



22500 Salamo Road
West Linn, OR 97068

STAFF REPORT FOR THE PLANNING COMMISSION

FILE NUMBER: DR-15-01

HEARING DATE: June 3, 2015

REQUEST: Proposal to expand the 6,200 square foot West Linn Adult Community Center (ACC) by 2,900 square feet and add parking.

APPROVAL CRITERIA: Community Development Code (CDC) Chapter 55 and 12

STAFF REPORT PREPARED BY: Peter Spir, Associate Planner

Planning Manager's Initials AS

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GENERAL INFORMATION

OWNER:	City of West Linn; Chris Jordan, City Manager.
APPLICANT:	Ken Warner, City of West Linn Parks and Recreation, West Linn City Hall 22500 Salamo Road, West Linn, OR. 97068
SITE LOCATION:	1180 Rosemont Road
LEGAL DESCRIPTION:	Clackamas County Assessor's Map 2-1E-26A, Tax Lot 700
SITE SIZE:	88,088 square feet
ZONING:	R-7, Single-Family Residential Detached
COMP PLAN DESIGNATION:	Low-Density Residential
120-DAY PERIOD:	This application became complete on April 13, 2015. The 120-day maximum application-processing period ends on August 8, 2015.
PUBLIC NOTICE:	Public notice was mailed to the affected property owners on May 14, 2015. The property was posted with a sign on May 15, 2015. In addition, the application has been posted on the City's website and was published in the West Linn Tidings on May 21, 2015. The notice requirements have been met.

EXECUTIVE SUMMARY

In 2001, the Planning Commission approved the existing Adult Community Center (ACC) comprising 6,200 square feet and an adjacent parking lot. The City's population growth, specifically the aging baby boomers, supports the need to expand this type of facility and the programs it offers.

The 2,900 square foot addition to the ACC will be on the north side of the existing structure towards Rosemont Road. The additional parking will be on the east and west sides of the existing parking lot.

This proposal requires Class II Design Review, which triggers a Planning Commission public hearing. Compliance with the underlying R-7 zoning district (CDC Chapter 12) is also required. Community



recreation uses are permitted outright in the R-7 zoning district; therefore, the expansion of the facility does not require any other applications.

Public comments:

No public comments have been received to date.

RECOMMENDATION

Staff recommends approval of this application and suggests the following motions:

Alternative 1: Motion to approve.

I move to approve DR-15-01, and direct staff to prepare a Final Decision and Order based on the findings in the June 3, 2015, hearing Staff Report.

Alternate 2: Motion to approve subject to conditions of approval.

I move to approve DR-15-01 subject to the following conditions of approval: (list proposed conditions), and direct staff to prepare a Final Decision and Order based on the findings in the June 3, 2015, hearing Staff Report

Alternate 3. Motion to deny

I move to deny DR-15-01, and direct staff to prepare a Final Decision and Order adopting findings consistent with this decision, and specifically addressing criteria [INSERT CRITERIA SERVING AS THE BASIS FOR DENIAL HERE].



ADDENDUM
PLANNING COMMISSION STAFF REPORT
May 14, 2015

**STAFF EVALUATION OF THE PROPOSAL'S COMPLIANCE
WITH APPLICABLE CODE CRITERIA**

55.100 APPROVAL STANDARDS – CLASS II DESIGN REVIEW

The approval authority shall make findings with respect to the following criteria when approving, approving with conditions, or denying a Class II design review application.

- A. *The provisions of the following chapters shall be met:*
 - 3. *Chapter 40 CDC, Building Height Limitations, Exceptions.*

FINDING NO.1:

The property is zoned R-7 which has a 35 foot maximum height. The proposed addition is 16 feet high, which falls below the maximum height requirement.

- 6. *Chapter 46 CDC, Off-Street Parking, Loading and Reservoir Areas.*

FINDING NO.2:

CDC 46.090(B) (14) requires one space for every 150 square feet of gross floor area. The current number of spaces is 50. The 2,900 square foot addition requires a minimum of 20 spaces with a maximum number beyond that of 10 percent which would allow 22 spaces. The applicant will provide 22 spaces.

For internal driveways providing pickup and drop off functions (such as near the ACC entrance) the minimum width is 15 feet per 46.120. This design offers 22 feet which meets the standard.

The minimum width of one way aisles between parking spaces that are angled at 45 degrees is 12.5 feet per 46.150 (F). The proposed 22 foot aisle width meets the standard.

The dimensions of the new parking spaces meet the dimensional standards for compact (8' X 16') and full sized (9' X 18') spaces. The use of grasscrete surface for the west parking area is allowed by 46.150(A) (8) which allows "permeable parking surfaces". The 23 foot aisle width in the grasscrete parking area meets the minimum 23 foot width for 90 degree angle parking per

46.150(F). The required three ADA spaces are provided (see Finding No. 15). Therefore, the criteria are met.

7. Chapter 48 CDC, Access, Egress and Circulation.
(....)

FINDING NO. 3:

The accessway width from Rosemont Road to the parking lot must be at least 24 feet wide per 48.040(A)(1). The 29 foot wide accessway (plus wings) was approved in the original application and is not being modified in this application. The criteria are met.

9. Chapter 54 CDC, Landscaping.

FINDING NO. 4:

For non-residential development, 20 percent of the site must comprise landscaping (54.020(E) (2)). With the addition, staff finds over 27 percent of the site will be landscaped (counting landscaping within the parking lot and excluding the proposed front patio area). The standard is met.

The minimum five foot wide perimeter landscape buffer (54.020(E) (3) (f)) is met. The existing landscape buffer along the west property line is dominated by a solid row of mature conifers (20 feet tall). These trees not only meet the requirement of this section but also provide a highly effective screen and property delineation for adjacent residential properties because they are combined with a masonry wall capped off by a solid wood fencing on the southwest portion and an eight foot tall rock wall on the northwest portion adjacent to the ACC and the proposed addition.

To the south, towards Rosemont Middle School, the landscaping includes an array of mature seasonal and coniferous plantings which provide both effective screening and property delineation.

To the east is a landscaped 7-8 foot wide landscape strip next to the new parking area. Further east, the ACC and Rosemont Middle School share a joint storm water detention pond on school property. This detention pond area is 55 feet wide and landscaped.

To the north of the ACC addition there is a 38 foot wide landscaped area.

Additionally, 10 percent of the parking lot must be landscaped per 54.070. Staff finds that of the 3,990 square foot landscaped area on the east side, 840 square feet or 21 percent is landscaped so the standard is met. The west parking lot meets the standard with the use of grasscrete which provides a 25% landscaping credit.



B. Relationship to the natural and physical environment.

1. The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the municipal code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.

FINDING NO. 5:

The site does not contain any heritage trees. No trees will be removed with this proposal.

1. The topography and natural drainage shall be preserved to the greatest degree possible.

FINDING NO. 6:

Grading will be minimal for the ACC addition since the area in front of the ACC is relatively flat. To accommodate the expansion of the parking lot eastwards, modest grading and low 2.5 foot high retaining walls will be required. The existing joint storm water treatment swale will be shifted slightly to the east. The west parking area will require only very slight grading with a 1.5 foot tall retaining wall on its northwest edge (see Sheet A4 of the applicant's plans).

2. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report's Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.

FINDING NO. 7:

The southern and east edge of the ACC site is adjacent to a 10-20 foot grade change to a lower elevation driveway on the middle school property. The SLIDO/DOGAMI map shows no slumping or slide potential at, or near, this location. There is no evidence of historic landslides.

3. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

FINDING NO. 8:

The addition is two feet closer to the west property line than the existing ACC but will still be 141 feet from the nearest home to the west. More important than the distance between the addition and adjacent housing is the fact that the area of the addition is adjacent to an eight foot tall boulder or rock wall capped off by a mature screen of conifers. Since the addition is single storied with the peak height of 16 feet, the adjacent properties will not be able to see the addition and any associated activities.



6. *Architecture.*

a. *The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing of surrounding buildings in the proposed structure. The materials and colors shall be complementary to the surrounding buildings.*

(....)

FINDING NO. 9:

The addition will match the architecture and scale of the existing structure. Matching building material and colors will be used.

e. *The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparency. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional.*

(....)

FINDING NO. 10:

This building is a public facility. The transparency standard only applies to commercial and office buildings.

i. *These architectural standards shall apply to public facilities such as reservoirs, water towers, treatment plants, fire stations, pump stations, power transmission facilities, etc. It is recognized that many of these facilities, due to their functional requirements, cannot readily be configured to meet these architectural standards. However, attempts shall be made to make the design sympathetic to surrounding properties by landscaping, setbacks, buffers, and all reasonable architectural means.*

(....)

FINDING NO. 11:

As a public facility, the ACC is exempt from the preceding architectural standards due to the functional limitations as explained in the applicant's response to 55.100(B)(6)(e). Nonetheless, staff finds that the applicant has made reasonable attempt to meet the transparency standard on the east elevation and exceeds the transparency standards on the north elevation which faces Rosemont Road. The windows on those elevations pay dividends in terms of providing ACC staff with improved surveillance of the property. The TPR standards are substantially met by providing an entrance way that is both visually and physically accessible from Rosemont Road



as well as providing internal pedestrian paths from the parking lot to the ACC. Therefore the criteria are met.

C. *Compatibility between adjoining uses, buffering, and screening.*

1. *In addition to the compatibility requirements contained in Chapter 24 CDC, buffering shall be provided between different types of land uses; for example, buffering between single-family homes and apartment blocks. However, no buffering is required between single-family homes and duplexes or single-family attached units.*
2. *On-site screening from view from adjoining properties of such things as service areas, storage areas, and parking lots shall be provided and the following factors will be considered in determining the adequacy of the type and extent of the screening:*
 - a. *What needs to be screened?*
 - b. *The direction from which it is needed.*
 - c. *How dense the screen needs to be.*
 - d. *Whether the viewer is stationary or mobile.*
 - e. *Whether the screening needs to be year-round.*

3. *Rooftop air cooling and heating systems and other mechanical equipment shall be screened from view from adjoining properties.*

D. *Privacy and noise.*

1. *Structures which include residential dwelling units shall provide private outdoor areas for each ground floor unit which is screened from view from adjoining units.*

2. *Residential dwelling units shall be placed on the site in areas having minimal noise exposure to the extent possible. Natural-appearing sound barriers shall be used to lessen noise impacts where noise levels exceed the noise standards contained in West Linn Municipal Code Section 5.487.*

3. *Structures or on-site activity areas which generate noise, lights, or glare shall be buffered from adjoining residential uses in accordance with the standards in subsection C of this section where applicable.*

4. *Businesses or activities that can reasonably be expected to generate noise in excess of the noise standards contained in West Linn Municipal Code Section 5.487 shall undertake and submit appropriate noise studies and mitigate as necessary to comply with the code. (See CDC 55.110(B)(11) and 55.120(M).)*

If the decision-making authority reasonably believes a proposed use may generate noise exceeding the standards specified in the municipal code, then the authority may require the applicant to supply professional noise studies from time to time during the user's first year of operation to monitor compliance with City standards and permit requirements.

(.....)



FINDING NO. 12:

Buffering requirements are met to the southwest of the ACC by a masonry wall capped by a solid six foot high fence that has a row of mature 20 foot tall conifers in front of it. Immediately west of the ACC and the proposed patio area is an eight foot tall rock wall capped by mature trees. Also, since the addition is single storied with the peak height of 16 feet, adjacent properties will not be able to see the addition or any of the associated activities.

To the south of the site, Rosemont Middle School presents a two story blank wall. Although no screening is needed in that direction, a heavily landscaped area limits views in that direction.

To the east is an undeveloped area of Rosemont Middle School and a school bus driveway. No screening is needed in that direction.

To the north, 190 feet from the proposed ACC addition, are single family homes. Views from the homes are limited by street trees, berms, grade changes and additional landscaping. These findings support the recommendation that no additional buffering or screening is needed.

The new addition will have no HVAC equipment that could generate noise.

The applicant also provided an updated photometric study from Bradford Consulting Engineers, dated May 15, 2015, which addresses the additional light fixtures for the parking lot additions. The findings show that whereas the southwest parking area will be appropriately illuminated with a high of 3.2 lumens, the light near the southwest property line reads 0.1 to 0.8 lumens. The east parking area will be appropriately illuminated with a high of 3.8 lumens; whereas the light near the east property lines read 0.0 lumens.

G. Demarcation of public, semi-public, and private spaces. The structures and site improvements shall be designed so that public areas such as streets or public gathering places, semi-public areas, and private outdoor areas are clearly defined in order to establish persons having a right to be in the space, to provide for crime prevention, and to establish maintenance responsibility. These areas may be defined by:

1. *A deck, patio, fence, low wall, hedge, or draping vine;*
2. *A trellis or arbor;*
3. *A change in level;*
4. *A change in the texture of the path material;*
5. *Sign; or*
6. *Landscaping.*

Use of gates to demarcate the boundary between a public street and a private access driveway is prohibited.

(.....)

FINDING NO. 13:

The buffering discussed in Finding No. 12 also provides demarcation of public, semi-public, and private spaces. Specifically, an existing solid row of mature conifers (20 feet tall) delineates the west property line. Those trees are supplemented on the south portion of the west property line by a masonry block wall topped by a six foot tall solid wood fence. On the north portion of the west property line, an eight foot tall rock wall was constructed with the trees on top.

The south property line is delineated by a mature array of seasonal and coniferous plantings, a three and a half foot tall cyclone fence and a 10-20 foot steep embankment that drops down to a Rosemont Middle School bus driveway. The east boundary is delineated by a joint storm water treatment swale and a three and a half foot tall cyclone fence next to the Rosemont Middle School bus driveway. The north boundary is defined by Rosemont Road.

J. Crime prevention and safety/defensible space.

1. Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.

2. Interior laundry and service areas shall be located in a way that they can be observed by others.

3. Mailboxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.

4. The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.

5. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.

6. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omni-directional lights of an ornamental nature may be used in general commercial districts only.

7. Lines of sight shall be reasonably established so that the development site is visible to police and residents.

8. Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to protect public safety. No variances are required regardless of location.

FINDING NO. 14:

The original application included a lighting plan which was found to meet this criterion by the Planning Commission in 2001. The applicant will be installing additional lighting for the new parking areas and has provided an updated photometric study from Bradford Consulting Engineers, dated May 15, 2015. The findings show that whereas the southwest parking area will be appropriately illuminated with a high of 3.2 lumens, the light near the southwest property line reads 0.1 to 0.8 lumens. The east parking area will be appropriately illuminated with a high of 3.8 lumens; whereas the light near the east property lines read 0.0 lumens. Therefore 55.100(J) (4-6) is met.

The other criteria in 55.100 (J) relate to “surveillance and defensible space”. Those criteria were satisfied by the original application, as well as this new design which includes additional windows on the north elevation. The site’s borders are effectively delineated by fences, retaining walls, trees and steep grades to the extent that all visitors must enter the site from the north which is monitored by ACC staff. Good lines of sight into the property also exist from Rosemont Road.

K. Provisions for persons with disabilities.

1. The needs of a person with a disability shall be provided for. Accessible routes shall be provided between all buildings and accessible site facilities. The accessible route shall be the most practical direct route between accessible building entries, accessible site facilities, and the accessible entry to the site. An accessible route shall connect to the public right-of-way and to at least one on-site or adjacent transit stop (if the area is served by transit). All facilities shall conform to, or exceed, the Americans with Disabilities Act (ADA) standards, including those included in the Uniform Building Code.

(....)

FINDING NO. 15:

The parking lot is required by 46.150(B) (1) to have three accessible parking spaces, one of which must be van accessible with an adjacent aisle. The site already meets that requirement with three accessible spaces including two van accessible spaces with aisles. The parking spaces are located adjacent to the entrance. An accessible route from the parking lot to the ACC is facilitated by paved ramps and paths under 5% grade. All ACC building door widths are sized per ADA standards.

Chapter 12

SINGLE-FAMILY RESIDENTIAL DETACHED AND ATTACHED, R-7

12.080 DIMENSIONAL REQUIREMENTS, CONDITIONAL USE

Except as may otherwise be established by this code, the appropriate lot or parcel size for a conditional use shall be determined by the approval authority at the time of consideration of the application based upon the criteria set forth in CDC 60.070(A) and (B).

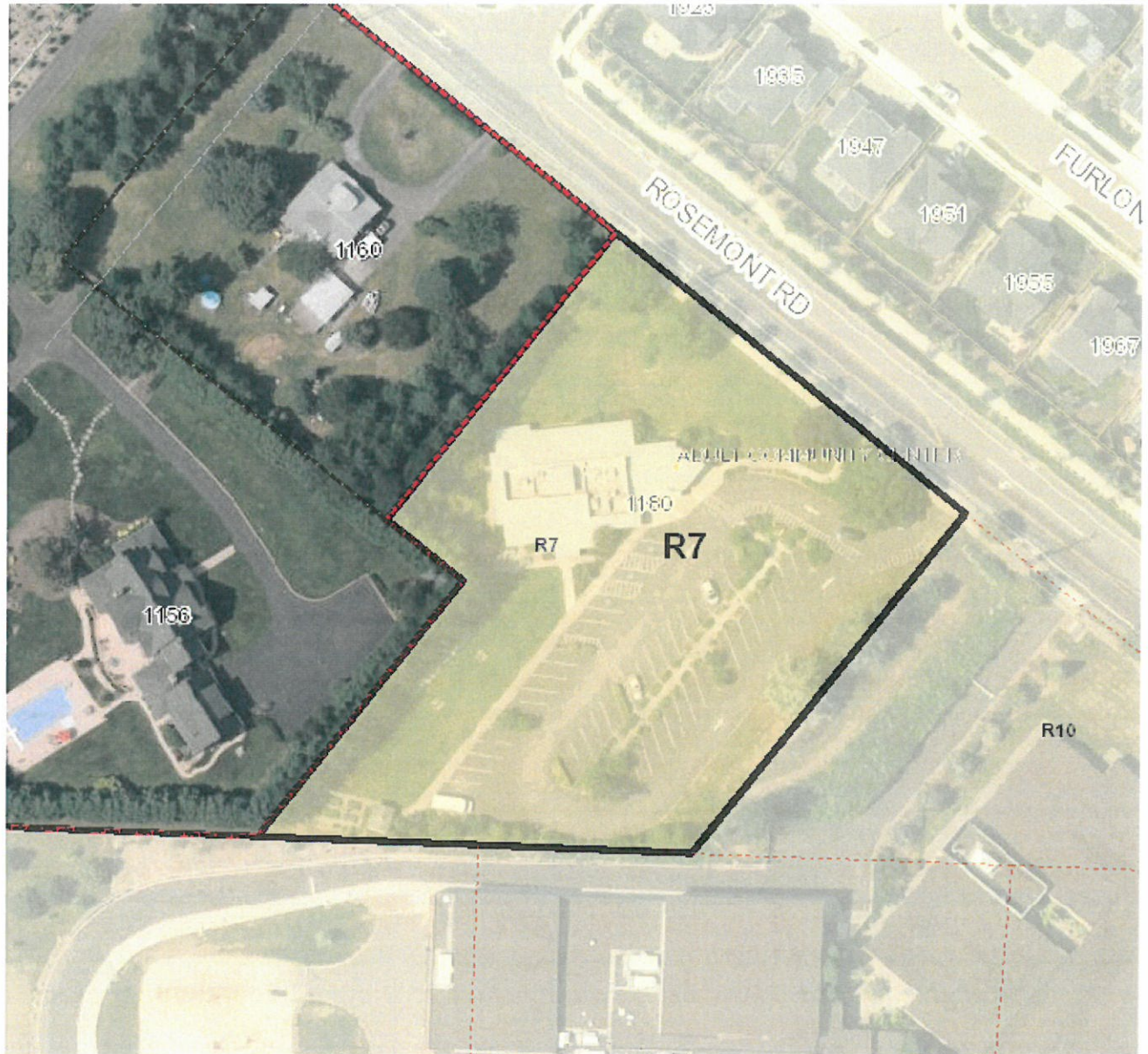
FINDING NO. 16: The 2001 application included a Conditional Use Permit (CUP) to allow the ACC. As a CUP permitted use, the Planning Commission has the option to modify the standards of the underlying zone. Notwithstanding that fact, the proposed addition has an 18 foot west side setback and a 39 foot front setback which are greater than the respective 7.5 and 20 foot setbacks of the R-7 zone. Additionally, lot coverage, FAR and building height standards are met. No conditions of approval are required to meet dimensional standards.



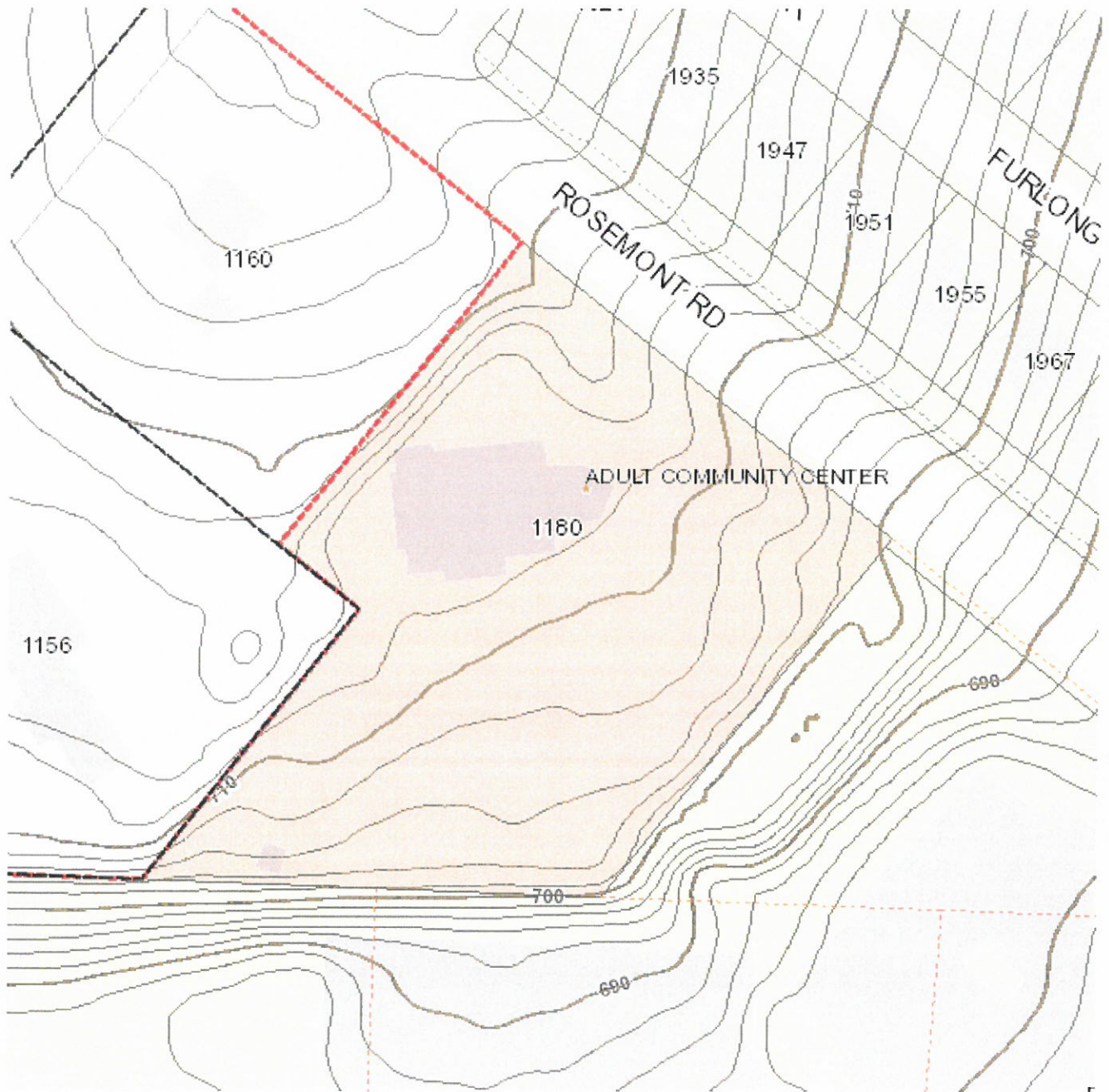
AERIAL PHOTO



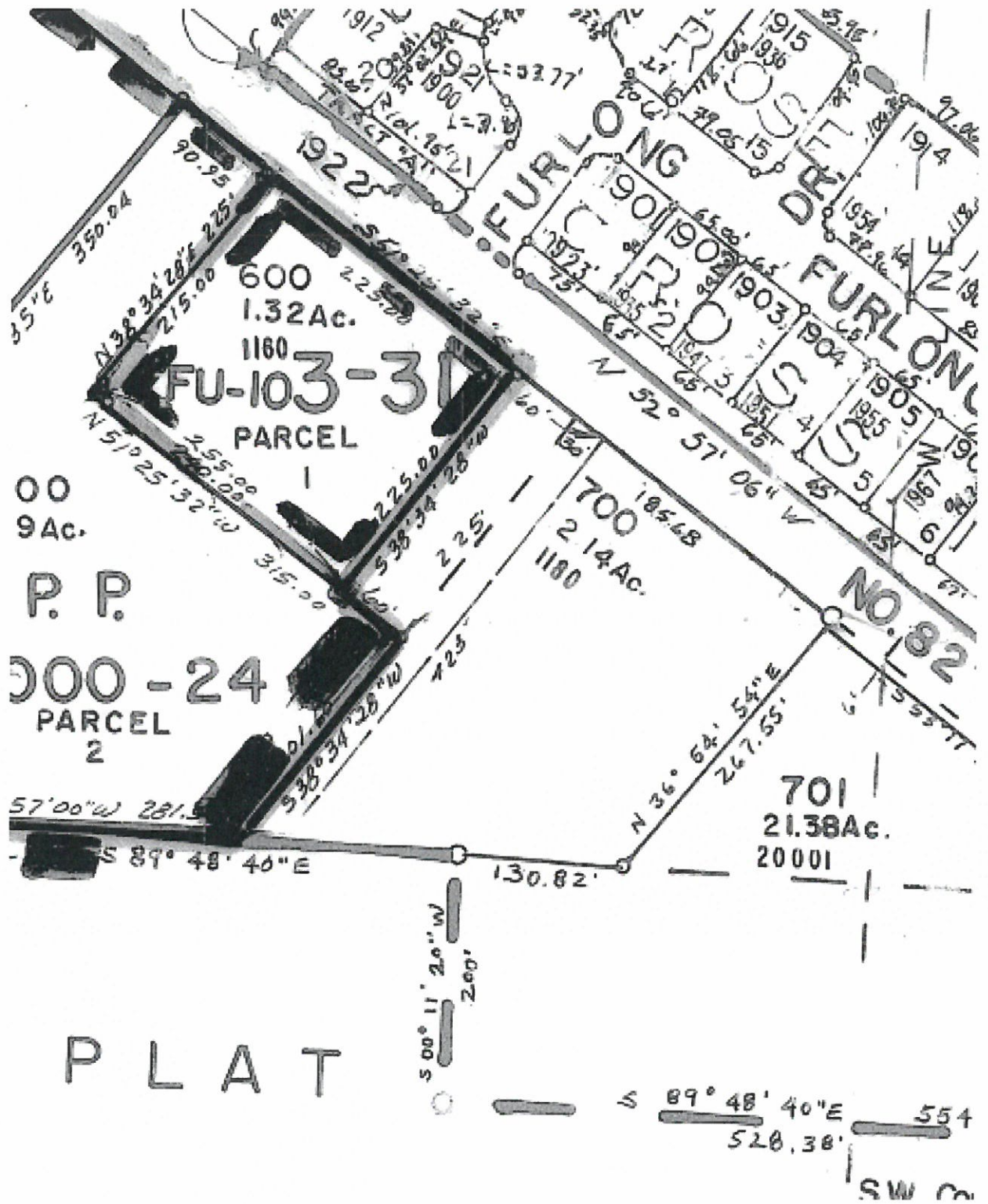
ZONING



TOPOGRAPHY (Two foot contour intervals) (There are no DOGAMI or SLIDO mappings of past landslides or potential slope failure at, or near, this site)



TAX ASSESSOR'S MAP (ACC is tax lot 700)



EXHIBITS PC-1 AND PC-2

COMPLETENESS LETTER

AND NOTICE





CITY OF
West Linn

April 13, 2015

Ken Warner
City of West Linn
22500 Salamo Rd.
West Linn, OR 97068

SENT VIA EMAIL

SUBJECT: DR-15-01 (Addition to Adult Community Center)

Dear Ken:

Your resubmitted application, including the authorized signature, received on April 9, 2015, is now **complete**. The City has 120 days to exhaust all local review. That period lapses on August 8, 2015.

Staff will now prepare the staff report and public notice of the Planning Commission hearing. The hearing date will be identified in the 20-day public notice prior to the hearing. Any appeals of the Planning Commission decision will be heard by the City Council.

Please contact me at 503-723-2539, or by email at pspir@westlinnoregon.gov if you have any questions or comments, or if you wish to meet with Planning or Engineering staff regarding these issues.

Sincerely,

A handwritten signature in black ink that reads "Peter Spir". The signature is written in a cursive, slightly slanted style.

Peter Spir
Associate Planner

AFFIDAVIT OF NOTICE

We, the undersigned do hereby certify that, in the interest of the party (parties) initiating a proposed land use, the following took place on the dates indicated below:

GENERAL

File No. DR-15-01 Applicant's Name CITY OF WEST LINN
Development Name _____
Scheduled Meeting/Decision Date 6-3-15

NOTICE: Notices were sent at least 20 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE A _____

A. The applicant (date) 5-14-15 (signed) S. Shroyer
B. Affected property owners (date) 5-14-15 (signed) S. Shroyer
C. School District/Board (date) _____ (signed) _____
D. Other affected gov't. agencies (date) _____ (signed) _____
E. Affected neighborhood assns. (date) ALL 5-14-15 (signed) S. Shroyer
F. All parties to an appeal or review (date) 5-14-15 (signed) S. Shroyer

At least 10 days prior to the scheduled hearing or meeting, notice was published/posted:

Tidings (published date) 5-21-15 (signed) S. Shroyer
City's website (posted date) 5-14-15 (signed) S. Shroyer

SIGN

At least 10 days prior to the scheduled hearing, meeting or decision date, a sign was posted on the property per Section 99.080 of the Community Development Code.

(date) 5-15-15 (signed) [Signature]

NOTICE: Notices were sent at least 14 days prior to the scheduled hearing, meeting, or decision date per Section 99.080 of the Community Development Code. (check below)

TYPE B _____

A. The applicant (date) _____ (signed) _____
B. Affected property owners (date) _____ (signed) _____
C. School District/Board (date) _____ (signed) _____
D. Other affected gov't. agencies (date) _____ (signed) _____
E. Affected neighborhood assns. (date) _____ (signed) _____

Notice was posted on the City's website at least 10 days prior to the scheduled hearing or meeting.

Date: _____ (signed) _____

STAFF REPORT mailed to applicant, City Council/Planning Commission and any other applicable parties 10 days prior to the scheduled hearing.

(date) 5-22-15 (signed) S. Shroyer

FINAL DECISION notice mailed to applicant, all other parties with standing, and, if zone change, the County surveyor's office.

(date) _____ (signed) _____

**CITY OF WEST LINN
NOTICE OF UPCOMING
PLANNING MANAGER DECISION
FILE NO. MIP-15-01/WAP-15-01**

The West Linn Planning Manager is considering a request for a two-lot minor partition and water resource area permit at 19055 Walling Circle.

The decision will be based on the approval criteria in chapters 11, 32 and 85 of the Community Development Code (CDC). The approval criteria from the CDC are available for review at City Hall, at the City Library, and at <http://www.westlinnoregon.gov/cdc>.

You have received this notice because County records indicate that you own property within 500 feet of this property (Tax Lot 2900 of Clackamas County Assessor's Map 21E 23AA) or as otherwise required by Chapter 99 of the CDC.

All relevant materials in the above noted file are available for inspection at no cost at City Hall, and on the city web site <http://westlinnoregon.gov/planning/19055-walling-circle-2-lot-minor-partition-and-water-resource-area-protection> or copies may be obtained for a minimal charge per page. A public hearing will not be held on this decision. **Anyone wishing to present written testimony for consideration on this matter shall submit all material before 4:00 p.m. on June 9, 2015. Persons interested in party status should submit their letter along with any concerns related to the proposal by the comment deadline.** For further information, please contact Peter Spir, Associate Planner, City Hall, 22500 Salamo Rd., West Linn, OR 97068, (503) 723-2539, pspir@westlinnoregon.gov.

Any appeals to this decision must be filed within 14 days of the final decision date with the Planning Department. **It is important to submit all testimony in response to this notice. City Council will not accept additional evidence if there is an appeal of this proposal.** Failure to raise an issue in person or by letter, or failure to provide sufficient specificity to afford the decision-maker an opportunity to respond to the issue, precludes the raising of the issue at a subsequent time on appeal or before the Land Use Board of Appeals.

p:\devrww\projects folder\projects 2015\mip-15-01 Walling\500 foot notice



CITY OF West Linn

PLANNING COMMISSION MEETING 2015-06-03

PROJECT # DR-15-01

NOTICE DATE: MAIL 5/14/15 TIDINGS 5/21/15

CITIZEN CONTACT INFORMATION

To lessen the bulk of agenda packets, land use application notice, and to address the worries of some City residents about testimony contact information and online application packets containing their names and addresses as a reflection of the mailing notice area, this sheet substitutes for the photocopy of the testimony forms and/or mailing labels. A copy is available upon request.

EXHIBIT PC-3

APPLICANT'S SUBMITTAL

FILE NUMBER: DR-15-01

REQUEST: Proposal to expand the 6,200 square foot West Linn Adult Community Center (ACC) by 2,900 square feet and add parking.



DEVELOPMENT REVIEW APPLICATION

For Office Use Only		
STAFF CONTACT <i>Peter Spiv</i>	PROJECT NO(S). <i>DR -1501</i>	
NON-REFUNDABLE FEE(S)	REFUNDABLE DEPOSIT(S)	TOTAL <i>N/A</i>

Type of Review (Please check all that apply):

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation (ANX) | <input type="checkbox"/> Historic Review | <input type="checkbox"/> Subdivision (SUB) |
| <input type="checkbox"/> Appeal and Review (AP) * | <input type="checkbox"/> Legislative Plan or Change | <input type="checkbox"/> Temporary Uses * |
| <input type="checkbox"/> Conditional Use (CUP) | <input type="checkbox"/> Lot Line Adjustment (LLA) */** | <input type="checkbox"/> Time Extension * |
| <input checked="" type="checkbox"/> Design Review (DR) | <input type="checkbox"/> Minor Partition (MIP) (Preliminary Plat or Plan) | <input type="checkbox"/> Variance (VAR) |
| <input type="checkbox"/> Easement Vacation | <input type="checkbox"/> Non-Conforming Lots, Uses & Structures | <input type="checkbox"/> Water Resource Area Protection/Single Lot (WAP) |
| <input type="checkbox"/> Extraterritorial Ext. of Utilities | <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Water Resource Area Protection/Wetland (WAP) |
| <input type="checkbox"/> Final Plat or Plan (FP) | <input type="checkbox"/> Pre-Application Conference (PA) */** | <input type="checkbox"/> Willamette & Tualatin River Greenway (WRG) |
| <input type="checkbox"/> Flood Management Area | <input type="checkbox"/> Street Vacation | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Hillside Protection & Erosion Control | | |

Home Occupation, Pre-Application, Sidewalk Use, Sign Review Permit, and Temporary Sign Permit applications require different or additional application forms, available on the City website or at City Hall.

Site Location/Address: 1180 ROSEMONT ROAD, WEST LINN OREGON 97068	Assessor's Map No.: 2 IE 26A
	Tax Lot(s): 700
	Total Land Area: 87,997

Brief Description of Proposal: **ADDITION TO EXISTING ADULT COMMUNITY CENTER**

Applicant Name: CITY OF WEST LINN, PARKS & RECREATION <small>(please print)</small>	Phone: 503-557-4700
Address: 22500 SALAMO ROAD	Email: KWARNER@WESTLINNOREGON.GOV
City State Zip: WEST LINN OREGON 97068	

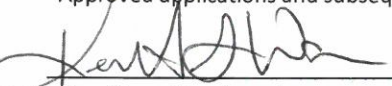
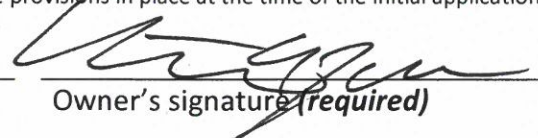
Owner Name (required): CITY OF WEST LINN <small>(please print)</small>	Phone: 503-557-4700
Address: 22500 SALAMO ROAD	Email: KWARNER@WESTLINNOREGON.GOV
City State Zip: WEST LIN OREGON 97068	

Consultant Name: <small>(please print)</small>	Phone:
Address:	Email:
City State Zip:	

1. All application fees are non-refundable (excluding deposit). **Any overruns to deposit will result in additional billing.**
2. The owner/applicant or their representative should be present at all public hearings.
3. A denial or approval may be reversed on appeal. No permit will be in effect until the appeal period has expired.
4. **Three (3) complete hard-copy sets (single sided) of application materials must be submitted with this application.**
One (1) complete set of digital application materials must also be submitted on CD in PDF format.
If large sets of plans are required in application please submit only two sets.

* No CD required / ** Only one hard-copy set needed

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I hereby agree to comply with all code requirements applicable to my application. Acceptance of this application does not infer a complete submittal. All amendments to the Community Development Code and to other regulations adopted after the application is approved shall be enforced where applicable. Approved applications and subsequent development is not vested under the provisions in place at the time of the initial application.

 Applicant's signature	<i>1-28-15</i> Date	 Owner's signature (required)	<i>4/9/2015</i> Date
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**WEST LINN ADULT COMMUNITY CENTER
ADDITION PROJECT**
1180 S. ROSEMONT ROAD
WEST LINN, OREGON 97068

An Application For:
Class II Design Review

Applicant:
City of West Linn
Parks & Recreation Department
22500 Salamo Road, #1100
West Linn, Oregon 97068

Prepared by:
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SUMMARY OF PROPOSAL

The applicant is seeking Class II Design Review approval to allow for addition to the existing West Linn Adult Community Center and site, located at 1180 Rosemont Road in West Linn. As the Adult Community Center currently functions, the building is utilized for Adult Community Center activities that include classes, programs, events, meals and other activities for the serviced population. During off hours the Adult Community Center is also utilized by the Parks & Recreation Department for hosting of many recreation programs open to the population of West Linn and utilized by groups renting the facility for meetings and other social functions.

Tax Lot Information: Tax lot 700, Assessor' Map 2 1E 26A
Location: 1180 S. Rosemont Road, West Linn
Current Zoning: R-7
Project Site Area: 87,997 (2acres)

ADDITION TO EXISTING FACILITY

Proposed Project	Addition to current facility	2,900 G.S.F.
<u>Current Onsite Facility</u>	<u>Multi-Purpose Building</u>	<u>6,200 G.S.F.</u>
	Total Square Footage	9,100 G.S.F.

In 2001, application CUP-01-02/DR-01-06 was approved for the development of an Adult Community Center.

SITE

The current site houses the existing Adult Community Center, a 6,200 square foot multi-purpose building located on the northwest side of the property. This facility has two multi-purpose spaces, a dining room, classroom, kitchen, restrooms, office, gift shop, reception area, lobby, and patio. These spaces currently accommodate meetings, classes, dinners, and recreation programs. The original Conditional Use approval did have an expansion listed at 1,133 square feet. The applicant's current addition is 2900 square feet. The increase in the addition size is based on the growth of the popularity of the activities at the Adult Community Center and the growing population of older adults in our community. Existing development around the building includes a garden, shuffle board, pedestrian path and outdoor seating areas in addition to landscaping. The applicant's proposal will provide a much needed addition to the existing public facility. The characteristics of the site are adequate and the new addition will aesthetically blend in and will have no adverse effects on surrounding properties.

CHAPTER 55 – Design Review

55.030 A. ADMINISTRATION AND APPROVAL PROCESS

A pre-application conference was held on May 1, 2014 to discuss the general intent of the applicant. The applicant received formal notes from City Staff to guide this submittal.

Per email from John Boyd, Planning Manager, August 4th 2014 he states "It appears that an amendment to the Pre-Application notes may be required: or a note to file removing the requirement for the CUP in the pre-application notes based upon the change in circumstances and the change in regulations. "

55.100 A. APPROVAL STANDARDS CLASS II DESIGN REVIEW

CHAPTER 33 - Storm Water Quality and Detention

The natural flow of drainage runs from adjacent property on the northwest, across the site, to adjacent property on the southeast. This general direction from northwest to southeast has been maintained in the existing drainage plan for the current development onsite. A water quality/detention facility has been located adjacent to the southeast side of the site. The existing storm water facility has the capacity based on calculations to ensure storm water is properly detained and treated.

The City of West Linn previously coordinated the agreement to use the land for the existing with the West Linn - Wilsonville School District. Access is from the School District property. The City of West Linn Parks and Recreation Department previously planted the water quality facility that meets the requirements of CDC33.070.

CHAPTER 34 - Accessory Structures, Accessory Dwelling Units, and Accessory Uses

No new accessory structure or uses proposed.

CHAPTER 38 - Additional Yard Area Required: Exceptions to Yard Requirements; Storage in Yards; Projections into Yards

No portion of the addition or accessory structure lies within the required additional setbacks. No portion of the proposed building or accessory structure projects into an existing utility easement or required yard.

CHAPTER 40 - Building Height Limitations, Exceptions

The maximum building height for R7 zone is 35 feet. The height of the proposed expansion will not exceed 19 feet -five inches, the height of the existing structure.

CHAPTER 42 – Clear Vision Areas

No modification to the existing entrance shall occur as part of this project. The current entrance/exit drive at the east side of the site that intersects Rosemont Road meets the requirements for clear vision. The vision areas have not changed for the driving isles. The addition is further than 30' from the properties corners and from the entrance to the driveway.

CHAPTER 44 - Fences & Screening Outdoor Storage

No new fences are to be added during this expansion.

CHAPTER 46 - Off-Street Parking, Loading and Reservoir Areas.

Current parking on the site provides 50 standard spaces: the expansion project will provide 22 standard parking spaces for the future classroom/conference room addition. CDC 46.090(B.)14, the current Adult Community Center/Senior Center parking standard, require one space for every 150 square feet of gross floor area. CDC 46.090(F.) allows a maximum increase in parking spaces of 10 percent. See Table below

46.120 DRIVEWAYS REQUIRED ON SITE

Any school or other meeting place which is designed to accommodate more than 25 people at one time shall provide a 15-foot-wide driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading passengers. Depending on functional requirements, the width may be increased with Planning Director approval.

A 25' driveway and loading zone has already been approved, provided and constructed during the previous phase

46.150 DESIGN AND STANDARDS

A. Design standards.

1. "One standard parking space" means a minimum for a parking stall of eight feet in width and 16 feet in length. These stalls shall be identified as "compact." To accommodate larger cars, 50 percent of the required parking spaces shall have a minimum dimension of nine feet in width and 18 feet in length (nine feet by 18 feet).

Parking Requirements

	Proposed Conditions	Parking Standards	# of spaces required
Proposed Addition	2,900 GSF	1/150 SF	20
Proposed Addition - 10% Increase Allowed		20x.1	2
Existing Adult Community Center			50
Total Parking Allowed			72

Circulation through the site will continue to be accomplished by means of a one-way loop. The parking lot is clearly marked to show direction of flow and maintain vehicular and pedestrian safety. The new parking area will have a pervious surface to conform to the requirements of the Oregon Department of Transportation Standard Specifications.

CHAPTER 48 – Access, Egress and Circulation

Access is already provided to the site by a 30 foot wide entrance/exit driveway on the east side that accommodates two-way traffic. The minimum vertical clearance of 13 feet 6 inches is met. The centerline turning radius from Rosemont Road into the drive way is 45 feet. The grade does not exceed 10 percent on average. The driveway and one-way traffic loop already provide required turn around facilities for emergency vehicles.

CHAPTER 52 – Signs

No new signage will be added during this phase.

CHAPTER 54 – Landscaping

A landscape plan for the existing facility is in place to visually enhance the facility, provide buffering and screening, and reduce surface water runoff. The area around new addition will be irrigated and landscaped to match the existing plan. Any new landscaping for the Adult Community Center will be provided and coordinated by the City of West Linn Parks and Recreation Department.

55.100 B. Relationship to the natural and physical environment

1. The buildings and other site elements shall be designed and located so that all heritage trees, as defined in the municipal code, shall be saved. Diseased heritage trees, as determined by the City Arborist, may be removed at his/her direction.

No trees are being removed in the construction of this addition

2. All heritage trees, as defined in the municipal code, all trees and clusters of trees ("cluster" is defined as three or more trees with overlapping drip lines; ...

No trees are being removed in the construction of this addition

3. The topography and natural drainage shall be preserved to the greatest degree possible.

There will be minimal grading and the general characteristic and condition of the site will be preserved.

4. The structures shall not be located in areas subject to slumping and sliding. The Comprehensive Plan Background Report's Hazard Map, or updated material as available and as deemed acceptable by the Planning Director, shall be the basis for preliminary determination.

There are no slumping or sliding areas on the site.

5. There shall be adequate distance between on-site buildings and on-site and off-site buildings on adjoining properties to provide for adequate light and air circulation and for fire protection.

The addition is adjacent to the street and does not affect any other properties or buildings.

6. Architecture

The addition of the proposed multi-purpose building is in response to the growing needs of the West Linn Adult Community Center and the physical constraints of the site. Placement is limited by existing development.

The existing building is set into the northwest side of the site. The front entrance of the building is the major contact point for vehicular and pedestrian traffic. The entrance driveway channels vehicles to the entrance of the building and then beyond to the parking area. The building has been designed as a low, human scale facility that invites interaction between interior and exterior.

a. The proposed structure(s) scale shall be compatible with the existing structure(s) on site and on adjoining sites. Contextual design is required. Contextual design means respecting and incorporating prominent architectural styles, building lines, roof forms, rhythm of windows, building scale and massing of surrounding buildings in the proposed structure. The materials and colors shall be complementary to the surrounding buildings.

The scale of the addition is compatible with the existing structure. The design of the addition was based off the original eave slope, eave height, window type, siding and trim material.

b. While there has been discussion in Chapter 24 CDC about transition, it is appropriate that new buildings should architecturally transition in terms of bulk and mass to work with, or fit, adjacent existing buildings. This transition can be accomplished by selecting designs that "step down" or "step up" from small to big structures and vice versa (see figure below). Transitions may also take the form of carrying building patterns and lines (e.g., parapets, windows, etc.) from the existing building to the new one.

The building parapet design and height was carried from the original building to the new design as well as the eave. The new windows have been designed to mimic the original.

c. Contrasting architecture shall only be permitted when the design is manifestly superior to adjacent architecture in terms of creativity, design, and workmanship, and/or it is adequately separated from other buildings by distance, screening, grade variations, or is part of a development site that is large enough to set its own style of architecture.

There is no contrasting architecture in this project.

d. Human scale is a term that seeks to accommodate the users of the building and the notion that buildings should be designed around the human scale (i.e., their size and the average range of their perception). Human scale shall be accommodated in all designs by, for example, multi-light windows that are broken up into numerous panes, intimately scaled entryways, and visual breaks (exaggerated eaves, indentations, ledges, parapets, awnings, engaged columns, etc.) in the facades of buildings, both vertically and horizontally.

Several windows with visual breaks to match the original windows are being provided on the addition. French doors with glazing are being provided to open the classrooms up to the outdoor patio area beyond.

e. The main front elevation of commercial and office buildings shall provide at least 60 percent windows or transparency at the pedestrian level to create more interesting streetscape and window shopping opportunities. One side elevation shall provide at least 30 percent transparencies. Any additional side or rear elevation, which is visible from a collector road or greater classification, shall also have at least 30 percent transparency. Transparency on other elevations is optional. The transparency is measured in lineal fashion. For example, a 100-foot-long building elevation shall have at least 60 feet (60 percent of 100 feet) in length of windows. The window height shall be, at minimum, three feet tall. The exception to transparency would be cases where demonstrated functional constraints or topography restrict that elevation from being used. When this exemption is applied to the main front elevation, the square footage of transparency that would ordinarily be required by the above formula shall be installed on the remaining elevations at pedestrian level in addition to any transparency required by a side elevation, and vice versa. The rear of the building is not required to include transparency. The transparency must be flush with the building elevation.

The main front elevation of commercial and office buildings to provide at least 60% windows or transparency at the

pedestrian level to create more interesting streetscape and window shopping opportunities.

This project is neither a commercial nor an office building. It is a public community Adult Community Center set back from the street. Window shopping opportunities are not relevant activities. The building is located at an angle on the site, presenting both east and north elevations to the street. Both elevations are articulated and do not present a flat surface.

The new addition has the East Elevation and the North Elevation both primarily facing the street, Rosemont. The majority of the windows in the addition are facing the North Elevation instead of the East Elevation, which has the primary entrance on it. The room that is to be added to the north-east corner of the structure will be used as a classroom. It is intended that no windows are on the East Elevation in order to use that space for a projection screen.. Locating the windows on the North façade of the room provides more privacy and focus for the students in the classroom while at the same time opening the space up to the adjoining exterior patio area. In addition, we would like to keep the entrance to the community center as the primary focus on the East elevation. The required glazing for the east elevation is 62'3", provided is 36'4". We are transferring 25'11" of the requirements to the North elevation for a total of 62'2 feet needed @ the north. The provided window length on the North Elevation is 63'-0".

f. Variations in depth and roofline are encouraged for all elevations. To vary the otherwise blank wall of most rear elevations, continuous flat elevations of over 100 feet in length should be avoided by indents or variations in the wall. The use of decorative brick, masonry, or stone insets and/or designs is encouraged. Another way to vary or soften this elevation is through terrain variations such as an undulating grass area with trees to provide vertical relief. *There are many variations in the roof line and none of the elevations are flat and continuous for over 100'.*

g. Consideration of the micro-climate (e.g., sensitivity to wind, sun angles, shade, etc.) shall be made for building users, pedestrians, and transit users, including features like awnings. *This code was met during the original permit process of the existing structure. Awnings cover many/most of the doorways leading outside.*

h. The vision statement identified a strong commitment to developing safe and attractive pedestrian environments with broad sidewalks, canopied with trees and awnings. *This is the home of the West Linn Adult Community Center and ran by West Linn Parks. There is developed landscaping on the site that contributes to a safe and attractive walking experience.*

i. Sidewalk cafes, kiosks, vendors, and street furniture are encouraged. However, at least a four-foot-wide pedestrian access way must be maintained per Chapter 53 CDC, Sidewalk Use. *There is a direct circulation plan that wraps around the structure from the sidewalk and through the parking lot.*

7. Transportation Planning Rule (TPR) compliance.

a. Commercial and office development shall be oriented to the street. At least one public entrance shall be located facing an arterial street; or, if the project does not front on an arterial, facing a collector street; or, if the project does not front on a collector, facing the local street with highest traffic levels. Parking lots shall be placed behind or to the side of commercial and office development. When a large and/or multi-building development is occurring on a large undeveloped tract (three plus acres), it is acceptable to focus internally; however, at least 20 percent of the main adjacent right-of-way shall have buildings contiguous to it unless waived per subsection (B)(7)(c) of this section. These buildings shall be oriented to the adjacent street and include pedestrian-oriented transparencies on those elevations. *Site planning was done during the original permitting process in 2002. The entrance to the parking lot connects to Rosemont.*

b. Single family:
This is not a single family project.

c. Commercial, office, and multi-family projects shall be built as close to the adjacent main right-of-way as practical to facilitate safe pedestrian and transit access. Reduced frontages by buildings on public rights-of-way may be allowed due to extreme topographic (e.g., slope, creek, wetlands, etc.) conditions or compelling functional limitations, not just inconveniences or design challenges. *The structure is built close to the adjacent main right-of-way.*

d. Access ways, parking lots, and internal driveways shall accommodate pedestrian circulation and access by specially textured, colored, or clearly defined footpaths at least six feet wide. Paths shall be eight feet wide when abutting parking areas or travel lanes. Paths shall be separated from parking or travel lanes by either landscaping,

planters, curbs, bollards, or raised surfaces. Sidewalks in front of storefronts on the arterials and main store entrances on the arterials identified in CDC 85.200(A)(3) shall be 12 feet wide to accommodate pedestrians, sidewalk sales, sidewalk cafes, etc. Sidewalks in front of storefronts and main store entrances in commercial/OBC zone development on local streets and collectors shall be eight feet wide.

Most of the internal circulation system already exists. Some new 6' walkways are to be added around the addition and a second 6' wide access to the street sidewalk will also be added.

e. Paths shall provide direct routes that pedestrians will use between buildings, adjacent rights-of-way, and adjacent commercial developments. They shall be clearly identified. They shall be laid out to attract use and to discourage people from cutting through parking lots and impacting environmentally sensitive areas.

The existing and new pathway connects the entire site, around the structure and through the parking lot.

f. At least one entrance to the building shall be on the main street, or as close as possible to the main street. The entrance shall be designed to identify itself as a main point of ingress/egress.

The main entrance is not part of this permit although it already meets this code.

g. Where transit service exists, or is expected to exist, there shall be a main entrance within a safe and reasonable distance of the transit stop. A pathway shall be provided to facilitate a direct connection.

The main entrance is not part of this permit although it already meets this code.

h. Projects shall bring at least part of the project adjacent to or near the main street right-of-way in order to enhance the height-to-width ratio along that particular street. (The "height-to-width ratio" is an architectural term that emphasizes height or vertical dimension of buildings adjacent to streets. The higher and closer the building is, and the narrower the width of the street, the more attractive and intimate the streetscape becomes.) For every one foot in street width, the adjacent building ideally should be one to two feet higher. This ratio is considered ideal in framing and defining the streetscape.

The building setback from the street is 20'-0" min. The building is 38'-3" from the street. The height of the addition is based off of the existing structure.

i. These architectural standards shall apply to public facilities such as reservoirs, water towers, treatment plants, fire stations, pump stations, power transmission facilities, etc. It is recognized that many of these facilities, due to their functional requirements, cannot readily be configured to meet these architectural standards. However, attempts shall be made to make the design sympathetic to surrounding properties by landscaping, setbacks, buffers, and all reasonable architectural means.

We have and will continue to attempt to meet every part of the code.

j. Parking spaces at trailheads shall be located so as to preserve the view of, and access to, the trailhead entrance from the roadway. The entrance apron to the trailhead shall be marked: "No Parking," and include design features to foster trail recognition.

No trailhead entrances or associated parking will be located on the site. The pedestrian walking trails are accessed from concrete sidewalks on the site.

55.100 C. Compatibility between adjoining uses, buffering, and screening.

1. In addition to the compatibility requirements contained in Chapter 24 CDC, buffering shall be provided between different types of land uses; for example, buffering between single-family homes and apartment blocks. However, no buffering is required between single-family homes and duplexes or single-family attached units.

All buffering was permitted during the original construction of the structure. The plants are now mature and working as intended.

2. On-site screening from view from adjoining properties of such things as service areas, storage areas, and parking lots shall be provided and the following factors will be considered in determining the adequacy of the type and extent of the screening:

All screening was designed and permitted during the construction of the original structure. The screening is working as intended.

3. Rooftop air cooling and heating systems and other mechanical equipment shall be screened from view from adjoining properties.

There is already a parapet on the roof which screens the mechanical equipment. The roof on the addition will also have a parapet to screen the new solar panels that are intended for the roof.

55.100 D. Privacy and noise.

1. Structures which include residential dwelling units shall provide private outdoor areas for each ground floor unit which is screened from view from adjoining units.

This is not a residential use.

2. Residential dwelling units shall be placed on the site in areas having minimal noise exposure to the extent possible.

This is not a residential use.

3. Structures or on-site activity areas which generate noise, lights, or glare shall be buffered from adjoining residential uses in accordance with the standards in subsection C of this section where applicable.

No noise, light or glare issues expecting from existing building.

4. Businesses or activities that can reasonably be expected to generate noise in excess of the noise standards contained in West Linn Municipal Code Section 5.487 shall undertake and submit appropriate noise studies and mitigate as necessary to comply with the code. (See CDC 55.110(B)(11) and 55.120(M).)

This is a community center for seniors. Excessive noise has not been experienced at this facility.

Use of the site has not shown to generate unreasonable ambient noise levels. Vehicular traffic through the site and outdoor recreational activities has not impacted the neighboring properties. The Adult Community Center is currently in operation on the site.

55.100 E. Private outdoor area.

This section only applies to multi-family projects.

55.100 F. Shared outdoor recreation areas.

This section only applies to multi-family projects.

55.100 G. Demarcation of public, semi-public, and private spaces.

The structures and site improvements are designed for public use.

55.100 H. Public transit.

At the present time there is not a transit stop located along Rosemont Road in close proximity to the site. The Adult Community Center provides a bus service that is available upon request for transportation to the center or other specified destinations.

55.100 I. Public facilities.

An application may only be approved if adequate public facilities will be available to provide service to the property prior to occupancy.

Streets, drainage, municipal water, sewer, solid waste was all addressed during the permitting of the original structure. The facilities were pre-calculated for phase II. No new plumbing fixtures are to be added.

55.100 J. Crime prevention and safety/defensible space.

1. Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants.

No areas have been identified as vulnerable to crime. Windows and outdoor decks are located so that the occupants can survey the surrounding area. The windows are facing the side yard/plaza.

There are already windows facing the front yard.

2. Interior laundry and service areas shall be located in a way that they can be observed by others.

There is no interior laundry

3. Mailboxes, recycling, and solid waste facilities shall be located in lighted areas having vehicular or pedestrian traffic.

All of these items were permitted during the construction of the original structure.

4. The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime.

The exterior lighting levels at the parking areas are existing. New sconces are being provided at the side yard that is adjacent to the open space.

5. Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes.

The parking lot and walkway already have sufficient lighting. Light fixtures are provided throughout the site @ all walkways and in the areas where there are vehicular traffic.

6. Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet which is sufficient to illuminate a person. All commercial, industrial, residential, and public facility projects undergoing design review shall use low or high pressure sodium bulbs and be able to demonstrate effective shielding so that the light is directed downwards rather than omni-directional. Omni-directional lights of an ornamental nature may be used in general commercial districts only.

Light fixtures are specified on sheet A3. We are using L.E.D. fixtures because sodium bulbs are not industry standard any longer. We are using LED bulbs on the project, which is industry standard. The light patterns are designed to overlap at a height of 7' to be sufficient to illuminate a person.

7. Lines of sight shall be reasonably established so that the development site is visible to police and residents.

Lines of sight have already been established for safety. The addition faces a street and is completely visible to the police.

8. Security fences for utilities (e.g., power transformers, pump stations, pipeline control equipment, etc.) or wireless communication facilities may be up to eight feet tall in order to protect public safety. No variances are required regardless of location.

There is a security fence separating the water detention pond.

55.100 K. Provisions for persons with disabilities.

Existing accessible routes are provided between the multi-purpose building, parking lot, and all site facilities. A six foot wide concrete sidewalk connects the public sidewalk along Rosemont Road with the main entrance of the building. All interior and exterior facilities of the Adult Community Center conform to, or exceed, the Americans with Disabilities Act (ADA) standards, including those in the Uniform Building Code.

55.100 L. Signs

Based on considerations of crime prevention and the needs of emergency vehicles, a system of signs for identifying the location of each residential unit, store, or industry shall be established.

The existing building signage is not sight obscuring and the address numbers are clearly labeled.

55.100 M. Utilities

Utilities. The developer shall make necessary arrangements with utility companies or other persons or corporations affected for the installation of underground lines and facilities.

All electrical utilities in the area are above ground.

55.100 N. Wireless Communication Facilities (WCF)

No wireless communication facility is a part of this application.

55.100 O. Refuse and recycling standards

1. All commercial, industrial and multi-family developments over five units requiring Class II design review shall comply with the standards set forth in these provisions. Modifications to these provisions may be permitted if the Planning Commission determines that the changes are consistent with the purpose of these provisions and the City receives written evidence from the local franchised solid waste and recycling firm that they are in agreement with the proposed modifications.

All requirements have been met previously for existing facility.

2. Compactors, containers, and drop boxes shall be located on a level Portland cement concrete pad, a minimum of four inches thick, at ground elevation or other location compatible with the local franchise collection firm's equipment at the time of construction. The pad shall be designed to discharge surface water runoff to avoid ponding.

The trash area was designed and constructed during the initial construction phase.

3. Recycling and solid waste service areas.

The recycling and trash areas were already permitted & constructed during the original permitting process.

4. *Special wastes or recyclable materials.*

There are no special waste or special recyclable materials that need to be managed.

5. *Screening and buffering.*

Landscaping is already established.

6. *Litter receptacles.*

a. *Location. Litter receptacles may not encroach upon the minimum required walkway widths.*

b. *Litter receptacles may not be located within public rights-of-way except as permitted through an agreement with the City in a manner acceptable to the City Attorney or his/her designee.*

c. *Number. The number and location of proposed litter receptacles shall be based on the type and size of the proposed uses. However, at a minimum, for non-residential uses, at least one external litter receptacle shall be provided for every 25 parking spaces for first 100 spaces, plus one receptacle for every additional 100 spaces.*

There are a total of 72 parking spaces. Three trash receptacles should be provided. Two are onsite, a new trash receptacle will be provided on site.

55.110 SITE ANALYSIS

A. *A vicinity map showing the location of the property in relation to adjacent properties, roads, pedestrian and bike ways, transit stops and utility access.*

A vicinity map has been provided. There is no transit stop on Rosemont Road. A bus service is available upon request for transportation to the Adult Community Center or other specific destinations.

B. *A site analysis on a drawing at a suitable scale (in order of preference, one inch equals 10 feet to one inch equals 30 feet) which shows:*

The site plan is at 1" = 20'

1. *The parcel boundaries, dimensions, and gross area.*

The site plan on Sheet A1 reflects all boundaries, dimensions and the site area.

2. *Contour lines at the following minimum intervals:*

a. *Two-foot intervals for slopes from zero to 25 percent; and*

b. *Five- or ten-foot intervals for slopes in excess of 25 percent.*

Contour lines are provided on survey.

3. *A slope analysis which identifies portions of the site according to the slope ranges as follows:*

a. *Zero to 15 percent; b. Sixteen to 25 percent; c. Twenty-six to 35 percent; d. Thirty-six to 50 percent; e. Greater than 50 percent.*

Slope analysis is provided on the survey.

4. *The location and width of adjoining streets.*

The property boundary survey reflects the width of the adjoining streets.

5. *The drainage patterns and drainage courses on the site and on adjacent lands.*

The drainage patterns have been previously addressed in the original application.

6. *Potential natural hazard areas including:*

There are no potential natural hazard areas on or adjacent to the site.

7. *Resource Areas*

There are no resource areas on or adjacent to this site.

8. *Potential historic landmarks and registered archaeological sites. The existence of such sites on the property shall be verified from records maintained by the Community Development Department and other recognized sources.*

There are no potential historic landmarks and registered archaeological sites.

9. *Identification information including the name and address of the owner, developer, project designer, lineal scale and north arrow.*

The project Team is stated on sheet A1

10. Identify Type I and II lands in map form. Provide a table which identifies square footage of Type I and II lands also as percentage of total site square footage.

There are no Type I or Type II lands on this property.

55.120 SITE PLAN

The site plan shall be at the same scale as the site analysis (CDC 55.110) and shall show:

A. The applicant's entire property and the surrounding property to a distance sufficient to determine the relationship between the applicant's property and proposed development and adjacent property and development.

The property is provided on Sheet A1 as well as a vicinity map showing the adjacent properties

B. Boundary lines and dimensions for the perimeter of the property and the dimensions for all proposed lot lines.

Provided on Sheet A1 and/or Property Boundary Survey.

C. Streams and stream corridors.

No streams are on the property but a water quality detention pond is shown on the site plan on sheet A1.

D. Identification information, including the name and address of the owner, developer, project designer, lineal scale and north arrow.

All identification info is shown on sheet A1.

E. The location, dimensions, and names of all existing and proposed streets, public pathways, easements on adjacent properties and on the site, and all associated rights-of-way.

All information is identified on the site plan on sheet A1

F. The location dimensions and setback distances of all:

1. Existing and proposed structures, improvements, and utility facilities on site; and
2. Existing structures and driveways on adjoining properties.

All existing structures and site information is stated on the site plan on sheet A1.

G. The location and dimensions of:

1. The entrances and exits to the site;
2. The parking and circulation areas;
3. Areas for waste disposal, recycling, loading, and delivery;
4. Pedestrian and bicycle routes, including designated routes, through parking lots and to adjacent rights-of-way;
5. On-site outdoor recreation spaces and common areas;
6. All utilities, including storm water detention and treatment; and
7. Sign locations.

All of these items were approved in original approval of project. Site information as needed is stated on the site plan on sheet A1.

H. The location of areas to be landscaped.

All landscaping is shown on the site plan on sheet A1.

55.125 TRANSPORTATION ANALYSIS

Project does not meet requirements

55.130 GRADING PLAN

The grading and drainage plan shall be at a scale sufficient to evaluate all aspects of the proposal and shall include the following:

A. The location and extent to which grading will take place indicating general contour lines, slope ratios, slope stabilization proposals, and location and height of retaining walls, if proposed.

Details on grading plan

55.140 ARCHITECTURAL DRAWINGS

This section does not apply to single-family residential subdivisions or partitions, or up to two duplexes or single-family attached dwellings.

Architectural drawings shall be submitted showing:

- A. Building elevations and sections tied to curb elevation;

The building elevations are shown on sheet A3.

- B. Building materials: color and type; and

Building materials will match by color and type the existing structure

- C. The name of the architect or designer.

The architect's information is shown on sheet A1

55.150 LANDSCAPE PLAN

- A. The landscape plan shall be prepared and shall show the following:

- 1. Preliminary underground irrigation system, if proposed;
- 2. The location and height of fences and other buffering of screening materials, if proposed;
- 3. The location of terraces, decks, patios, shelters, and play areas, if proposed;
- 4. The location, size, and species of the existing and proposed plant materials, if proposed; and
- 5. Building and pavement outlines.

- B. The landscape plan shall be accompanied by: *West Linn parks & Recreation*

- 1. The erosion controls that will be used, if necessary;
- 2. Planting list; and
- 3. Supplemental information as required by the Planning Director or City Arborist.

A landscape plan for the existing facility is in place to visually enhance the facility, provide buffering and screening, and reduce surface water runoff. The area around new addition will be irrigated and landscaped to match the existing plan. Any new landscaping for the Adult Community Center will be provided and coordinated by the City of West Linn Parks and Recreation Department. The landscape plan for the existing facility is maintained by City Arborist/Parks & Recreation Department.

55.180 LANDSCAPE MAINTENANCE

The applicant will provide ongoing maintenance as required.

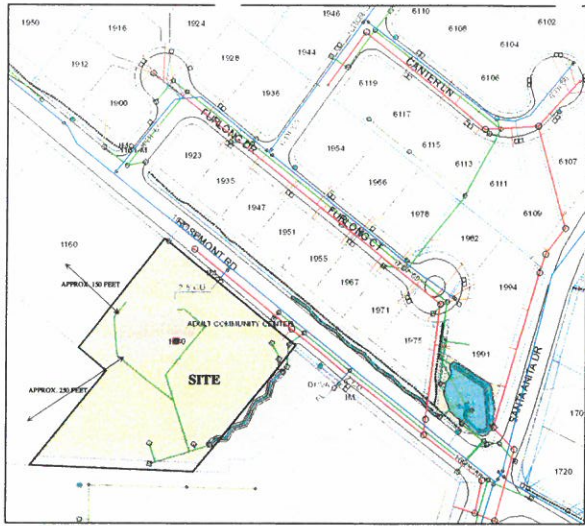
55.190 SHARED OPEN SPACE

There is no open space at this site.

CONCLUSION

As demonstrated by the responses provided in this narrative and the attached drawings, the applicant meets all provisions applicable to the Class II Design Review approval.

As an organization, the City of West Linn Parks and Recreation Department provides a well-respected operation that provides services to the older community members and members at large through our Adult Community Center. This project is fully supported by the Friends of The West Linn Community Center who have worked hand in hand with the City in planning and fundraising for this addition.



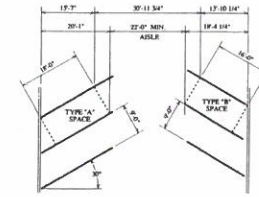
VICINITY MAP

SITE SUMMARY

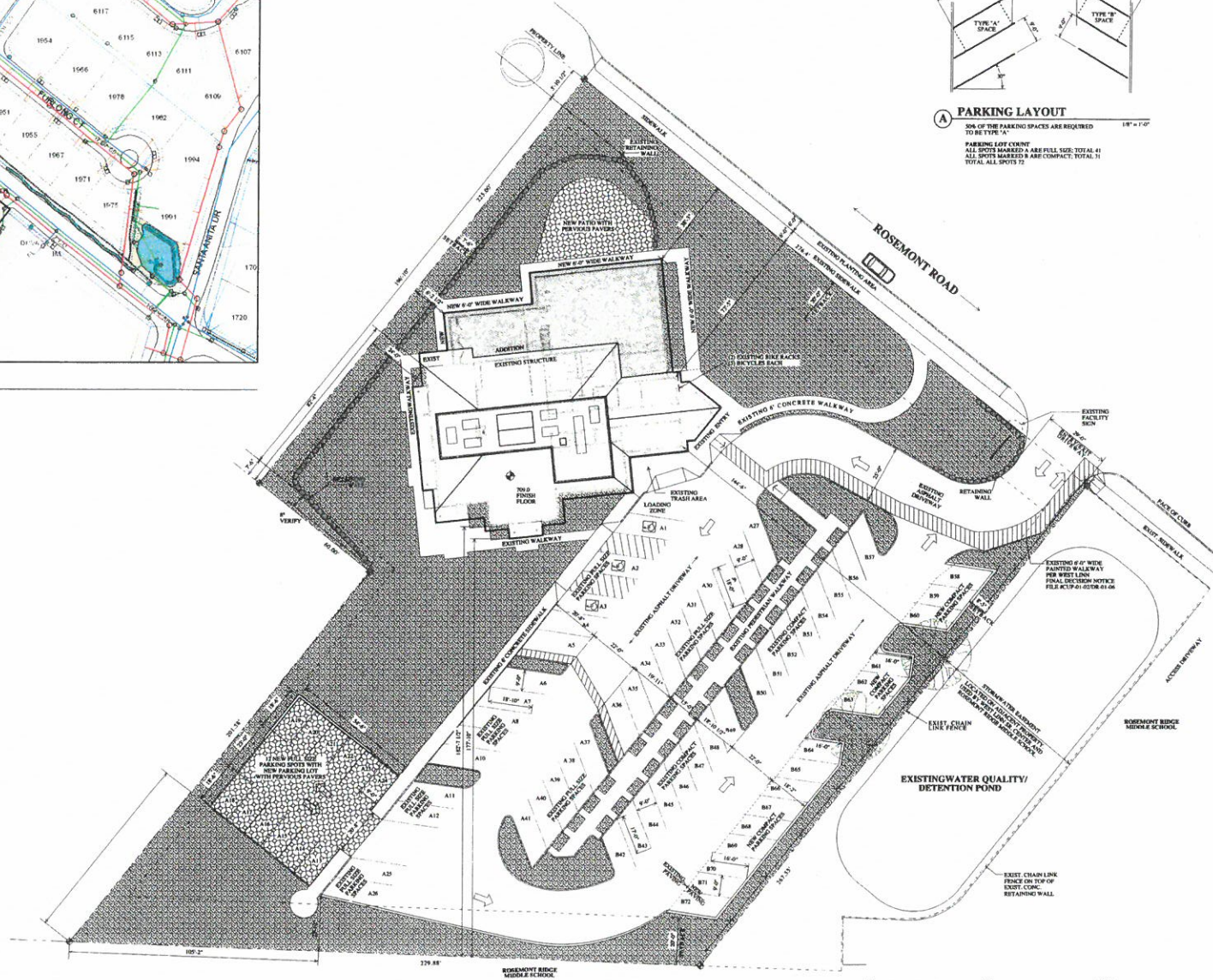
SITE AREA	86,475 sf
IMPERVIOUS SURFACES	
PARKING AND DRIVEWAY	29,325 SQ. FT.
EXISTING + ADDITION	
SIDEWALKS	4,780 SQ. FT.
BUILDING ROOF	
EXISTING + ADDITION	9,500 SQ. FT.
TOTAL IMPERVIOUS SURFACES	43,805 SQ. FT.
LANDSCAPING (I.L.C. PERVIOUS PAVING)	36,634 SQ. FT.
PERVIOUS PAVING	3,343 SQ. FT.

PROJECT TEAM

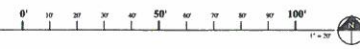
OWNER	CITY OF WEST LINN PARKS AND RECREATION CONTACT: KEN WORCESTER 2280 SALADO ROAD WEST LINN, OR 97146 TEL: 503.721.2953 KWORCESTER@WESTLINNOREGON.GOV
ARCHITECT	ALLUSA ARCHITECTURE BOB SCALTE ARCHITECT 2118 SE DIVISION ST PORTLAND, OR 97202 TEL: 503.233.6963 FAX: 503.233.0891 BOB@ALLUSAARCHITECTURE.COM
STRUCTURAL ENGINEER	OUT TO BID
CONTRACTOR	OUT TO PUBLIC BID



A PARKING LAYOUT
50% OF THE PARKING SPACES ARE REQUIRED TO BE TYPE 'A'
PARKING LOT COUNT
ALL SPOTS MARKED A ARE FULL SIZE, TOTAL: 41
ALL SPOTS MARKED B ARE COMPACT, TOTAL: 31
TOTAL ALL SPOTS: 72



SITE PLAN

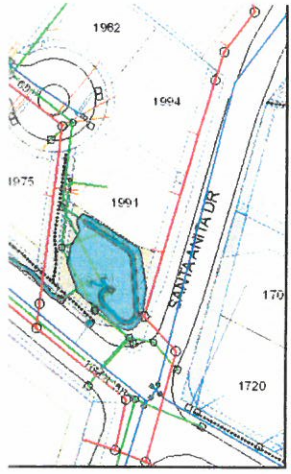


CITY OF WEST LINN
2280 SALADO ROAD
WEST LINN, OR 97146

WEST LINN ADULT RECREATION CENTER
1100 Rosemont Road West Linn, OR



DATE: 1.21.15
SHEET
A1
OF 4

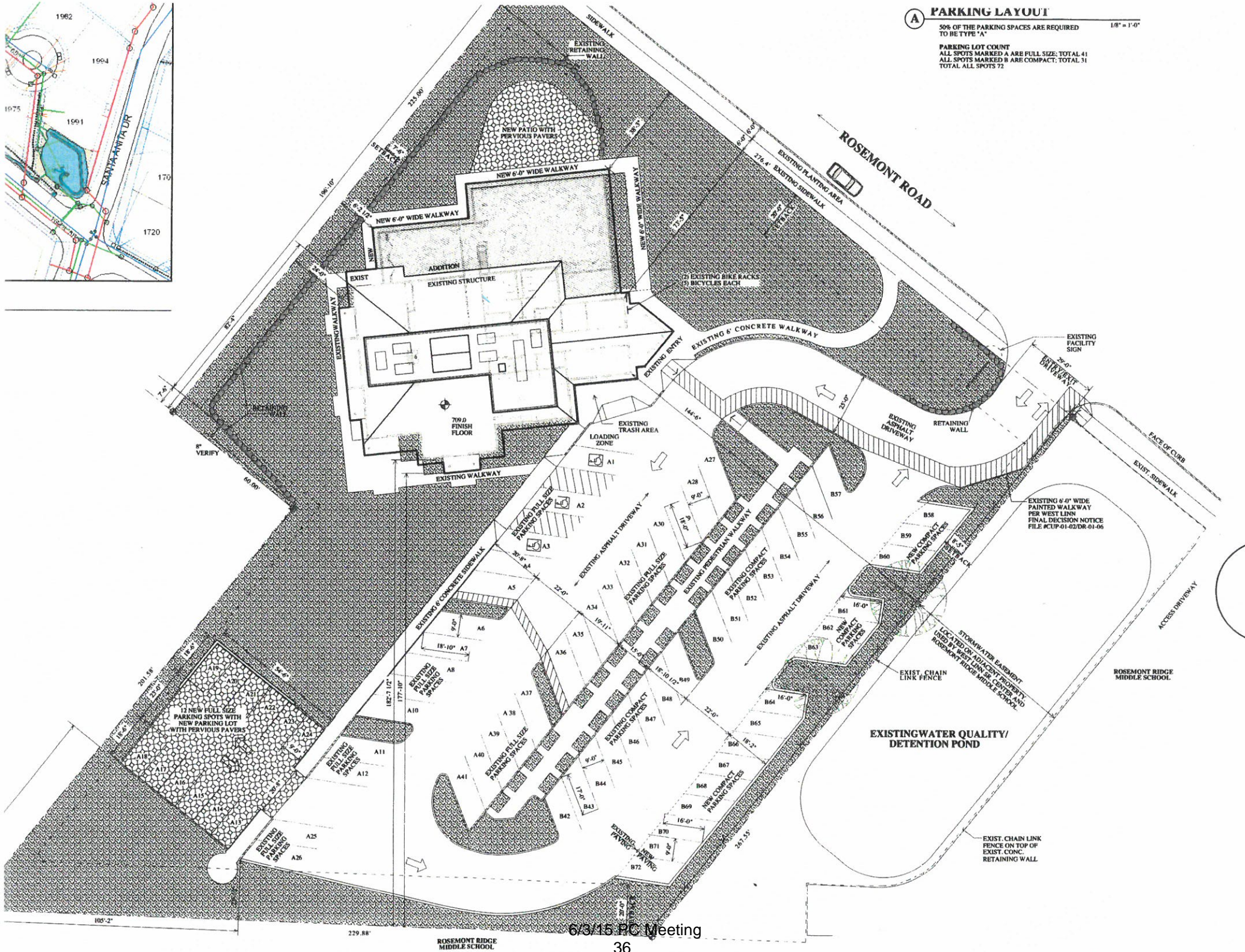


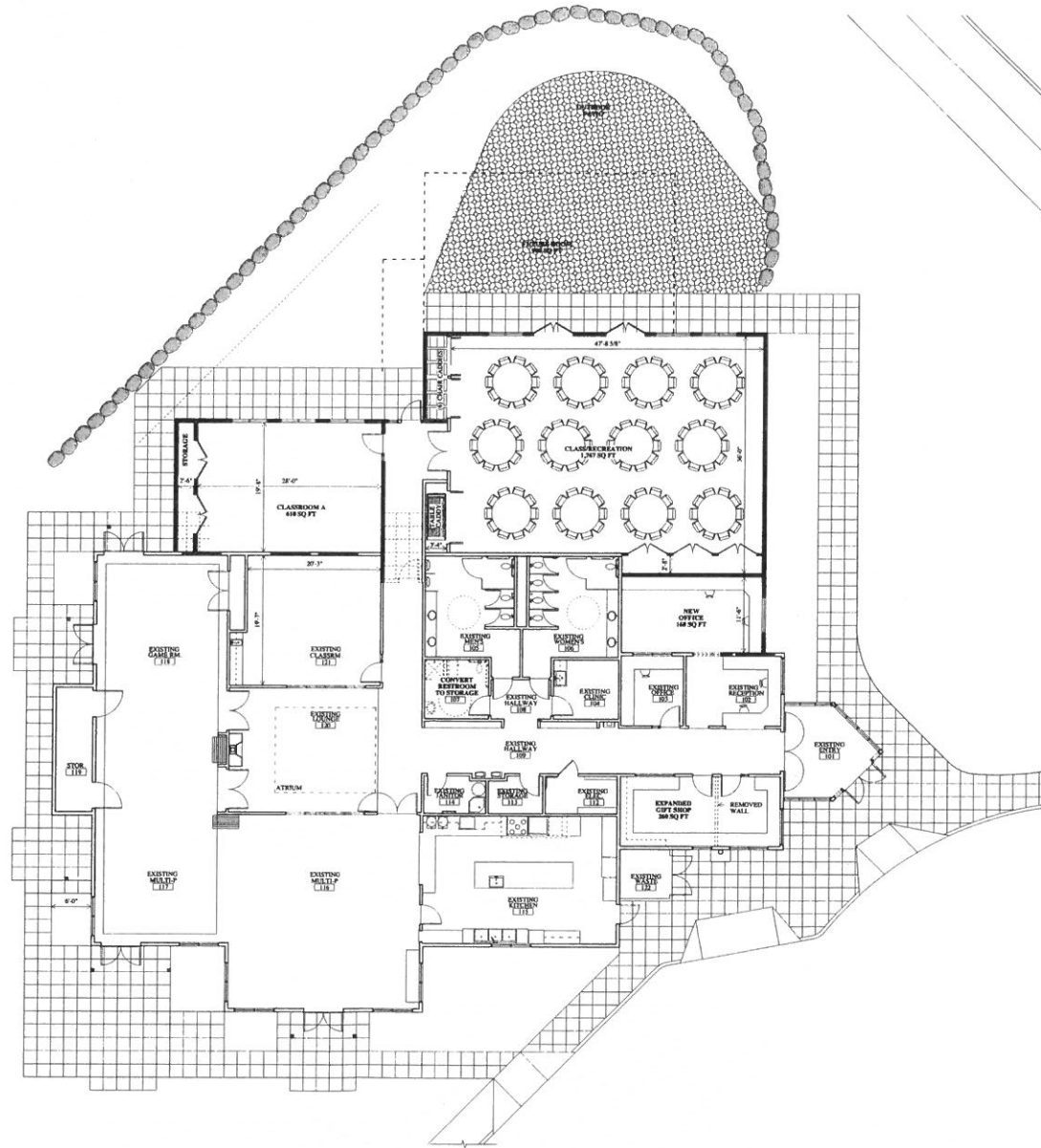
A PARKING LAYOUT

50% OF THE PARKING SPACES ARE REQUIRED TO BE TYPE 'A'

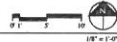
1/8" = 1'-0"

PARKING LOT COUNT
 ALL SPOTS MARKED A ARE FULL SIZE; TOTAL 41
 ALL SPOTS MARKED B ARE COMPACT; TOTAL 31
 TOTAL ALL SPOTS 72





FLOOR PLAN
2,900 SQUARE FOOT ADDITION



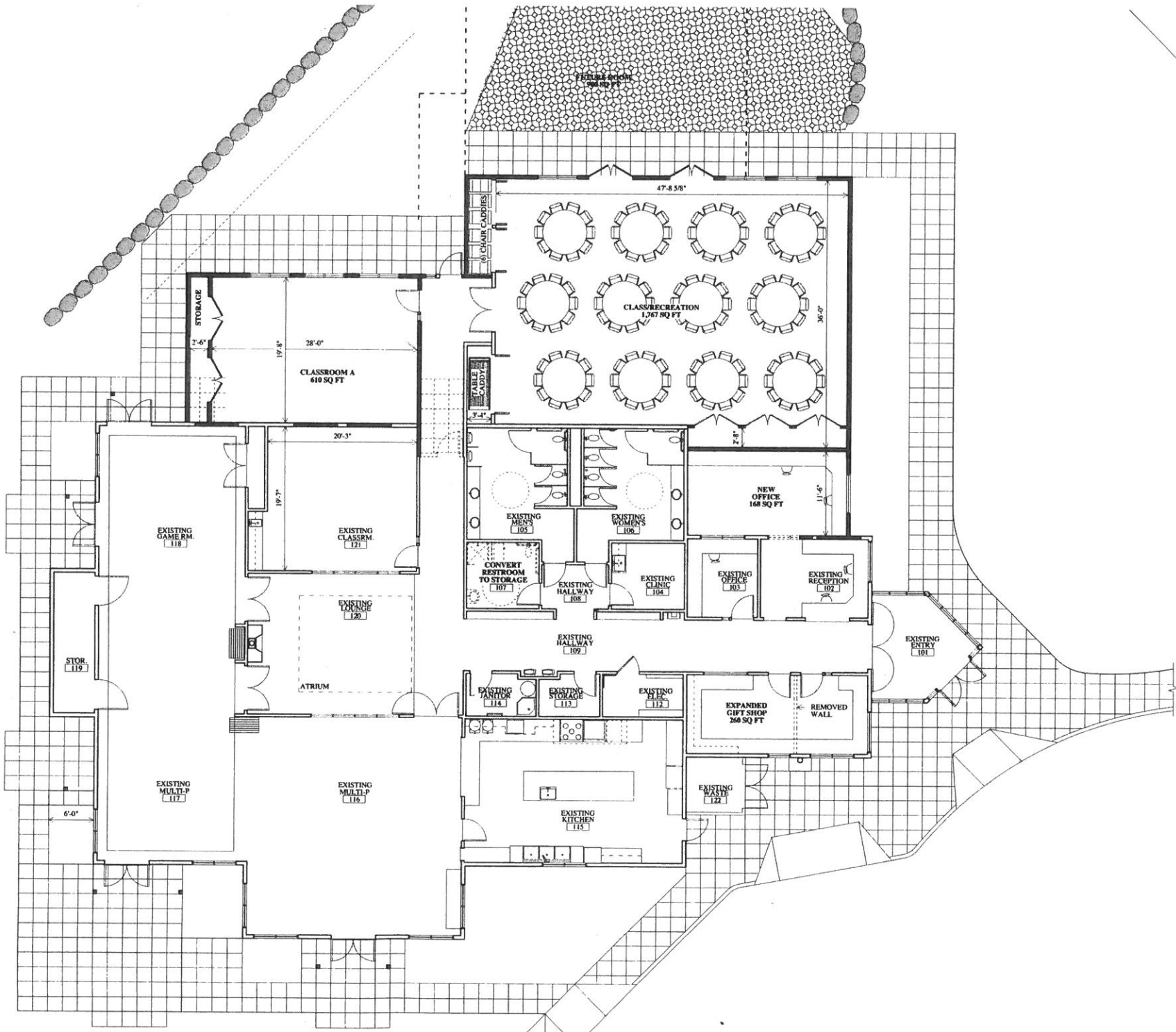
EXISTING 17' WIDE TRIP
EXISTING 10' SIDEWALK

CITY OF WEST LINN
PLANNING AND RECREATION DEPT.
2280 SALLAWAY ROAD
WEST LINN, OR 97148

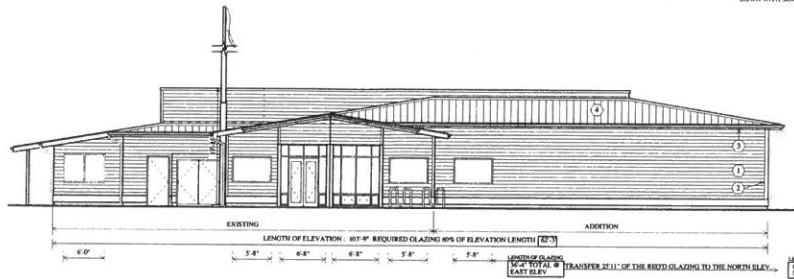
WEST LINN ADULT RECREATION CENTER
1100 Rosemead Road West Linn, OR



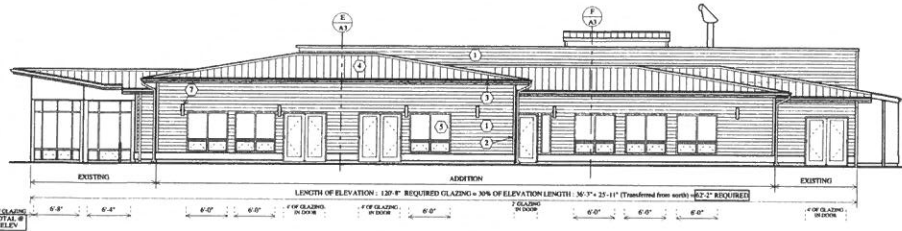
DATE: 1-21-15
SHEET
A2
OF 4
1ST FLOOR
PLAN



- ① HORIZONTAL LAP SIDING PAINTED TO MATCH EXISTING STRUCTURE
- ② 1X4 CORNER BOARDS PAINTED TO MATCH EXISTING STRUCTURE
- ③ GREEN METAL GUTTER TO MATCH EXISTING STRUCTURE
- ④ GREEN STANDING BEAM METAL ROOF TO MATCH EXISTING STRUCTURE
- ⑤ GRAY VINYL WINDOWS TO MATCH EXISTING STRUCTURE
- ⑥ 1X4 WINDOW TRIM PAINTED TO MATCH EXISTING
- ⑦ DIRECTIONAL I.E.P. WALL FIXTURES TYPICAL. NOTE THESE FIXTURES SHINE MOSTLY DOWN WITH SOME LIGHT ALSO SHINING UP INTO THE FACADE.



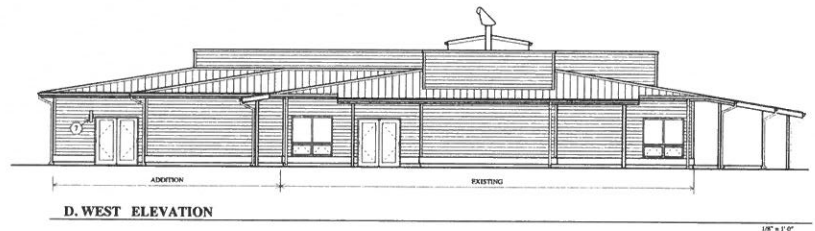
A. EAST ELEVATION



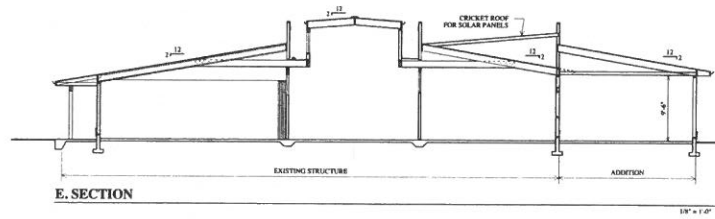
B. NORTH ELEVATION



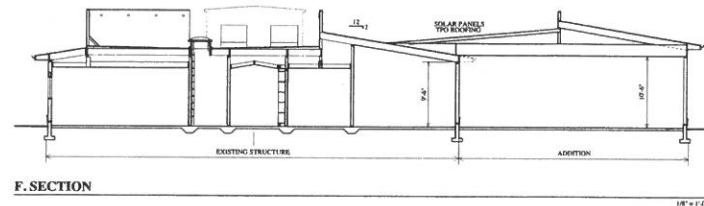
C. SOUTH ELEVATION



D. WEST ELEVATION



E. SECTION



F. SECTION

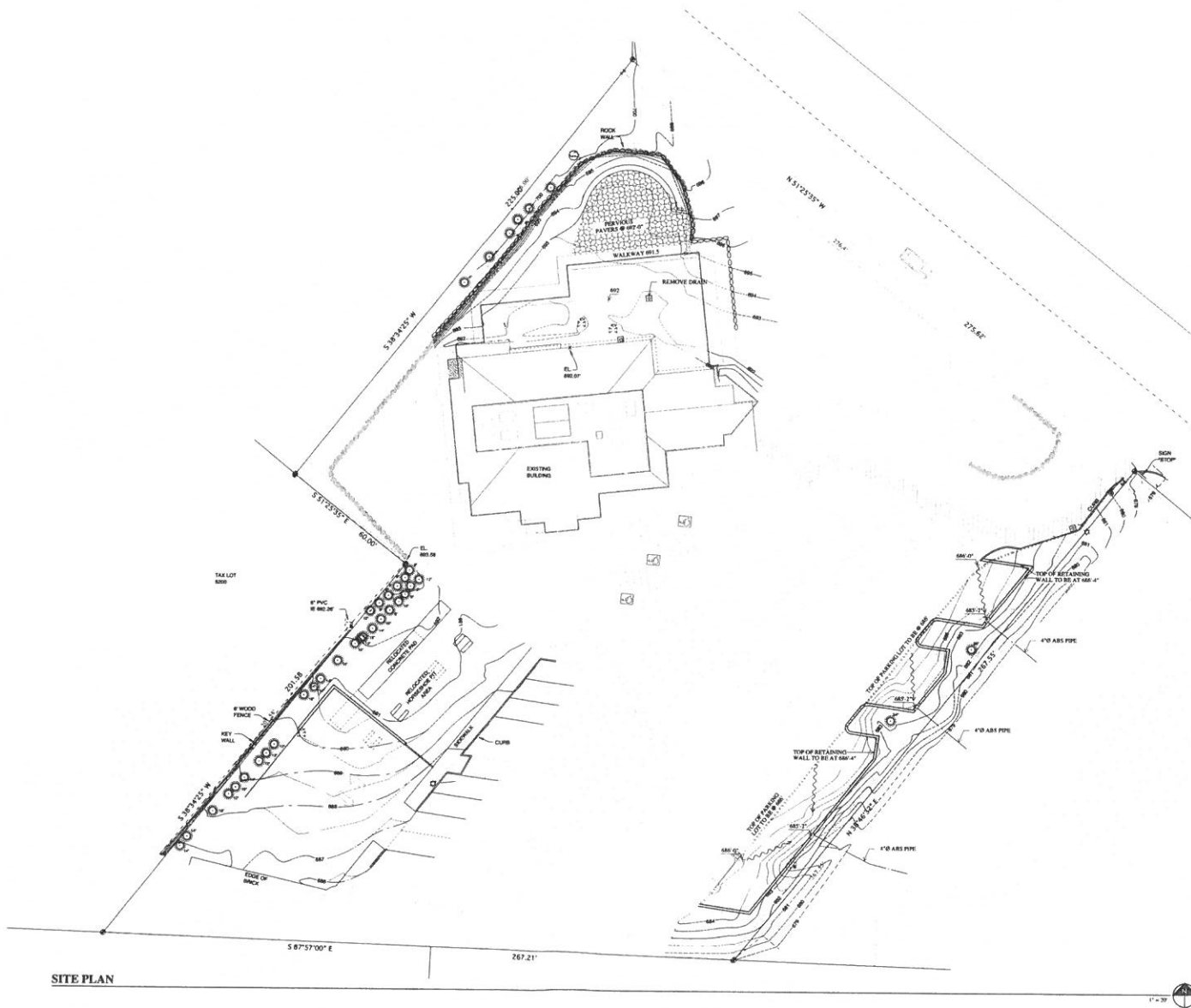
CITY OF WEST LINN
 1180 ROSEBUSH ROAD
 WEST LINN, OR 97146

WEST LINN ADULT RECREATION CENTER
 1180 Rosebush Road West Linn, OR

ALLUSA
 ARCHITECTURAL FIRM, INC.

2114 SE Division Street Portland, OR 97202
 Phone: (503) 232-2222 Fax: (503) 232-9233 Allusainc.com

DATE: 1.21.15
 SHEET
A3
 OF 4

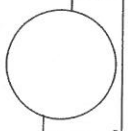


SITE PLAN



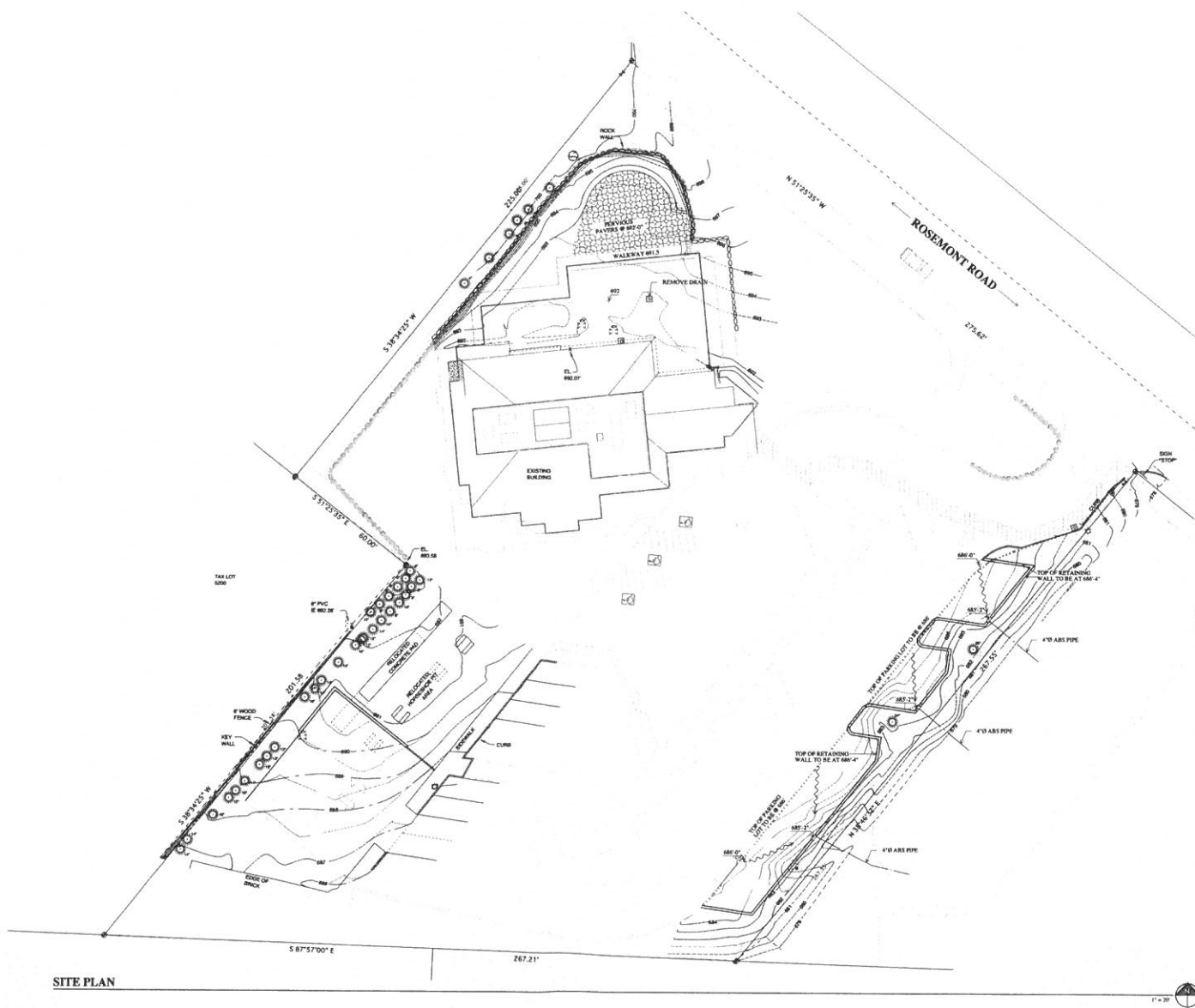
CITY OF WEST LINN
 22500 SALVADO ROAD
 WEST LINN, OR 97146

WEST LINN ADULT RECREATION CENTER
 1180 Rosemont road West Linn, OR




ALLUSA
 2218 S.W. 15th Street Portland, OR 97205
 Phone: (503) 255-8822 Fax: (503) 255-8822

DATE: 1/21/15
 SHEET
A4
 OF 4



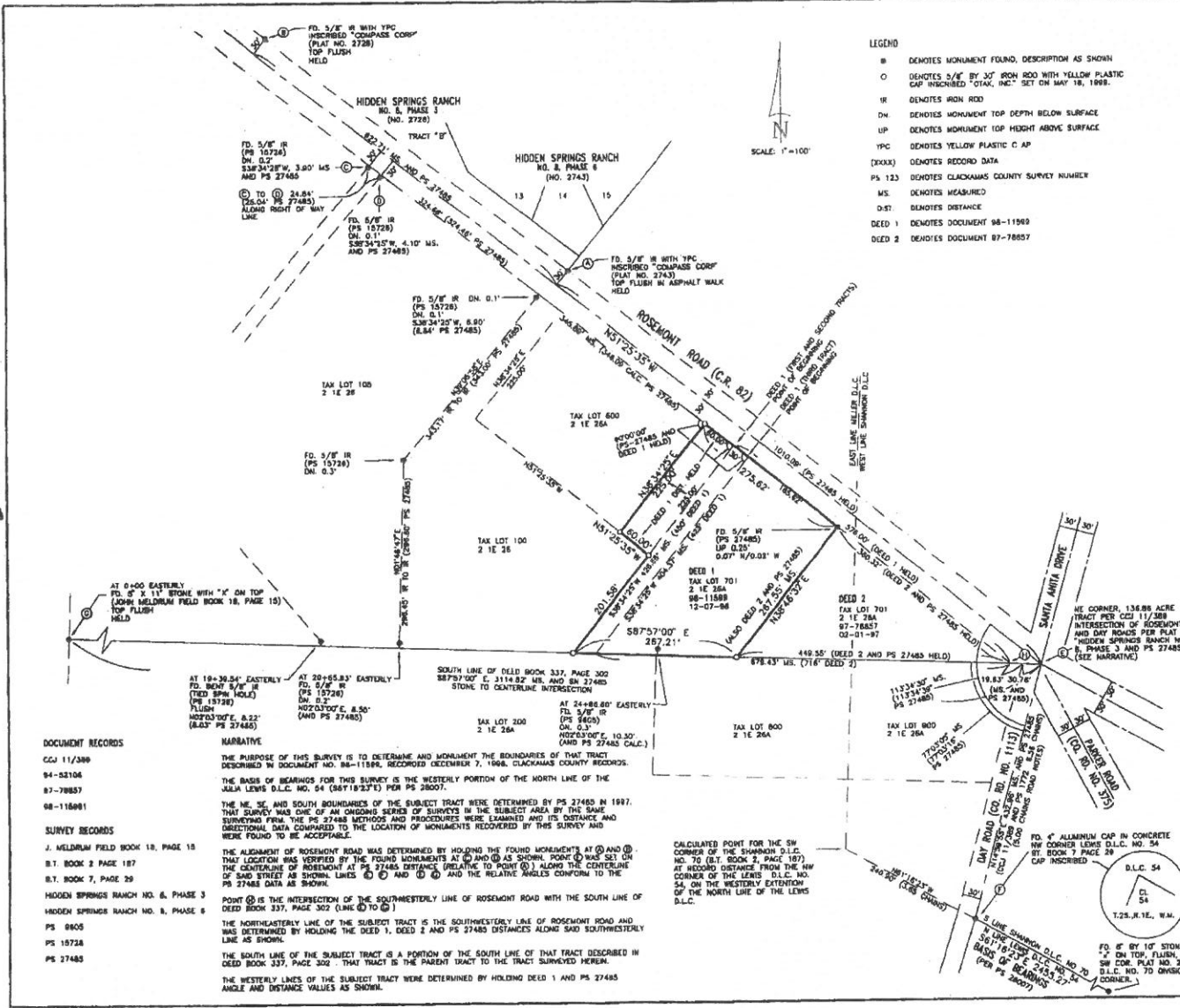
SITE PLAN


ALLUSA
 ARCHITECTURE & INTERIORS
 2118 SE Division Street Portland, OR 97202
 Phone (503) 233-8225 Fax (503) 231-8812 AllUSAarchitecture.com

DATE: 12.23.14 SHEET
 OF 3

WEST LINN ADULT RECREATION CENTER
 1150 Rosemont road West Linn, OR

A-107



- LEGEND**
- ⊕ DENOTES MONUMENT FOUND, DESCRIPTION AS SHOWN
 - DENOTES 5/8" BY 3/4" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "OTAK, INC." SET ON MAY 18, 1999.
 - IR DENOTES IRON ROD
 - DH DENOTES MONUMENT TOP DEPTH BELOW SURFACE
 - UP DENOTES MONUMENT TOP HEIGHT ABOVE SURFACE
 - YPC DENOTES YELLOW PLASTIC CAP
 - [XXXX] DENOTES RECORD DATA
 - PS 123 DENOTES CLACKAMAS COUNTY SURVEY NUMBER
 - MS. DENOTES MEASURED
 - D:ST. DENOTES DISTANCE
 - DEED 1 DENOTES DOCUMENT 98-11589
 - DEED 2 DENOTES DOCUMENT 97-78857

- DOCUMENT RECORDS**
- CG 11/349
 - 94-53104
 - 97-78857
 - 98-115891
- SURVEY RECORDS**
- J. MELDRUM FIELD BOOK 18, PAGE 18
 - B.T. BOOK 2 PAGE 187
 - B.T. BOOK 7, PAGE 29
 - HIDDEN SPRINGS RANCH NO. 8, PHASE 3
 - HIDDEN SPRINGS RANCH NO. 8, PHASE 6
 - PS 0805
 - PS 15728
 - PS 27485

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO DETERMINE AND MONUMENT THE BOUNDARIES OF THAT TRACT DESCRIBED IN DOCUMENT NO. 98-11589, RECORDED DECEMBER 7, 1998, CLACKAMAS COUNTY RECORDS.

THE BASIS OF MEASUREMENTS FOR THIS SURVEY IS THE WESTERLY PORTION OF THE NORTH LINE OF THE JULIA LEWIS D.L.C. NO. 54 (88°19'27"E) PER PS 28007.

THE NE, SE, AND SOUTH BOUNDARIES OF THE SUBJECT TRACT WERE DETERMINED BY PS 27485 IN 1997. THAT SURVEY WAS ONE OF AN ONGOING SERIES OF SURVEYS IN THE SUBJECT AREA BY THE SAME SURVEYOR FROM THE PS 27485 METHODS AND PROCEDURES WERE EXAMINED AND ITS EXTENT, AND DIRECTIONAL DATA COMPARED TO THE LOCATION OF MONUMENTS RECOVERED BY THIS SURVEY AND WERE FOUND TO BE ACCEPTABLE.

THE ALIGNMENT OF ROSEMONT ROAD WAS DETERMINED BY HOLDING THE FOUND MONUMENTS AT (D) AND (E) THAT LOCATION WAS VERIFIED BY THE FOUND MONUMENTS AT (D) AND (E) AS SHOWN. POINT (C) WAS SET ON THE CENTERLINE OF ROSEMONT AT PS 27485 DISTANCES (RELATIVE TO POINT (D)) ALONG THE CENTERLINE OF SAID STREET AS SHOWN. LINES (C) AND (D) AND THE RELATIVE ANGLES CONFORM TO THE PS 27485 DATA AS SHOWN.

POINT (C) IS THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ROSEMONT ROAD WITH THE SOUTH LINE OF DEED BOOK 337, PAGE 302 (LINE (C) TO (C)).

THE NORTHWESTERLY LINE OF THE SUBJECT TRACT IS THE SOUTHWESTERLY LINE OF ROSEMONT ROAD AND WAS DETERMINED BY HOLDING THE DEED 1, DEED 2 AND PS 27485 DISTANCES ALONG SAID SOUTHWESTERLY LINE AS SHOWN.

THE SOUTH LINE OF THE SUBJECT TRACT IS A PORTION OF THE SOUTH LINE OF THAT TRACT DESCRIBED IN DEED BOOK 337, PAGE 302. THAT TRACT IS THE PARCEL TRACT TO THE TRACT SURVEYED HEREIN.

THE WESTERLY LINES OF THE SUBJECT TRACT WERE DETERMINED BY HOLDING DEED 1 AND PS 27485 ANGLE AND DISTANCE VALUES AS SHOWN.

CALCULATED POINT FOR THE SW CORNER OF THE SHAMROCK D.L.C. NO. 70 (B.T. BOOK 2, PAGE 187) AT RECORD DISTANCE FROM THE NW CORNER OF THE LEWIS D.L.C. NO. 54 ON THE WESTERLY EXTENSION OF THE NORTH LINE OF THE LEWIS D.L.C.

RLG	04/99
Calculated	Date
DMS	04/99
Drawn	Date
JAC	05/03/99
Checked	Date

REVISIONS

REGISTERED PROFESSIONAL LAND SURVEYOR

Daniel R. Bann

ORIGINATION

PRIMAVERIA PLANS

DANIEL R. BANN

8192

REVISED DECEMBER 31, 1999

PROPERTY BOUNDARY SURVEY

IN THE MILLER D.L.C. NO. 58

IN THE NE AND NW 1/4'S, SEC 26

T.2S., R.1E., W.M.

CLACKAMAS COUNTY, OREGON

FOR: CITY OF WEST LINN

otak surveyors engineers planners

1730 S.W. BROWN FERRY ROAD
LINE OREGON, OREGON 97036
(503)933-3610 FAX (503)933-3310

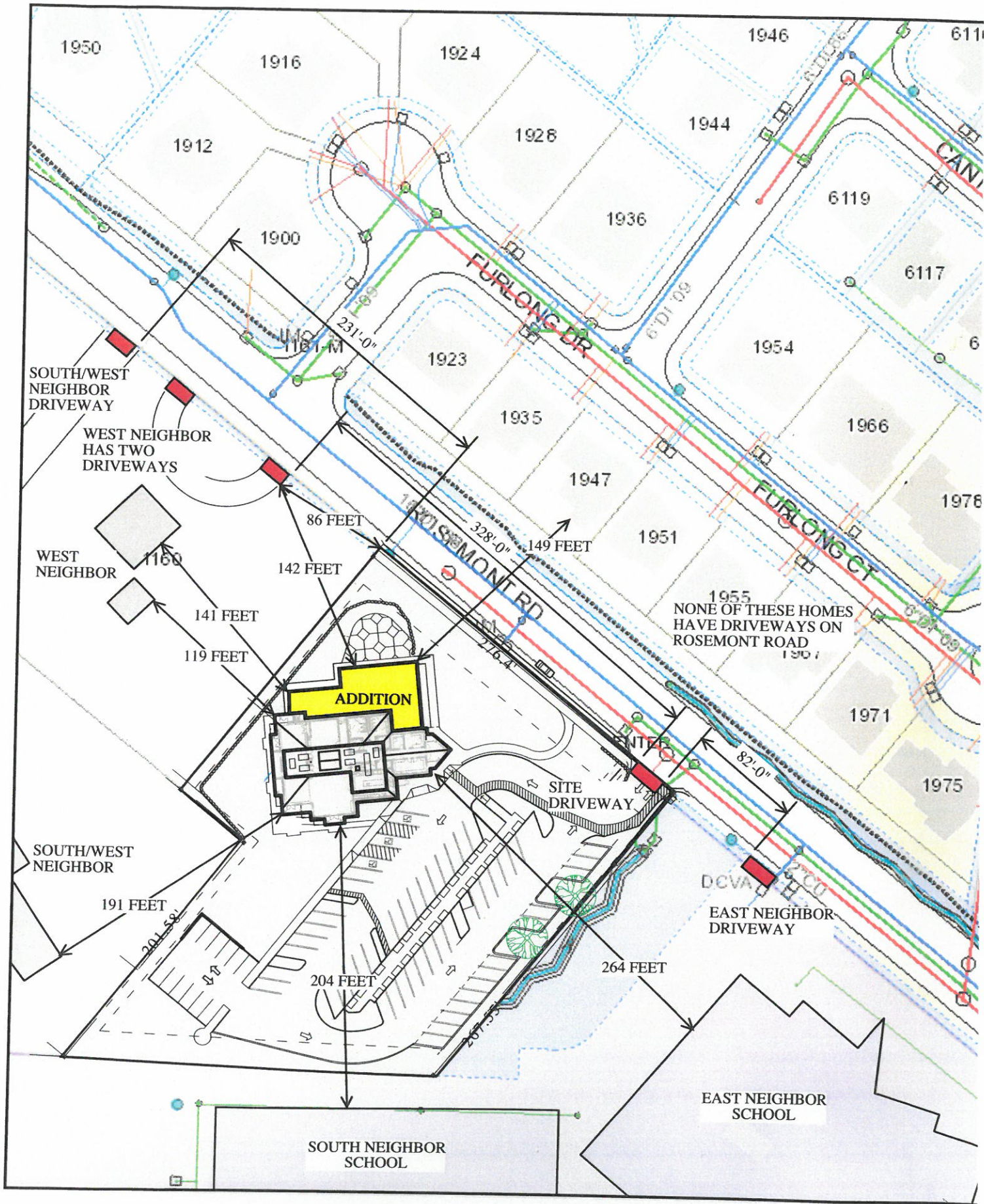
1 OF 1

Sheet No.

L9719.S01

Project No.

57198191 DA1495
PS 28,291



VICINITY MAP



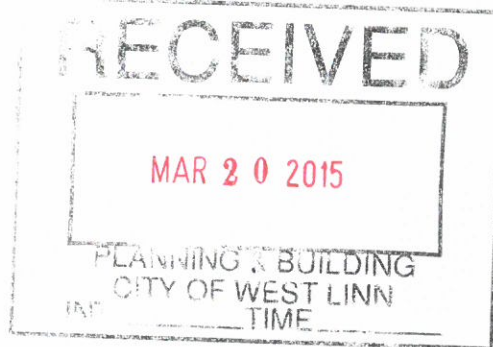
City of West Linn

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

February 25, 2015

Bill Relyea, President
Parker Crest Neighborhood Association
3016 Sabo Lane
West Linn, OR 97068

RE: West Linn Adult Community Center
1180 Rosemont Road
West Linn, OR 97068



Dear Bill,

The City of West Linn, Parks & Recreation Department, owner of the existing Adult Community Center located at 1180 S. Rosemont Road is proposing an addition to the Adult Community Center. The new addition has been planned with the Friends of the Adult Community Center to meet the current demand and to meet the needs of the ever growing older population. We would like to discuss the project in more detail with the Neighborhood Association, surrounding property owners, and residents. We will make a short presentation and allow time for discussion from interested parties.

We are requesting to be added to the agenda at your next regularly scheduled meeting or propose another date that you can accommodate a meeting within 60 days of this notice or agree to the City hosting the meeting as follows:

Thursday, March 19th, 2015
7:00 p.m.
West Linn City Hall, Council Chambers
225000 Salamo Road
West Linn, OR 97068

Please note that this will be an informational presentation on preliminary development plans. These plans may be developed further or altered through the application process with the City.

I look forward to hearing from you soon to coordinate the details. If you have questions, please feel free to call me at 503-723-2553 or contact me by email at kwerner@westlinnoregon.gov

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Warner". The signature is fluid and cursive, written over a horizontal line.

Ken Warner, Assistant Parks & Recreation Director



CITY OF
West Linn

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

February 26, 2015

Erik Van de Water, President
Hidden Springs Neighborhood Association
6433 Palomino Way
West Linn, OR 97068

RE: West Linn Adult Community Center
1180 Rosemont Road
West Linn, OR 97068

Dear Erik,

The City of West Linn, Parks & Recreation Department, owner of the existing Adult Community Center located at 1180 S. Rosemont Road is proposing an addition to the Adult Community Center. The new addition has been planned with the Friends of the Adult Community Center to meet the current demand and to meet the needs of the ever growing older population. We would like to discuss the project in more detail with the Neighborhood Association, surrounding property owners, and residents. We will make a short presentation and allow time for discussion from interested parties.

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West Linn City Hall, Council Chambers
225000 Salamo Road
West Linn, OR 97068

Please note that this will be an informational presentation on preliminary development plans. These plans may be developed further or altered through the application process with the City.

I look forward to hearing from you soon to coordinate the details. If you have questions, please feel free to call me at 503-723-2553 or contact me by email at kwerner@westlinnoregon.gov

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Warner", is written over a horizontal line.

Ken Warner, Assistant Parks & Recreation Director

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> ■ Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. ■ Print your name and address on the reverse so that we can return the card to you. ■ Attach this card to the back of the mailpiece, or on the front if space permits. 	A. Signature <input checked="" type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to: BILL RELYEA PARKER CREST N/A PRESIDENT 3016 SABO Ln. WEST LINN, OR 97068	B. Received by (Printed Name) Claudia Relyea	C. Date of Delivery 2/28/15
2. Article Number (Transfer from service label)	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No 3. Service Type <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Priority Mail Express™ <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> Collect on Delivery 4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
7012 0470 0000 0124 9315		

PS Form 3811, July 2013 Domestic Return Receipt

7012 0470 0000 0124 9322

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Certified Fee		3.30
Return Receipt Fee (Endorsement Required)		2.70
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	6.48



Sent To: *with hand stamp*
 Erik VAN DE WATER N/A PRESIDENT
 Street, Apt. No., or PO Box No. 6433 Palomares way.
 City, State, ZIP+4 WEST LINN, OR. 97068

PS Form 3800, August 2006 See Reverse for Instructions

7012 0470 0000 0124 9315

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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For delivery information visit our website at www.usps.com®

OFFICIAL USE

Postage	\$	0.48
Certified Fee		3.30
Return Receipt Fee (Endorsement Required)		2.70
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	6.48



Sent To: PARKER CREST
 Bill RELYEA N/A PRESIDENT
 Street, Apt. No., or PO Box No. 3016 SABA LN.
 City, State, ZIP+4 WEST LINN, OR 97068

PS Form 3800, August 2006 See Reverse for Instructions

Warner, Kenneth

From: William Relyea <wrelyea@comcast.net>
Sent: Saturday, February 28, 2015 8:58 AM
To: Warner, Kenneth
Subject: RE: Neighborhood Meeting for West Linn Adult Community Center

Ken,

Thanks for the message – the date, place and time sound good...

From: Parker Crest Neighborhood Association [<mailto:ParkerCrestNA@westlinnoregon.gov>]
Sent: Friday, February 20, 2015 3:38 PM
To: Relyea, Bill
Subject: FW: Neighborhood Meeting for West Linn Adult Community Center

Parker Crest

ParkerCrestNA@westlinnoregon.gov
<http://westlinnoregon.gov/parkercrest>
Phone(503) 657-0331



[Click to Connect!](#)

Please consider the impact on the environment before printing a paper copy of this email.
This e-mail is subject to the State Retention Schedule and may be made available to the public

From: Warner, Kenneth
Sent: Friday, February 20, 2015 3:37:51 PM (UTC-08:00) Pacific Time (US & Canada)
To: Hidden Springs Neighborhood Association; Parker Crest Neighborhood Association
Subject: Neighborhood Meeting for West Linn Adult Community Center

Erik and Bill,

The City of West Linn, Parks & Recreation Department, owner of the existing Adult Community Center located at 1180 S. Rosemont Road have submitted for Design Review an addition to the Adult Community Center. Per requirements of the West Linn Community Development Code the City is required to hold a Neighborhood Meeting.

Based on information on the City website both of your Neighborhood Associations do not have scheduled meetings at this time. The purpose of this email is to establish a date for the neighborhood meeting.

I would like to propose that we hold the Neighborhood meeting:

Thursday, March 19th, 2015
7:00 p.m.
West Linn City Hall

Council Chambers

Once we agree on this meeting time, per code, I will be sending out via mail an informational letter on the meeting to you.

I look forward to discussing this project with you in the future.

Sincerely

Ken

Ken Warner, Assistant Parks & Recreation Director
Parks & Recreation, #1553



Please consider the impact on the environment before printing a paper copy of this email.
This e-mail is subject to the State Retention Schedule and may be made available to the public.



City of West Linn

February 26, 2015

Neighborhood Meeting Notice

Dear Interested Party,

The City of West Linn, Parks & Recreation Department, owner of the existing Adult Community Center located at 1180 S. Rosemont Road is proposing an addition to the Adult Community Center. The new addition has been planned with the Friends of the Adult Community Center to meet the current demand and to meet the needs of the ever growing older population. We would like to discuss the project in more detail with the Neighborhood Association, surrounding property owners, and residents. We will make a short presentation and allow time for discussion from interested parties.

The meeting is scheduled as indicated below:

Thursday, March 19th, 2015
7:00 p.m.
West Linn City Hall, Council Chambers
22500 Salamo Road

Please note that this will be an informational presentation on preliminary development plans. These plans may be developed further or altered through the application process with the City.

I look forward to discussing the project with you. If you have questions, but will be unable to attend please feel free to call me at 503-723-2553.

Sincerely,

Ken Warner, Assistant Parks & Recreation Director

BALDWIN MICHAEL C & KRISTIN J
1966 FURLONG CT
WEST LINN, OR 97068

BECHTOLD TIM J TRUSTEE
1152 ROSEMONT RD
WEST LINN, OR 97068

BENJAMIN BRUCE T JR & JEAN C
1945 PINTO CT
WEST LINN, OR 97068

BOGGESS THOMAS N & NANETTE C
1901 CHURCHILL CT
WEST LINN, OR 97068

BRODSKY DAVID G
1951 FURLONG CT
WEST LINN, OR 97068

BROWN JOHN MICHAEL TRUSTEE
1944 FURLONG DR
WEST LINN, OR 97068

BRUS CYNTHIA R
1948 FURLONG DR
WEST LINN, OR 97068

BUTURLA ALESHA & EDWARD D
1903 CHURCHILL CT
WEST LINN, OR 97068

CITY OF WEST LINN
22500 SALAMO RD #600
WEST LINN, OR 97068

CLOSE BEVERLY J
1902 CHURCHILL CT
WEST LINN, OR 97068

CORNELL AARON M
1928 FURLONG DR
WEST LINN, OR 97068

CRANDALL MARK L & ANGELA
1800 NW 167TH PL STE 150
BEAVERTON, OR 97006

DONNELLY ROBERT & JENNY
1156 S ROSEMONT RD
WEST LINN, OR 97068

DOWEN GARY L & MARY E
1900 CHURCHILL CT
WEST LINN, OR 97068

DUNLAP THOMAS F TRUSTEE
6117 CANTER LN
WEST LINN, OR 97068

GATTO JERRY A TRUSTEE
1994 FURLONG CT
WEST LINN, OR 97068

GIUNTA JOHN P & RITA J
1936 FURLONG DR
WEST LINN, OR 97068

GRAY JOHN
1991 FURLONG CT
WEST LINN, OR 97068

HIDDEN SPRINGS RANCH #8 OWNERS
ASSN
PO BOX 408
WEST LINN, OR 97068

HOLZER ALAN M TRUSTEE
6119 CANTER LN
WEST LINN, OR 97068

JOHNSON BROOKE
1971 FURLONG CT
WEST LINN, OR 97068

KAGEY LANE & DIANE
6250 HAVERHILL CT
WEST LINN, OR 97068

LUGO ADAM J
1975 FURLONG CT
WEST LINN, OR 97068

MANGEL JANET S
6107 CANTER LN
WEST LINN, OR 97068

MASON LEANNE G
1967 FURLONG CT
WEST LINN, OR 97068

MAXWELL JEFFREY J & KELLEY J
1916 FURLONG DR
WEST LINN, OR 97068

MCCOLLUM DEBORAH L
1955 FURLONG CT
WEST LINN, OR 97068

MCKNIGHT ANDREA & JEFFERY J
1947 FURLONG CT
WEST LINN, OR 97068

MILLER ERIC D & CAROLYN R
1982 FURLONG CT
WEST LINN, OR 97068

MITCHELL JON GREGORY TRUSTEE
5743 RIVER ST
WEST LINN, OR 97068

OGLE DIANE L
1946 FURLONG DR
WEST LINN, OR 97068

ONORATO ROBERT R & DANA C
1900 FURLONG DR
WEST LINN, OR 97068

PARK PLACE HOMES INC
7128 SW GONZAGA ST #100
TIGARD, OR 97223

RINCON DAVID & DOLORES
1978 FURLONG CT
WEST LINN, OR 97068

ROMS OLEKSIY U & HEATHER A
1950 PINTO CT
WEST LINN, OR 97068

SAGERS ROCKEY E CO-TRUSTEE
6115 CANTER LN
WEST LINN, OR 97068

SCHROEDER DAYNA C
1935 PINTO CT
WEST LINN, OR 97068

SCHUMAKER DANIEL M & MEGAN K
6113 CANTER LN
WEST LINN, OR 97068

STEFANICH MATTHEW E & DAWN M
1924 FURLONG DR
WEST LINN, OR 97068

SULLIVAN JOSEPH P & MEGAN D
MARKHAM
1912 FURLONG DR
WEST LINN, OR 97068

SUSANY BRETT & NICOLE
1940 PINTO CT
WEST LINN, OR 97068

TENCE DAVID A & IVANA B
19775 SW TAPOSA PL
TUALATIN, OR 97062

VIUHKOLA ERRON & CRYSTAL
1920 FURLONG DR
WEST LINN, OR 97068

WALTERS MICHAEL D & DAWN K
6111 CANTER LN
WEST LINN, OR 97068

WELCH TRACY
1923 FURLONG DR
WEST LINN, OR 97068

WEST LINN-WILS SCH DIST #3J
22210 SW STAFFORD RD
TUALATIN, OR 97062

WILSON COREY & JESSICA
6260 HAVERHILL CT
WEST LINN, OR 97068

WOO GEORGE K & LEANNE L
1935 FURLONG DR
WEST LINN, OR 97068

YOSHIMORI HIROSHI & IRENE
1954 FURLONG CT
WEST LINN, OR 97068

~~STEVE GARNER
BHT NA PRESIDENT
13555 SW JENKINS RD. #43
BEAVERTON OR 97005~~

~~SALLY MCLARTY
BOLTON NA PRESIDENT
19575 RIVER RD # 64
GLADSTONE OR 97027~~

ERIK VAN DE WATER
HIDDEN SPRINGS NA PRESIDENT
6433 PALOMINO WAY
WEST LINN OR 97068

~~KARIE OAKES
MARYLHURST NA PRESIDENT
1125 MARYLHURST DR
WEST LINN OR 97068~~

BILL RELYEA
PARKER CREST NA PRESIDENT
3016 SABO LN
WEST LINN OR 97068

~~KAZI AHMED
ROBINWOOD NA PRESIDENT
18649 MIDHILL CIR
WEST LINN OR 97068~~

~~KEN PRYOR
SAVANNA OAKS NA VICE PRES
2119 GREENE ST
WEST LINN, OR 97068~~

~~ED SCHWARZ
SAVANNA OAKS NA PRESIDENT
2206 TANNER DR
WEST LINN OR 97068~~

~~TRACY GILDAY
SKYLINE RIDGE NA PRESIDENT
1341 STONEHAVEN DR
WEST LINN OR 97068~~

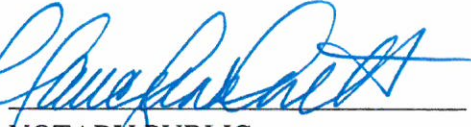
AFFIDAVIT


The State of Oregon)
) S.S.
County of Clackamas)

I, Kenneth G. Warner, of West Linn, Oregon, MAKE OATH AND SAY THAT:

1. I, Kenneth G. Warner, being duly sworn, state that on the 26th day of February 2015 I caused to have mailed, to each person on the attached list, a notice of a meeting to discuss a proposed development at 1180 Rosemont Road, West Linn, Oregon. A copy of the notice so mailed is attached hereto and made part thereof.

2. I further state that said notices were enclosed in envelopes plainly addressed to said persons and were deposited on the date indicated above in the United States Post Office with postage prepared thereon.

SUBSCRIBED AND SWORN TO)
BEFORE ME, on the)
26th day of February, 2015)
)
)
NOTARY PUBLIC)
My Commission expires: 1/31/2016)


_____)
Kenneth G. Warner

NOTICE

This property may be
subject to a proposed
development and
Design Review.

The applicant is:

**City of West Linn
West Linn Adult
Community Center
1180 Rosemont Road
West Linn, Oregon**

For additional information please call:
Ken Warner, Assistant Parks & Recreation
Director
City of West Linn
503-723-2553



CITY OF West Linn

City of West Linn, Adult Community Center Expansion
Neighborhood Meeting
March 19, 2015

Summary Notes

The meeting started at 7:00 p.m.

The meeting was attended by one person, William Relyea, Parker Crest Neighborhood Association President.

It was agreed that an audio tape was not necessary for this meeting.

The Adult Community Center proposed project was explained to the attendee at the meeting.

Mr. Relyea asked question about the following topics in regards to potential changes that might affect neighbors:

Parking: The additional parking to be added was explained utilizing the boards on display. The new addition will increase parking by 22 spaces.

Lighting: It was explained that currently there is no new lighting planned for the proposed project. As photometrics of current lighting are reviewed there is the chance that new lighting could be required in the new sections of parking lot.

Americans with Disabilities Act (ADA) Requirements: The applicant explained that all ADA requirements will be met with the new addition.

Screening: The applicant explained that at the present time there is no plan for more screening for neighbors. The borders of the property that have residential neighbors already have landscaping buffers.

The meeting was concluded at 7:20 pm

A handwritten signature in black ink, appearing to read "DeWan", is written over the text of the meeting conclusion.



City of West Linn

City of West Linn, Adult Community Center Expansion
Neighborhood Meeting
March 19, 2015

Sign In Sheet

1. William Relya PCMA - President
2. _____
3. _____
4. _____
5. _____
6. _____
7. _____
8. _____
9. _____
10. _____
11. _____
12. _____
13. _____
14. _____
15. _____
16. _____
17. _____
18. _____
19. _____
20. _____
21. _____
22. _____
23. _____
24. _____
25. _____



CITY OF West Linn

William Relyea
President
Parker Crest Neighborhood Association

SENT VIA EMAIL

This summary of meeting comments is for your review. If you or any member of the Parker Crest Neighborhood Association has additional comments regarding the content of the meeting, please file them with the City of West Linn planning Department before the record on this development application is closed. Please call the Planning Department (503-656-4211) for more information in the time limit for additional comments.

City of West Linn, Adult Community Center Expansion
Neighborhood Meeting
March 19, 2015

Summary Notes

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CITY OF
West Linn

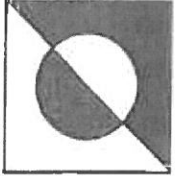
Americans with Disabilities Act (ADA) Requirements: The applicant explained that all ADA requirements will be met with the new addition.

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The meeting was concluded at 7:20 pm

A handwritten signature in black ink, appearing to read "Kawa", is written below the text "The meeting was concluded at 7:20 pm". The signature is fluid and cursive.

LEWIS &



VAN VLEET

Incorporated

principals
chris c. van vleet, p.e.
gary j. lewis, p.e.

STORMWATER CALCULATIONS

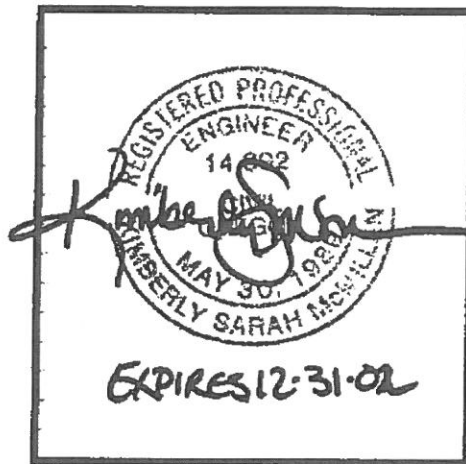
FOR

WEST LINN SENIOR CENTER

1180 S. Rosemont Road
West Linn, Oregon

FOR

Architects BBL



Lewis & Van Vleet, Inc. Job Number 99106

Revised

consulting engineers
18660 s.w. boones ferry road
tualatin, oregon 97062
(503) 885.8605 phone
(503) 885.1206 fax

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Pipe Size Calculations	

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Drainage Statement

Existing Drainage Systems

The total site area is 88,030 square feet. The only existing improvements to the site consist of a house and shed (total roof area = 4,190 sf) with gravel driveways. Existing roof stormwater runoff drains to the field area downhill.

Proposed Drainage Systems

The proposed improved area for the site is 46,425 square feet. Roof drainage will be collected through downspouts and piped underground. The drainage in the pavement areas will be collected in trapped catch basins and piped underground as well.

Both roof and pavement drainage will be piped to a water quality/detention pond. After the stormwater has been treated and detained in the pond, the water will be discharged to an existing storm sewer system in Rosemont Road.

Stormwater detention is sized for a 25 year, 24 hour storm. The 25 year storm for existing conditions provides a $Q = 0.89$ cfs. A 25 year storm for proposed conditions provides a $Q = 1.48$ cfs. The required detention volume is 1,169 cf. (See calculations.)

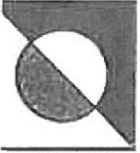
Water quality is designed per City of Portland standards, with a design storm of 0.83 inches and a 24 hour treatment time. The required water quality volume = 2,890 cf. The release rate for the 24 hour treatment time is 0.033 cfs. (See calculations.)

The total pond volume required is equal to the required detention volume of 1,169 cf plus the required water quality volume of 2,890 cf. This total volume = 4,059 cf. The total pond volume provided = 4,150 cf. (See calculations.)

The proposed improvements for this site should cause no adverse impacts from increased intensity of runoff off site because of the detention and water quality measures provided.

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1



consulting engineers

18660 s.w. boones ferry road
tualatin, oregon 97062
(503) 885.8605 phone (503) 885.1206 fax

Job WEST LINN SR. CTR.
Client BBL
Job No. 99106 By BSD
Date 3/14/01 Sheet No. 1

STORM WATER CALCULATIONS

TOTAL SITE AREA = 88,030 sf (2.02ac)

PROPOSED SITE CONDITIONS:

IMPERVIOUS AREA = 46,425 sf (1.066ac)

PERVIOUS AREA = 41,605 sf (0.955ac)

DETENTION (25YR - 25YR, SBUH METHOD)

SOIL TYPE = CORNELIUS SOIL
SCS TYPE 23 B/C SOIL
HYDROLOGIC SOIL GROUP = 'C' } FROM CLACKAMAS CO. SCS MANUAL

25YR STORM, CITY OF PORTLAND RAINFALL = 3.8 in

5 MINUTE, MINIMUM, T.O.C.

- EXISTING CONDITIONS: OPEN SPACE, FAIR CONDITION, CN=79

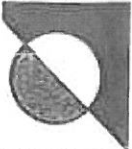
Q₂₅ = 0.89 cfs < SEE PRINTOUT DET 1

- PROPOSED CONDITIONS: 1.066 ac IMP. AREA, CN = 98
0.955 ac PER. AREA, CN = 79

Q₂₅ = 1.48 cfs < SEE PRINTOUT DET 2

- DETENTION VOLUME REQ'D = 1,169 cf < SEE PRINTOUT DET 3

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WATER QUALITY (PER CITY OF PORTLAND STANDARDS)

• REQ'D WQ VOLUME =
$$\frac{(0.83 \text{ in/hr})(\text{NEW IMP. AREA})(0.9)}{12 \text{ in/ft}}$$

$$= \frac{(0.83 \text{ in/hr})(46,425 \text{ sf})(0.9)}{12 \text{ in/ft}} = \underline{\underline{2,890 \text{ cf}}}$$

• 24 HOUR TREATMENT
 RELEASE RATE =
$$\frac{2,890 \text{ cf}}{24 \text{ HR}(3600 \text{ sec/hr})} = \underline{\underline{0.033 \text{ cfs}}}$$

POND VOLUME (EXTENDED DRY DETENTION POND)

• TOTAL POND VOLUME REQUIRED = DET. VOLUME + WQ VOLUME

$$= 1,169 \text{ cf} + 2,890 \text{ cf}$$

$$= \underline{\underline{4,059 \text{ cf}}}$$

• POND VOLUME PROVIDED

<u>ELEV (ft)</u>	<u>AREA*(sf)</u>	<u>VOLUME (cf)</u>	
695	920	1,490	} WQ Vol. = <u>2,942cf</u>
696	2,060	1,452	
696.6	2,780	1,208	→ DET. Vol. = <u>1,208cf</u>
697	3,260		

TOTAL = 4,150 > 4,059 ∴ OK

* AREAS FOUND USING AUTO CAD.

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KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

SBUH/SCS METHOD FOR COMPUTING RUNOFF HYDROGRAPH

STORM OPTIONS:

- 1 - S.C.S. TYPE-1A
- 2 - 7-DAY DESIGN STORM
- 3 - STORM DATA FILE

SPECIFY STORM OPTION:

1

S.C.S. TYPE-1A RAINFALL DISTRIBUTION

ENTER: FREQ(YEAR), DURATION(HOUR), PRECIP(INCHES)
25,24,3.8

***** S.C.S. TYPE-1A DISTRIBUTION *****

***** 25-YEAR 24-HOUR STORM ***** 3.80" TOTAL PRECIP. *****

ENTER: A(PERV), CN(PERV), A(IMPERV), CN(IMPERV), TC FOR BASIN NO. 1
2.02,79,0,98,5

DATA PRINT-OUT:

AREA(ACRES)	PERVIOUS		IMPERVIOUS		TC (MINUTES)
	A	CN	A	CN	
2.0	2.0	79.0	.0	98.0	5.0

PEAK-Q(CFS)	T-PEAK(HRS)	VOL(CU-FT)
.89	7.67	13216

ENTER [d:][path]filename[.ext] FOR STORAGE OF COMPUTED HYDROGRAPH:
25EXIST

A-24

DET 2

KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

SBUH/SCS METHOD FOR COMPUTING RUNOFF HYDROGRAPH

STORM OPTIONS:

- 1 - S.C.S. TYPE-1A
- 2 - 7-DAY DESIGN STORM
- 3 - STORM DATA FILE

SPECIFY STORM OPTION:

1

S.C.S. TYPE-1A RAINFALL DISTRIBUTION

ENTER: FREQ(YEAR), DURATION(HOUR), PRECIP(INCHES)
25, 24, 3.8

 ***** S.C.S. TYPE-1A DISTRIBUTION *****
 ***** 25-YEAR 24-HOUR STORM ***** 3.80" TOTAL PRECIP. *****

ENTER: A(PERV), CN(PERV), A(IMPERV), CN(IMPERV), TC FOR BASIN NO. 1
.955, 79, 1.066, 98, 5

DATA PRINT-OUT:

AREA (ACRES)	PERVIOUS		IMPERVIOUS		TC (MINUTES)
	A	CN	A	CN	
2.0	1.0	79.0	1.1	98.0	5.0

PEAK-Q(CFS) 1.48	T-PEAK(HRS) 7.67	VOL(CU-FT) 20045
----------------------------	---------------------	---------------------

ENTER [d:][path]filename[.ext] FOR STORAGE OF COMPUTED HYDROGRAPH:
25PROPOSED

A-25

DET 3

KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

R/D FACILITY DESIGN ROUTINE

SUMMARY OF INPUT ITEMS

- 1) TYPE OF FACILITY: POND (3.0:1 SIDE SLOPES)
- 2) STORAGE DEPTH(ft): 2.00
- 3) VERTICAL PERMEABILITY(min/in): .00
- 4) PRIMARY DESIGN HYDROGRAPH FILENAME: 25PROPOSED
- 5) PRIMARY RELEASE RATE(cfs): .89
- 6) NUMBER OF TEST HYDROGRAPHS: 0
- 7) NUMBER-OF-ORIFICES, RISER-HEAD(ft), RISER-DIAM(in): 1, 2.00, 12
- 8) ITERATION DISPLAY: NO

ENTER ITEM NUMBER TO BE REVISED (ENTER ZERO IF NO REVISIONS ARE REQUIRED):
0

INITIAL STORAGE VALUE FOR ITERATION PURPOSES: 6552 CU-FT

SINGLE ORIFICE RESTRICTOR: DIA= 4.82"

PERFORMANCE:	INFLOW	TARGET-OUTFLOW	ACTUAL-OUTFLOW	PK-STAGE	STORAGE
DESIGN HYD:	1.48	.89	.89	2.00	1169

WEST LINN SENIOR CENTER DETENTION

A-26

ORIFICE DIAMETER WORKSHEET

WQ ORIFICE

Project Name: WEST LINN SR. CENTER

City File Number: _____

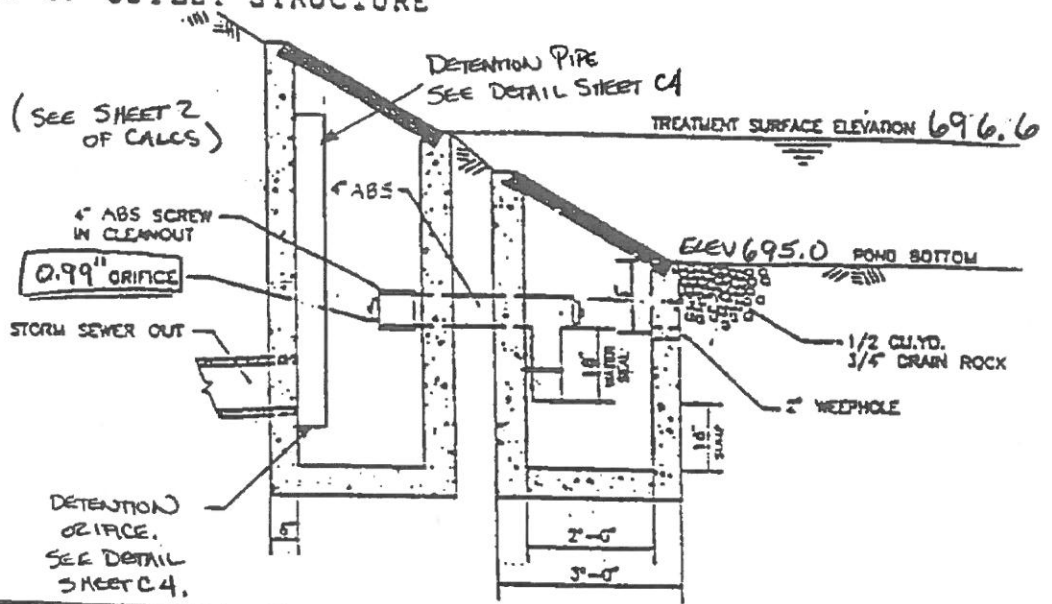
Computed By: BSD

Date: 3/14/01

PROVIDE SKETCH BELOW OF OUTLET STRUCTURE

$Q_{WQ} = 0.033 \text{ cfs}$ (SEE SHEET 2 OF CALCS)

$h = 696.6 - 695.0$
 $= 1.6 \text{ ft}$



Orifice Formula: $Q = CA (2gh)^{.5}$ WATER QUALITY EXTENDED DRY POND OUTFLOW DEVICE

Given: $C = 0.61$
 $g = 32.2$

Design $Q = 0.033 \text{ c.f.s.}$
 $h = 1.60 \text{ feet of head}$

Solve for A: $A = Q / [C (2gh)^{.5}]$
 $A = \frac{0.033}{(c.f.s.)} / [0.61 (2 \times 32.2 \times 1.60)^{.5}]$
(head)
 $A = 0.0053 \text{ sq. ft. (orifice area)}$

Solve for D: $A = \pi \cdot (R)^2$
 $R = (A / \pi)^{.5} = \frac{0.0053}{(area)} / 3.14)^{.5} = 0.0412 \text{ ft.}$
 $D = 2 \times R \times 12 = 0.99 \text{ inches}$

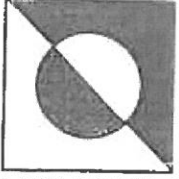
PIPE SIZE CALCULATIONS

Project No. 99106 Designed by: BSD Date: 03/14/2001 Checked by: KSM Date: _____
 Project Name: WEST LINN SENIOR CENTER Page: 1 of 1

DESIGN SECTION	DESIGN CALCULATIONS								DESIGN					INVERT ELEVATIONS	
									SLOPE	DIA.	CAPA-CITY	VELOC.	LENGTH	UPPER	LOWER
	T	T _t	I	A	C	CA	ΣCA	Q							
MH to MH OR ST to ST	minutes	minutes	in./hr.	acres	coeff.	acres	acres	cfs	%	inches	cfs	fps	feet		
DS1-DS2	5.0	5.0	2.86	0.033	0.9	0.030	0.030	0.08	4.00%	4	0.55	4.32	97	706.60	702.72
DS2-J1	0.4	5.4	2.75	0.033	0.9	0.030	0.059	0.16	4.00%	4	0.55	5.16	108	702.72	698.40
DS3-DS4	5.0	5.0	2.86	0.033	0.9	0.030	0.030	0.08	4.00%	4	0.55	4.32	42	706.60	704.92
DS4-DS5	0.2	5.2	2.80	0.033	0.9	0.030	0.059	0.17	4.00%	4	0.55	5.16	53	704.92	702.80
DS5-DS6	0.2	5.3	2.78	0.033	0.9	0.030	0.089	0.25	4.00%	4	0.55	5.80	34	702.80	701.44
DS6-J1	0.1	5.4	2.75	0.033	0.9	0.030	0.119	0.33	4.00%	4	0.55	6.21	81	701.44	698.20
A-28 J1-CB2	0.2	5.6	2.70	-	-	-	0.178	0.48	4.00%	4	0.55	6.84	19	698.20	697.44
CB2-J2	0.0	5.7	2.67	0.139	0.9	0.125	0.303	0.81	4.00%	6	1.62	7.83	23	697.36	696.44
CB4-CB3	5.0	5.0	2.86	0.327	0.9	0.294	0.294	0.84	1.80%	6	1.09	5.80	26	698.00	697.53
CB3-J2	0.1	5.1	2.83	0.100	0.9	0.090	0.384	1.09	1.80%	6	1.09	6.14	61	697.53	696.43
J2-POND	0.0	5.7	2.67	-	-	-	0.688	1.84	1.00%	8	1.75	5.61	72	696.35	695.63
CB1-POND	5.0	5.0	2.65	0.246	0.9	0.221	0.221	0.59	1.00%	6	0.81	6.10	25	698.00	697.75

NOTE: PIPE SIZES WERE CALCULATED USING THE RATIONAL METHOD FOR A 10 YEAR, 24 HOUR STORM USING CITY OF PORTLAND RAINFALL INTENSITIES. $i_{10} = 2.86$ cfs

LEWIS &



VAN VLEET
Incorporated

principals

chris c. van vleet, p.e.
gary j. lewis, p.e.

STORM WATER CALCULATIONS

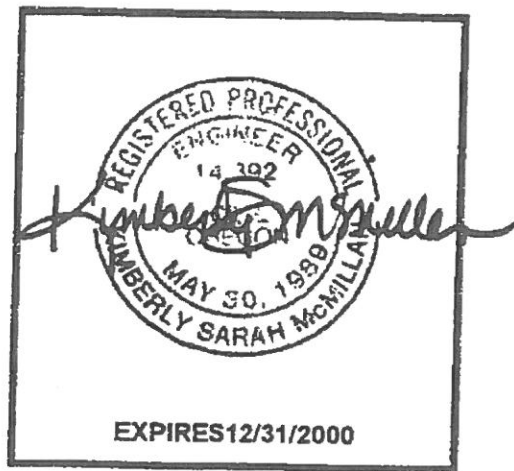
FOR

WEST LINN SENIOR CENTER

SW Rosemont Road
West Linn, Oregon

FOR

Architects BBL



Lewis & Van Vleet, Inc. Job Number 99106

consulting engineers
18660 s.w. boones ferry road
tualatin, oregon 97062
(503) 885.8605 phone
(503) 885.1206 fax

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Drainage Statement

Existing Drainage Systems

The total site area is 88,030 square feet. The only existing improvements to the site consist of a house and shed (total roof area = 4,190 sf) with gravel driveways. Existing roof stormwater runoff drains to the field area downhill.

Proposed Drainage Systems

The proposed improved area for the site is 46,425 square feet. Roof drainage will be collected through downspouts and piped underground. The drainage in the pavement areas will be collected in trapped catch basins and piped underground as well.

Both roof and pavement drainage will be piped to a water quality/detention pond. After the stormwater has been treated and detained in the pond, the water will be discharged to an existing storm sewer system in Rosemont Road.

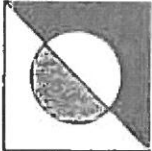
Stormwater detention is sized for a 25 year, 24 hour storm. The 25 year storm for existing conditions provides a $Q = 0.41$ cfs. A 25 year storm for proposed conditions provides a $Q = 0.91$ cfs. The required detention volume is 1,105 cf. (See calculations.)

Water quality is designed per Unified Sewerage Agency (U.S.A.) standards. The design storm is for 0.36 inches / 4 hours with a 96 hour return period and a 48 hour treatment time. The required water quality volume = 1,395 cf. The release rate for the 48 hour treatment time is 0.008 cfs. (See calculations.)

The total pond volume required is equal to the required detention volume of 1,105 cf plus the required water quality volume of 1,395 cf. This total volume = 2,500 cf. The total pond volume provided = 3,055 cf. (See calculations.)

The proposed improvements for this site should cause no adverse impacts from increased intensity of runoff off site because of the detention and water quality measures provided.

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STORM WATER CALCULATIONS

TOTAL SITE AREA = 88,030 sf (2.02 ac)

EXISTING SITE CONDITIONS:

IMPERVIOUS AREA = 46,425 sf (1.066 ac)

PERVIOUS (L.S.) AREA = 41,605 sf (0.955 ac)

STORM WATER DETENTION (25 YR. 25 YR STORM, PER USA STANDARDS)

SOIL TYPE = CORNELIUS SOIL

SCS TYPE 23 B/C SOIL

HYDROLOGIC SOIL GROUP = C

FROM CLACKAMAS COUNTY
SCS MANUAL25 YR STORM, ODOT - ZONE 8, $i_{25} = 2.65 \text{"/hr}$

5 MINUTE, MINIMUM TIME OF CONCENTRATION

- EXISTING CONDITIONS: OPEN SPACE, FAIR CONDITION, $CN=79$

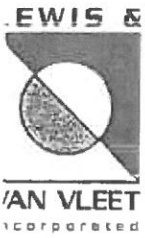
$$\underline{Q_{25} = 0.41 \text{ cfs}} < \text{SEE PRINTOUT DET 1}$$

- PROPOSED CONDITIONS: 1.066 ac IMPERVIOUS AREA, $CN=98$
0.955 ac PERVIOUS AREA, $CN=79$

$$\underline{Q_{25} = 0.91 \text{ cfs}} < \text{SEE PRINTOUT DET 2}$$

- DETENTION VOLUME REQUIRED = 1,105 cf < SEE PRINTOUT DET 3

A-32



consulting engineers

18660 s.w. boones ferry road
tualatin, oregon 97062
(503) 885.8605 phone (503) 885.1206 fax

Job WEST LINN SR. CENTER

Client BBL

Job No. 99106 By BSD

Date 7-10-00 Sheet No. 2

WATER QUALITY (PER USA STANDARDS)

• REQ'D WQ VOLUME = NEW IMPERVIOUS AREA x 0.36 inches

$$= 46,425 \text{ sf} \times 0.36 \text{ inches} \times \frac{1 \text{ ft}}{12 \text{ inches}}$$

$$= \underline{\underline{1,395 \text{ cf}}}$$

• 48 HOUR TREATMENT TIME

$$Q_{WQ} = \frac{1,395 \text{ cf}}{(48 \text{ HR})(3600 \text{ sec/HR})}$$

$$= \underline{\underline{0.008 \text{ cfs}}}$$

POND VOLUME (EXTENDED DRY DETENTION POND)

• TOTAL POND VOLUME REQ'D = DET. VOLUME + WQ VOLUME

$$= 1,105 \text{ cf} + 1,395 \text{ cf}$$

$$= \underline{\underline{2,500 \text{ cf}}}$$

• POND VOLUME PROVIDED

<u>ELEVATION (FT)</u>	<u>AREA (SF)</u>	<u>VOLUME (CF)</u>
695	370	940
696	1510	2115
697	2720	

$$\underline{\underline{\text{TOTAL} = 3,055 \text{ CF}}} > 2,500 \text{ CF} \therefore \text{OK}$$

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KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

SBUH/SCS METHOD FOR COMPUTING RUNOFF HYDROGRAPH

STORM OPTIONS:

- 1 - S.C.S. TYPE-1A
- 2 - 7-DAY DESIGN STORM
- 3 - STORM DATA FILE

SPECIFY STORM OPTION:

1

S.C.S. TYPE-1A RAINFALL DISTRIBUTION

ENTER: FREQ(YEAR), DURATION(HOUR), PRECIP(INCHES)

25,24,2.65

***** S.C.S. TYPE-1A DISTRIBUTION *****

***** 25-YEAR 24-HOUR STORM ***** 2.65" TOTAL PRECIP. *****

ENTER: A(PERV), CN(PERV), A(IMPERV), CN(IMPERV), TC FOR BASIN NO. 1
2.02,79,0,98,5

DATA PRINT-OUT:

AREA (ACRES)	PERVIOUS		IMPERVIOUS		TC (MINUTES)
	A	CN	A	CN	
2.0	2.0	79.0	.0	98.0	5.0
PEAK-Q (CFS)	T-PEAK (HRS)		VOL (CU-FT)		
.41	7.83		6888		

ENTER [d:][path]filename[.ext] FOR STORAGE OF COMPUTED HYDROGRAPH:
25EXIST

A-34

KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

SBUH/SCS METHOD FOR COMPUTING RUNOFF HYDROGRAPH

STORM OPTIONS:

- 1 - S.C.S. TYPE-1A
- 2 - 7-DAY DESIGN STORM
- 3 - STORM DATA FILE

SPECIFY STORM OPTION:

1

S.C.S. TYPE-1A RAINFALL DISTRIBUTION

ENTER: FREQ(YEAR), DURATION(HOUR), PRECIP(INCHES)

25,24,2.65

 ***** S.C.S. TYPE-1A DISTRIBUTION *****
 ***** 25-YEAR 24-HOUR STORM **** 2.65" TOTAL PRECIP. *****

ENTER: A(PERV), CN(PERV), A(IMPERV), CN(IMPERV), TC FOR BASIN NO. 1
 .955,79,1.066,98,5

DATA PRINT-OUT:

AREA(ACRES)	PERVIOUS		IMPERVIOUS		TC (MINUTES)
	A	CN	A	CN	
2.0	1.0	79.0	1.1	98.0	5.0

PEAK-Q(CFS) .91	T-PEAK(HRS) 7.67	VOL(CU-FT) 12620
---------------------------	---------------------	---------------------

ENTER [d:][path]filename[.ext] FOR STORAGE OF COMPUTED HYDROGRAPH:
25PROPOSED

A-35

KING COUNTY DEPARTMENT OF PUBLIC WORKS
Surface Water Management Division

HYDROGRAPH PROGRAMS
Version 4.21B

R/D FACILITY DESIGN ROUTINE

SUMMARY OF INPUT ITEMS

- 1) TYPE OF FACILITY: POND (3.0:1 SIDE SLOPES)
- 2) STORAGE DEPTH(ft): 2.00
- 3) VERTICAL PERMEABILITY(min/in): .00
- 4) PRIMARY DESIGN HYDROGRAPH FILENAME: 25PROPOSED
- 5) PRIMARY RELEASE RATE(cfs): .41
- 6) NUMBER OF TEST HYDROGRAPHS: 0
- 7) NUMBER-OF-ORIFICES, RISER-HEAD(ft), RISER-DIAM(in): 1, 2.00, 12
- 8) ITERATION DISPLAY: NO

ENTER ITEM NUMBER TO BE REVISED (ENTER ZERO IF NO REVISIONS ARE REQUIRED):
0

INITIAL STORAGE VALUE FOR ITERATION PURPOSES: 4071 CU-FT

SINGLE ORIFICE RESTRICTOR: DIA= 3.27"

PERFORMANCE:	INFLOW	TARGET-OUTFLOW	ACTUAL-OUTFLOW	PK-STAGE	STORAGE
DESIGN HYD:	.91	.41	.41	2.00	1105

SPECIFY: D - DOCUMENT, R - REVISE, A - ADJUST ORIF, E - ENLARGE, S - STOP

WEST LINN SENIOR CENTER DETENTION

A-36

ORIFICE DIAMETER WORKSHEET

Project Name: WEST LINN SR CENTER

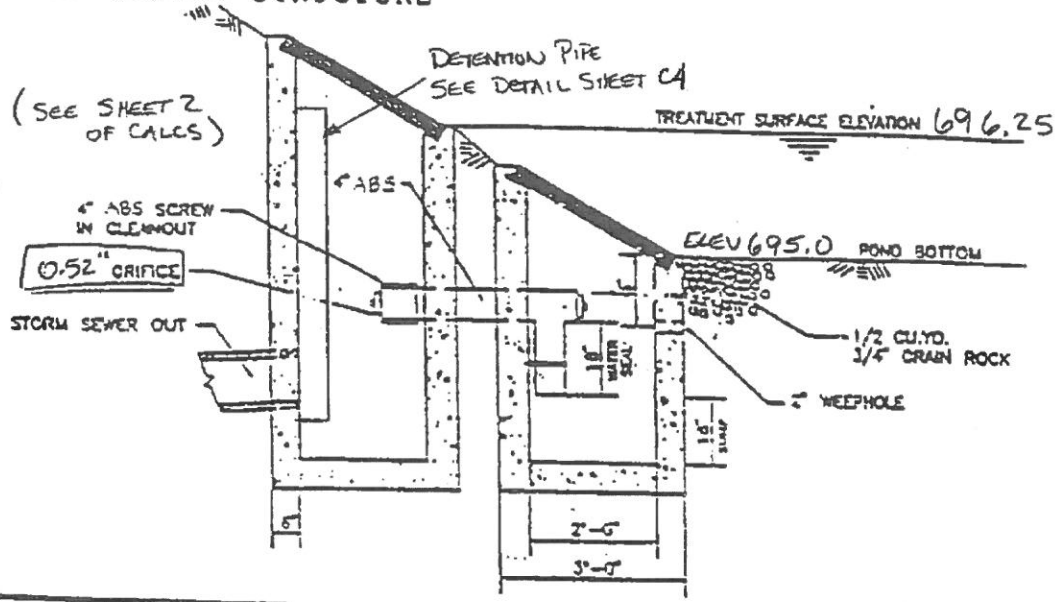
City File Number: _____

Computed By: BSD

Date: 7-11-00

PROVIDE SKETCH BELOW OF OUTLET STRUCTURE

$Q_{WQ} = 0.008 \text{ cfs}$ (SEE SHEET 2 OF CALCS)
 $h = 696.25 - 695.0$
 $= 1.25 \text{ ft}$



Orifice Formula: $Q = CA (2gh)^{.5}$ WATER QUALITY EXTENDED DRY POND OUTFLOW DEVICE

Given: $C = 0.61$
 $g = 32.2$

Design: $Q = 0.008 \text{ c.f.s.}$
 $h = 1.25 \text{ feet of head}$

Solve for A: $A = Q / [C (2gh)^{.5}]$
 $A = \frac{0.008}{(c.f.s.)} / [0.61 (2 \times 32.2 \times 1.25)^{.5}]$
 $A = 0.0015 \text{ sq. ft. (orifice area)}$

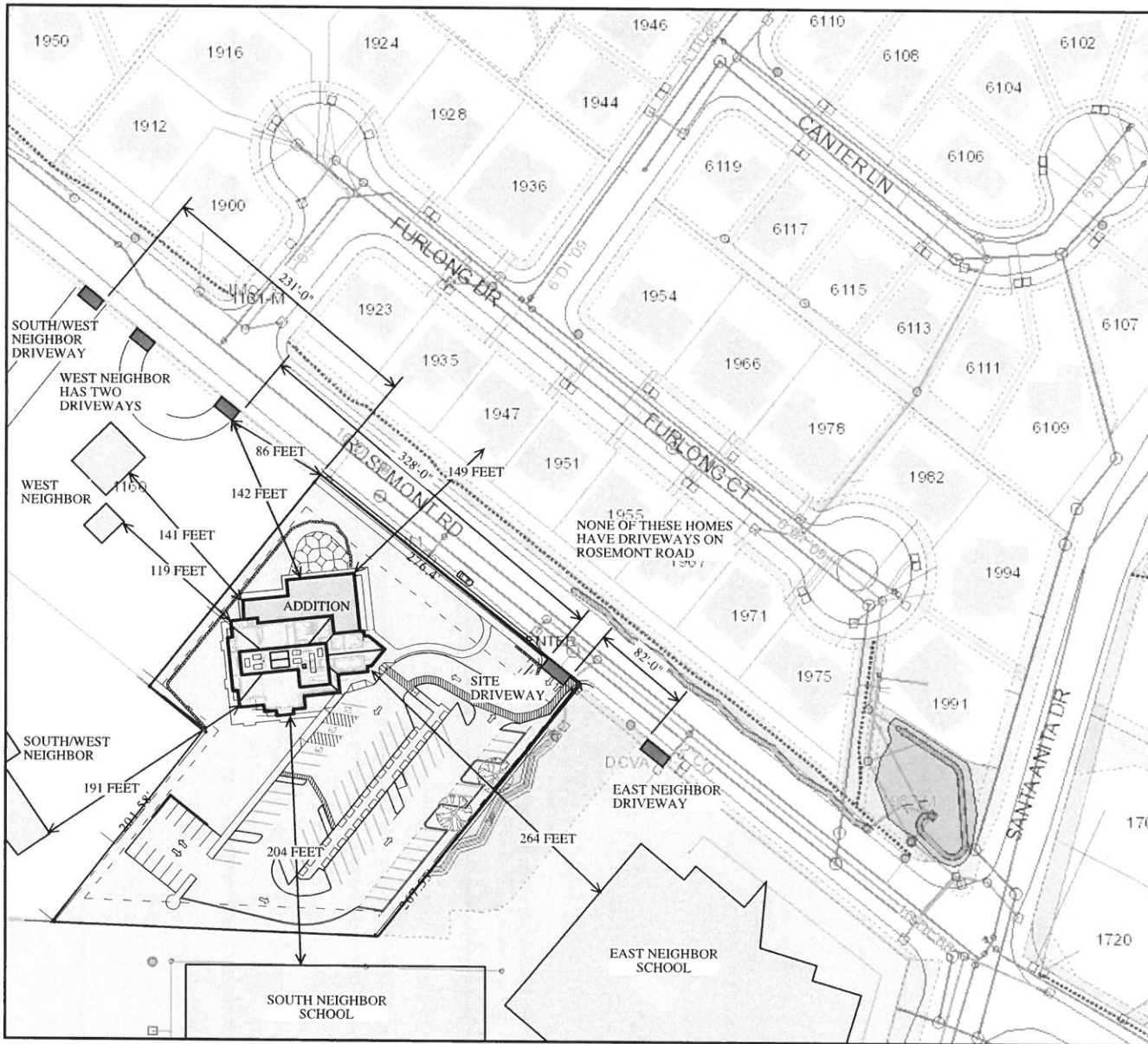
Solve for D: $A = \pi \cdot (R)^2$
 $R = (A / \pi)^{.5} = \left(\frac{0.0015}{(area)} / 3.14 \right)^{.5} = 0.0216 \text{ ft.}$
 $D = 2 \times R \times 12 = 0.52 \text{ inches}$

PIPE SIZE CALCULATIONS

Project No. 99106 Designed by: BSD Date: 07/11/2000 Checked by: KSM Date:
 Project Name: WEST LINN SENIOR CENTER Page: 1 of 1

DESIGN SECTION	DESIGN CALCULATIONS								DESIGN					INVERT ELEVATIONS		
	MH to MH OR ST to ST	INCR. TIME	TOTAL TIME	INTEN- SITY	INCR. AREA	RUNOFF COEFF.	EQUIV. INCR. AREA	TOTAL EQUIV. AREA	RUNOFF	SLOPE	DIA.	CAPA- CITY	VELOC.	LENGTH	UPPER	LOWER
		T minutes	T _t minutes	I In./hr.	A acres	C coeff.	CA acres	ΣCA acres	Q cfs	S %	d inches	Q _f cfs	V _f fps	L feet		
DS1-DS2	5.0	5.0	2.25	0.033	0.9	0.030	0.030	0.07	4.00%	4	0.55	4.32	97	706.60	702.72	
DS2-J1	0.4	5.4	2.20	0.033	0.9	0.030	0.059	0.13	4.00%	4	0.55	5.16	108	702.72	698.40	
DS3-DS4	5.0	5.0	2.25	0.033	0.9	0.030	0.030	0.07	4.00%	4	0.55	4.32	42	706.60	704.92	
DS4-DS5	0.2	5.2	2.23	0.033	0.9	0.030	0.059	0.13	4.00%	4	0.55	5.16	53	704.92	702.80	
DS5-DS6	0.2	5.3	2.21	0.033	0.9	0.030	0.089	0.20	4.00%	4	0.55	5.80	34	702.80	701.44	
DS6-J1	0.1	5.4	2.20	0.033	0.9	0.030	0.119	0.26	4.00%	4	0.55	6.21	81	701.44	698.20	
A-38 J1-CB2	0.2	5.6	2.18	-	-	-	0.178	0.39	4.00%	4	0.55	6.84	19	698.20	697.44	
CB2-J2	0.0	5.7	2.17	0.139	0.9	0.125	0.303	0.66	4.00%	6	1.62	7.83	23	697.36	696.44	
CB4-CB3	5.0	5.0	2.25	0.327	0.9	0.294	0.294	0.66	1.80%	6	1.09	5.80	26	698.00	697.53	
CB3-J2	0.1	5.1	2.24	0.100	0.9	0.090	0.384	0.86	1.80%	6	1.09	6.14	61	697.53	696.43	
J2-CB1	0.0	5.7	2.15	-	-	-	0.688	1.48	1.00%	8	1.75	5.61	23	696.35	696.12	
CB1-POND	0.1	5.8	2.15	0.246	0.9	0.221	0.909	1.95	1.00%	10	3.16	6.10	49	696.04	695.55	

NOTE: PIPE SIZES WERE CALCULATED USING THE RATIONAL METHOD FOR A 10 YEAR, 24 HOUR STORM USING ODOT, ZONE 8 RAINFALL INTENSITIES. $i_{10} = 2.25$ cfs



VICINITY MAP

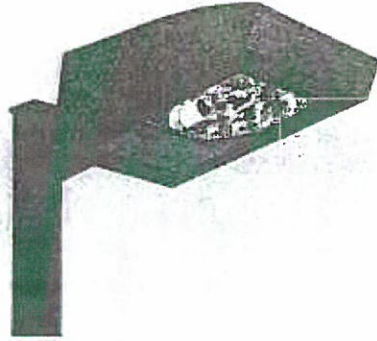
OUTDOOR LIGHTING
PHOTOMETRICS

A-91

Area Lighting

BV

Boulevard™



Features

Housing: Rugged, heavy-gauge, sheet aluminum housing, continuous welded seams for weathertight integrity. Standard finish is dark bronze (DDB), polyester powder. Other architectural colors available.

Lens Frame: Extruded and welded aluminum frame secured with a tool-less, quick-release fastener. Extruded silicone gasket provides a weather-proof seal between housing and lens frame.

Lens: Impact-resistant, tempered glass with silkscreened power door shield.

Mounting: Cast, 4" aluminum arm for pole or wall mounting. Shipped in fixture carton. Optional mountings available.

Optics: Anodized segmented reflectors provide superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Three cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff).

Electrical System: High-reactance or constant-wattage autotransformer, high-power-factor ballast mounted on a unitized and removable power tray secured with tool-less latch. Positive-locking disconnect plugs (primary and secondary). Ballast is copper wound and 100% factory tested.

Socket: Porcelain, horizontally oriented, mogul-base socket with copper-alloy, nickel-plated screw shell and center contact. UL listed 1500V, 600V.

Listings: Listed and labeled to comply with Canadian Standards (see options). UL listed, suitable for wet locations, IP65 rated (optional).

Arm-mounted Area Light

Use for streets, walkways, parking lots and surrounding areas.

Catalog Number

Example: BV2 150S R2 120 SPB04 SF

Designation	Distribution (select one)	Voltage	Mounting ⁷
HIGH PRESSURE SODIUM		120	SPB04 Square pole arm (4") ⁸
70W BV2 70S	R2 IES Type II	208 ⁵	RPB04 Round pole arm (4") ⁸
100W BV2 100S	roadway	240 ⁵	SPB12 Square pole arm (12")
150W BV2 150S	R3 IES Type III	277	RPB12 Round pole arm (12")
250W BV2 250S	asymmetric	347	SPBT04 Square pole arm w/10° tilt (4") ⁸
400W BV2 400S ¹	R4SC IES Type IV forward throw, sharp cutoff	480 ⁵	RPBT04 Round pole arm w/10° tilt (4") ⁸
METAL HALIDE		TB ⁶	SPBT12 Square pole arm w/10° tilt (12")
100W BV2 100M			RPBT12 Round pole arm w/10° tilt (12")
150W BV2 150M ²			WSPB04 Wall bracket arm (4")
175W BV2 175M			WSPBT04 Wall bracket arm (4") w/10° tilt
200W BV2 200M ³			
250W BV2 250M ²			
320W BV2 320M ³			
350W BV2 350M ³			
400W BV2 400M ^{2,4}			

Options/Accessories

OPTIONS (Shipped installed)

- SF Single fuse (120, 277, 347V) n/a TB
- DF Double fuse (208, 240, 480V) n/a TB
- QRS Quartz restrike system (100W maximum, 120V only, lamp not included)
- CSA Listed and labeled to comply with Canadian Standards
- EC Emergency circuit
- PER NEMA twist-lock receptacle only (no photocontrol)
- PS Perfome-Seal™ (IP65 rated)
- CR Corrosion-resistant finish
- SCWA Super CWA pulse start ballast (TB std.)
- LLRPSL Low loss reactor pulse start ballast (277V only)

For optional Architectural Colors, see page 313.

ACCESSORIES (Shipped separately)

- PE1 NEMA twist-lock PE photocontrol for 120-240V
- PE3 NEMA twist-lock PE photocontrol for 347V
- P
- BV2VG Vandal guard
- SC Shorting cap for PER option

OPTIONAL MOUNTING (Shipped separately)

- BVKMA Mast arm adapter
- BVKMAT Mast arm adapter (10° tilt)

STANDARD PACKAGING

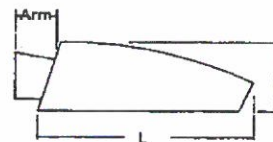
Fixtures ship in unit cartons. Example:

(Qty 21) BV2 150S R2 SPB04 120 SF
(21 cartons of 1 housing and 1 arm)

NOTES:

- 1 Must use E-18 or ET-18 lamp.
- 2 May be ordered with SCWA or LLRPSL.
- 3 Must be ordered with SCWA or LLRPSL.
- 4 Must use ED-28 reduced jacket lamp.
- 5 Consult factory for availability in Canada.
- 6 Optional multi-tap ballast (120, 208, 240, 277V), (120, 277, 347V in Canada).
- 7 For arm mounting, refer to technical data section in the outdoor binder for drilling template.
- 8 The SPB12, RPB12, SPBT12, and RPBT12 must be used when two or more luminaires are oriented on a 90° drilling pattern.

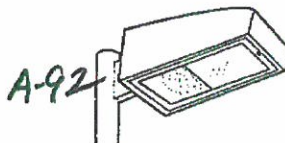
CANADIAN SHIPMENTS: Add CSA as suffix to catalog number.



All dimensions are inches (centimeters) unless otherwise specified.

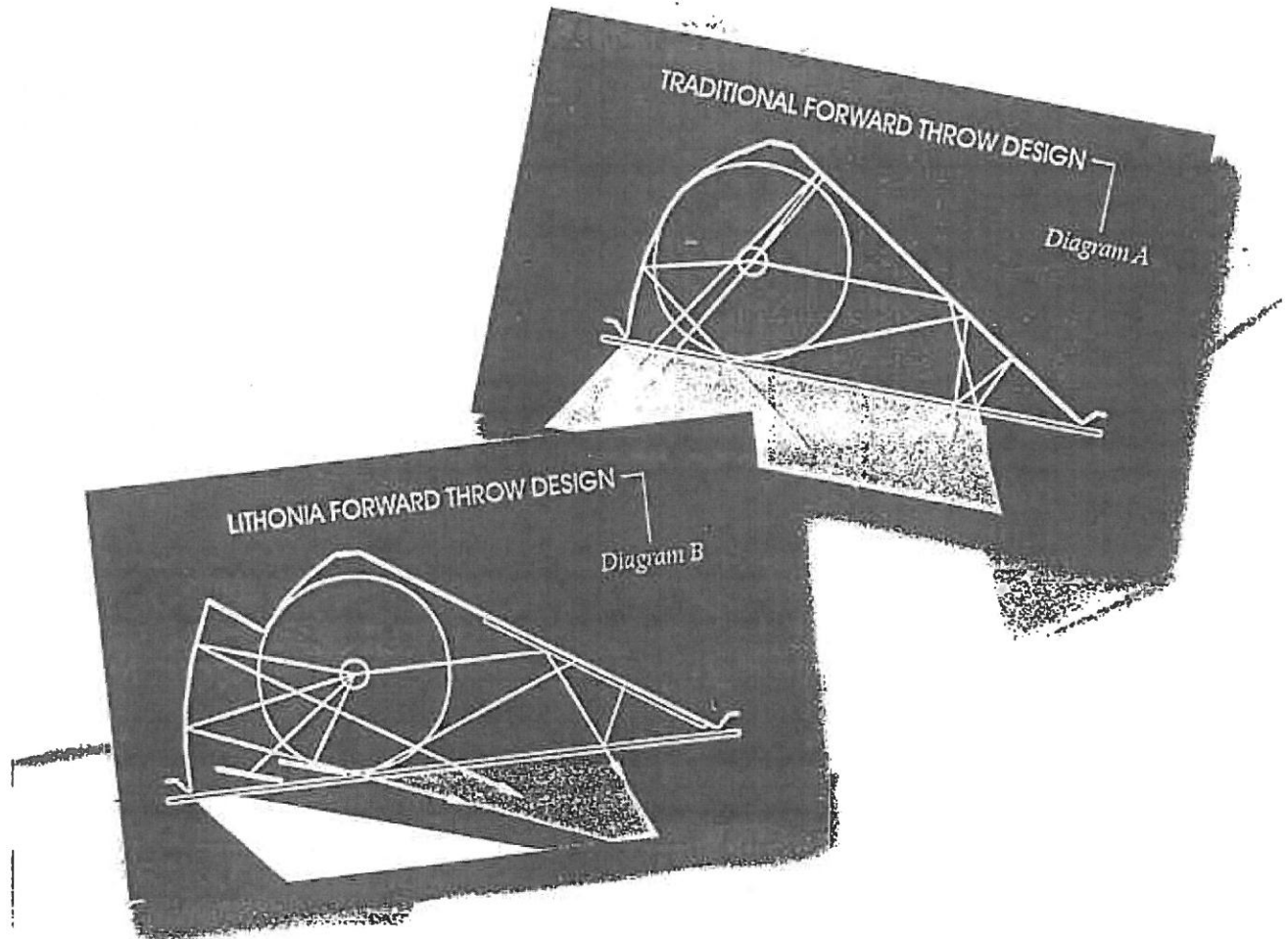
DIMENSIONS

- EPA: 1.6 ft² (1.15m²) (includes arm)
- Length: 27-1/2 (69.8)
- Width: 18-1/20 (45.8)
- Depth: 9-3/8 (24.0)
- Arm length: 4 (10.2)
- Max. weight: 44 lbs. (19.8kg)



THE R4 STORY
Unsurpassed Photometric Performance

The traditional forward-throw reflector has a limited ability to control light behind the pole and instead generates spill light on adjacent properties. The Lithonia R4 reflector is designed to block and absorb any luminous flux that might escape to the rear of the luminaire. This leading technology utilizes specially designed louvers and angled glass that absorb and block inner reflected light, virtually eliminating rear spill light and glare. The forward throw design also improves uniformity by capturing the light that would traditionally fall directly under the luminaire.



In a traditional forward-throw design, light trespass, or spill light is created when measurable light is reflected backward (*Diagram A*). Lithonia has addressed this challenge with a specially designed system that channels and absorbs backward reflectance, reducing both spill light and glare (*Diagram B*). *The R4 reflector is also available with Lithonia's KSF and Symmetra Series luminaires.

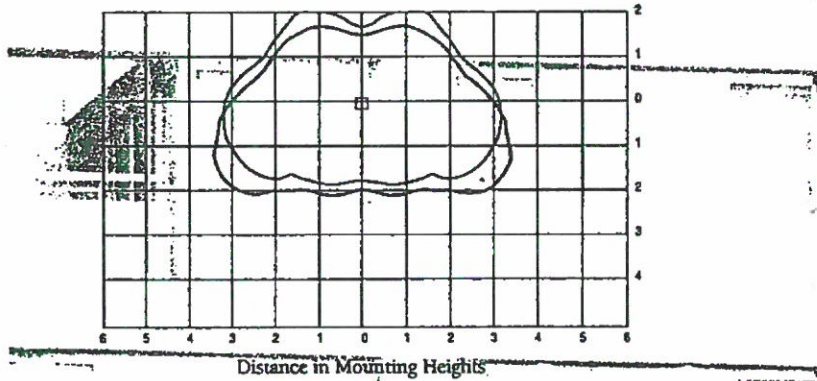
L I T H O N I A  L I G H T I N G

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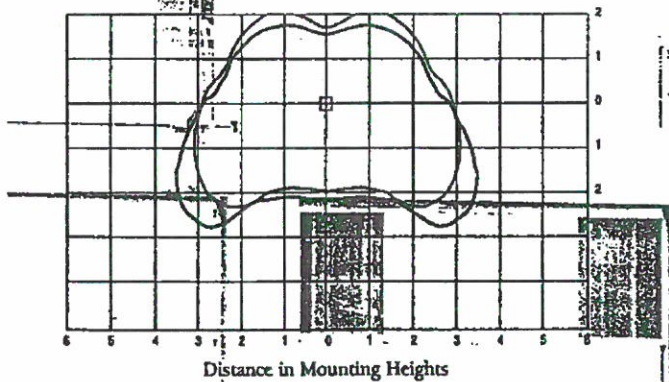
OPTIONAL 10-DEGREE TILT

By increasing the horizontal tilt of a luminaire by 10 degrees, (with optional mounting arm), it is possible to achieve several illumination effects well suited to roadway lighting applications. As expected, light is cast farther ahead while light behind the pole is reduced. In addition, the amount of lateral or side-to-side illuminance is increased. The enhanced lateral distribution can result in an increase in pole/luminaire spacing and reduced overall project cost. The following diagrams illustrate the effect of a 10-degree tilt with Boulevard's three distribution options.

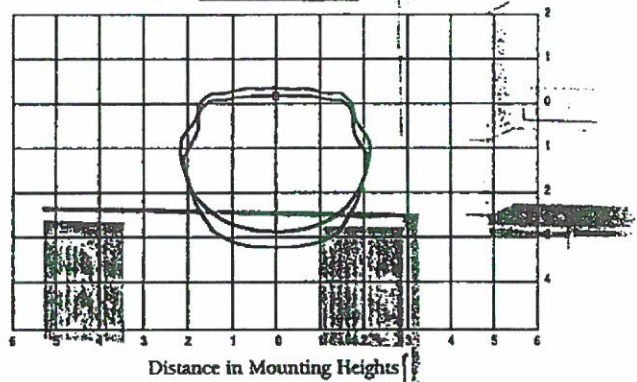
BV2 175M R2



BV2 175M R3



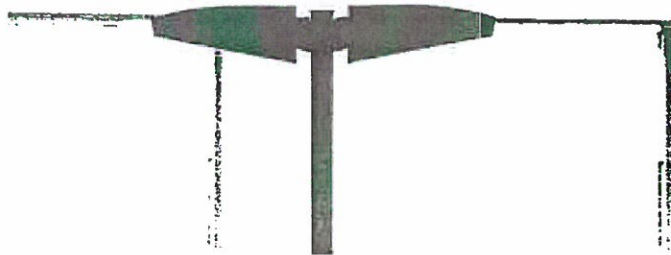
→ BV2 175M R4



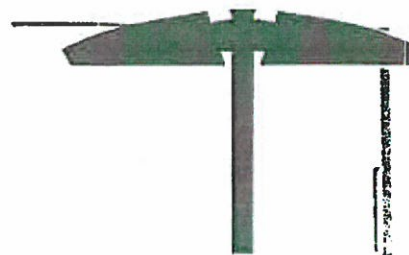
Distance in Mounting Heights

Distance in Mounting Heights

20'



WITH 10-DEGREE TILT

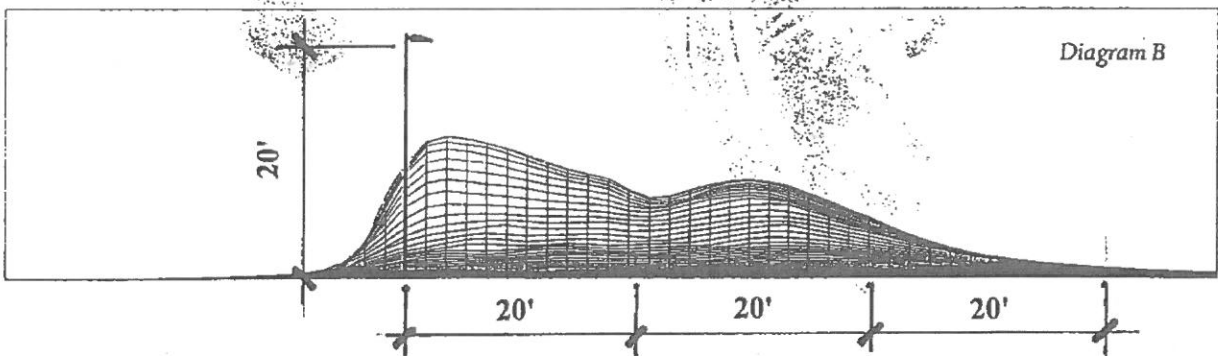
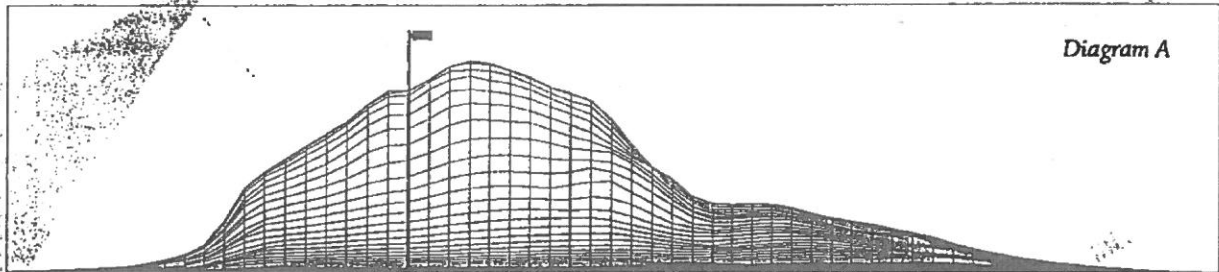


NO TILT

A-94

STATE-OF-THE-ART OPTICS

Boulevard achieves superior optical performance through a distinctive system of segmented and hydroformed reflectors. The result is consistent, uniform, glare-free illumination in Types II, III and IV IES distributions. Boulevard Series reflectors are field-interchangeable and rotatable without tools – for unsurpassed system flexibility.



Diagrams A and B represent illumination characteristics of two luminaire designs. The traditional forward throw reflector design (*Diagram A*) illuminates the area behind the pole (i.e., spill light), resulting in annoying light pollution for adjacent property owners. The Lithonia R4 reflector (*Diagram B*) controls illumination of the area behind the pole and achieves a greater degree of forward throw.

A-95

SPECIFICATIONS

LISTINGS AND CERTIFICATIONS – UL listed for installation in wet locations. Listed and labeled to comply with Canadian Standards. Independently tested and certified to IP 65 standards (with optional PerformaSeal™ construction).

MECHANICAL HOUSING – Formed aluminum sheet panels with continuously seam-welded corners. Reinforced back panel for mounting arm attachment. Pressed insert bushings provide smooth operation of lens door hinges.

LENS DOOR – Heavy-duty, extruded aluminum door frame, miter cut and continuously seam-welded. Replaceable 0.188" thick, clear and impact-resistant, tempered glass lens. One-piece, extruded silicone door gasket. Silk screen pattern over back-portion of lens conceals ballast access door. Hand-operated, dual-action latch draws door frame to housing after engaging without the use of tools. Spring-loaded release allows lens door to be removed and replaced without.

REFLECTOR ASSEMBLY – Specular, anodized aluminum segments permanently mounted to a metal subframe. Type IV reflector includes patented black glass element for superior back light control. Porcelain sockets are factory wired to quick-connect plug. Reflector may be removed and rotated in 90° increments without the use of tools. All reflectors are field interchangeable.

BALLAST ASSEMBLY – High power factor (high reactance or constant wattage autotransformer), copper wound ballast is 100% factory tested. Positive locking disconnect plugs (primary and secondary) on hinged removable (tool-less) power tray.

MOUNTING ARM – One-piece cast-aluminum construction. Mating surfaces with fixture and with pole are both gasketed. Versions available for attachment to square pole, round pole or wall mounting. No exposed mounting hardware.

PERFORMA-SEAL™ (optional) – Entire housing is sealed to meet IP 65 criteria. Wiring connection from arm into housing is sealed with cast-aluminum fitting, containing an epoxy encapsulated electrical connector. Pulling wiring conductors from either direction will not break seal.

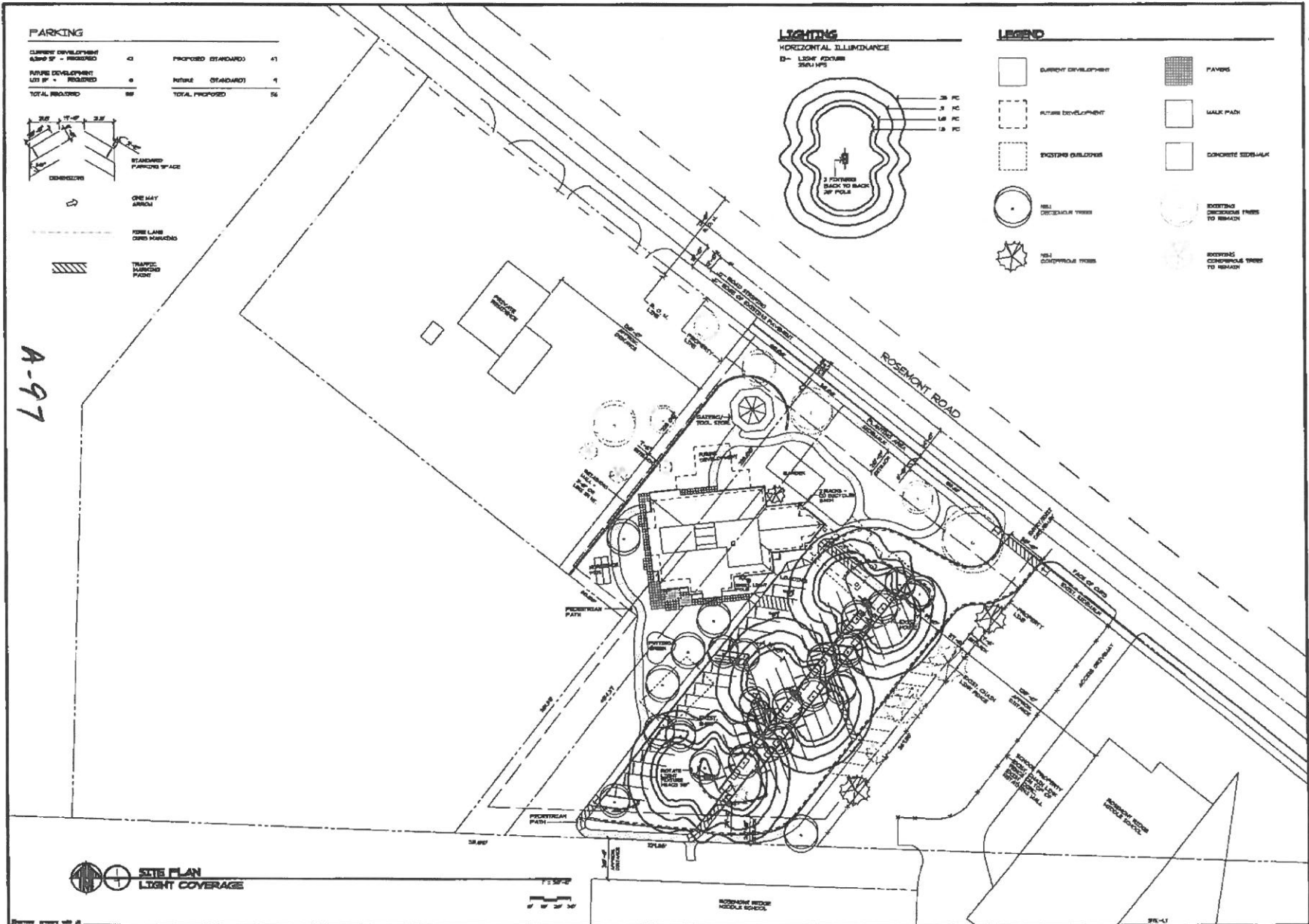
FINISH – Five-stage cleaning and electro-coating polyester finish. Environmentally friendly, chromate-free preparation process. Total of 58 colors available (see Lithonia colors brochure).

ELECTRICAL AVAILABLE INPUT VOLTAGES – 120, 208, 240, 277, 347, 480, multi-tap input (U.S., 120/208/240/277), (Canada, 120/277/347), all 60 Hz.

BALLAST CIRCUITRY – 70/100/150-watt HPS, 100-watt metal halide all-use high-reactance autotransformer type ballasts. All others use constant-wattage autotransformer (CWA) designs. Consult factory for availability of CWI ballasts for Canadian application.

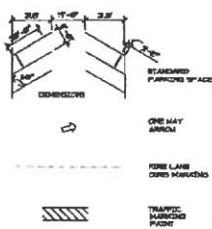
L I T H O N I A  L I G H T I N G

A-96



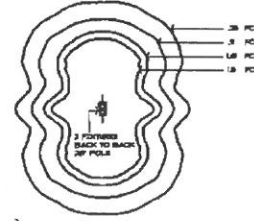
PARKING

CLIMATE DEVELOPMENT ASAP IF - REQUIRED	41	PROPOSED STANDARD	41
FUTURE DEVELOPMENT LATER IF - REQUIRED	0	FUTURE STANDARD	1
TOTAL REQUIRED	41	TOTAL PROPOSED	42



LIGHTING

HORIZONTAL ILLUMINANCE
 15 - LOW FOOTCANDS
 250-1175



LEGEND

- EXISTING DEVELOPMENT
- FUTURE DEVELOPMENT
- EXISTING BUILDINGS
- NEW DECIDUOUS TREES
- NEW CONIFEROUS TREES
- PAVING
- WALK PATH
- CONCRETE SIDEWALK
- EXISTING CONIFEROUS TREES TO REMAIN
- EXISTING DECIDUOUS TREES TO REMAIN

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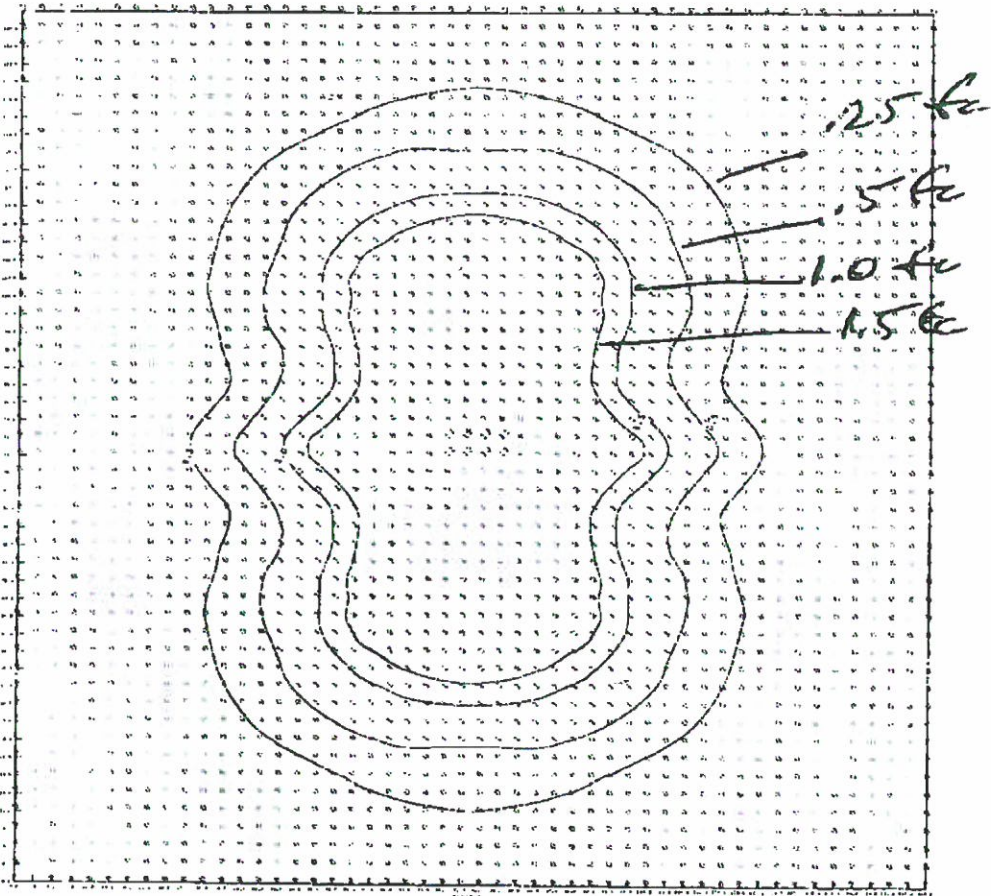
WEST LINN SENIOR CENTER
 1800 S. ROSEMONT ROAD
 WEST LINN, OREGON

CITY OF WEST LINN
 WEST LINN SENIOR CENTER
 1800 S. ROSEMONT ROAD
 WEST LINN, OREGON
 SITE PLAN

PROJ. NO. 1800
 DATE 03 MAR 2009
 SHEET 01E

SITE PLAN
 LIGHT COVERAGE

□ 2 Fixtures back to back
□ 20' Pole



Site, Arbitrary Grid, Horizontal Illuminance

Scale: 1"=30'



System Design Consultants, Inc

Portland, OR

2/23/01

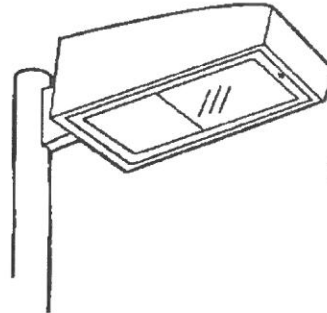
Prepared for:



FEATURES & SPECIFICATIONS

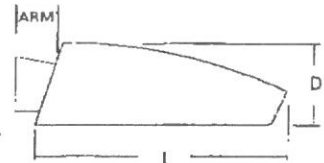
- HOUSING** - Rugged, .064" minimum thickness, sheet aluminum housing, continuous welded seam for weathertight integrity. Standard finish is dark bronze (DDB) polyester powder. Other architectural colors available.
- DOOR FRAME** - Extruded and welded aluminum frame secured with a tool-less, quick-release fastener. Integrally-designed, extruded silicone gasket snaps into door frame, providing a weatherproof seal between housing and frame.
- OPTICAL SYSTEMS** - Anodized segmented reflectors for superior uniformity and control, which allows the flexibility to mix distributions without compromising the overall lighting job. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Three cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff).
- LENS** - Impact-resistant, tempered glass with silkscreened power door shield.
- ELECTRICAL SYSTEM** - High-reactance, high power factor ballast mounted on a unitized and removable power tray secured with tool-less latch for the 70/100/150W. Constant wattage autotransformer, high power factor ballast mounted on a unitized and removable power tray secured with tool-less latch for the 250/400W. Positive locking disconnect plugs (primary and secondary). Ballast is copper wound and 100% factory tested.
- SOCKET** - Porcelain, horizontally-oriented, mogul-base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V, 4KV pulse rated.
- INSTALLATION** - Cast, 4" aluminum arm for pole or wall mounting. Shipped in fixture carton. Optional mountings available.
- LISTING** - UL listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options). IP65 rated (see Options).

Catalog Number	Type



Area Lighting
BV2

HIGH PRESSURE SODIUM
70W, 100W, 150W, 250W, 400W
20' to 40' Mounting



Specifications

- EPA: 1.6 ft² (.15m²) (includes arm)
- Length: 27-1/2 (69.8)
- Width: 18 1/20 (45.6)
- Depth: 9-3/8 (24.0)
- Arm Length: 4 (10.2)
- Weight: 41 lbs (18.5kg)

All dimensions are inches (centimeters) unless otherwise specified.

Mounting Option Drilling Template*

SPBxx, RPBxx	5
SPBTxx, RPBTxx	5
WSPB04	6
WSPBT04	6

ORDERING INFORMATION

Choose the boldface catalog nomenclature that best suits your needs and write it on the appropriate line. Order accessories as separate catalog numbers (shipped separately).

Example: BV2 400S R2 120 SPB04 SF DWH

250
BV2 400S *R45C*

20' Pole Back to Back

Series	Voltage	Mounting ¹	Options
BV2 70S	120	SPB04 ⁴ Square pole (4" arm) (standard)	Shipped installed in fixture
BV2 100S	208	RPB04 ⁴ Round pole (4" arm)	SF Single fuse (120, 277, 347V, n/a TB)
BV2 150S	240	SPB12 Square pole (12" arm)	DF Double fuse (208, 240, 480V, n/a TB)
BV2 250S	277	RPB12 Round pole (12" arm)	CSA Listed and labeled to comply with Canadian Standards
BV2 400S ¹	347	SPBT04 ⁴ Square pole w/10° tilt (4" arm) ²	QRS Quartz restrike system (100W max., 120V only, lamp not included)
	480	RPBT04 ⁴ Round pole w/10° tilt (4" arm)	EC Emergency circuit
	TB ³	SPBT12 Square pole w/10° tilt (12" arm)	PER NEMA twist-lock receptacle only (no photocontrol)
		RPBT12 Round pole w/10° tilt (12" arm)	PS Perma-Sea™ (IP65 rated)
		WSPB04 Wall bracket (4" arm)	CR Corrosion-resistant finish
		WSPBT04 Wall bracket (w/10° tilt, 4" arm)	Shipped Separately ⁵
		L/ARM When ordering BVKMA or BVKMAT	PE1 NEMA twist-lock PE (120, 208, 240V)
			PE3 NEMA twist-lock PE (347V)
			PE4 NEMA twist-lock PE (480V)
			PE7 NEMA twist-lock PE (277V)
			BV2HS House side shield (R2, R3 only)
			BV2VG Vandal guard
			SC Shorting cap for PER option
			Architectural Colors (powder finish) ⁶
			Standard Colors
			DDB Dark bronze (standard)
			DWH White
			DBL Black
			Classic Colors
			DMB Medium bronze
			DNA Natural aluminum
			DSS Sandstone
			DGC Charcoal gray
			DTG Tennis green
			DBR Bright red
			DSB Steel blue

- NOTES:**
- Must use ED-18 lamp.
 - Optional multi-tap ballast (120, 208, 240, 277V). (120, 277, 347V in Canada).
 - For arm mounting, refer to technical data section in the Outdoor binder for drilling template.
 - The SPB12, RPB12, SPBT12, and RPBT12 must be used when two or more luminaires are oriented on a 90° drilling pattern.
 - May be ordered as an accessory.
 - Other architectural colors available; see Architectural Colors brochure form no. 794.3.

Accessories: Tenon Mounting Slipfitter (Order separately)
Number of fixtures

Tenon O.D.	One	Two@180°	Two@90° ²	Three@120°	Three@90° ²	Four@90° ²
2-3/8"	T20-190	T20-280	T20-290	T20-320	T20-390	T20-490
2-7/8"	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4"	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

OUTDOOR

A-99

105-BV2



CITY OF West Linn

March 5, 2015

John Boyd
Planning Manager
City of West Linn

SENT VIA EMAIL

Re: DR-15-01 Design Review Adult Community Center

Dear John,

Pursuant to CDC section 55.085 we are requesting a waiver of submittal requirements relating to a tree survey or arborist report and the provision of materials samples.

CDC 55.070(D)(2)(i) requires that the applicant provide a tree survey or arborist report. The application submitted states that no trees will be removed from the current site.

CDC 55.070(E) requires the applicant to submit materials samples for the building. As stated in the application the materials that will be utilized for this project will match the existing structure.

Based on these findings we request waiver of these submittal requirements.

Sincerely,

Ken Warner, Assistant Parks & Recreation Director
Parks & Recreation
503-723-2553

CC: Sara Javoronok, Associate Planner



PO Box 219263
Portland, OR 97225

Contact: Jason Havelka
Phone: (971) 266-0150

Draft:
Alluso Architecture
2118 SE Division St
Portland, OR 97202

Contact: Bob Scholz
Phone: (503) 235-8585

Project:
West Linn Adult
Recreation Center
1180 Rosemont Road
West Linn, OR



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LLC AND ARE NOT TO BE USED OR
REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN
AUTHORIZATION

REVISION SCHEDULE:
REVISION DELTA ISSUE DATE

SHEET TITLE:
GRADING PLAN

DRAWN BY: JMH
APPROVED BY: JMH

SHEET:

C2.2

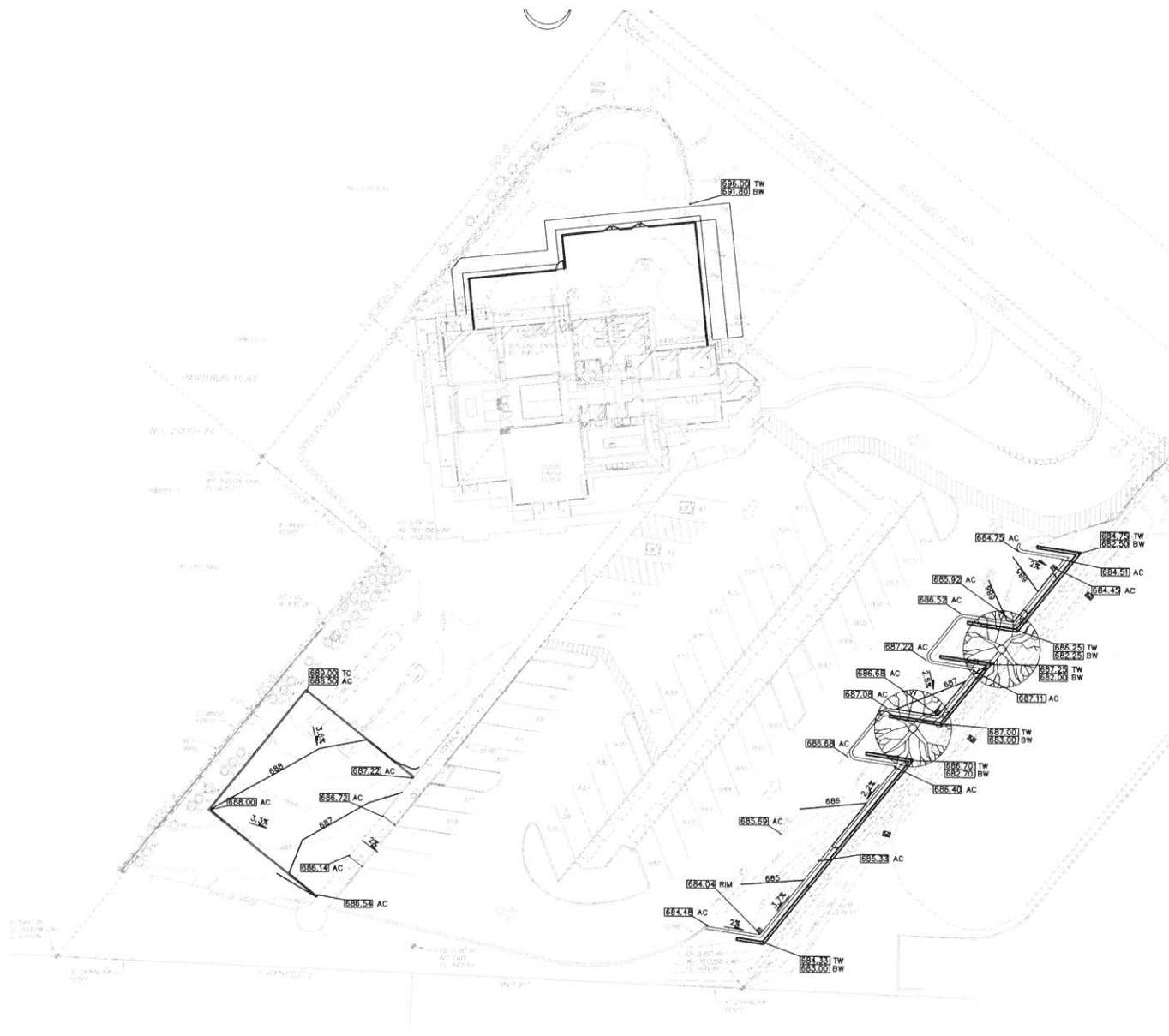
JOB NO.:
15-039

LEGEND

232.81 TC	TOP OF CURB
232.81 CONC	CONCRETE ELEVATION
232.81 AC	ASPHALT ELEVATION
232.81 TW	TOP OF RETAINING WALL
232.81 BW	BOTTOM OF GRADE AT RETAINING WALL (NOT BOTTOM OF WALL OR FOOTING)
---	PROPOSED 1-FT CONTOUR
---	PROPOSED 5-FT CONTOUR
---	EXISTING 1-FT CONTOUR
---	EXISTING 5-FT CONTOUR
---	RIDGE LINE

GRADING NOTES

1. ROUGH GRADING: BRING ALL FINISHED GRADES TO APPROXIMATE LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, FINISHED GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE DRIVEWAY GRADE OF ADJACENT STRUCTURE. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. ROUGH GRADE TO ALLOW FOR DEPTH OF CONCRETE SLABS, WALKS AND THEIR BASE COURSES. GRADE FOR PAVED DRIVES AND PAVED PARKING AREAS AS INDICATED AND SPECIFIED HEREIN, AND PROVIDE FOR SURFACE DRAINAGE AS SHOWN, ALLOWING FOR THICKNESS OF SURFACING MATERIAL.
2. EXCAVATION: EXCAVATE FOR SLABS, PAVING AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. EXCAVATORS MUST COMPLY WITH ORS 757.541 THROUGH 757.571; EXCAVATORS SHALL NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS 72 HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
3. EFFECTIVE EROSION CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) STANDARDS. THE GOVERNING JURISDICTION SHALL, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL.
4. EFFECTIVE DRAINAGE CONTROL IS REQUIRED. DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE SO ROUTED THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE GOVERNING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL.
5. SITE TOPSOIL SHALL BE STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING.
6. THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN ON THIS SHEET IS BASED ON A SURVEY DONE BY CENTERLINE CONCEPTS, LAND SURVEYING, INC., AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH HIS OWN RESOURCES PRIOR TO THE START OF ANY CONSTRUCTION.
7. CONTRACTOR TO COORDINATE GRADES AT ALL BUILDING ENTRANCES WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
8. 2% MAX SLOPE AT ALL ADA-ACCESSIBLE PARKING SPACES.
9. 5% MAX SLOPE (EXCLUDING RAMPS) AT PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES.
10. CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISHED GRADES.



RECEIVED

MAR 19 2015

PLANNING & BUILDING
CITY OF WEST LINN
INT. _____ TIME _____



CITY OF
West Linn

March 10, 2015

John Boyd
Planning Manager
City of West Linn

SENT VIA EMAIL

Re: DR-15-01 Design Review Adult Community Center

Dear John,

Based on the submitted plans for the project at the Adult Community Center there are no significant trees located in the building footprint of the expansion.

Based on these findings we request waiver of these submittal requirements as requested.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Perkins", is written over a horizontal line.

Mike Perkins, City Arborist
Parks & Recreation
503-723-2553

CC: Sara Javoronok, Associate Planner

From: Brace McGillivary <bracemcgillivary@bradfordengineers.com>
To: bob@allusaarchitecture.com, 'Phil Beatty-BCE' <philbeatty@bradfordengineers.com>
Cc: 'Brace McGillivary-BCE' <bracemcgillivary@bradfordengineers.com>
Date: May 15, 2015 at 10:46 PM
Subject: West Linn Senior Rec Center Parking Lot Photometrics

Bob-

I created two photometric calc sheets; one for existing conditions and one for proposed. Basically, if we are just adding new pole to the new areas and not touching the existing poles at all, we can get away with two new poles and fixtures for the new smaller lot. The new larger area would need four new poles and fixtures. The new fixtures would be LED versions of the existing fixtures. The attached PDF files show clearly the foot candle levels. They are D size sheets and are clear if you want to zoom in on the PDF.

Thanks-

Brace McGillivary

Senior Designer

Bradford Consulting Engineers

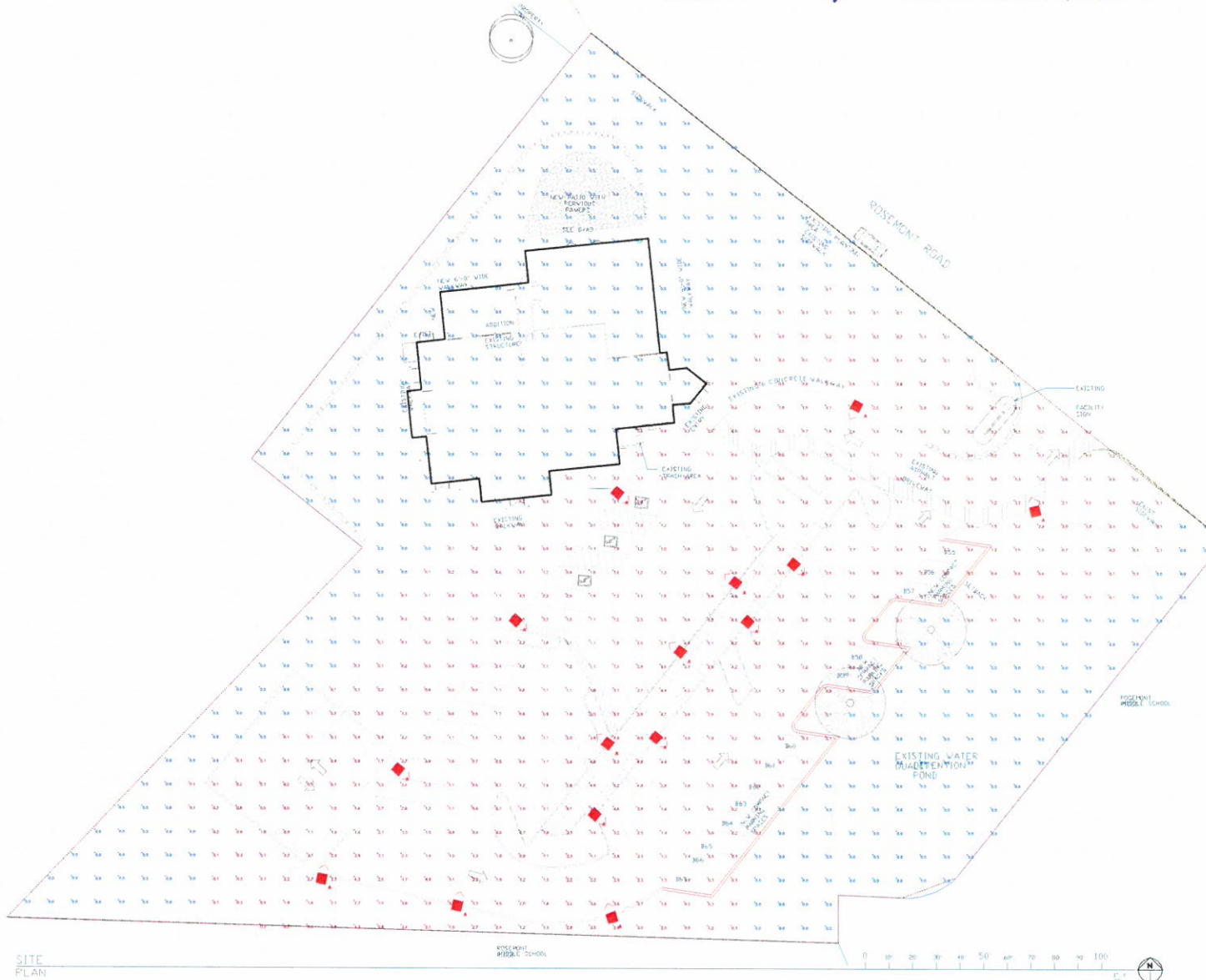
(503) 639-7953 Office

(503) 209-5573 Mobile

www.bradfordengineers.com



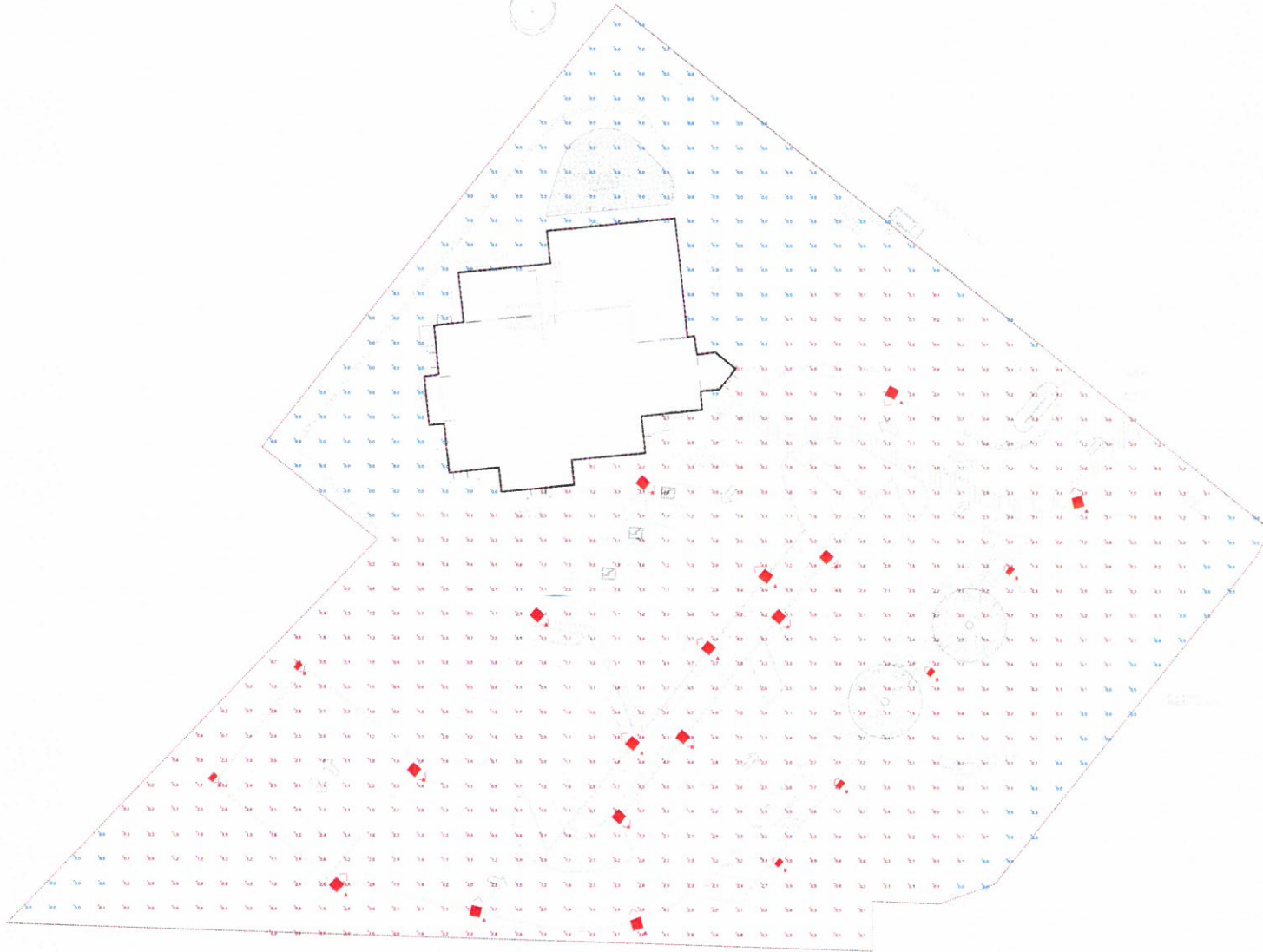
EXISTING PHOTOMETRICS



WEST LINN SENIOR REC CENTER
EXTERIOR LIGHTING PHOTOMETRIC CALCULATIONS
FOR EXISTING PARKING LOT CONDITIONS

Designer:
Date: 5/15/2015
Scale: Not to Scale
Drawing No.:
Summary:

PROPOSED PHOTOMETRICS



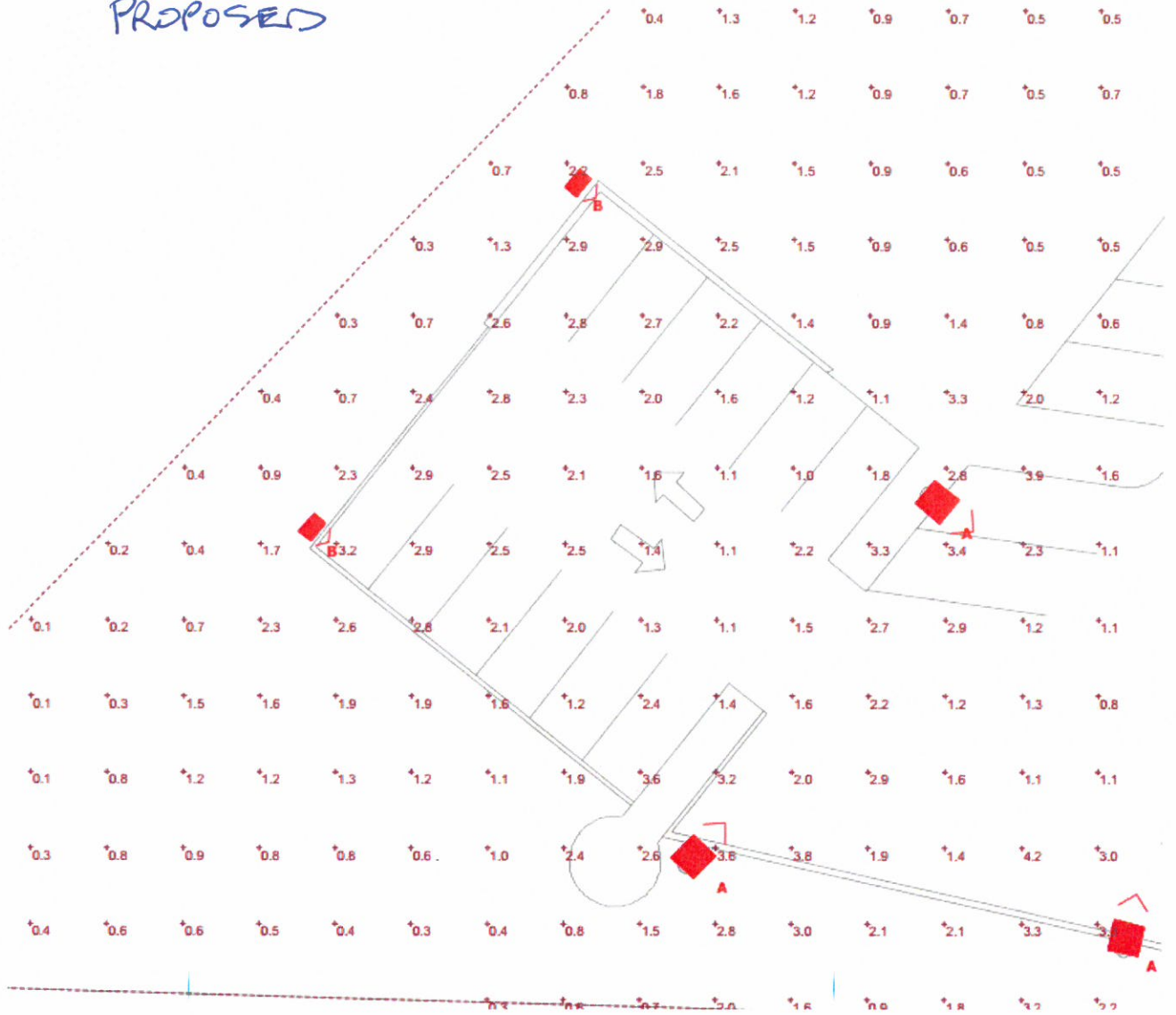
Plan View
Scale: 1" = 20'

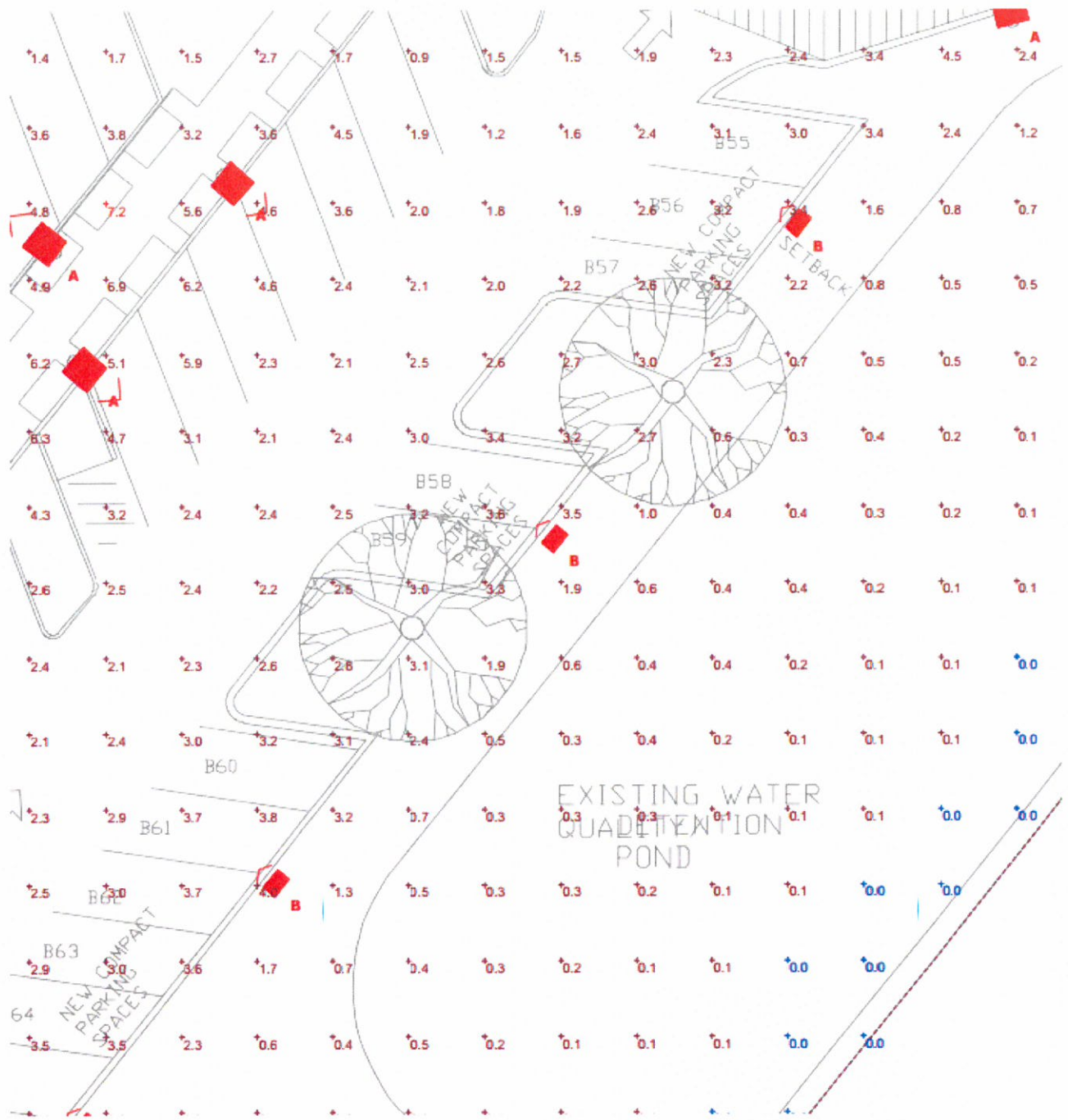


WEST LINN SENIOR REC CENTER
EXTERIOR LIGHTING PHOTOMETRIC CALCULATIONS
PROPOSED NEW PARKING LOT LUMINAIRES

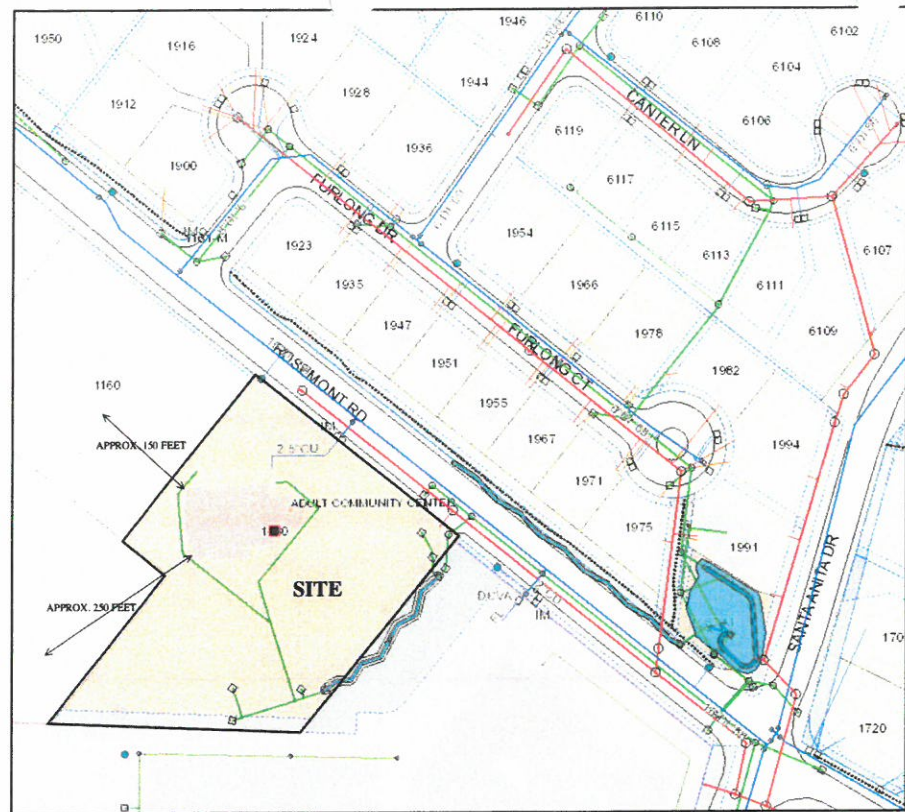
Designer
Date: 5/15/2015
Scale:
Plot to Scale
Drawing No.
Summary

PROPOSED





PROPOSED



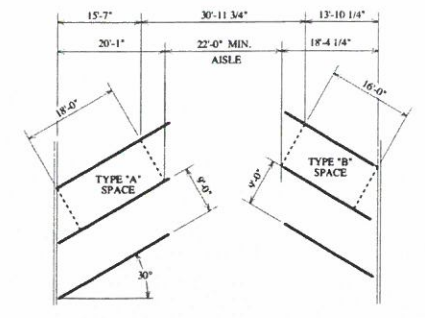
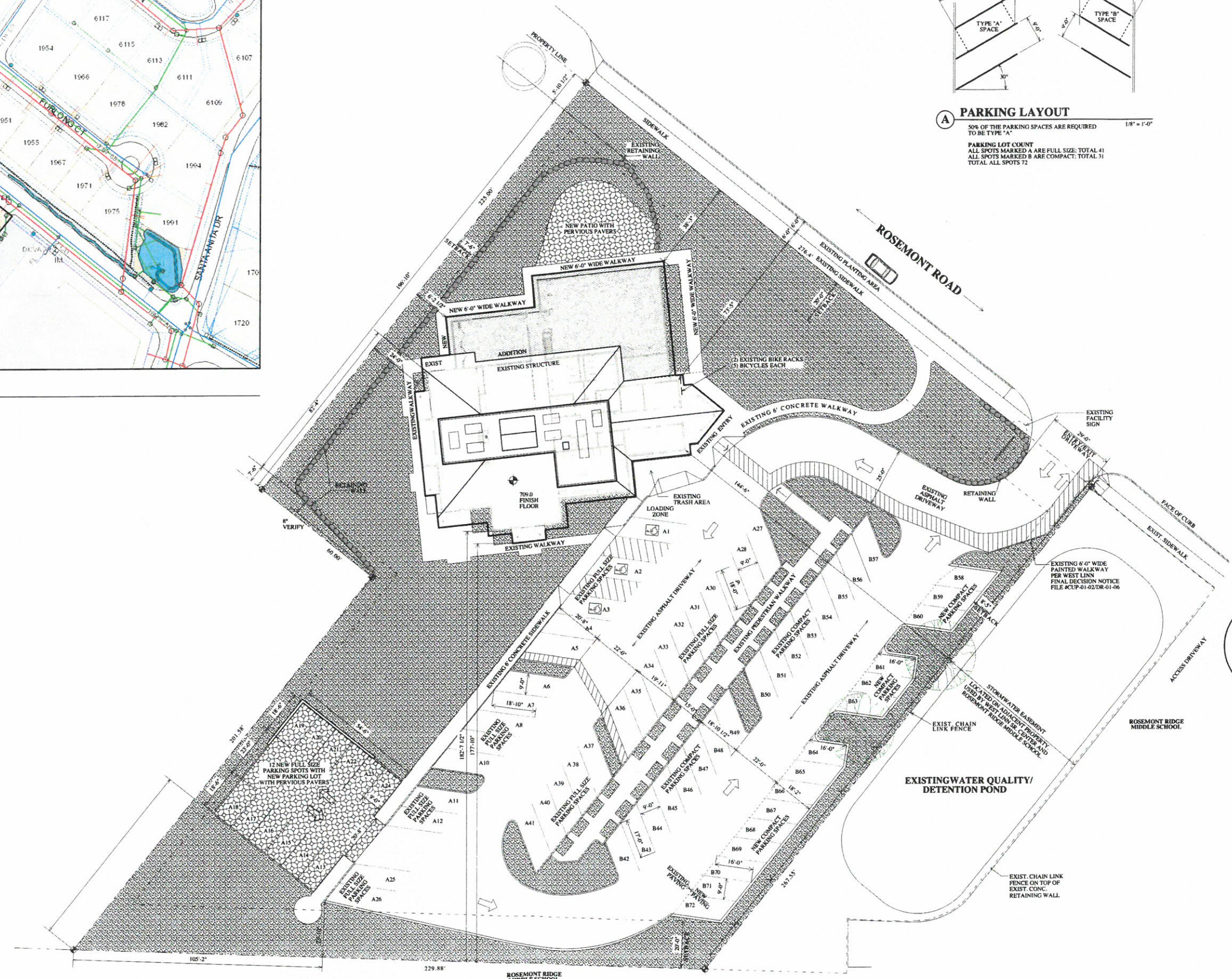
VICINITY MAP

SITE SUMMARY

SITE AREA	86,475 sf
IMPERVIOUS SURFACES	
PARKING AND DRIVEWAY	29,525 SQ. FT.
EXISTING + ADDITION	4,780 SQ. FT.
SIDEWALKS	
BUILDING ROOF	9,500 SQ. FT.
EXISTING + ADDITION	43,805 SQ. FT.
TOTAL IMPERVIOUS SURFACES	
LANDSCAPING (N.I.C. PERVIOUS PAVING)	36,424 SQ. FT.
PERVIOUS PAVING	3,343 SQ. FT.

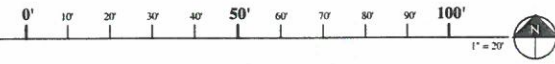
PROJECT TEAM

OWNER	CITY OF WEST LINN PARKS AND RECREATION CONTACT: KEN WORCESTER 22500 SALAMO ROAD WEST LINN, OR 97066 TEL: 503.723.2553 KWORCESTER@WESTLINNOREGON.GOV
ARCHITECT	ALLUSA ARCHITECTURE BOB SCHATZ ARCHITECT 2118 SE DIVISION ST. PORTLAND, OR 97202 TEL: 503.235.8585 FAX: 503.235.0895 BOB@ALLUSAARCHITECTURE.COM
STRUCTURAL ENGINEER	OUT TO BID
CONTRACTOR	OUT TO PUBLIC BID



A PARKING LAYOUT
 50% OF THE PARKING SPACES ARE REQUIRED TO BE TYPE "A"
PARKING LOT COUNT
 ALL SPOTS MARKED A ARE FULL SIZE: TOTAL 41
 ALL SPOTS MARKED B ARE COMPACT: TOTAL 31
 TOTAL ALL SPOTS 72

SITE PLAN

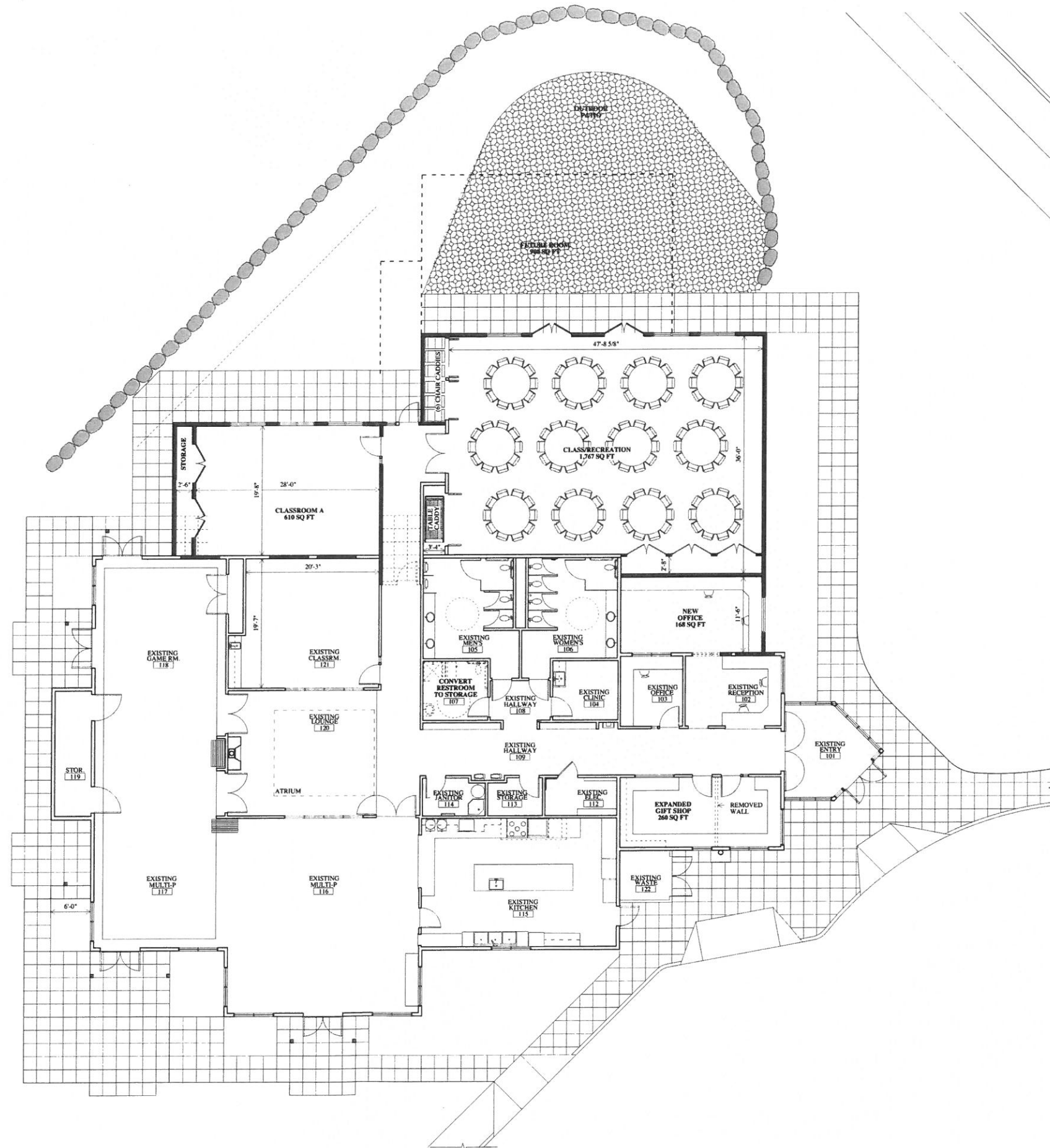


CITY OF WEST LINN
 PARKS AND RECREATION DEPT.
 22500 SALAMO ROAD
 WEST LINN, OR 97068

WEST LINN ADULT RECREATION CENTER
 1180 Rosemont road West Linn, OR

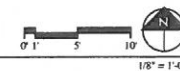


DATE: 1.21.15
 SHEET
A1
 OF 4



FLOOR PLAN
2,900 SQUARE FOOT ADDITION

6/3/15 PC Meeting
100



CITY OF WEST LINN
PARKS AND RECREATION DEPT.
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WEST LINN, OR 97068

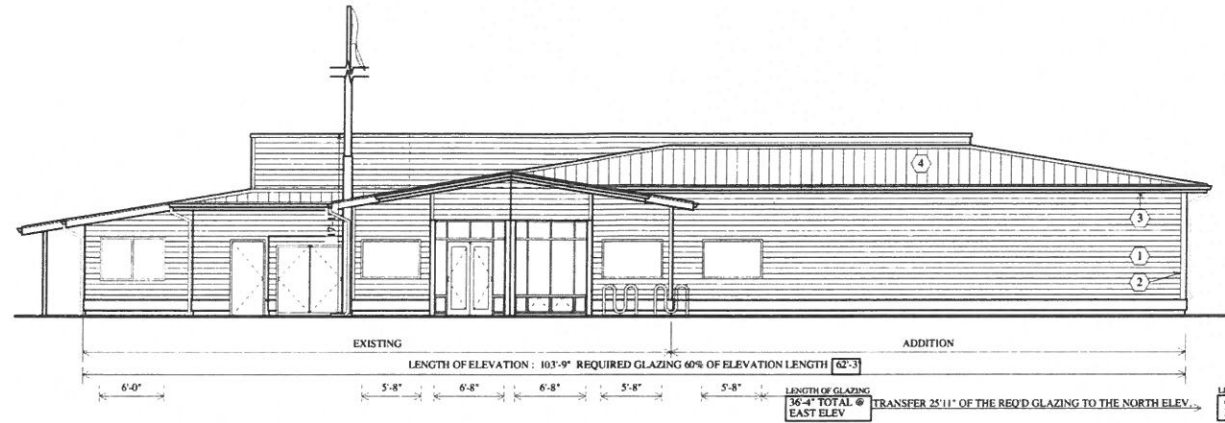
WEST LINN ADULT RECREATION CENTER
1180 Rosemont road West Linn, OR

ALLUSA
ARCHITECTURE

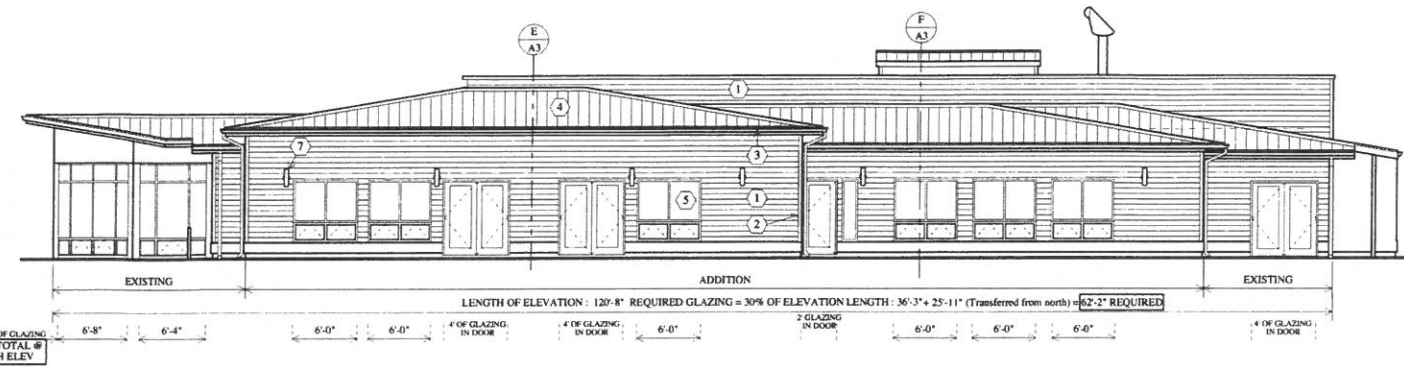
2118 SE Division Street Portland, OR 97202
Phone (503) 235-8685 Fax (503) 235-0835 Allusaarchitecture.com

DATE: 1 21 15
SHEET
A2
OF 4
1ST FLOOR
PLAN

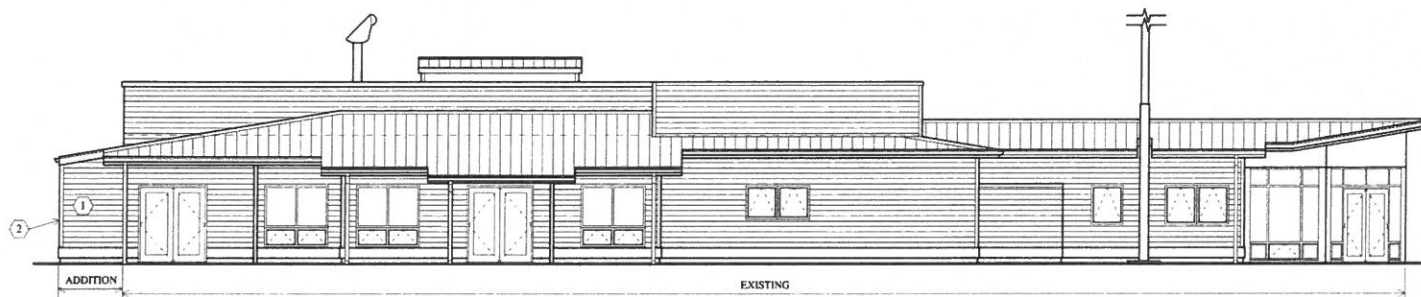
- ① HORIZONTAL LAP SIDING PAINTED TO MATCH EXISTING STRUCTURE
- ② 1X6 CORNER BOARDS PAINTED TO MATCH EXISTING STRUCTURE
- ③ GREEN METAL GUTTER TO MATCH EXISTING STRUCTURE
- ④ GREEN STANDING SEAM METAL ROOF TO MATCH EXISTING STRUCTURE
- ⑤ GRAY VINYL WINDOWS TO MATCH EXISTING STRUCTURE
- ⑥ 1X4 WINDOW TRIM PAINTED TO MATCH EXISTING
- ⑦ DIRECTIONAL L.E.D. WALL SCONCES, TYPICAL. NOTE THESE FIXTURES SHINE MOSTLY DOWN WITH SOME LIGHT ALSO SHINING UP ONTO THE FACADE.



A. EAST ELEVATION



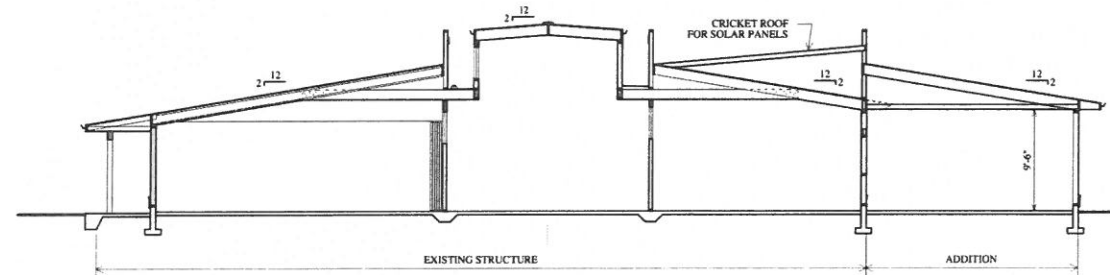
B. NORTH ELEVATION



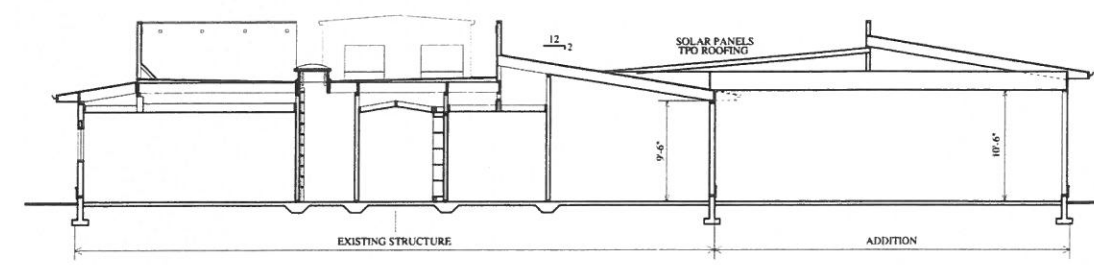
C. SOUTH ELEVATION



D. WEST ELEVATION



E. SECTION



F. SECTION

CITY OF WEST LINN
 PARKS AND RECREATION DEPT.
 2250 SALAMO ROAD
 WEST LINN, OR 97068

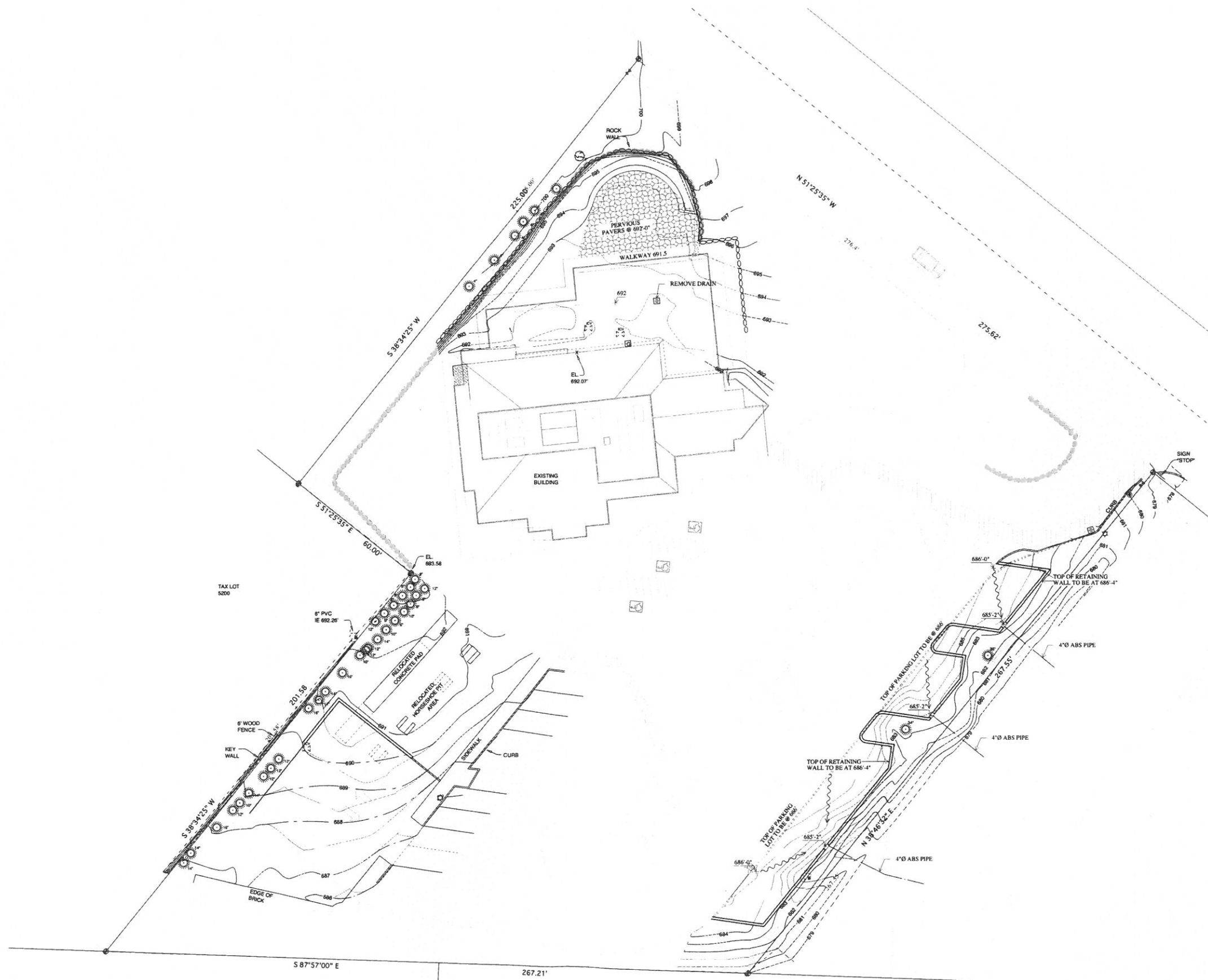
WEST LINN ADULT RECREATION CENTER
 1180 Rosemont road West Linn, OR

ALLUSA
 ARCHITECTURE

2118 SE Division Street Portland, OR 97202
 Phone (503) 235-8585 Fax (503) 235-0835 Allusaarchitecture.com

SHEET
A3
 OF 4

DATE: 1 21 15



SITE PLAN

6/3/15 PC Meeting
102



CITY OF WEST LINN
PARKS AND RECREATION DEPT.
22500 SALAMO ROAD
WEST LINN, OR 97068

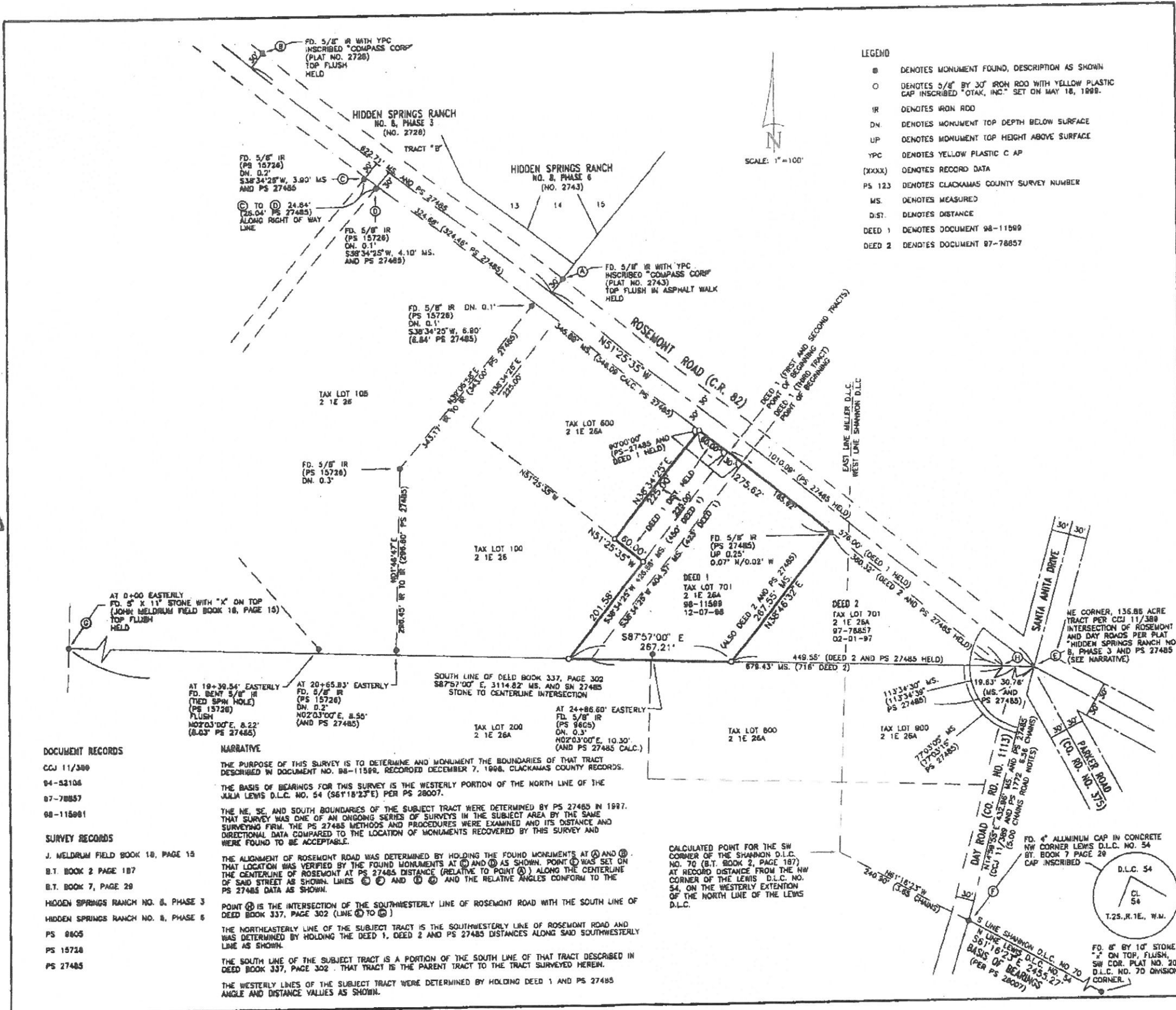
WEST LINN ADULT RECREATION CENTER
1180 Rosemont road West Linn, OR

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Phone: (503) 235-8585 Fax: (503) 235-0835 Allusaarchitecture.com

DATE: 1 21 15
SHEET
A4
OF 4

A-107



- LEGEND**
- DENOTES MONUMENT FOUND, DESCRIPTION AS SHOWN
 - DENOTES 5/8" BY 30" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "OTAK, INC." SET ON MAY 18, 1998.
 - IR DENOTES IRON ROD
 - DN DENOTES MONUMENT TOP DEPTH BELOW SURFACE
 - UP DENOTES MONUMENT TOP HEIGHT ABOVE SURFACE
 - YPC DENOTES YELLOW PLASTIC CAP
 - (XXXX) DENOTES RECORD DATA
 - PS 123 DENOTES CLACKAMAS COUNTY SURVEY NUMBER
 - MS. DENOTES MEASURED
 - DIST. DENOTES DISTANCE
 - DEED 1 DENOTES DOCUMENT 98-11589
 - DEED 2 DENOTES DOCUMENT 97-78857

- DOCUMENT RECORDS**
- CCJ 11/388
 - 94-52106
 - 97-78857
 - 98-115891
- SURVEY RECORDS**
- J. MELDRUM FIELD BOOK 18, PAGE 15
 - B.T. BOOK 2 PAGE 187
 - B.T. BOOK 7, PAGE 29
 - HIDDEN SPRINGS RANCH NO. 8, PHASE 3
 - HIDDEN SPRINGS RANCH NO. 8, PHASE 6
 - PS 8605
 - PS 15728
 - PS 27485

NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO DETERMINE AND MONUMENT THE BOUNDARIES OF THAT TRACT DESCRIBED IN DOCUMENT NO. 98-11589, RECORDED DECEMBER 7, 1998, CLACKAMAS COUNTY RECORDS.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE WESTERLY PORTION OF THE NORTH LINE OF THE JULIA LEWIS D.L.C. NO. 54 (S61°18'23"E) PER PS 28007.

THE NE, SE, AND SOUTH BOUNDARIES OF THE SUBJECT TRACT WERE DETERMINED BY PS 27485 IN 1997. THAT SURVEY WAS ONE OF AN ONGOING SERIES OF SURVEYS IN THE SUBJECT AREA BY THE SAME SURVEYING FIRM. THE PS 27485 METHODS AND PROCEDURES WERE EXAMINED AND ITS DISTANCE AND DIRECTIONAL DATA COMPARED TO THE LOCATION OF MONUMENTS RECOVERED BY THIS SURVEY AND WERE FOUND TO BE ACCEPTABLE.

THE ALIGNMENT OF ROSEMONT ROAD WAS DETERMINED BY HOLDING THE FOUND MONUMENTS AT (A) AND (B) THAT LOCATION WAS VERIFIED BY THE FOUND MONUMENTS AT (C) AND (D) AS SHOWN. POINT (C) WAS SET ON THE CENTERLINE OF ROSEMONT AT PS 27485 DISTANCE (RELATIVE TO POINT (A)) ALONG THE CENTERLINE OF SAID STREET AS SHOWN. LINES (E) AND (F) AND THE RELATIVE ANGLES CONFORM TO THE PS 27485 DATA AS SHOWN.

POINT (G) IS THE INTERSECTION OF THE SOUTHWESTERLY LINE OF ROSEMONT ROAD WITH THE SOUTH LINE OF DEED BOOK 337, PAGE 302 (LINE (H) TO (I)).

THE NORTHEASTERLY LINE OF THE SUBJECT TRACT IS THE SOUTHWESTERLY LINE OF ROSEMONT ROAD AND WAS DETERMINED BY HOLDING THE DEED 1, DEED 2 AND PS 27485 DISTANCES ALONG SAID SOUTHWESTERLY LINE AS SHOWN.

THE SOUTH LINE OF THE SUBJECT TRACT IS A PORTION OF THE SOUTH LINE OF THAT TRACT DESCRIBED IN DEED BOOK 337, PAGE 302. THAT TRACT IS THE PARENT TRACT TO THE TRACT SURVEYED HEREIN.

THE WESTERLY LINES OF THE SUBJECT TRACT WERE DETERMINED BY HOLDING DEED 1 AND PS 27485 ANGLE AND DISTANCE VALUES AS SHOWN.

CALCULATED POINT FOR THE SW CORNER OF THE SHANNON D.L.C. NO. 70 (B.T. BOOK 2, PAGE 187) AT RECORD DISTANCE FROM THE NW CORNER OF THE LEWIS D.L.C. NO. 54, ON THE WESTERLY EXTENSION OF THE NORTH LINE OF THE LEWIS D.L.C.

RLG	04/99
Calculated	Date
DRB	04/99
Drawn	Date
JAC	05/03/99
Checked	Date

REVISIONS

REGISTERED PROFESSIONAL LAND SURVEYOR

Daniel R. Baker

OREGON
FEBRUARY 14, 1999
DANIEL R. BAKER
8188
RENEWS DECEMBER 31, 1998

PROPERTY BOUNDARY SURVEY
IN THE MILLER D.L.C. NO. 58
IN THE NE AND NW 1/4'S, SEC 26
T.2S., R.1E., W.M.
CLACKAMAS COUNTY, OREGON
 TR: CITY OF WEST LINN

otak Incorporated

17333 S.W. BOONES FERRY ROAD
LAKE GENEVA, OREGON 97135
(503)331-3610 FAX (503)335-5385

1 OF 1
 Sheet No.
L9719.S01
 Project No.

57198181 D11695
 PS 28,291