



CITY OF
**West
Linn**

LAND USE PRE-APPLICATION CONFERENCE

Thursday, June 6, 2013

**City Hall
22500 Salamo Road**

Willamette Conference Room

9:00 am **Small office addition and addition of exterior entry stairs to replace existing dilapidated wood stairs.**

Applicant: **Bradley Horne / Arciform LLC, Craig & Julie Heath**

Subject Property Address: **19220 Nixon Avenue**

Neighborhood Assn: **Robinwood**

Planner: **Tom Soppe**

Project #: **PA-13-18**





PRE-APPLICATION CONFERENCE

| THIS SECTION FOR STAFF COMPLETION | | |
|-----------------------------------|-----------|---------------------|
| CONFERENCE DATE: 6/6/13 | TIME: 9AM | PROJECT #: PA-13-18 |
| STAFF CONTACT: Tom Sappe | | FEE: 350- |

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): **19220 Nixon Ave**

Brief Description of Proposal: **Small office addition as well as addition of exterior entry stairs that will replace existing dilapidated wood stairs**

Applicant's Name: **Bradley Horne / Arciform LLC**

Mailing Address: **2303 N Randolph Ave, Portland OR 97227**

Phone No: **(503) 493-7344**

Email Address: **brad@arciform.com**

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- North arrow
- Scale
- Property dimensions
- Streets abutting the property
- Conceptual layout, design and/or building elevations
- Access to and from the site, if applicable
- General location of existing trees
- Location of creeks and/or wetlands
- Location of existing utilities (water, sewer, etc.)
- Easements (access, utility, all others)

Please list any questions or issues that you may have for city staff regarding your proposal:

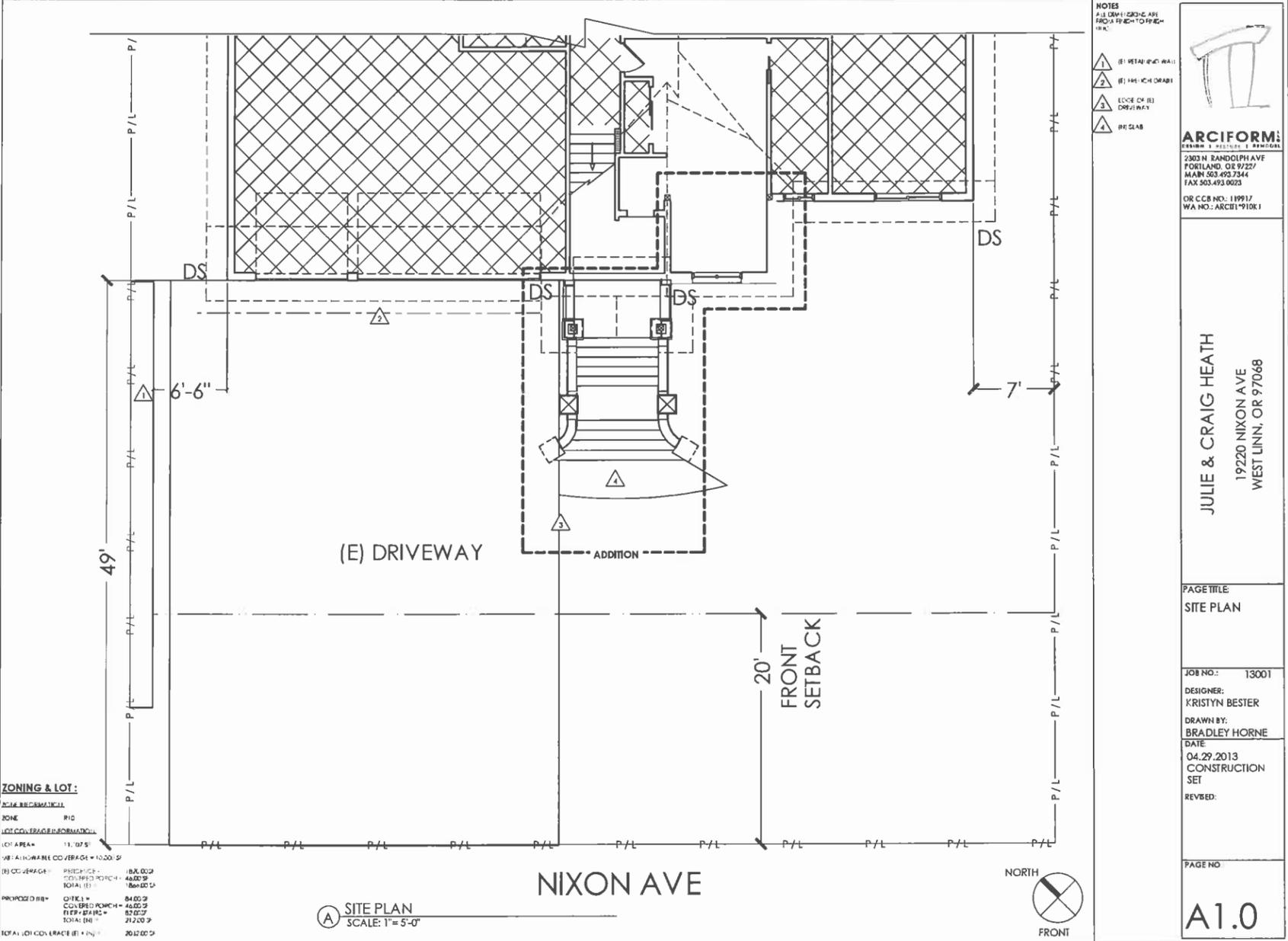
By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Julius Heath
Property owner's signature

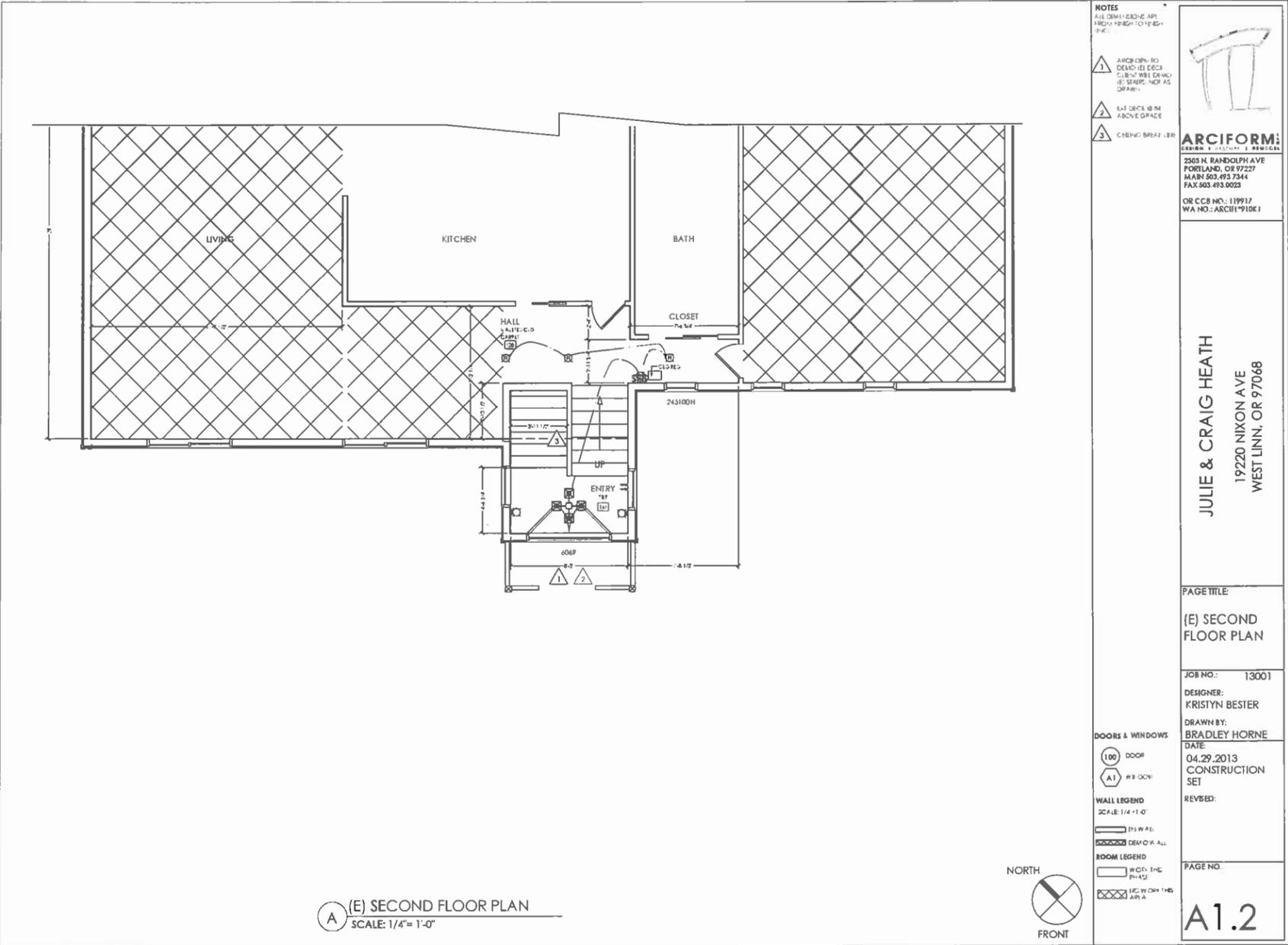
5/10/13
Date

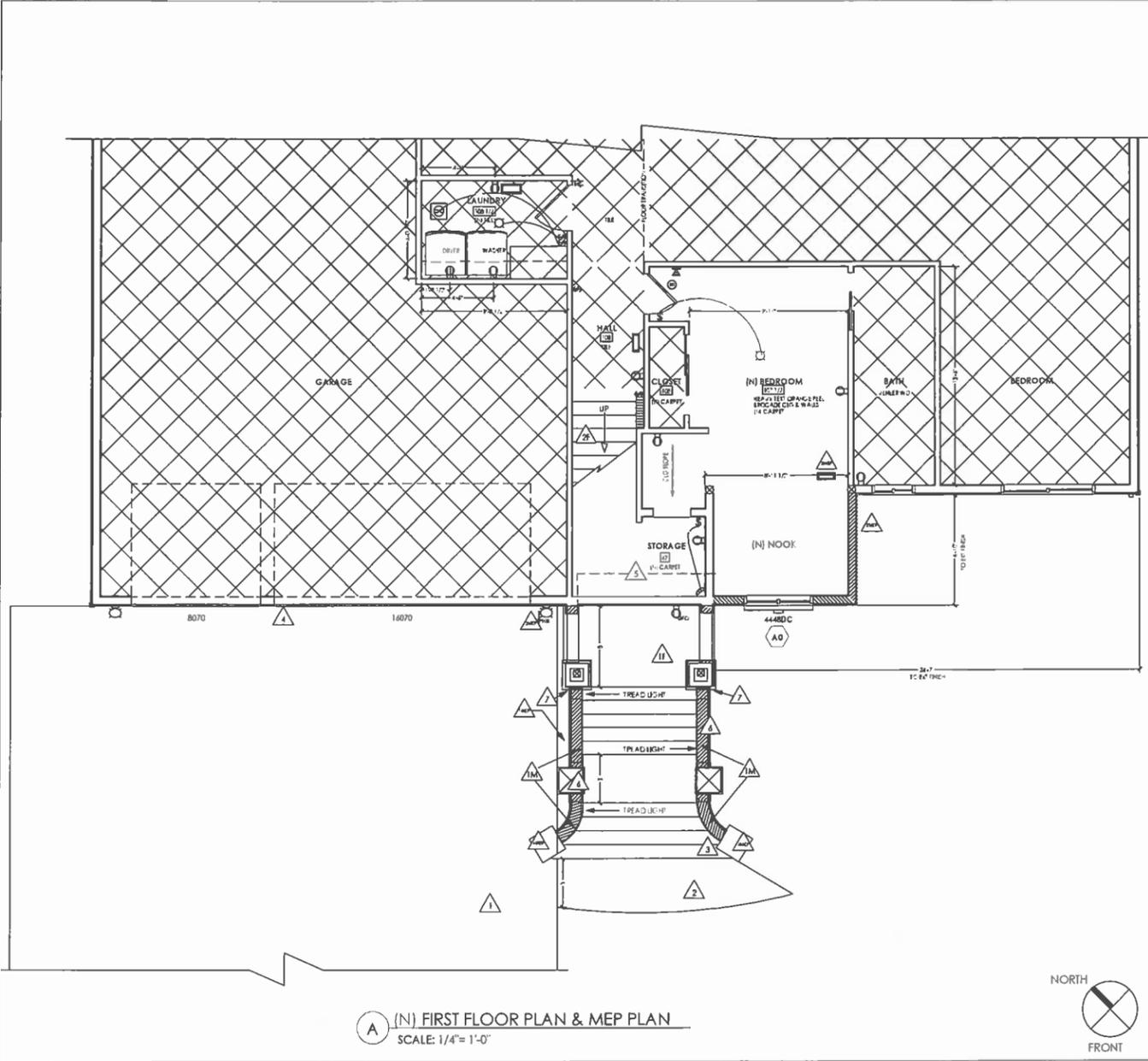
19220 Nixon Ave, West Linn OR 97068

Property owner's mailing address (if different from above)



HALF SCALE





(N) FIRST FLOOR PLAN & MEP PLAN
SCALE: 1/4" = 1'-0"

HALF SCALE

- GENERAL NOTES**
- ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE
 - SEE ARCHITECT'S PLAN & INT. ELEV. FOR ACCESS PANELS
 - REGULATE THE WALLS WHERE ACCESSIBLE
 - (1) DRIVEWAY
 - (2) CONCRETE WALLS, SHIP/PEL SIZE OF 1/2" GROUT CLEARANCE
 - (3) 1/2" CHIPS - CONCRETE IS TO CURVED WALL & IS NEWER POOR
 - (4) (1) BRASS DOOR LATCHED & UNLATCHED BY CLIENT
 - (5) FLOOR CARBONELERS OVER (1) FOUNDATION
 - (6) SEE ELECTRICAL & MECHANICAL FOR WALL CONSTRUCTION & COLLISION DETAIL
 - (7) REVEAL
- MILLWORK**
- MATCH AND PROFILE AS CLOSELY AS POSSIBLE TO THE
 - INSIDE EDGE OF THE DOOR TO MATCH WITH FACE OF STAIR WALLS - SEE ELEVATION FOR DETAILS
- FINISHES**
- MATCH AND WALL & CEILING SURFACES TO THE PATCHED AREAS
 - SEE ELEVATIONS FOR THE STONE VENEER APPLICATIONS
 - (1) CARPET IS INSTALLED BY OTHER
 - (2) CONCRETE AT THE EDGE OF STAIRS, NO ADD. CONC. FINISH
 - (3) BAMBOO WOOD TREADS & RISERS
- MEP**
- ADDED: H.A.C. AS NEC. FOR REMOVAL OF R.V.
 - UPDATE: E.C. AND P.L.C. AS NEC. FOR RE-ADD. C.A.P.
 - CONDUITS IN CEILING AND WALLS TO BE INSTALLED WITHIN 12" OF THIS LOC.
 - (1) HOSE BIB LOC. IF POOR
 - (2) FLOOR REGISTER LOC. TO BE COORDINATED BY CLIENT WITH SITE
 - (3) POP UP: 1" HOSE AS (1) (2)
- MEP LEGEND**
- PIPES AND LIGHT
 - CHANGES TO
 - SCHEDULE
 - SWITCH
 - OUTLET
 - N. & H. REIN.
 - EXHAUST FAN
 - SMOKE DETECTOR
 - INTERCOM
 - HOSE BIB
- DOORS & WINDOWS**
- (100) DOOR
 - (A1) W/P DOOR
- WALL LEGEND**
- SCALE: 1/4" = 1'-0"
- (1) WALL
 - (2) WALL
 - (3) WALL
- ROOM LEGEND**
- W/O. THE WALL
 - NO. IN THE AREA



ARCIFORM
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OR CCB NO. 119917
WA NO. ARCH1710K1

JULIE & CRAIG HEATH
19220 NIXON AVE
WEST LINN, OR 97068

PAGE TITLE
(N) FIRST FLOOR PLAN & MEP PLAN

JOB NO.: 13001

DESIGNER: KRISTYN BESTER

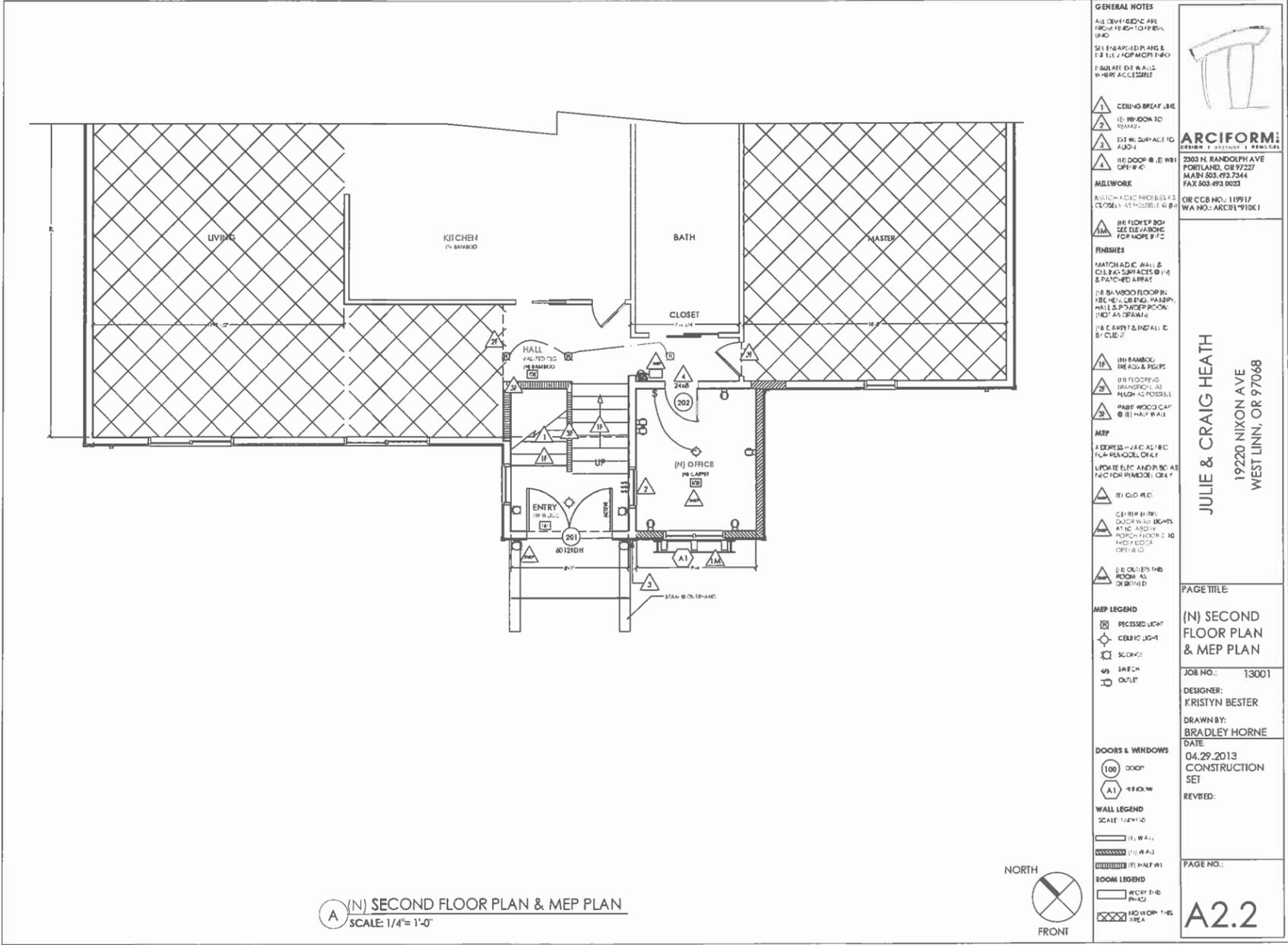
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REVISED:

PAGE NO.
A2.1



(N) SECOND FLOOR PLAN & MEP PLAN
SCALE: 1/4" = 1'-0"

HALF SCALE

GENERAL NOTES
ALL DIMENSIONS ARE FROM FINISH TO FINISH UNLESS NOTED OTHERWISE
SEE ENCLOSED PLANS FOR ELEVATION INFORMATION
FURNISH EXISTING WALLS WHERE ACCESSIBLE

- 1 CEILING GREAT LINE (E) WINDOW TO REMAIN
- 2 EXISTING SURFACE TO REMAIN
- 3 NEW DOOR (E) WITH CASE

MILLWORK
AS NOTED FOR FINISHES & CLOSELY AS POSSIBLE TO MATCH

FINISHES
MATCH ADJACENT WALLS & CEILING SURFACES TO EXISTING PATTERNS

- 1F (N) RAMBOC TREX 400 & 500
- 2F (N) FLOORING GRANITE TILE AS MUCH AS POSSIBLE
- 3F (N) PAPER WOOD CAP @ 1/2" HALL WALL

MEP
REPAIR & REPLACE ALL ELECTRICAL PANELS & WIRING AS NECESSARY FOR PROVIDE ONLY

- 1 (N) CLOSET
- 2 (N) REPAIR & REPLACE DOOR WITH BENCH AT 1/2" ABOVE FLOOR FINISH TO MATCH EXISTING

MEP LEGEND
PRECESSED LIGHT
CEILING LIGHT
SCHEMATIC
INLET
OUTLET

DOORS & WINDOWS
100 DOOR
A1 WINDOW

WALL LEGEND
SCALE 1/4" = 1'-0"
1/2" WALL
1/4" WALL
1/2" HALF WALL

ROOM LEGEND
RECYCLED TRASH
RECYCLED TRASH AREA



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DESIGNER: KRISTYN BESTER

DRAWN BY: BRADLEY HORNE

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A2.2



A EXTERIOR ELEVATION - FRONT & SOUTHWEST
SCALE: 1/4" = 1'-0"



B EXTERIOR PERSPECTIVES
NO SCALE - CONCEPTUAL ONLY

HALF SCALE

GENERAL NOTES
DETAILS & FINISHES TO MATCH (S) AS CLOSE AS POSSIBLE

- 1 PATCH 22" X 12" AC REC. AFTER FINISH REMOVAL
- 2 ASSES IT DOWNSPOUT FOR POSS. RELOCATION TO ADJ. EXT. WALL
- 3 PATCH OF ARCH W/FC W/FC AS DRAWN & SEE DETAIL C-11

MILLWORK
MILLWORK IS PAINTED UNLESS OTHERWISE NOTED

- 1 1/2" CORNER BOARDS @ ALL EXTERIOR CORNERS
- MATCH ADJ. SIDING AS CLOSELY AS POSSIBLE @ 1/4"
- 1 1/2" SHUTTERS ARE 24" WIDE
- 2 1/2" SHUTTERS ARE 24" WIDE X 1/2" DEEP
- 3 1/2" PLASTER BO. W/ 1/2" COARSE CURBLES
- 4 1/2" STONE CAP @ TOP OF STONE. HECKAT FULL SECT. SPACES BELOW W/ 1/2" BOLD
- 5 1/2" BELL B/ND SO SEPARATE STAKE STONE & STONE VENEER AT JOINTS
- 6 1/2" USE 1/2"
- 7 1/2" 1/2" X 1/2" BEAM WRAPPED
- 8 1/2" 1/2" X 1/2" @ BASE & TAPERS TO 1/2" @ TOP - SEE A-1 TOP MOPE #10

FINISHES

- 1 1/2" STONE VENEER
- 2 1/2" 1/2" X 1/2" SIDE JO
- 3 1/2" DECORATIVE CARP W/ SIDE VENEER 1/2" DEPTH DETAILS TO B. CURB & STONE INSTALLER
- 4 1/2" CONCRETE STAIRS & LANDINGS
- 5 1/2" PAINT COLUMNS, CAPITALS & COLUMNS BASE W/ ACCENT COLOR
- 6 1/2" HARD SIDING
- 7 1/2" 1/2" X 1/2" PANEL LAF 1/2" X 1/2" @ EXTERIOR WALL W/ 1/2" STAIR

MEP

- 1 1/2" IN WALL LIGHT PL. @ LOC.
- 2 1/2" CENTER HUBBY DOOR WALL LIGHTS AT 80" ABOVE PORCH FLOOR & 10" FROM DOOR OPENING
- 3 1/2" 1/2" WATER CIPCOX
- 4 1/2" IN LIGHTS AT POS. AS DRAWN

DOORS & WINDOWS
SEE SPEC FOR DOOR STYLES NOT AS DRAWN

- 100 DOOR
- A1 WT. D-W



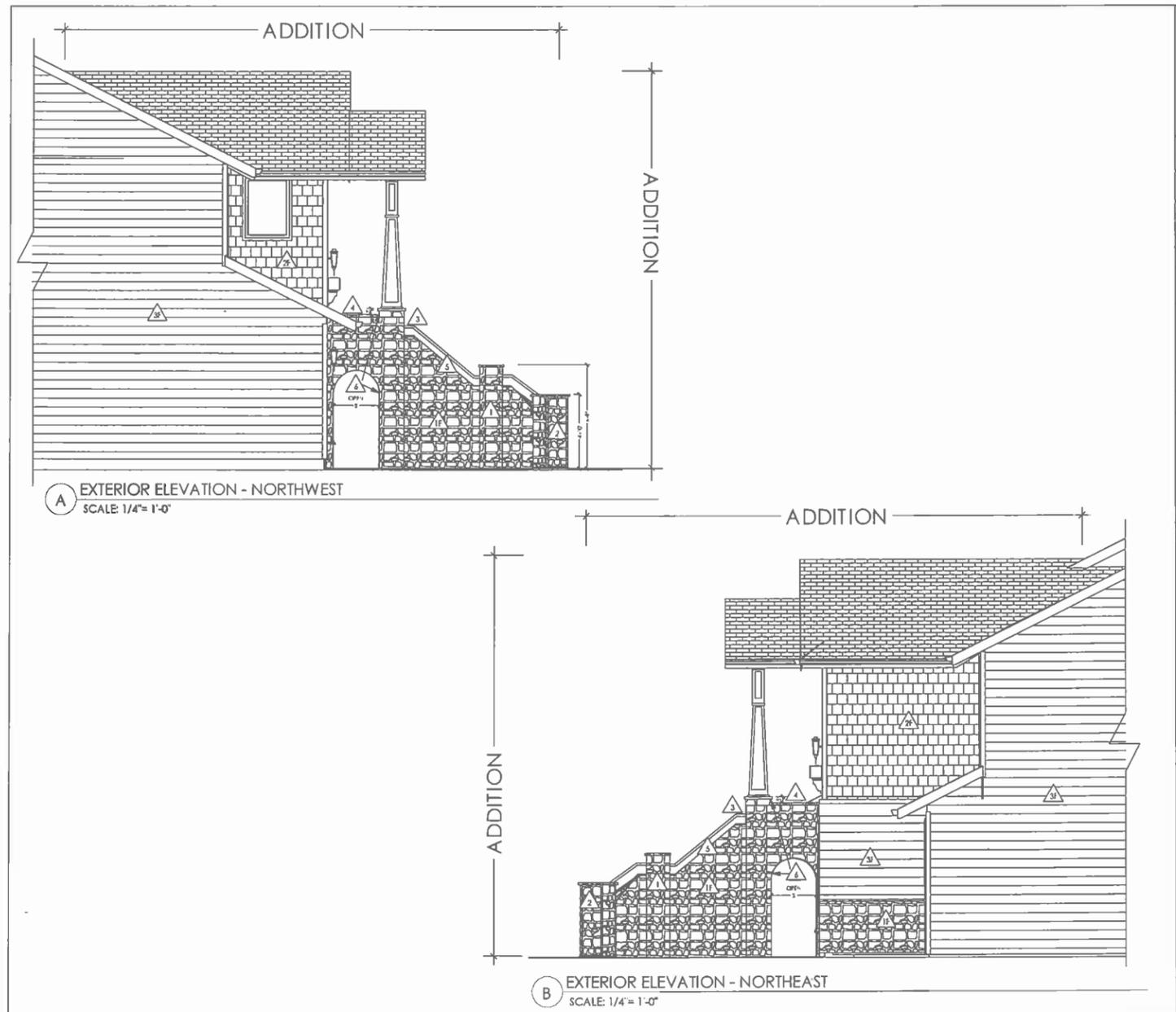
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PAGE TITLE
EXTERIOR ELEVATION & PERSPECTIVES

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A EXTERIOR ELEVATION - NORTHWEST
SCALE: 1/4" = 1'-0"

B EXTERIOR ELEVATION - NORTHEAST
SCALE: 1/4" = 1'-0"

HALF SCALE

- GENERAL NOTES**
 DETAILS & FINISHES TO MATCH: AS CLOSE AS POSSIBLE
- MILLWORK**
 MILLWORK IS PAINTED
- CORNER BOARDS @ EXTERIOR CORNERS TO MATCH: AS CLOSE AS POSSIBLE**
- 1) 18" x 18" COLUMN W/ TOP & CAP PIP & TAILER
 - 2) 2" x 8" COLUMN W/ TOP & CAP PIP & TAILER
 - 3) TOP OF CUSTOM RABING @ 30' ABOVE FF (H/D) DRAIN
 - 4) TOP OF SLATE CAP @ 1" ABOVE ROOF LANE 10'
 - 5) TOP OF STONE CAP @ 1" ABOVE ROOF LANE 10'
 - 6) EPA-8 RB DOORWAY AS TAIL AS RISE ALIGH EDGE OF OPD @ 0 W/ EDGE OF COLUMN ABOVE
- FINISHES**
- 11) BRICK @ 4" VENEER
 - 12) BRICK @ 2" VENEER
 - 13) HARD CEILING



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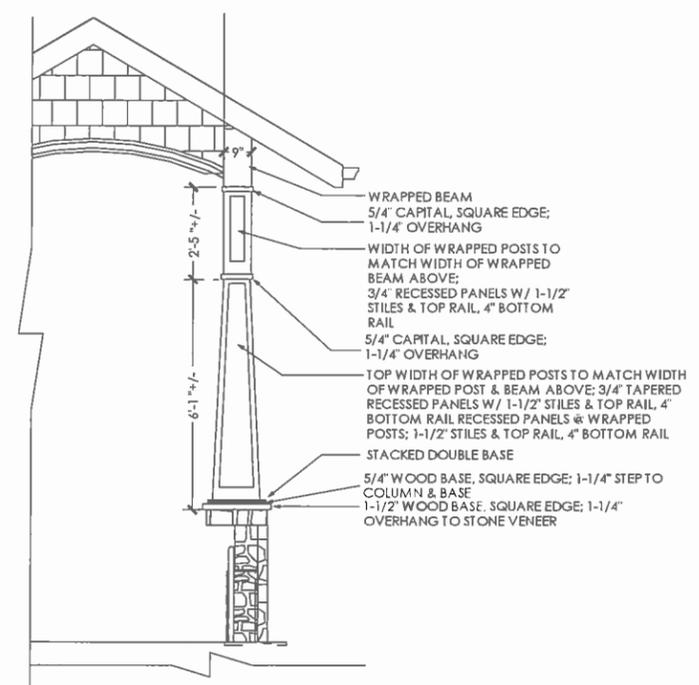
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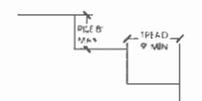
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A PORCH COLUMN FINISH DETAIL
SCALE: 1/2" = 1'-0"



B STANDARD TREAD & RISER DETAIL
SCALE: NOT TO SCALE

HALF SCALE

GENERAL NOTES
ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE



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PAGETITLE
DETAILS

Structural into or 5 pages

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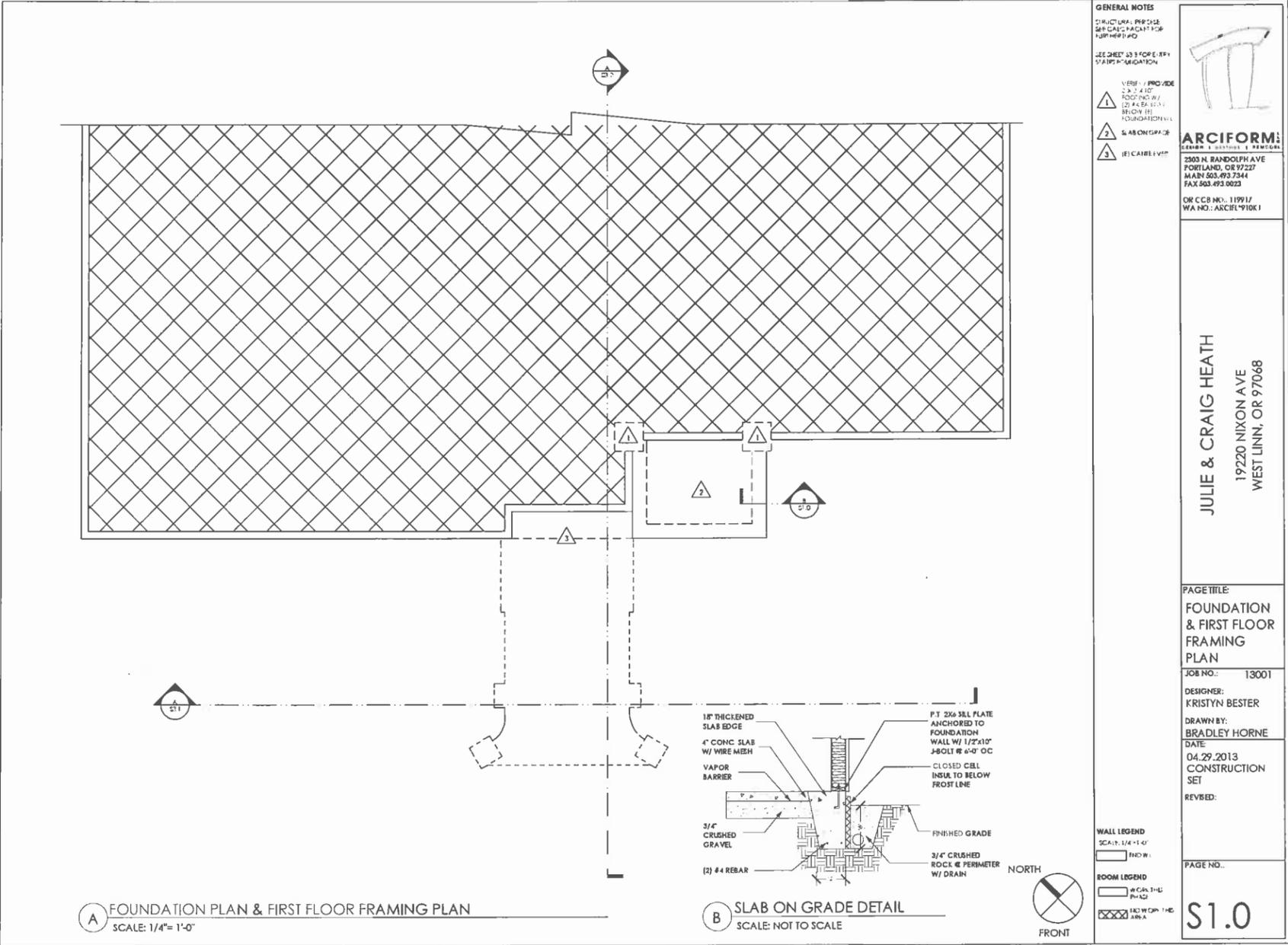
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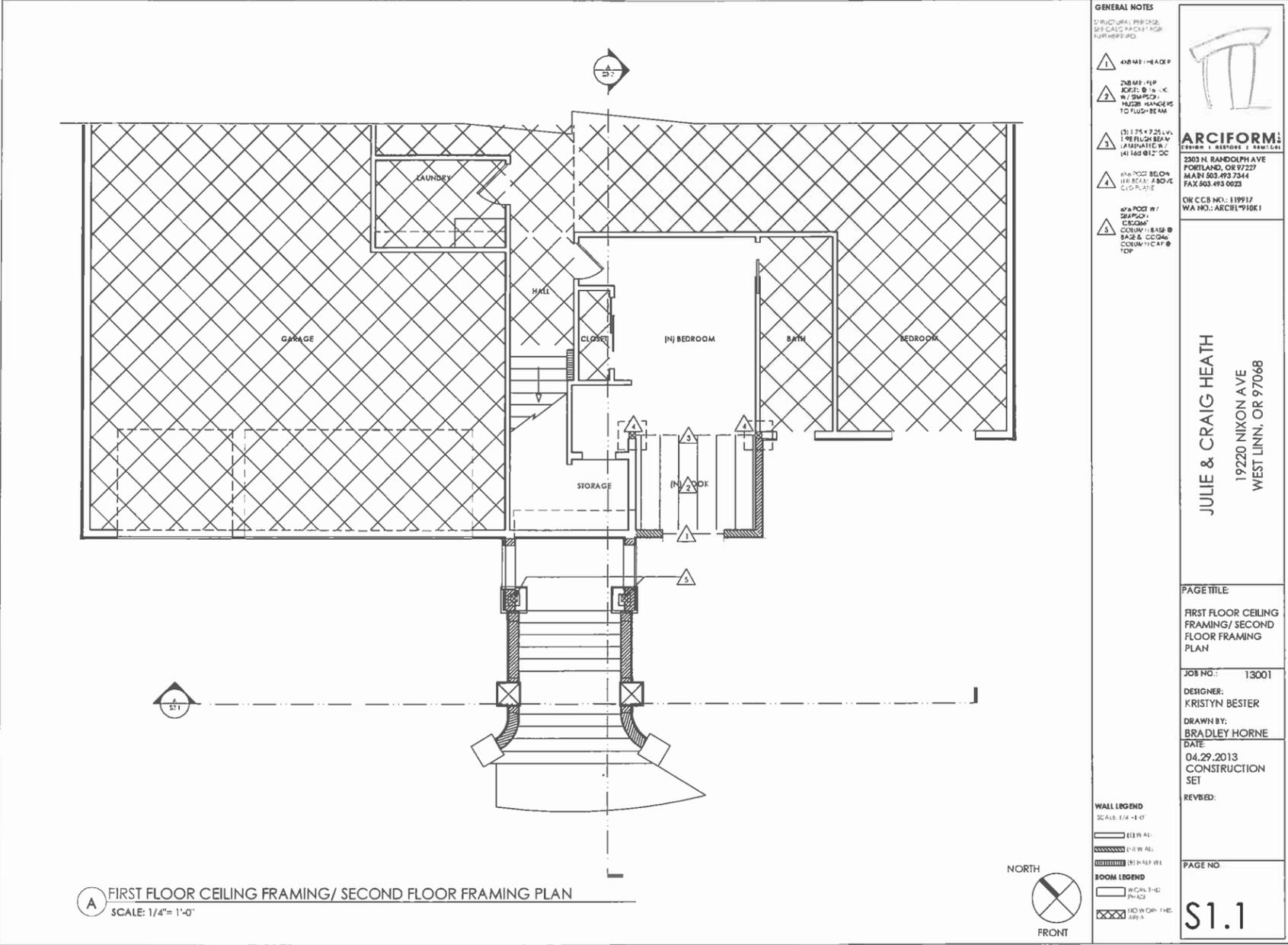
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A4.1



HALF SCALE

S1.0



A FIRST FLOOR CEILING FRAMING/ SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

HALF SCALE

GENERAL NOTES

STRUCTURAL PROPOSED, SEE CALC PACKAGING FOR FURTHER INFO.

1 4x8 ME-1 HEADERS

2 2x8 ME-1 P
KICK: 8" x 8" x 8"
W/ SIMPSON
HUBBARD HANGERS
TO FLOOR BEAM

3 [1] 75 x 25 LVL
1" FLOOR BEAM
LAP SPACED W/
1/4" LAG BOLTS @ 24"

4 6x6 POST BEYOND
HUBBARD HANGERS
TO FLOOR BEAM

5 6x6 POST W/
SIMPSON
CEILING
COLUMN BASE @
BASE & CEILING
COLUMN CAP @
TOP



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PAGE TITLE:
FIRST FLOOR CEILING
FRAMING/ SECOND
FLOOR FRAMING
PLAN

JOB NO.: 13001

DESIGNER:
KRISTYN BESTER

DRAWN BY:
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S1.1

WALL LEGEND

SCALE: 1/4" = 1'-0"

EXIST WALL

NEW WALL

EXIST WALL

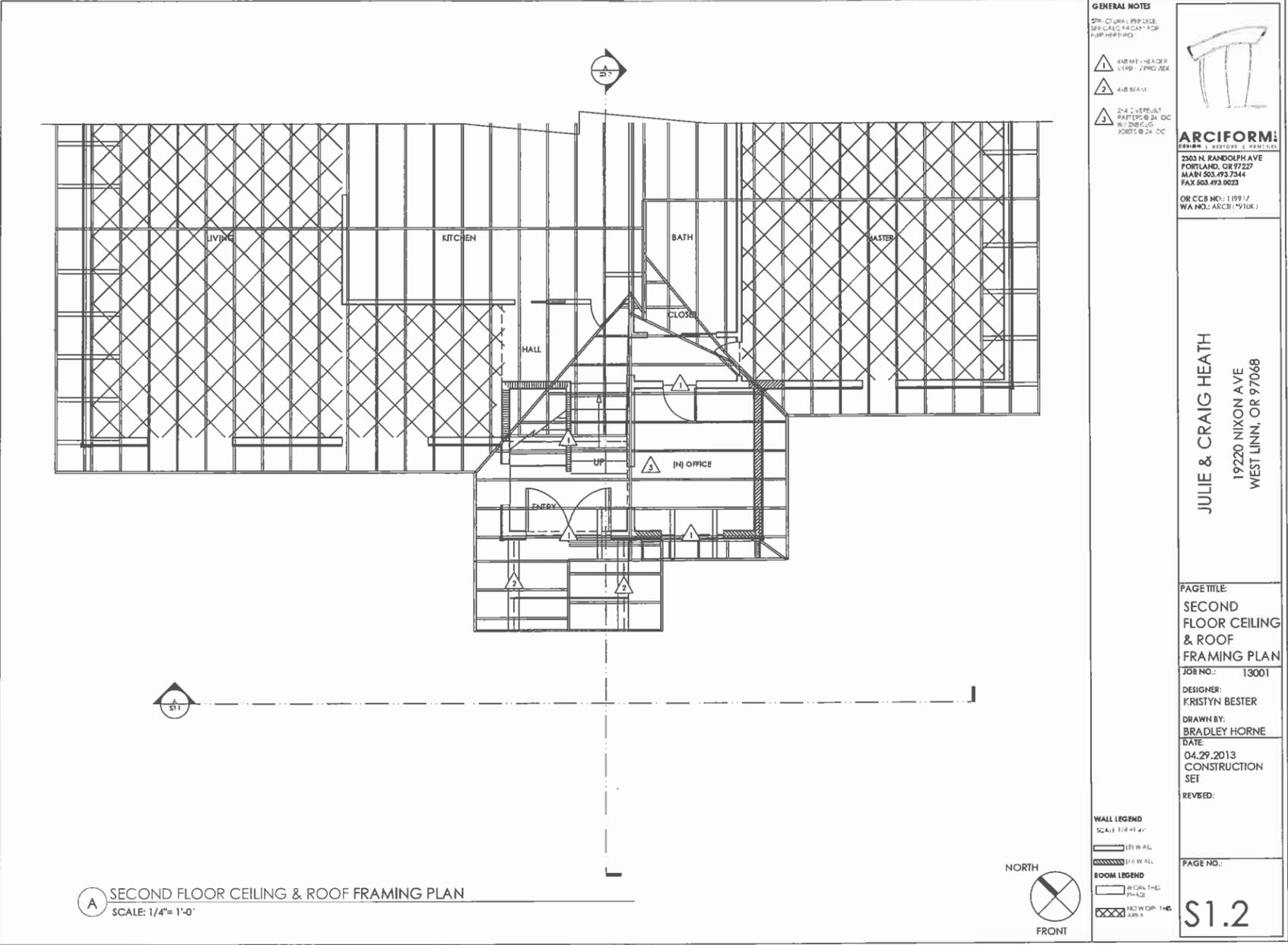
NEW WALL

ROOM LEGEND

INCLUDE THIS
PAGE

DO NOT USE THIS
AREA





A SECOND FLOOR CEILING & ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

HALF SCALE

GENERAL NOTES

- 1 4x8 MT. HEALD 1/8" - 1/8" PRO/JEM
- 2 4x8 BEAM
- 3 2x4 COVERPLAT RAFTERS @ 24" OC W/ 2x8 C/G JOISTS @ 24" OC



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SECOND FLOOR CEILING & ROOF FRAMING PLAN
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S1.2

WALL LEGEND

SCALE: 1/4" = 1'-0"

1/2" WALL

1" WALL

ROOM LEGEND

NO WORK THIS AREA





A STRUCTURAL SECTION
SCALE: 1/4" = 1'-0"



B PERSPECTIVE
SCALE: NOT TO SCALE

HALF SCALE

GENERAL NOTES
GENERAL CONTRACTOR RESPONSIBILITY

- 1. FLOOR JOIST: 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP. 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP. 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 2. ROOF TRUSS: 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 3. WALL: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 4. CEILING: 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 5. FLOOR: 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 6. FOUNDATION: 12" CONCRETE SLAB ON GRADE.
- 7. EXTERIOR FINISH: BRICK ON 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 8. INTERIOR FINISH: 1/2" GYPSUM BOARD ON 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 9. ROOF FINISH: 1/2" GYPSUM BOARD ON 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 10. WINDOW: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 11. DOOR: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 12. STAIR: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 13. PORCH: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 14. DECK: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 15. PATIO: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 16. DRIVEWAY: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 17. GARAGE: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 18. ATTIC: 2x10 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 19. BASEMENT: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.
- 20. CRAWL SPACE: 2x12 @ 16" O.C. WITH 1/2" GYPSUM BOARD ON TOP.



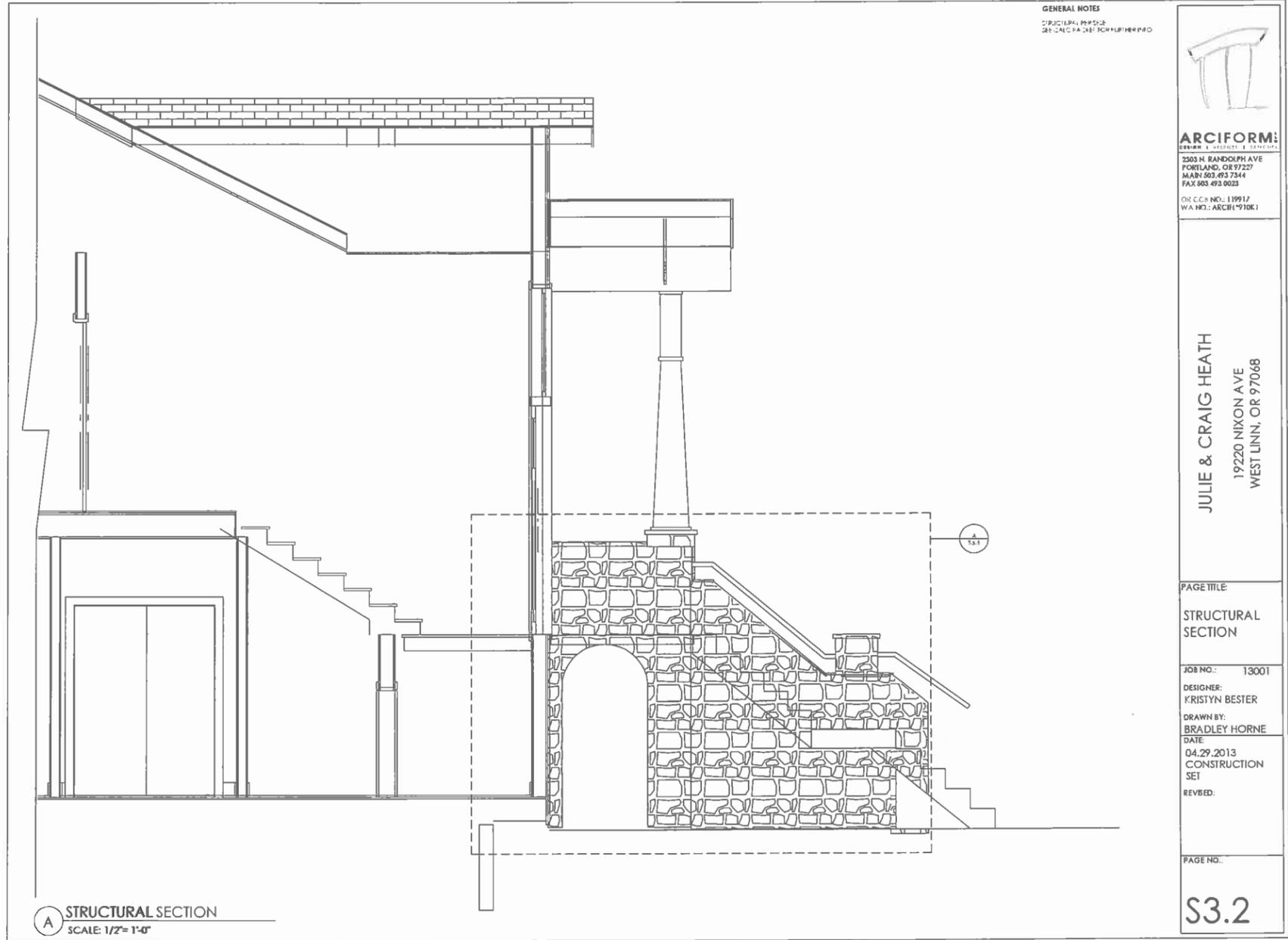
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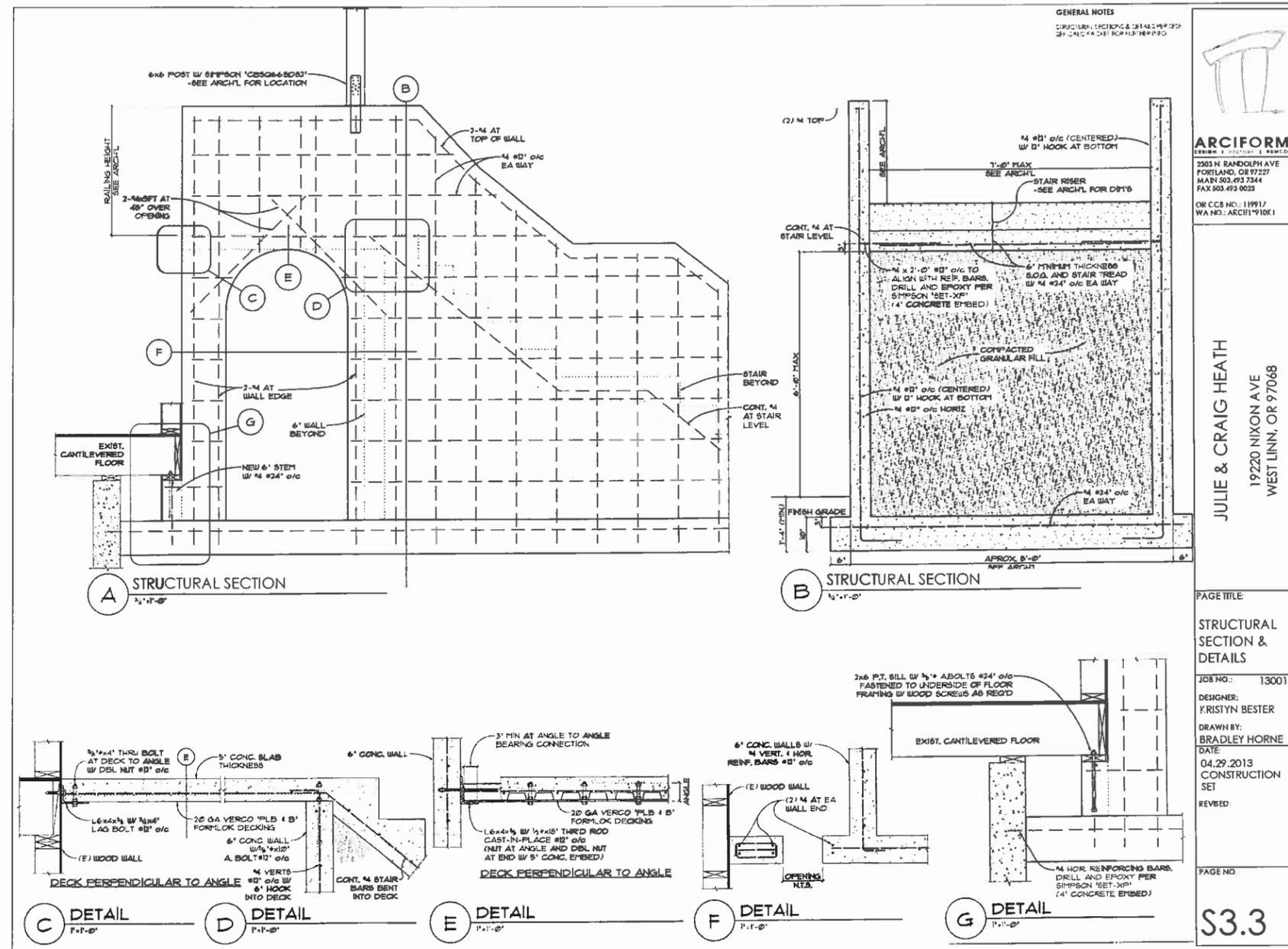
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PAGETITLE:
STRUCTURAL
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& DETAIL
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HALF SCALE



HALF SCALE

S3.3

PAGE TITLE
 STRUCTURAL SECTION & DETAILS

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