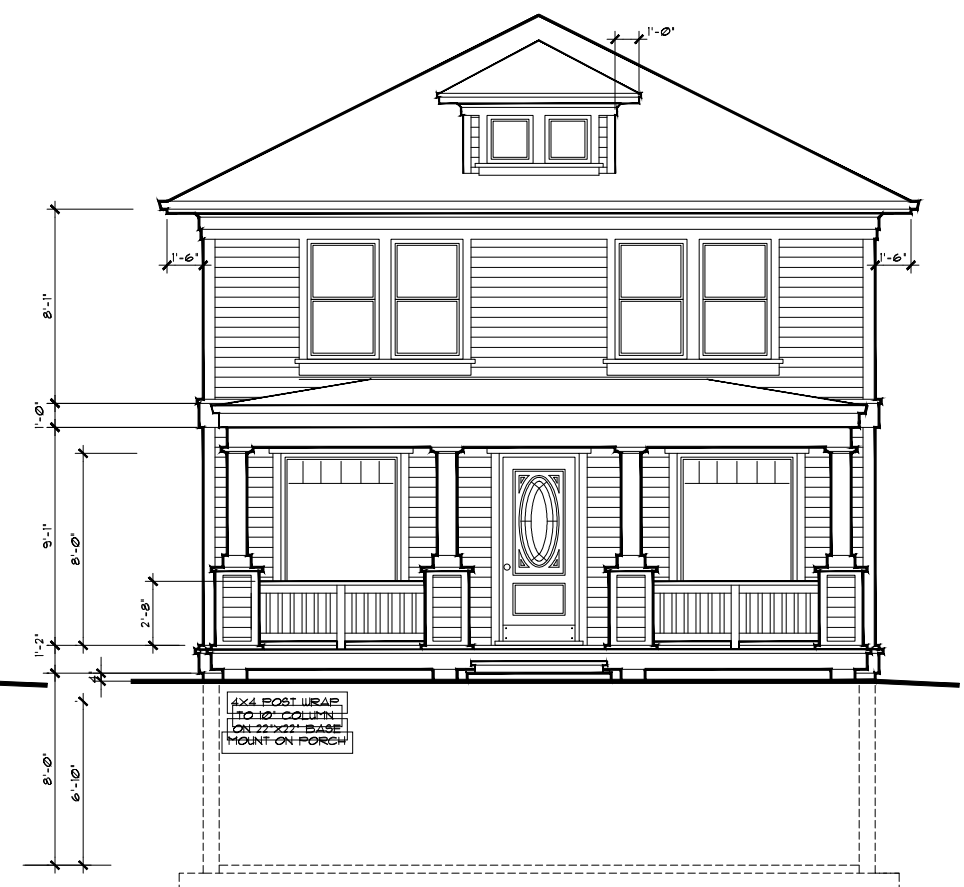
- ROOFING MATERIAL
40-YEAR COMPOSITION
- G. I. GUTTER ON 2 X 8 FASCIA
- HORIZONTAL HARD LAP SIDING
SMOOTH FINISH - 4" EXPOSURE
- 5/4 X 6 CEDAR CORNER BDS.



RIGHT ELEVATION - WEST
SCALE 1/8" = 1'-0"



LEFT ELEVATION - EAST
SCALE 1/8" = 1'-0"



FRONT ELEVATION - NORTH
SCALE 1/8" = 1'-0"

4X4 POST WRAP
TO 10" COLUMN
ON 22"X22" BASE
MOUNT ON PORCH

**WATTON
DESIGN
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1880
Willamette Falls Drive
Suite #200-D
West Linn, Or. 97068
503.655.1001
wattondesign.com

PROJECT: SINGLE FAMILY - NEW CONSTRUCTION
BUILDING SITE ADDRESS:
1689 6th AVENUE
CITY OF WEST LINN
WILLAMETTE HISTORIC DISTRICT

EXTERIOR ELEVATIONS
BUILDER
HOME GUARDIAN N.W.
503-701-4039

SQUARE FOOTAGE	1159 S.F.
MAIN AREA	1089 S.F.
UPPER AREA	
TOTAL AREA	2348 S.F.
BASEMENT	+934 S.F.
PORCH AREA	446 S.F.

DATE:
Est. 1-30-2017
Rev.
JOB No.
17051
SHEET
1

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 West Linn, Or. 97068
 503.655.1001
 wattondesign.com

PROJECT: SINGLE FAMILY - NEW CONSTRUCTION
BUILDING SITE ADDRESS:
 1689 6th AVENUE
 CITY OF WEST LINN
 WILLAMETTE HISTORIC DISTRICT

FLOOR PLANS
BUILDER
 HOME GUARDIAN N.W.
 503-701-4039

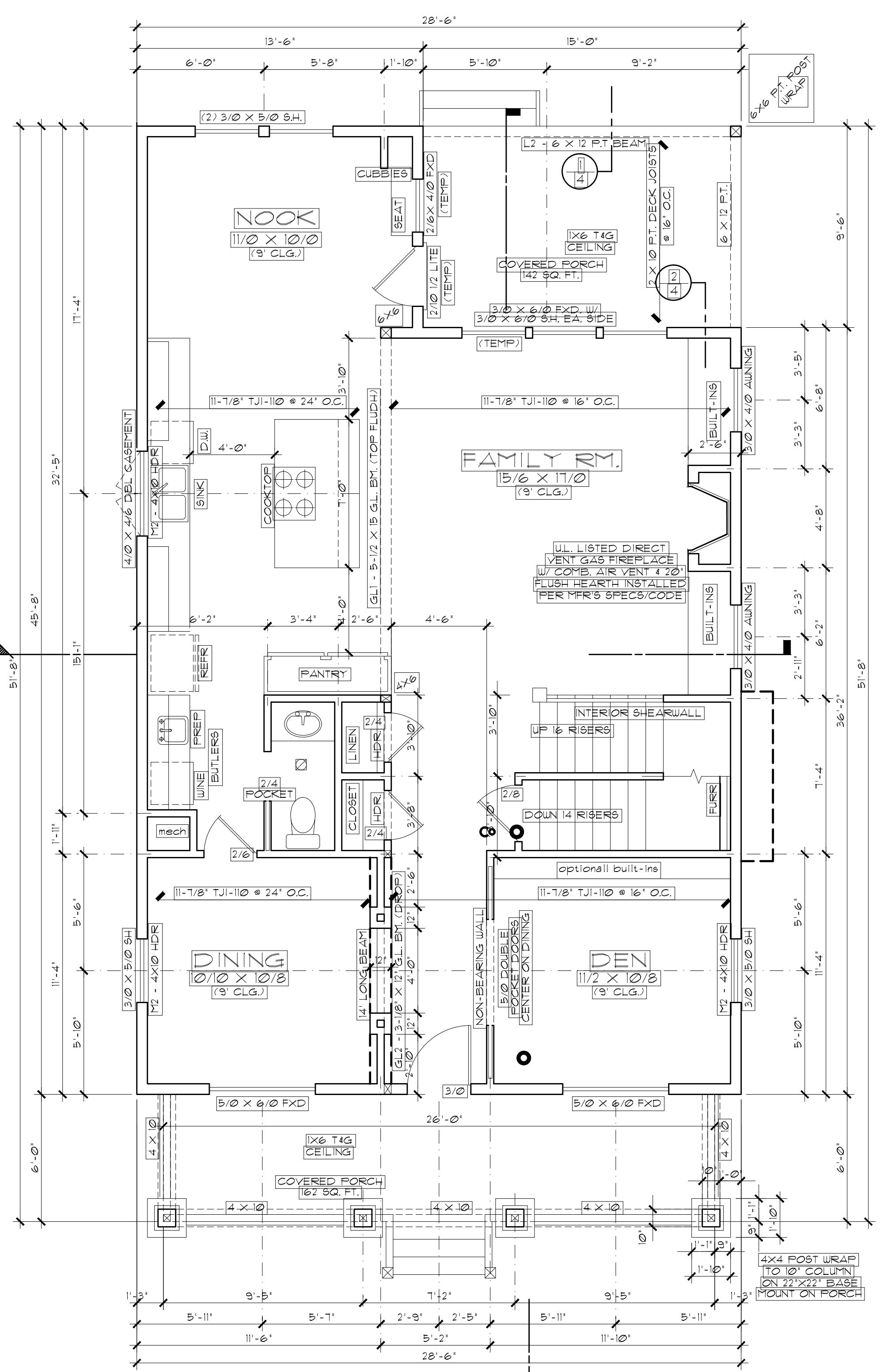
SQUARE FOOTAGE	
MAIN AREA	1159 S.F.
UPPER AREA	1089 S.F.
TOTAL AREA	2248 S.F.
BASEMENT	+934 S.F.
PORCH AREA	446 S.F.

DATE:
 Est. 1-30-2017
 Rev.

JOB No.

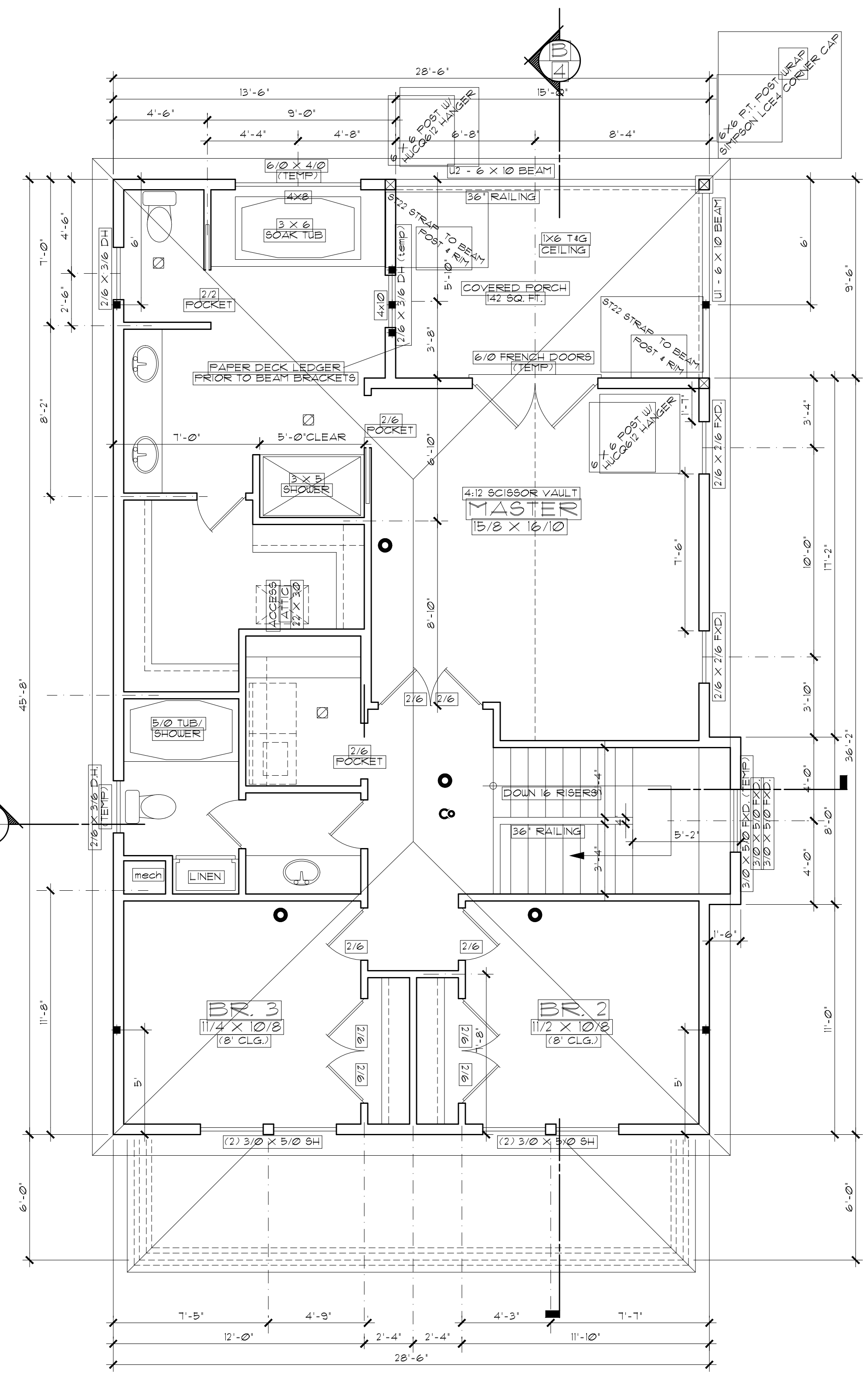
17051

SHEET



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"



UPPER FLOOR PLAN

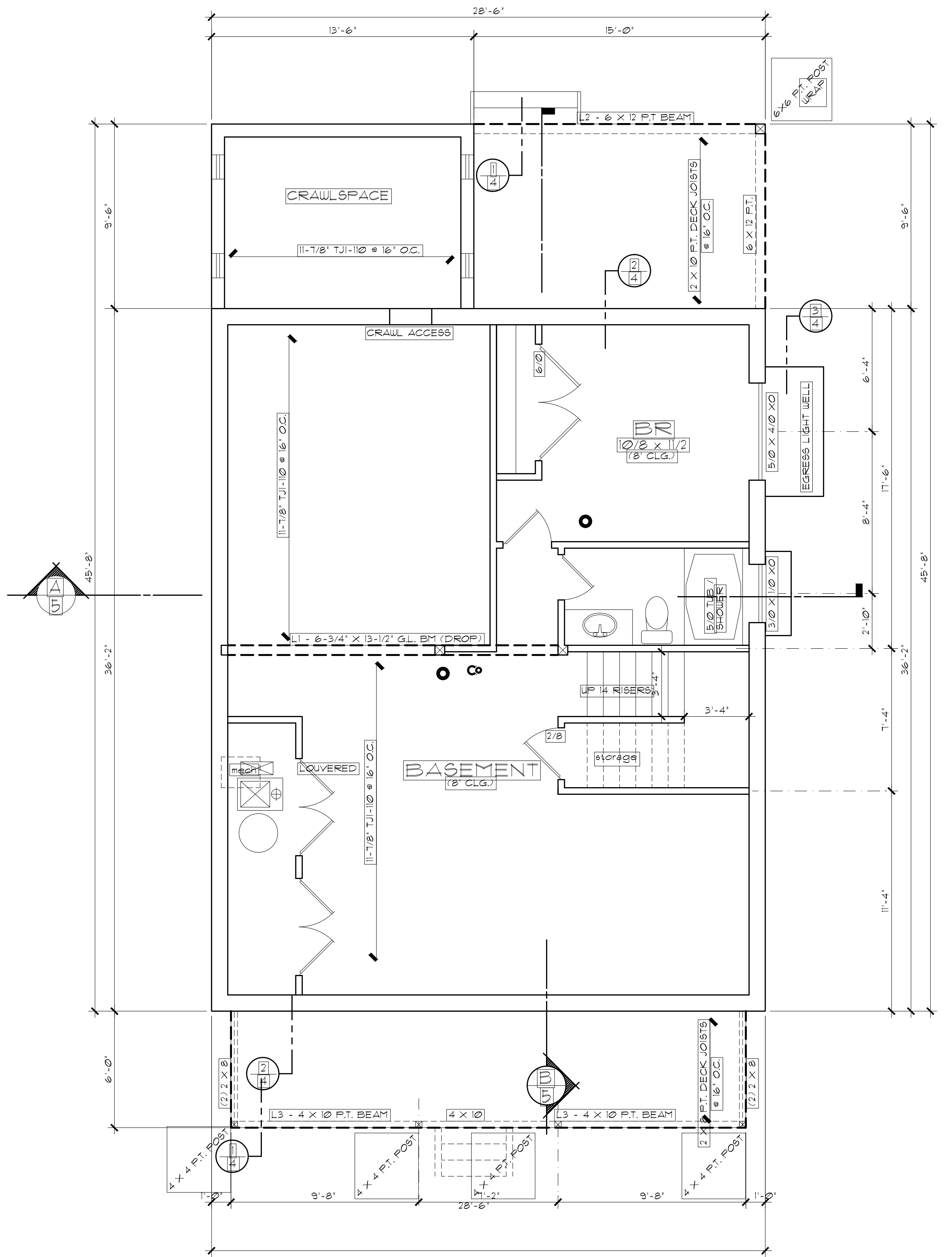
SCALE: 1/8" = 1'-0"

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BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJECT: SINGLE FAMILY - NEW CONSTRUCTION

BUILDING SITE ADDRESS:
1689 6th AVENUE
CITY OF WEST LINN
WILLAMETTE HISTORIC DISTRICT

BASEMENT / FOUNDATION

BUILDER
HOME GUARDIAN N.W.
503-701-4039

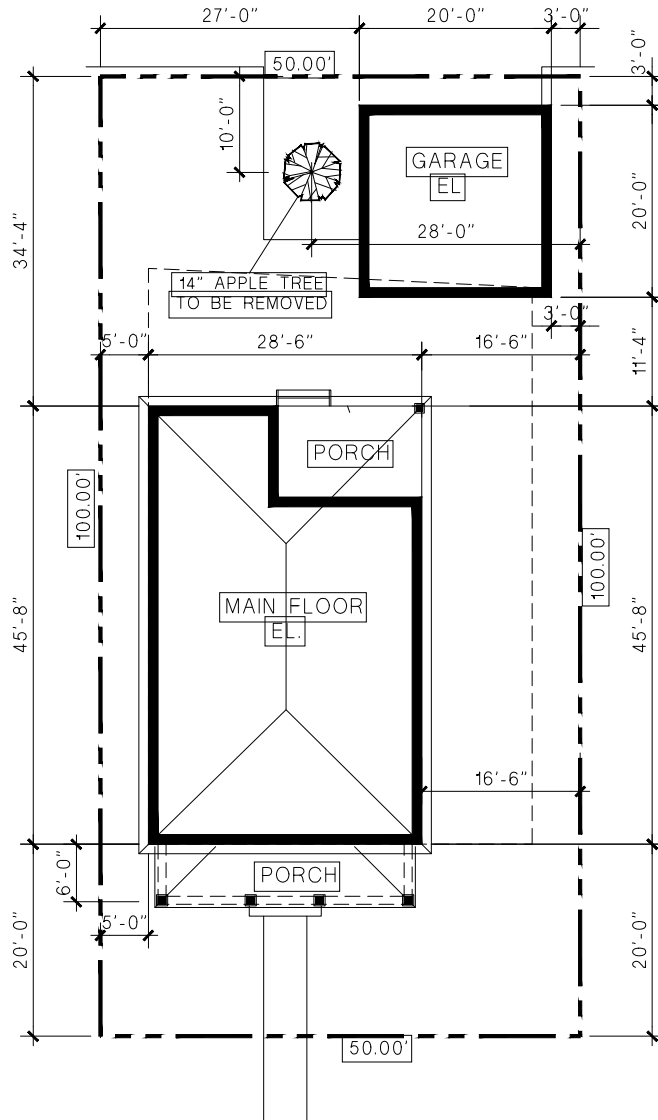
SQUARE FOOTAGE	
MAIN AREA	1159 S.F.
UPPER AREA	1089 S.F.
TOTAL AREA	2248 S.F.
BASEMENT	+934 S.F.
PORCH AREA	446 S.F.

DATE:
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Rev.

JOB No.
17051

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3

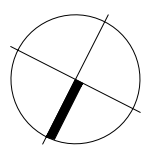
LOT COVERAGE	
HOUSE	1,470 SQ. FT.
GARAGE	400 SQ. FT.
TOTAL AREA	1,870 SQ. FT.
LOT AREA	5,000 SQ. FT.
PERCENTAGE	37.4 %
IMPERVIOUS (DRIVE)	0 SQ. FT.




6TH AVENUE

S I T E & EROSION CONTROL PLAN

SCALE 1" = 20' - 0"



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		HOME GUARDIAN N.W.	PROJECT ADDRESS: 1689 6th AVENUE CITY OF WEST LINN, OREGON	17051
			DATE	
			1/30/2017	SITE