



## DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Peter Spiv</i>	PROJECT NO(S). <i>WRG-16-08 / WAP-16-10 / MISC-16-06</i>	
NON-REFUNDABLE FEE(S) <i>2600-</i>	REFUNDABLE DEPOSIT(S) <i>1050 + 1700-</i>	TOTAL <i>5350-</i>

**Type of Review (Please check all that apply):**

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Annexation (ANX)                   | <input type="checkbox"/> Historic Review                                  | <input type="checkbox"/> Subdivision (SUB)  |
| <input type="checkbox"/> Appeal and Review (AP) *           | <input type="checkbox"/> Legislative Plan or Change                       | <input type="checkbox"/> Temporary Uses *   |
| <input type="checkbox"/> Conditional Use (CUP)              | <input type="checkbox"/> Lot Line Adjustment (LLA) */**                   | <input type="checkbox"/> Time Extension *   |
| <input type="checkbox"/> Design Review (DR)                 | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR)   |
| <input type="checkbox"/> Easement Vacation                  | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures           | <input checked="" type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD)                   | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP)               |
| <input type="checkbox"/> Final Plat or Plan (FP)            | <input type="checkbox"/> Pre-Application Conference (PA) */**             | <input checked="" type="checkbox"/> Willamette & Tualatin River Greenway (WRG)      |
| <input checked="" type="checkbox"/> Flood Management Area   | <input type="checkbox"/> Street Vacation                                  | <input type="checkbox"/> Habitat Conservation Area section _____                    |
|   |   | <input type="checkbox"/> Zone Change  |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

<b>Site Location/Address:</b> <i>1059 9th ST</i>	<b>Assessor's Map No.:</b>
	<b>Tax Lot(s):</b>
	<b>Total Land Area:</b>

**Brief Description of Proposal:**  
*NSFR*

<b>Applicant Name:</b> <i>CREATIVE HOMES</i> <small>(please print)</small>	Phone: <i>503 560 0915</i>
Address: <i>219 NE HWY 99W</i>	Email: <i>ARUON@CREATIVEHOMES.NET</i>
City State Zip: <i>McMinnville, OR 97128</i>	

<b>Owner Name (required):</b> <i>MAX MORSON / ANN MILLER</i> <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

<b>Consultant Name:</b> <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). Any overruns to deposit will result in additional billing.
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.  
 One (1) complete set of digital application materials must also be submitted on CD in PDF format.  
 If large sets of plans are required in application please submit only two sets.

\* No CD required / \*\* Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

	<i>10/1</i>		10/10/2016
Applicant's signature	Date	Owner's signature (required)	Date

# PARTITION PLAT

A REPLAT OF LOT B AND PORTIONS OF LOTS A, C, AND D OF BLOCK 19 OF THE PLAT OF "WILLAMETTE & TUALATIN TRACTS" (PLAT NO. 198), LOCATED IN THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 3 SOUTH, RANGE 1 EAST, WILLAMETTE MERIDIAN, CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON  
OCTOBER 19, 2015

## NARRATIVE

THE PURPOSE OF THIS REPLAT WAS TO PARTITION THAT PROPERTY DESCRIBED IN DOCUMENT NUMBER 2003-164700 INTO PARCELS AS SHOWN HEREON, PER CITY OF WEST LINN PLANNING AND DEVELOPMENT FILE NO. LLA-15-02. THE BASIS OF BEARINGS IS PER PARTITION PLAT NUMBER 2005-094, AS SHOWN HEREON.

THE NORTH LINE OF ADJOINING PARCELS 2 AND 3 OF PARTITION PLAT NUMBER 2005-094 WAS ESTABLISHED BY HOLDING THE FOUND ORIGINAL DEED MONUMENT AT THE NORTHEAST CORNER OF SAID PARCEL 3 PER SURVEY NUMBER 2003-311 AND ESTABLISHED THE NORTHWEST CORNER OF PARCEL 2 OF SAID PARTITION PLAT BY HOLDING RECORD BEARING AND DISTANCE FROM SAID NORTHEAST CORNER OF PARCEL 3 WHICH AGREES WITH RECORD DISTANCE TO THE FOUND MONUMENT AT THE SOUTHWEST CORNER OF SAID PARCEL 2 OF PARTITION PLAT NUMBER 2005-094.

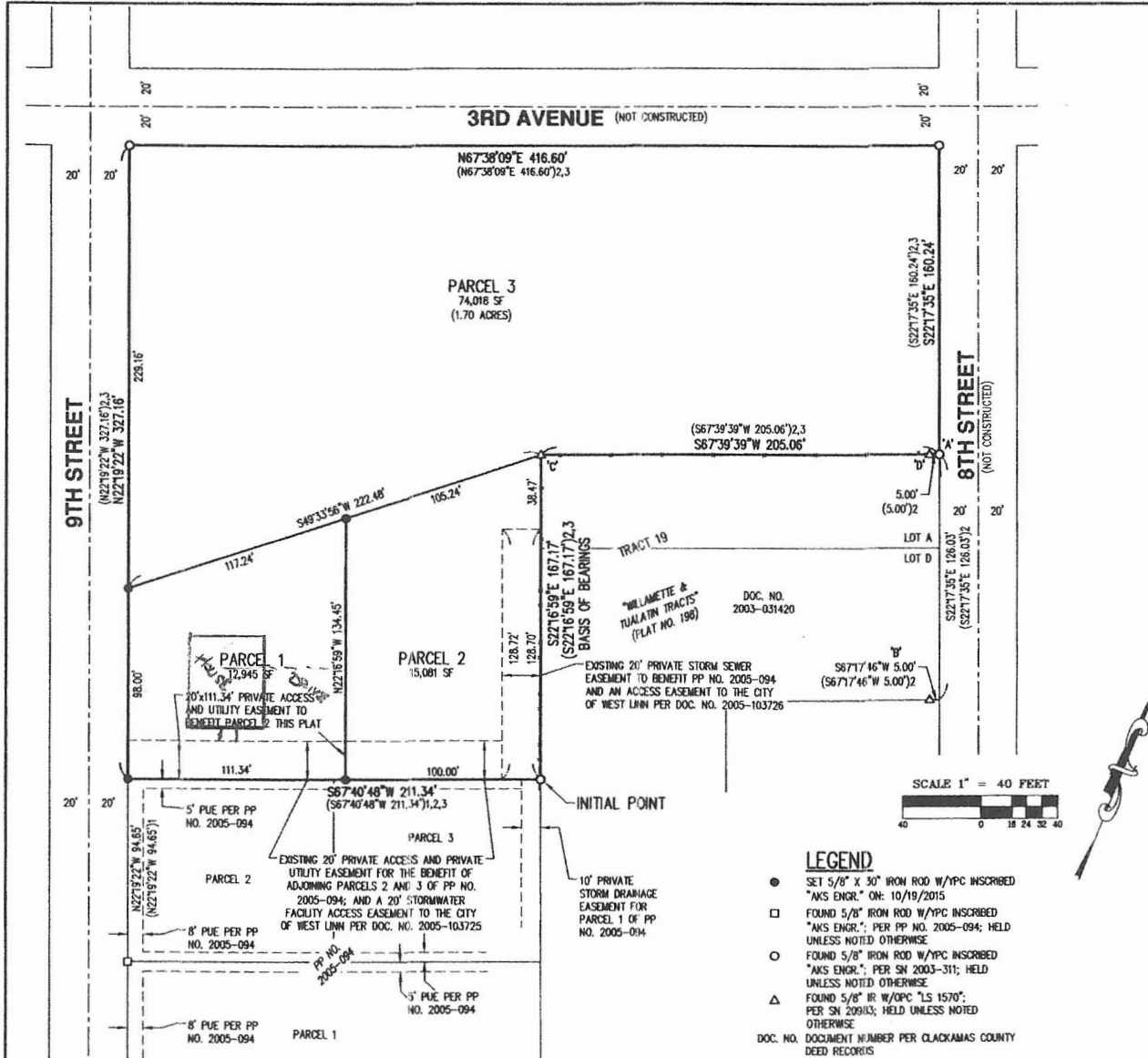
THE EAST RIGHT-OF-WAY LINE OF 9TH STREET WAS ESTABLISHED BY HOLDING THE FOUND MONUMENT AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 9TH STREET AND 3RD AVENUE PER SURVEY NUMBER 2003-311 WITH THE FOUND MONUMENT AT THE SOUTHWEST CORNER OF PARCEL 2 OF PARTITION PLAT NUMBER 2005-094. THESE MONUMENTS ARE THE BEST EVIDENCE OF THIS RIGHT-OF-WAY DEDICATION PER SUBJECT PLAT.

THE SOUTH RIGHT-OF-WAY LINE OF 3RD AVENUE WAS ESTABLISHED BY HOLDING THE FOUND MONUMENTS AT THE NORTHWEST AND NORTHEAST CORNERS OF BLOCK 19 PER SURVEY NUMBER 2003-311. THIS IS BEST EVIDENCE OF THIS RIGHT-OF-WAY PER SAID PLAT. SURVEY NUMBER 2003-311 PRESERVES HISTORIC MONUMENTS SET IN SURVEY NUMBER 20983.

THE WEST RIGHT-OF-WAY LINE OF 8TH STREET WAS ESTABLISHED BY HOLDING SAID MONUMENT AT THE NORTHEAST CORNER OF BLOCK 19 PER SURVEY NUMBER 2003-311 WITH THE FOUND MONUMENT AT 'A' PER SURVEY NUMBER 2003-311 WITH THE FOUND MONUMENT ON A RECORD 5.00 FOOT OFFSET AT 'B' PER SURVEY NUMBER 20983. THIS IS BEST EVIDENCE OF THIS RIGHT-OF-WAY PER SAID PLAT. SURVEY NUMBER 2003-311 PRESERVES HISTORIC MONUMENTS SET IN SURVEY NUMBER 22078.

THE NORTHERLY LINE OF ADJOINING TRACT DOCUMENT NUMBER 2003-031420 WAS ESTABLISHED BY HOLDING SAID MONUMENT AT 'A' PER SURVEY NUMBER 2003-311 WITH ORIGINAL PARTITION SURVEY MONUMENTS 'C' AND 'D' PER SURVEY NUMBER 20983.

THE WESTERLY LINE OF DOCUMENT NUMBER 2003-311 WAS ESTABLISHED BY HOLDING SAID MONUMENT AT 'C' PER SURVEY NUMBER 20983 AND THE ORIGINAL DEED MONUMENT AT THE NORTHEAST CORNER OF PARCEL 3 OF PARTITION PLAT NUMBER 2005-094 PER ADJUSTMENT SURVEY NUMBER 2003-311.



## LEGEND

- SET 5/8" X 30" IRON ROD W/IPC INSCRIBED "AKS ENGR." ON: 10/19/2015
- FOUND 5/8" IRON ROD W/IPC INSCRIBED "AKS ENGR."; PER PP NO. 2005-094; HELD UNLESS NOTED OTHERWISE
- FOUND 5/8" IRON ROD W/IPC INSCRIBED "AKS ENGR."; PER SN 2003-311; HELD UNLESS NOTED OTHERWISE
- △ FOUND 5/8" IR W/IPC "LS 1570"; PER SN 20983; HELD UNLESS NOTED OTHERWISE
- DOC. NO. DOCUMENT NUMBER PER CLACKAMAS COUNTY DEED RECORDS
- IP IRON PIPE
- IR IRON ROD
- W/IPC WITH AN ORANGE PLASTIC CAP
- W/PP WITH A YELLOW PLASTIC CAP
- PP NO. PARTITION PLAT NUMBER PER CLACKAMAS COUNTY SURVEY RECORDS
- SN SURVEY NUMBER PER CLACKAMAS COUNTY SURVEY RECORDS
- PUE PUBLIC UTILITY EASEMENT
- ( 1 ) RECORD INFORMATION PER PP NO. 2005-094
- ( 2 ) RECORD INFORMATION PER SN 2003-311
- ( 3 ) RECORD INFORMATION PER DOC. NO. 2003-164700

## PREPARED FOR

ANN D. MILLER  
1009 9TH STREET  
WEST LINN, OR 97068

CITY OF WEST LINN PLANNING AND  
DEVELOPMENT FILE NO. LLA-15-02

01-18-16  
REGISTERED  
PROFESSIONAL  
LAND SURVEYOR

OREGON  
JANUARY 11, 2005  
ROBERT D. BETTING  
601245  
RENEWS: 12/31/16

JOB NAME:	MILLER PROP.
JOB NUMBER:	988
DRAWN BY:	MSK
CHECKED BY:	RDR
DRAWING NO.:	988PARTITION

AKS ENGINEERING AND FORESTRY, LLC  
12965 SW HERMAN RD  
SUITE 100  
TUALATIN, OR 97062  
PHONE: 503.563.6151  
FAX: 503.563.6152



ENGINEERING · PLANNING · SURVEYING  
FORESTRY · LANDSCAPE ARCHITECTURE

Approval Criteria Narrative Response  
WRA Permit  
FMA Permit  
WRG Permit

WRA Permit responses to CDC Chapter 32.060

- A. Care will be taken to conduct development in a manner that will avoid adverse impact on WRA. There are no trees of significance on the property. Only typical native grasses which will remain mostly intact outside of the building footprint until landscaping is done at which point the Portland Plant List will be used as a guide for selection of shrubs and trees.
- B. This development will not be adding impact to any storm water facilities. Provision will be made on site to contain storm water displaced by roof through a soakage trench. No culverts or additional piping will be required for development that will redirect any storm water from surrounding area.
- C. Not applicable—Repealed by Ord. 1647
- D. WRA is 65' wide from bankfull stage.
- E. No Driveway or new road will be installed as a part of this development within the WRA.
- F. No Passive recreation is included in our plan for development.
- G. No piped stream sections will be daylighted on this development.
- H. Various measures will be taken to reduce impact on surrounding habitat such as, containing water run-off, keeping house close to existing paved drive for minimal flatwork, pervious hardscapes, use of shared driveway, use of multi-story design to reduce footprint.

FMA Permit responses to CDC Chapter 27.060

- A. The impact of flood storage for this development will not increase design flood elevations.
- B. There will not be a net increase in fill material. Diggings from site excavation will be held to a minimum and then will be used for backfill and grading on site.
- C. Because the slope of the property tends to the north towards the wetland area, there will be no negative impact on neighboring properties from the grading and backfill work on this development.
- D. The 100 yr flood plain elevation on this location is set at 75.5'. The finished floor height will net a minimum of 76.5' to maintain 1' above flood plain.
- E. All soil excavated on site will be used on site.
- F. Development will be kept out of flood way.
- G. Vents will be included in the foundation walls to allow water to flow out from under crawl space due to being within flood plain.
- H. No bridges or culverts are proposed.
- I. No levees will be incorporated into design.
- J. Necessary permits will be obtained.

Chapter 27.080

- A. New floor will be placed at 76.5' or higher.
- B. Building plans submitted for construction permit will contain measures suitable to allow for proper drainage.

Approval Criteria Narrative Response

WRA Permit

FMA Permit

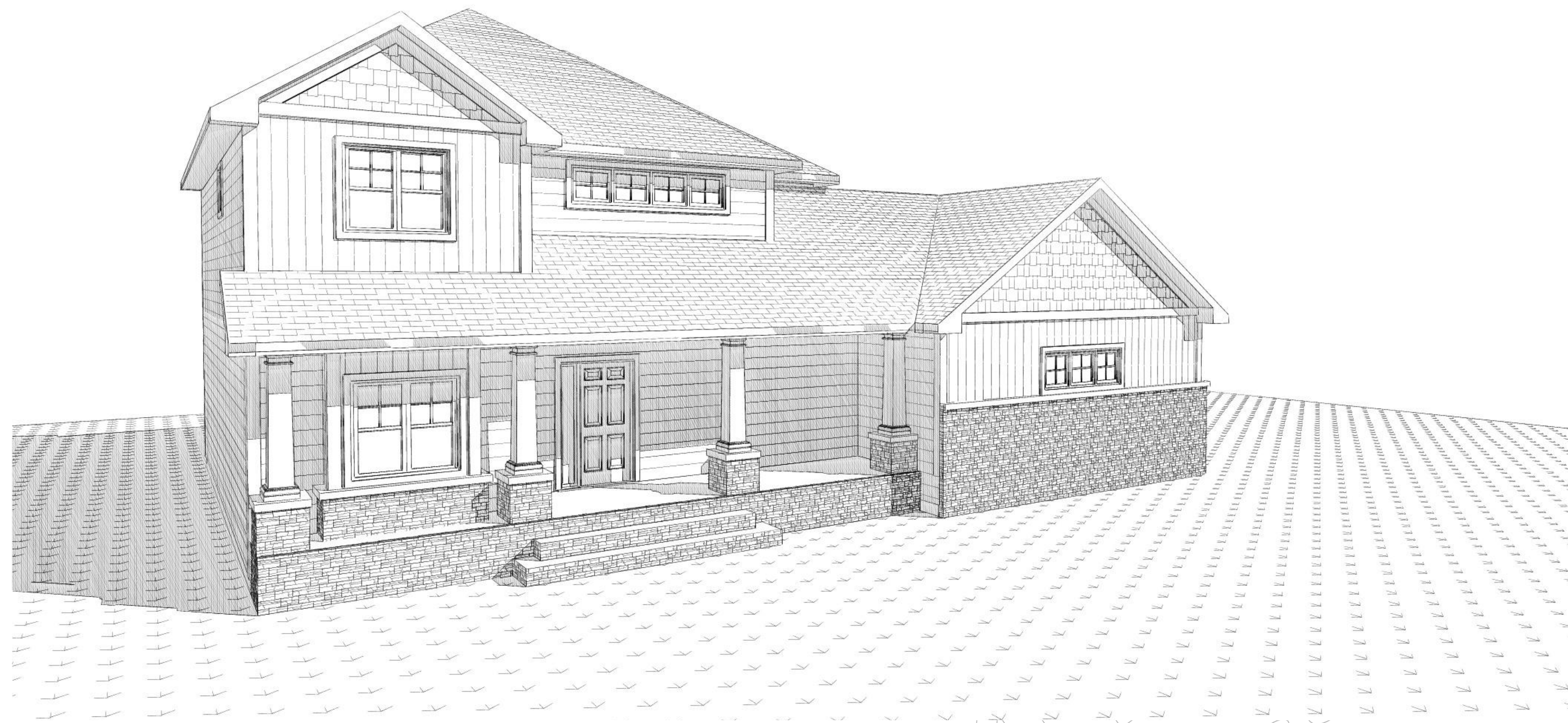
WRG Permit

- C. Drain rock will be placed on building pad to allow for relief of hydrostatic pressure under crawlspace. Duct work will be protected from flood waters. No mechanical equipment will be installed in the crawl space.
- D. The home will have a crawl space.
- E. Standard foundation wall above footings will be used.

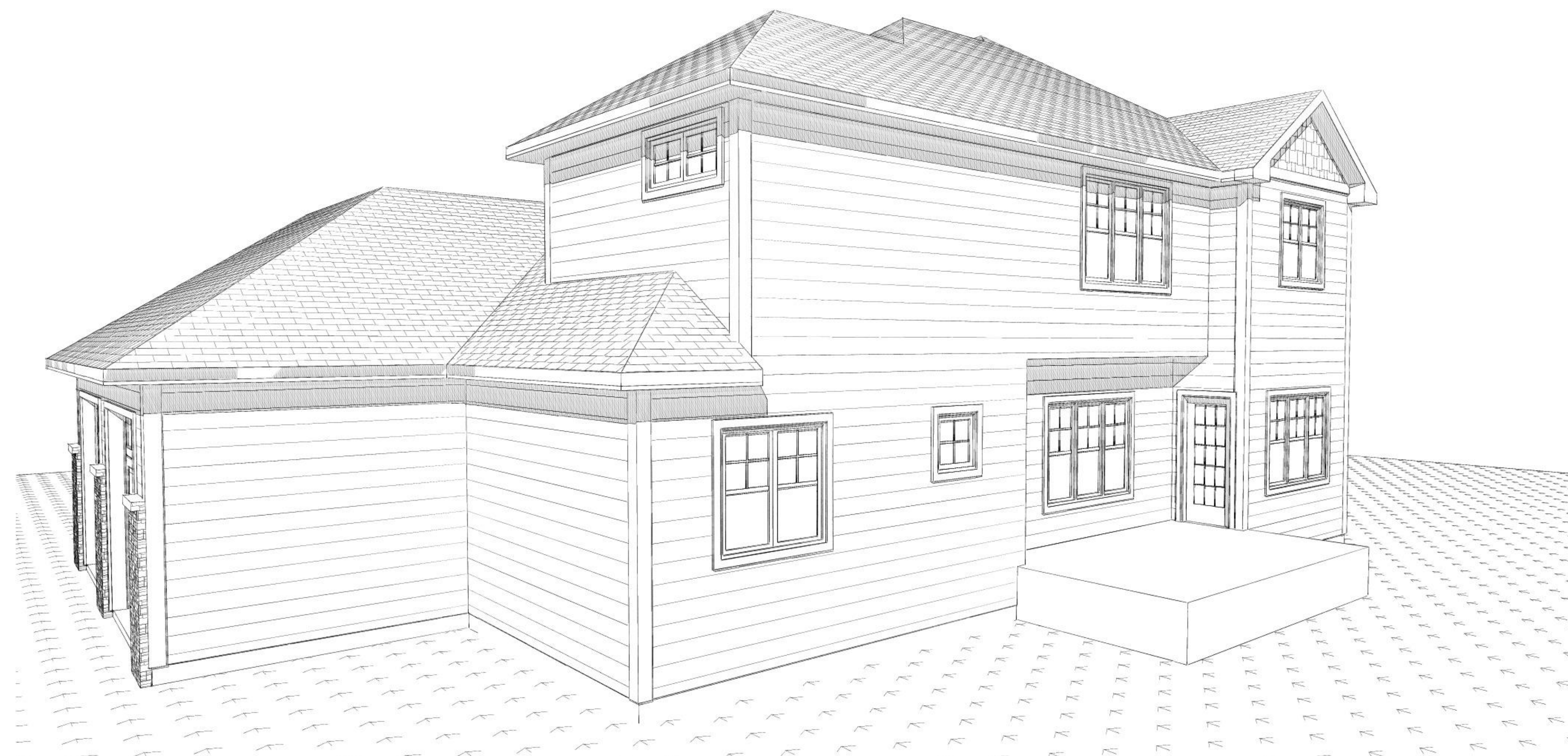
WRG Permit responses to CDC Chapter 28.110

- A. Site qualifies for construction. There are no trees with which to contend.
- B. Site qualifies as "Habitat and Impact Areas Not Designated as HCAs"
- C. There is no steep bank from which to setback.
- D. Proposed Development is residential.
- E. Proposed Development conforms to standards set forth.
- F. Property is not along river or other navigable water way and will have no access or property right concerns involving this development.
- G. Proposed development is residential.
- H. Property has already been successfully partitioned sufficiently and this development does not propose further partitions.
- I. Proposed development is not water dependent.
- J. Proposed development is not a dock.
- K. Proposed development is not a dock.
- L. Proposed Development is residential.
- M. Home will not be constructed of bright, shiny, reflective, materials.
- N. Hardscapes may be constructed of permeable material.
- O. No signs installed will be visible from either the Willamette River or the Tualitin River.
- P. No lighting installed on home will be visible from either river of concern.
- Q. No parking will be visible from river.
- R. No views from viewpoints will be obstructed.
- S. No aggregate deposits will be performed in the river.
- T. No change to grading will be performed along a bank of the river.
- U. No significant change to existing vegetation is being proposed with this application.





FRONT 3D VIEW



REAR 3D VIEW

# Morgan Residence

Project Description: Address Line 1, Address Line 2, City, State.	Drawn by: Dap	Checked by: Jaime	A1
	Date Issued: 8-30-2016	Revised Date: 10-11-2016	
	Scale: 1/4" = 1'-0"		

**Disclaimer of Warranties**

Plans furnished by Simonson Lbr. & Hdwr., Inc. are prepared by Draftsmen who are not Qualified as Professional Architects or Professional Engineers. Simonson Lbr. & Hdwr., Inc. assumes no liability whatsoever for errors of any kind which may be found on the plans. Use of such plans shall be at the Sole Risk of the User. Any Plans furnished by Simonson Lbr. & Hdwr., Inc. are suitable for any general or particular purpose. Reliance by any User of these plans and All Responsibilities for the usage and/or calculation of correct structural materials, spans, loads, & principles of mathematics, aesthetics or the physical sciences must be the Responsibility of the Builder, the Owner, or the User of the plans.

**Copyright**

Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by Simonson Lumber & Hardware, Inc. & Builder Name is a violation of the United States Federal Copyright Act.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE  
**10-11-2016**

IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

CONTRACTOR

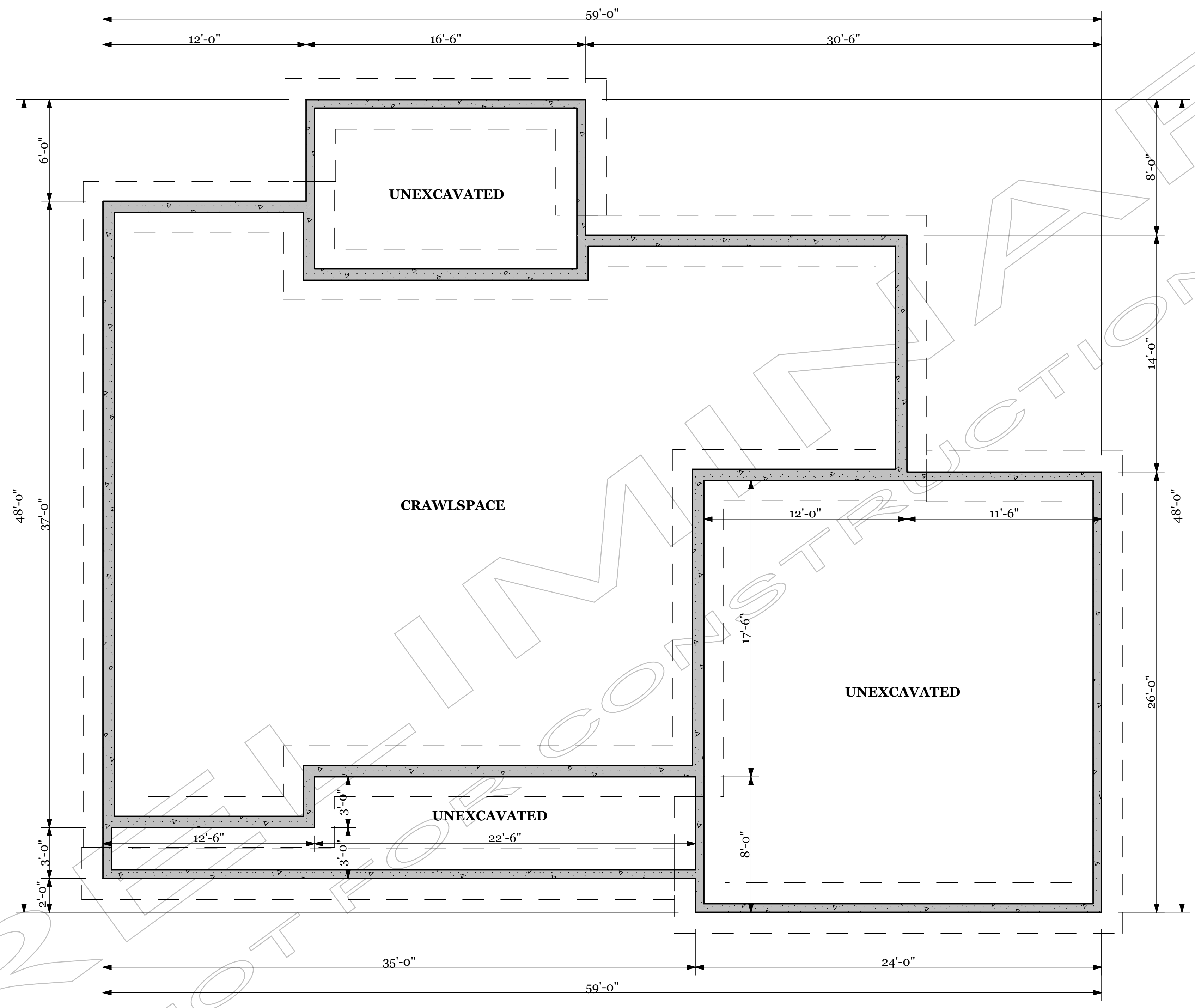
**Creekside Homes**



Simonson Lumber & Hardware, Inc.  
Grand Forks, ND, Ph: (701) 775-4292



**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"



Simonson Lumber & Hardware, Inc.  
Grand Forks, ND, Ph: (701) 775-4292

CONTRACTOR

**Creekside Homes**

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE  
**10-11-2016**  
IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

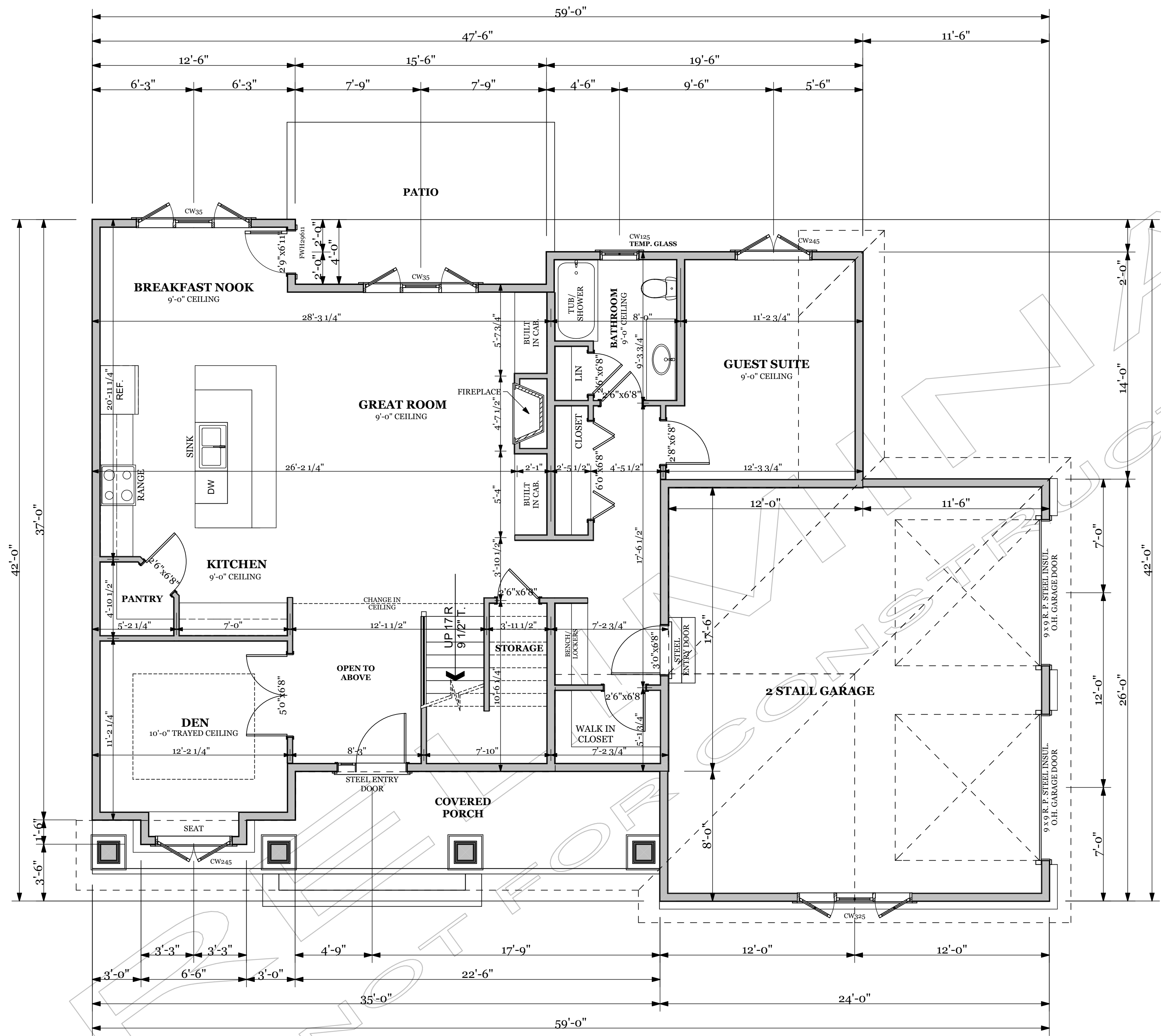
**Disclaimer of Warranties**  
Plans furnished by Simonson Lbr. & Hdwe., Inc. are prepared by Draftsmen who are not Qualified as Professional Architects or Professional Engineers. Simonson Lbr. & Hdwe., Inc. assumes no responsibility whatsoever for errors of any kind which may be found on the plans. Use of such plans shall be at the Sole risk of the User. Any plans furnished by Simonson Lbr. & Hdwe., Inc. are suitable for any general or particular purpose. Reliance by any User of these plans and All Responsibilities for the usage and/or calculation of correct structural materials, spans, loads, & principles of mathematics, aesthetics or the physical sciences must be the Responsibility of the Builder, the Owner, or the User of the plans.

**Copyright**  
Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by Simonson Lumber & Hardware, Inc. & Builder Name is a violation of the United States Federal Copyright Act.

**Morgan Residence**

**Project Description:**  
Address Line 1,  
Address Line 2,  
City, State.

Drawn by: Dap	Checked by: Jaime	A3
Date Issued: 8-30-2016	Revised Date: 10-11-2016	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.
Scale: 1/4" = 1'-0"		



**WINDOW SCHEDULE - MAIN FLOOR**

QTY	Window ID	Rough Opening
1	CW125	2'-4 7/8"x2'-4 7/8"
1	CW325	7'-1 1/8"x2'-4 7/8"
2	CW245	4'-9"x4'-5 3/8"
2	CW35	7'-1 1/8"x5'-0 3/8"
6		

**INTERIOR DOOR SCHEDULE : MAIN FLOOR**

QTY	TYPE	SIZE	JAMB
1	BIFOLD DOUBLE	6'-0"x6'-8"	24INTFA
1	DOUBLE DOOR	5'-0"x6'-8"	24INTFA
1	SINGLE DOOR	2'-8"x6'-8"	24INTFA
1	SINGLE DOOR	2'-9"x6'-11"	26EXTFA
5	SINGLE DOOR	2'-6"x6'-8"	24INTFA
9			

**EXTERIOR DOOR SCHEDULE - MAIN FLOOR**

QTY	TYPE	SIZE	JAMB
1	ENTRANCE W/1- SIDELIGHT	4'-4"x6'-11"	26EXTFA
1	SINGLE STEEL DOOR	3'-0"x6'-8"	26EXTFREA
2	O.H. GARAGE DOOR	9'-0"x9'-0"	26GFA
4			

**FLOOR AREAS**

MAIN FLOOR	1,351.25
UPPER FLOOR	1,131.42
	<b>2,482.67 sq ft</b>

**1 MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

# Morgan Residence

Checked by: Jaime  
 Drawn by: Dap  
 Date Issued: 8-30-2016  
 Scale: 1/4" = 1'-0"  
 Revised Date: 10-11-2016  
 Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.

Project Description:  
 Address Line 1,  
 Address Line 2,  
 City, State.

**Disclaimer of Warranties**

Plans furnished by Simonson Lbr. & Hdwr., Inc. are prepared by Draftsmen who are not Qualified as Professional Architects or Professional Engineers. The User shall be responsible for obtaining the services of a Licensed Professional Architect or Professional Engineer to verify the accuracy of the plans. Simonson Lbr. & Hdwr., Inc. and its employees shall not be held responsible for errors of any kind which may be found on the plans. Use of such plans shall be at the User's sole risk. Simonson Lbr. & Hdwr., Inc. and its employees shall not be held responsible for any general or particular purpose. Reliance by any User of these plans and All Responsibilities for the use and/or calculation of correct structural materials, spans, loads, & principles of mathematics, aesthetics or the physical sciences must be the Responsibility of the Builder, the Owner, or the User of the plans.

**Copyright**

Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by Simonson Lumber & Hardware, Inc. & Builder Name is a violation of the United States Federal Copyright Act.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE

**10-11-2016**

IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

## Creekside Homes

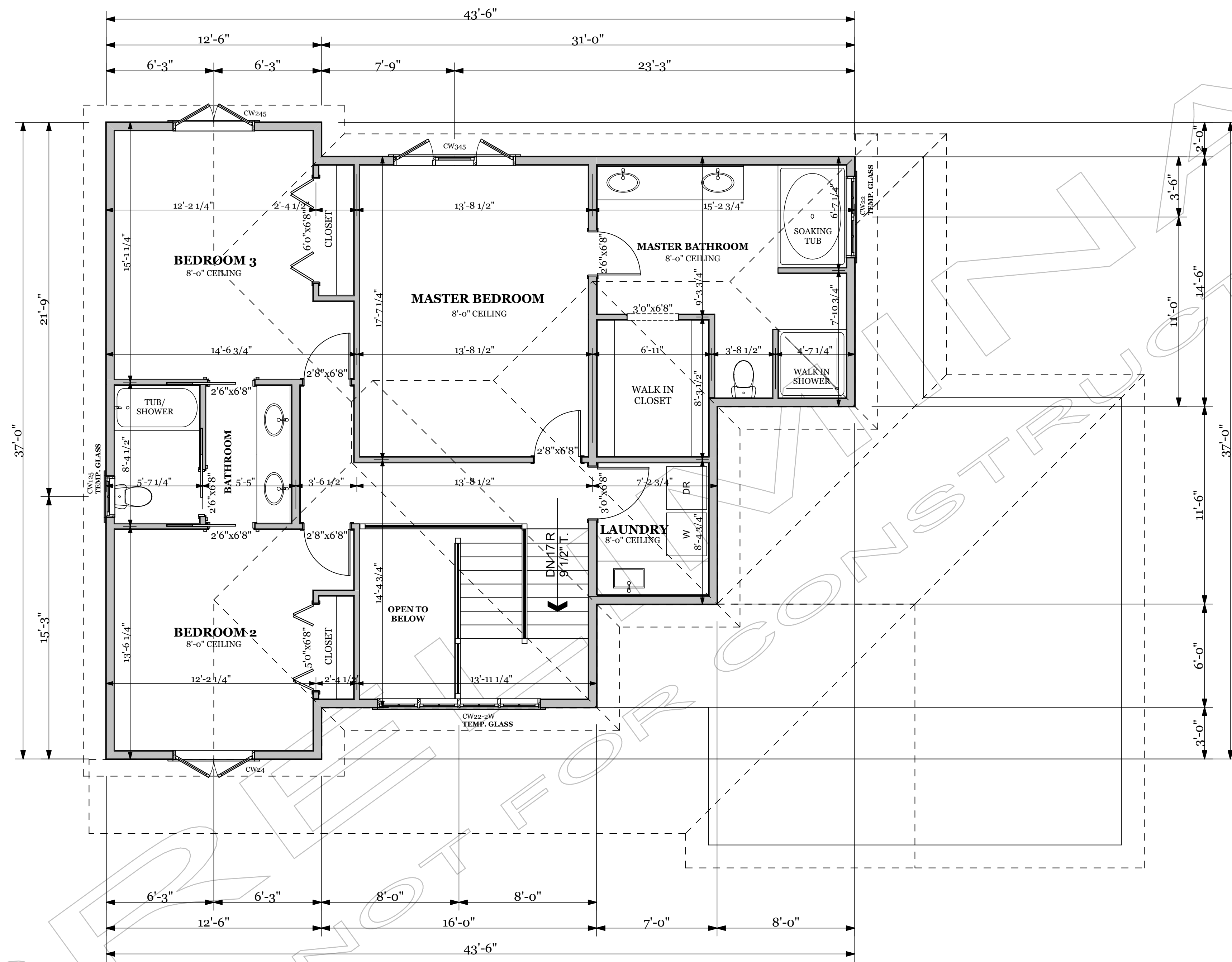
CONTRACTOR



Simonson Lumber & Hardware, Inc.  
 Grand Forks, ND, Ph: (701) 775-4292

**SQUARE FOOTAGE DISCLAIMER:**  
 Simonson Lumber & Hardware, Inc. expressly disclaims any liability with respect to the square footage listed on any floor plans or renderings above. Buyer or Contractor is responsible for verifying the square footage of the plans prior to pricing or estimates.





**1 UPPER FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE - UPPER FLOOR		
QTY	Window ID	Rough Opening
1	CW125	2'-4 7/8" x 2'-4 7/8"
1	CW22	4'-9" x 2'-0 5/8"
1	CW22-2W	9'-5 5/8" x 2'-0 5/8"
1	CW24	4'-9" x 4'-0 1/2"
1	CW245	4'-9" x 4'-5 3/8"
1	CW35	7'-1 1/8" x 5'-0 3/8"
6		

INTERIOR DOOR SCHEDULE : UPPER FLOOR			
QTY	TYPE	SIZE	JAMB
1	BIFOLD DOUBLE	5'-0" x 6'-8"	24INTFA
1	BIFOLD DOUBLE	6'-0" x 6'-8"	24INTFA
1	SINGLE DOOR	2'-6" x 6'-8"	26INTFA
1	SINGLE DOOR	3'-0" x 6'-8"	26INTFA
3	POCKET SINGLE	2'-6" x 6'-8"	24INTFA
1	SINGLE DOOR	2'-8" x 6'-8"	24INTFA
10			

# Morgan Residence

Drawn by:	Dap	Checked by:	Jaime	A8
Date Issued:	8-30-2016	Revised Date:	10-11-2016	
Scale:	1/4" = 1'-0"	Simonson Lumber & Hardware, Inc. is not responsible for any changes after the date above.		

**Project Description:**  
Address Line 1,  
Address Line 2,  
City, State.

**Disclaimer of Warranties**

Plans furnished by Simonson Lbr. & Hdwr., Inc. are prepared by Draftsmen who are not Qualified as professional Architects or Professional Engineers. Simonson Lbr. & Hdwr., Inc. is not responsible for any errors or omissions in the plans, drawings, specifications, or any other documents prepared by Simonson Lbr. & Hdwr., Inc. or its employees, agents, or subcontractors. Use of such plans shall be at the Sole Risk of the User. Any Plans furnished by Simonson Lbr. & Hdwr., Inc. are for informational purposes only and do not constitute a contract. The User shall be responsible for obtaining all necessary permits and for the use and/or calculation of correct structural materials, spans, loads, & principles of mathematics, aesthetics or the physical sciences must be the Responsibility of the Builder, the Owner, or the User of the plans.

**Copyright**

Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by Simonson Lumber & Hardware, Inc. is a violation of the United States Federal Copyright Act.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE

**10-11-2016**

IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

CONTRACTOR

**Creekside Homes**



Simonson Lumber & Hardware, Inc.  
Grand Forks, ND, Ph: (701) 775-4292



**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



# Morgan Residence

Drawn by:	Dap	Checked by:	Jaime	A10
Date Issued:	8-30-2016	Revised Date:	10-11-2016	
Scale:	1/4" = 1'-0"			

**Project Description:**  
Address Line 1,  
Address Line 2,  
City, State.

**Disclaimer of Warranties**

Plans furnished by Simonson Lbr. & Hdwe., Inc. are prepared by Draftsmen who are not Qualified as professional Architects or professional Engineers. Simonson Lbr. & Hdwe., Inc. is not responsible for the accuracy or completeness of the information furnished to it, or for the use of such information. Simonson Lbr. & Hdwe., Inc. is not responsible for the use of such information for any purpose other than that intended. Simonson Lbr. & Hdwe., Inc. is not responsible for the use of such information for any purpose other than that intended. Simonson Lbr. & Hdwe., Inc. is not responsible for the use of such information for any purpose other than that intended.

**Copyright**

Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by Simonson Lumber & Hardware, Inc. & Builder Name is a violation of the United States Federal Copyright Act.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE  
**10-11-2016**  
IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

CONTRACTOR

**Creekside Homes**



Simonson Lumber & Hardware, Inc.  
Grand Forks, ND, Ph: (701) 775-4292



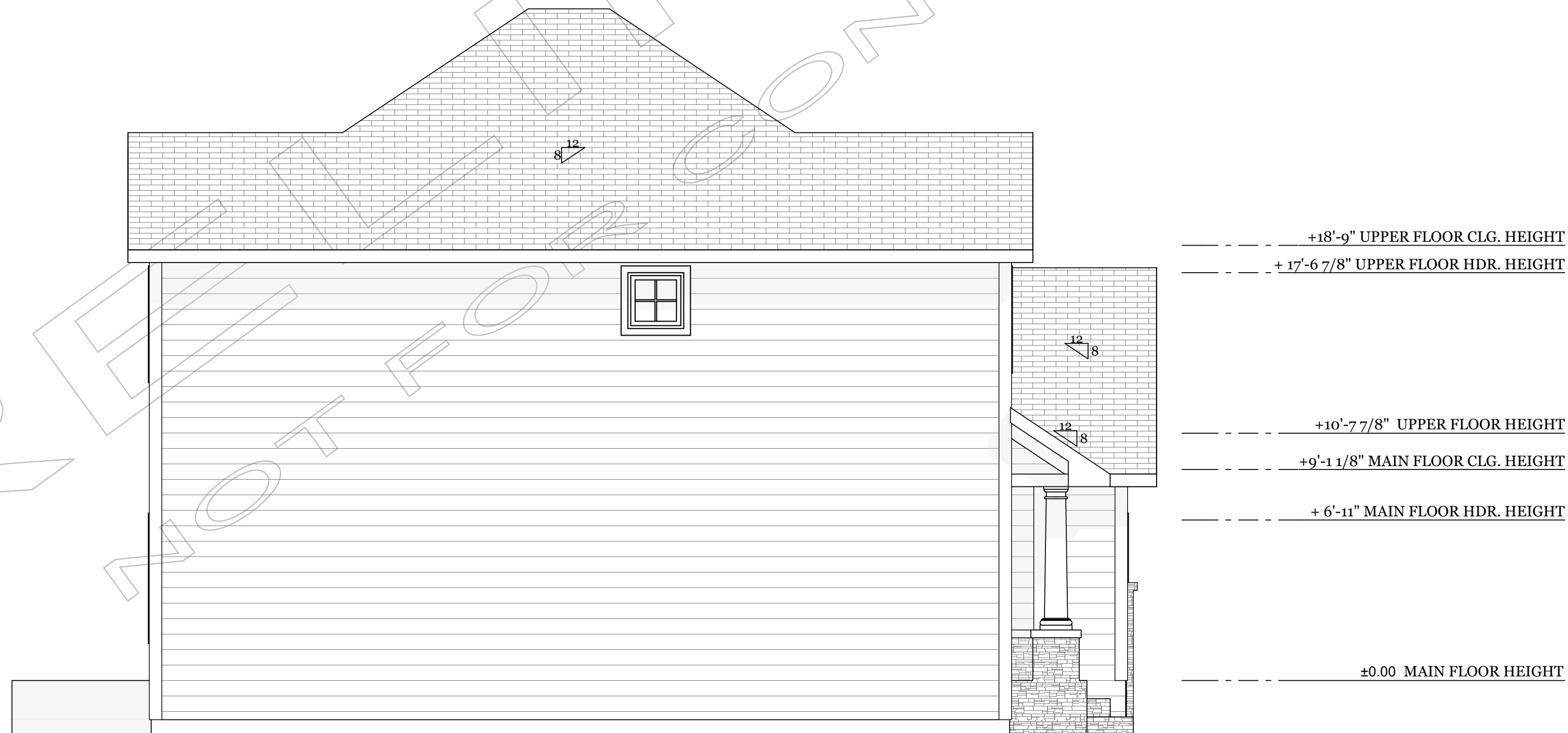
**1 REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**2 LEFT ELEVATION**

SCALE: 1/4" = 1'-0"



# Morgan Residence

Drawn by:	Dap	Checked by:	Jaime	A11
Date Issued:	8-30-2016	Revised Date:	10-11-2016	
Scale:	1/4" = 1'-0"			

**Project Description:**  
Address Line 1,  
Address Line 2,  
City, State.

**Disclaimer of Warranties**

Plans furnished by **Simonson Lbr. & Hdwe., Inc.** are prepared by Draftsmen who are not Qualified as Professional Architects or Professional Engineers. The User, Owner, or Architect shall assume all professional liability for the use of these plans. **Simonson Lbr. & Hdwe., Inc.** shall not be held responsible for errors of any kind which may be found on the plans. Use of such plans shall be at the **Sole Risk of the User.** Any plans furnished by **Simonson Lbr. & Hdwe., Inc.** are intended for use as a guide only and do not constitute a contract. **Simonson Lbr. & Hdwe., Inc.** and **Simonson Lumber Company** that they are suitable for any general or particular purpose. Reliance by any User of these plans and **All Responsibilities** for the use and/or calculation of correct structural materials, spans, loads, & principles of mathematics, aesthetics or the physical sciences must be the **Responsibility of the Builder, the Owner, or the User** of the plans.

**Copyright**

Any use, reproduction, copying, modification, or derivative work of the plan(s) furnished by **Simonson Lumber & Hardware, Inc.** & **Builder Name** is a violation of the United States Federal Copyright Act.

THIS PLAN IS THE MOST CURRENT PLAN AS OF THIS DATE

**10-11-2016**

IF THIS DATE IS MORE THAN 1 WEEK OLD PLEASE VERIFY WITH THE DRAFTER AT SIMONSON'S THAT YOU HAVE THE MOST RECENT COPY

CONTRACTOR

**Creekside Homes**



**Simonson Lumber & Hardware, Inc.**  
Grand Forks, ND, Ph: (701) 775-4292