



LAND USE PRE-APPLICATION CONFERENCE

Thursday, January 15, 2015

City Hall
22500 Salamo Road

Willamette Conference Room

1:30 pm Request to abandon the easement near the home so an addition can be built.

Applicant: Roloff Construction

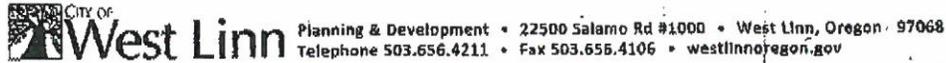
Subject Property Address: 1588 Bolton St

Neighborhood Assn: Bolton

Planner: Zach Pelz

Project #: PA-15-03





PRE-APPLICATION CONFERENCE

THIS SECTION FOR STAFF COMPLETION

CONFERENCE DATE: 1/15/15	TIME: 1:30 PM	PROJECT #: PA-15-03
STAFF CONTACT: ZACH PELZ		FEE: 350 ⁰⁰

Pre-application conferences occur on the first and third Thursdays of each month. In order to be scheduled for a conference, this form including property owner's signature, the pre-application fee, and accompanying materials must be submitted at least 14 days in advance of the conference date. Twenty-four hour notice is required to reschedule.

Address of Subject Property (or map/tax lot): 1588 Bolton Street, West Linn, OR 97068

Brief Description of Proposal: We are requesting that the inactive easement be abandoned that runs through this property NW → SE near the home so that an addition may be built.

Applicant's Name: Roloff Construction, Inc.
 Mailing Address: PO Box 12142, Portland, OR 97212
 Phone No: (503) 243-0685 Email Address: mike@roloffconstruction.com

Please attach additional materials relating to your proposal including a site plan on paper up to 11 x 17 inches in size depicting the following items:

- > North arrow
- > Scale
- > Property dimensions
- > Streets abutting the property
- > Conceptual layout, design and/or building elevations
- > Easements (access, utility, all others)
- > Access to and from the site, if applicable
- > Location of existing trees, highly recommend a tree survey
- > Location of creeks and/or wetlands, highly recommend a wetland delineation
- > Location of existing utilities (water, sewer, etc.)

Please list any questions or issues that you may have for city staff regarding your proposal:

By my signature below, I grant city staff right of entry onto the subject property in order to prepare for the pre-application conference.

Kathleen Anne Thomas Nave 12-24-14
 Property owner's signature Date

1068 E. Newhall Drive Fresno CA 93720
 Property owner's mailing address (if different from above)

ARCHITECTURAL SYMBOLS

	WALL TYPE. SEE COVER SHEET.
	WINDOW NUMBER SEE WINDOW SCHEDULE
	CEILING PLANE HEIGHT - ALL REFERENCES TO FINISH FLOOR ELEVATION
	HORIZONTAL ELEVATION PLANE HEIGHT - ALL REFERENCES TO F.F.E.
	SPOT ELEVATION - ALL REFERENCES TO F.F.E.
	DOOR NUMBER - SEE DOOR SCHEDULE
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DEMO WALL
	DEMO WINDOW
	DEMO DOOR
	DEMO OVERHEAD
	NEW WALL
	NEW WINDOW
	NEW DOOR
	NEW OVERHEAD
	EXISTING WALL TO REMAIN
	EXTERIOR ELEVATION
	INTERIOR ELEVATION
	DETAIL
	REVISION CLOUD

ENERGY CODE

ADDITION:
 ALL NEW EXTERIOR WALLS TO BE 1-HOUR FIRE CONSTRUCTION.
 ALL NEW EXTERIOR WALLS TO HAVE R-21 INSULATION.
 VAULTED CEILING TO HAVE R-30 INSULATION.
 NEW FLAT CEILINGS TO HAVE R-49 INSULATION.
 NEW FLOORS TO HAVE R-25 INSULATION.
 NEW WINDOWS TO BE RATED U-0.31.
 NEW EXTERIOR DOORS TO BE R-5 / U-0.20
 NEW EXTERIOR DOORS WITH GLAZING TO BE R-2.5 / U-0.40
 NEW FORCED AIR DUCTS TO BE R-8
 FLOOR AREA = LESS THAN 1500 SF, VENT REQUIREMENT = 45 CFM.
 IBC TABLE N1101.3
 AS BUILT FROM EXISTING CLIENT PLANS - VERIFY ALL
 DIMENSIONS.

PROPERTY DESCRIPTION

Existing Square Feet: 1,012 Addition Square Feet: 525
 Total Square Feet: 1,537
 Year Built: 1980
 Map Number (TLNO) 22E30BD01901
 Parcel Number 00565356
 Zoned: R-10
 Tax Code 003-002
 Est. Acres .29
 Fire District Tualatin Valley Fire & Rescue

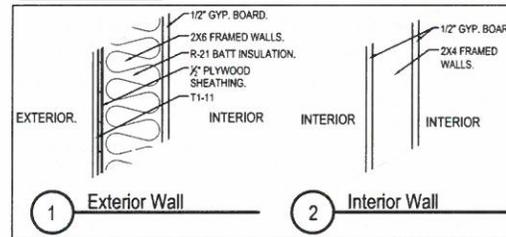
VICINITY MAP



SHEET INDEX

COVER SHEET
 NOTES AND ABBREVIATIONS
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 A2.0 - EXISTING FOUNDATION PLAN
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 A2.2 - EXISTING EXTERIOR ELEVATIONS
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 A3.2 - REMODELED FLOOR PLAN
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 A3.6 - ROOF PLAN
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 E2.0 - EROSION CONTROL
 S1 - S10 - STRUCTURAL DRAWINGS
 STRUCTURAL CALCULATIONS

WALL TYPES



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 rolloffconstruction.com

ROLOFF
 Construction
 INC
Nave Residence
FINAL PERMIT SET

Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

Address:
 1588 Bolton
 West Linn, OR 97068

Drawing title:

Date:

July 23, 2014

AFF	ABOVE FINISH FLOOR	GA	GAUGE	R	RADIUS		
ALUM	ALUMINUM	GALV	GALVANIZED	RD	ROOF DRAIN		
ANOD	ANODIZED	GB	GRAB BAR	REF	REFERENCE		
		GC	GENERAL CONTRACTOR	REFER	REFRIGERATOR		
BD	BOARD	GL	GLASS	REQ'D	REQUIRED		
BLDG	BUILDING	GND	GROUND	REV	REVISE OR REVISION		
BLKG	BLOCKING	GVP	GYPSTUM VENEER PLASTER	RM	ROOM		
BM	BENCH MARK	GWB	GYPSTUM WALL BOARD	RO	ROUGH OPENING		
BOT	BOTTOM			RCP	REFLECTED CEILING PLAN		
BTWN	BETWEEN						
		HB	HOSE BIB	SAHTS	SELF ADHERED HIGH		
C	CHANNEL	HC	HANDICAP		TEMPERATURE SHEET		
CB	CATCH BASIN	HM	HOLLOW METAL		SELF-ADHERED MEMBRANE		
CCTV	CLOSED CIRCUIT TV	HPC	HIGH PERFORMANCE COATING	SAM	SOLID CORE		
CG	CORNER GUARD	HVAC	HEATING, VENTILATION AND AIR	SC	SECTION		
CIP	CAST IN PLACE CONCRETE		CONDITIONING	SECT	SQUARE FOOT		
CLG	CEILING	HW	HARDWOOD	SF	SHEATHING		
CLR	CLEAR			SHTG	SHOWER		
CJ	CONTROL JOINT			SHWR	SHEET		
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	SHT	SIMILAR		
CONT	CONTINUOUS	INT	INTERIOR	SIM	SEISMIC JOINT		
CSJ	CONSTRUCTION JOINT			SJ	SHEET METAL		
CSMT	CASEMENT			SM	SQUARE		
CT	CERAMIC TILE	JT	JOINT	SS	STAINLESS STEEL		
CTR	CENTER	JST	JOIST	STD	STANDARD		
	CENTERLINE			STL	STEEL		
		L	LENGTH	STOR	STORAGE		
DBL	DOUBLE	LAV	LAVATORY	STRUCT	STRUCTURAL		
DTL	DETAIL	LB	LAG BOLT	SUSP	SUSPENDED		
DIA	DIAMETER	LKR	LOCKER				
DIAG	DIAGONAL	LS	LANDSCAPING	T/M	TO MATCH		
DIM	DIMENSION	LVR	LOUVER	T	TEMPERED GLAZING		
DISP	DISPENSER			TEL	TELEPHONE		
DN	DOWN	MATL	MATERIAL	T&G	TONGUE AND GROOVE		
DP	DAMP PROOFING	MAX	MAXIMUM	THK	THICK		
DR	DOOR	MECH	MECHANICAL	TO	TOP OF		
DS	DOWN SPOUT	MED	MEDIUM	TOD	TOP OF DECK		
DWG	DRAWING	MFR	MANUFACTURER	TOS	TOP OF STRUCTURE		
		MIN	MINIMUM	TJ	TOOL JOINT		
(E)	EXISTING	MIR	MIRROR	TP	TOILET PAPER		
EA	EACH	MISC	MISCELLANEOUS	TS	TUBE STEEL		
EF	EXHAUST FAN	MTD	MOUNTED				
EJ	EXPANSION JOINT	MTL	METAL	UNFIN	UNFINISHED		
EL	ELEVATION			UNO	UNLESS NOTED OTHERWISE		
ELEC	ELECTRICAL	(N)	NEW				
EOS	EDGE OF SLAB	NA	NOT APPLICABLE	VB	VAPOR BARRIER		
ENGR	ENGINEER	NIC	NOT IN CONTRACT	VERT	VERTICAL		
EQ	EQUAL	NOM	NOMINAL	VEST	VESTIBULE		
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	VFY	VERIFY		
ES	EACH SIDE						
EW	EACH WAY	OA	OVERALL	W/	WITH		
EXP	EXPANSION	OC	ON CENTER	W/O	WITHOUT		
EXT	EXTERIOR	OD	OVERFLOW DRAIN	WC	WATER CLOSET		
		OD	OUTSIDE DIAMETER	WD	WOOD		
FA	FIRE ALARM	OFCI	OWNER FURNISHED CONTRACTOR	WF	WIDE FLANGE		
FD	FLOOR DRAIN			WH	WATER HEATER		
FDN	FOUNDATION	OFOI	OWNER FURNISHED OWNER	WP	WATERPROOFING		
				WRB	WEATHER-RESISTIVE BARRIER		
FF	FINISH FLOOR	OH	OVERHEAD	WT	WEIGHT		
FIN	FINISH	OPNG	OPENING				
FL	FLOOR	OPP	OPPOSITE				
FO	FACE OF						
FOC	FACE OF CONCRETE	PL	PROPERTY LINE				
FOF	FACE OF FINISH	PLAS	PLASTER				
FOM	FACE OF MASONRY	PLYWD	PLYWOOD				
FOS	FACE OF STUD	PSF	PER SQUARE FOOT				
FRT	FIRE RETARDANT TREATED	PT	PRESSURE TREATED				
FTG	FOOTING	PVMT	PAVEMENT				
FURR	FURRING						

NOTES:

An original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings, is subject to copyright protection as an "architectural work" under section 102 of the Copyright Act (title 17 of the United States Code), as amended on December 1, 1990. Protection extends to the overall form as well as the arrangement and composition of spaces and elements in the design but does not include individual standard features or design elements that are functionally required.

Roloff Construction will be referred to as the "Contractor" Drawings, specifications and other documents, including those in electronic form, prepared by the Contractor and the Contractor's consultants are Instruments of Service for use solely with respect to this Project. The Contractor and the Contractor's consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights.

The Contractor and the Owner warrant that in transmitting Instruments of Service, or any other information, the transmitting party is the copyright owner of such information or has permission from the copyright owner to transmit such information for its use on the Project. If the Owner and Contractor intend to transmit Instruments of Service or any other information or documentation in digital form, they shall endeavor to establish necessary protocols governing such transmissions.

The Contractor and the Contractor's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and shall retain all common law, statutory and other reserved rights, including copyrights. Submission or distribution of Instruments of Service to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the rights of the Contractor and the Contractor's consultants.

The Owner shall not assign, delegate, sublicense, pledge or otherwise transfer any license granted herein to another party without the prior written agreement of the Contractor. The Owner shall not use the Instruments of Service for future additions or alterations to this Project or for other projects, unless the Owner obtains the prior written agreement of the Contractor and the Contractor's consultants. Any unauthorized use of the Instruments of the Instruments of Service shall be at the Owner's sole risk and without liability to the Contractor and the Contractor's consultants.

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Nave Residence
FINAL PERMIT SET

Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

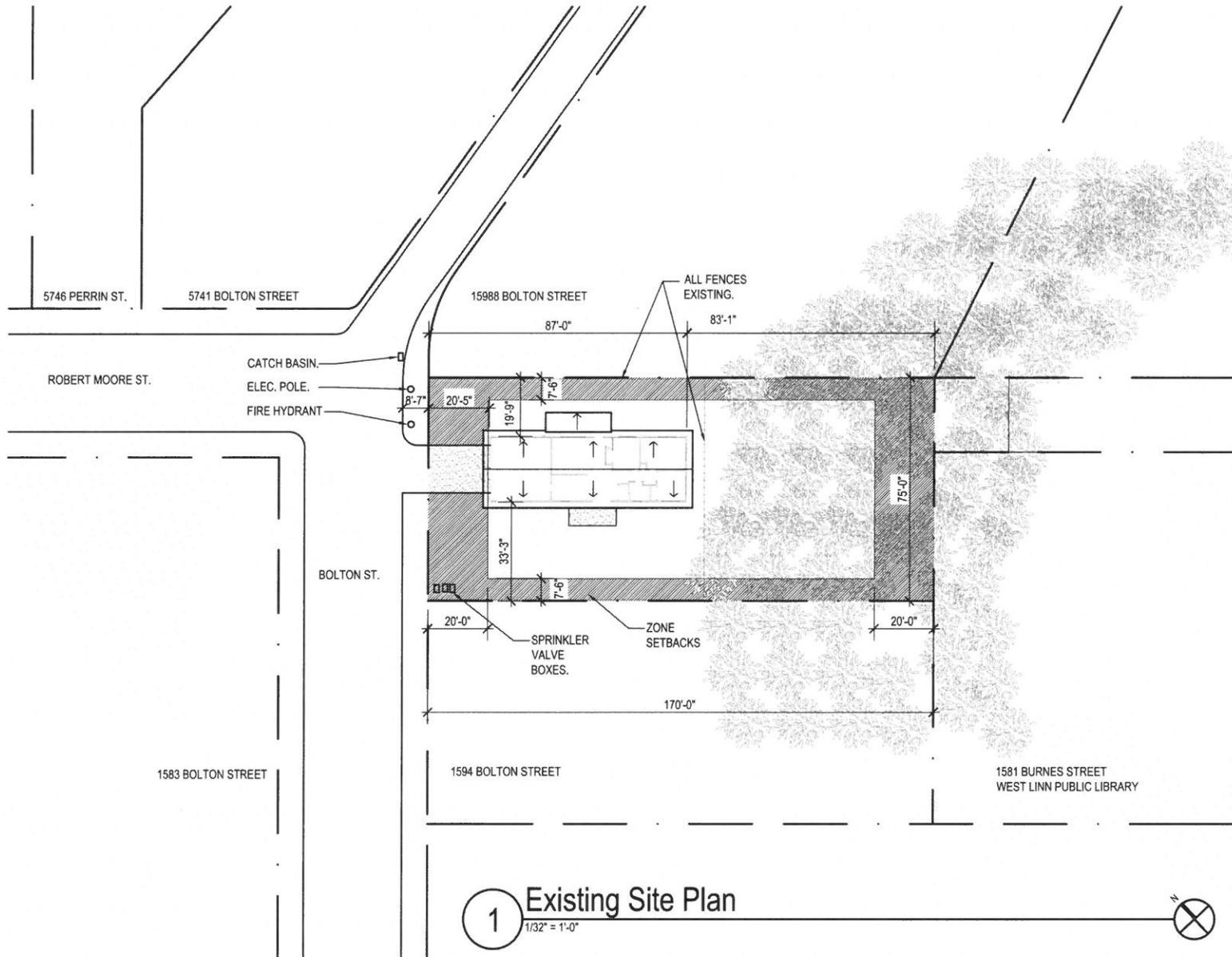
Address:
1588 Bolton
West Linn, OR 97068

Drawing title:

Notes and Abbreviations

Date:

July 23, 2014



1 Existing Site Plan
1/32" = 1'-0"

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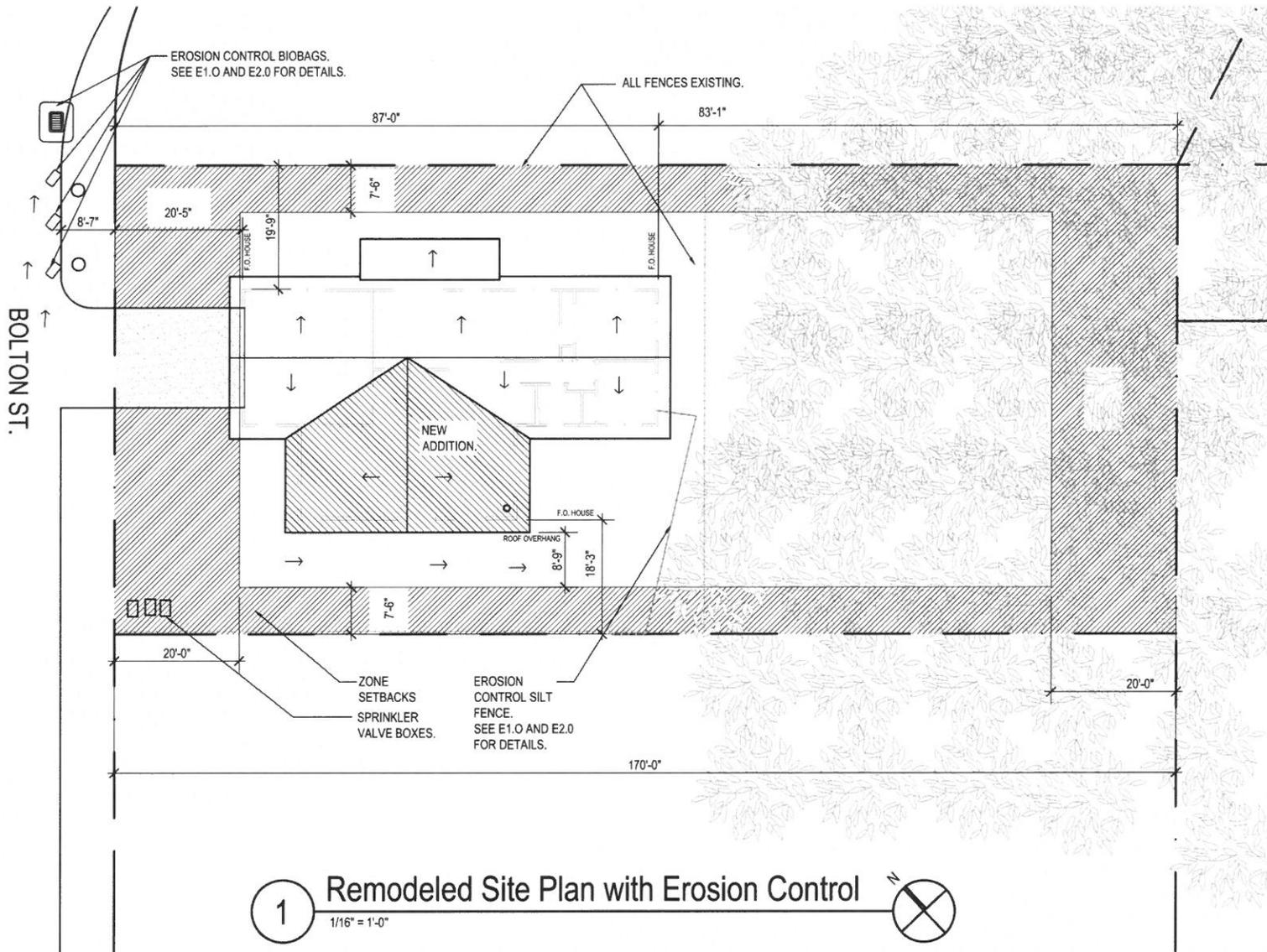
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Drawing title:
Existing

A1.0

Date:
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1

Remodeled Site Plan with Erosion Control

1/16" = 1'-0"



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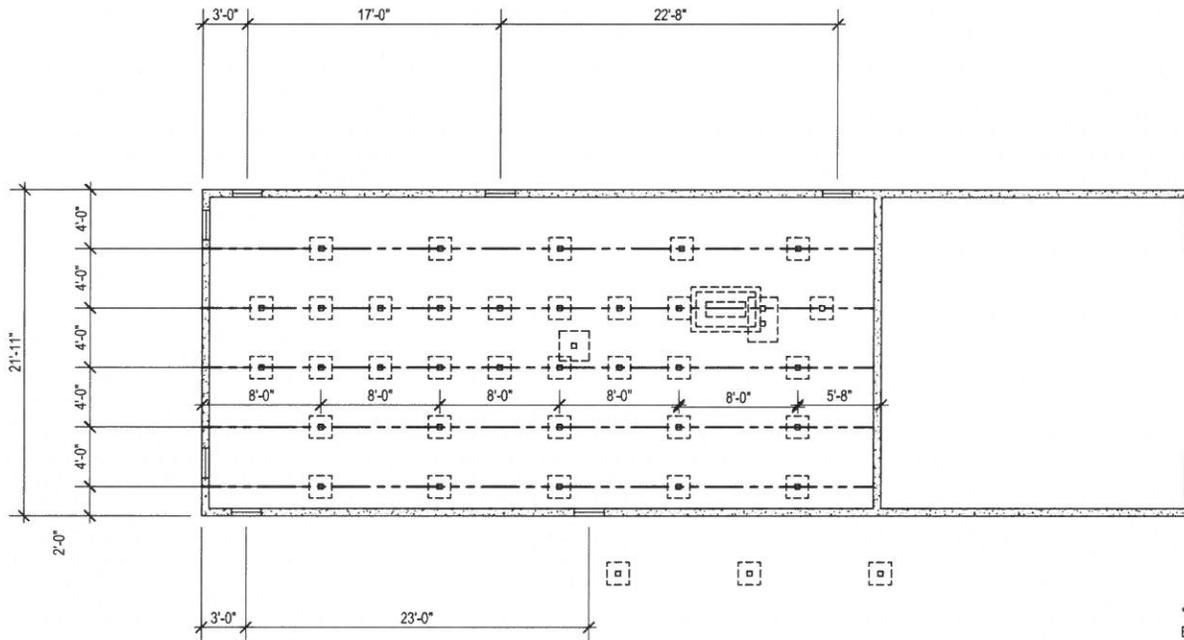
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Drawing title:

A1.1

Date:
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1 Existing Foundation Plan
1/8" = 1'-0"



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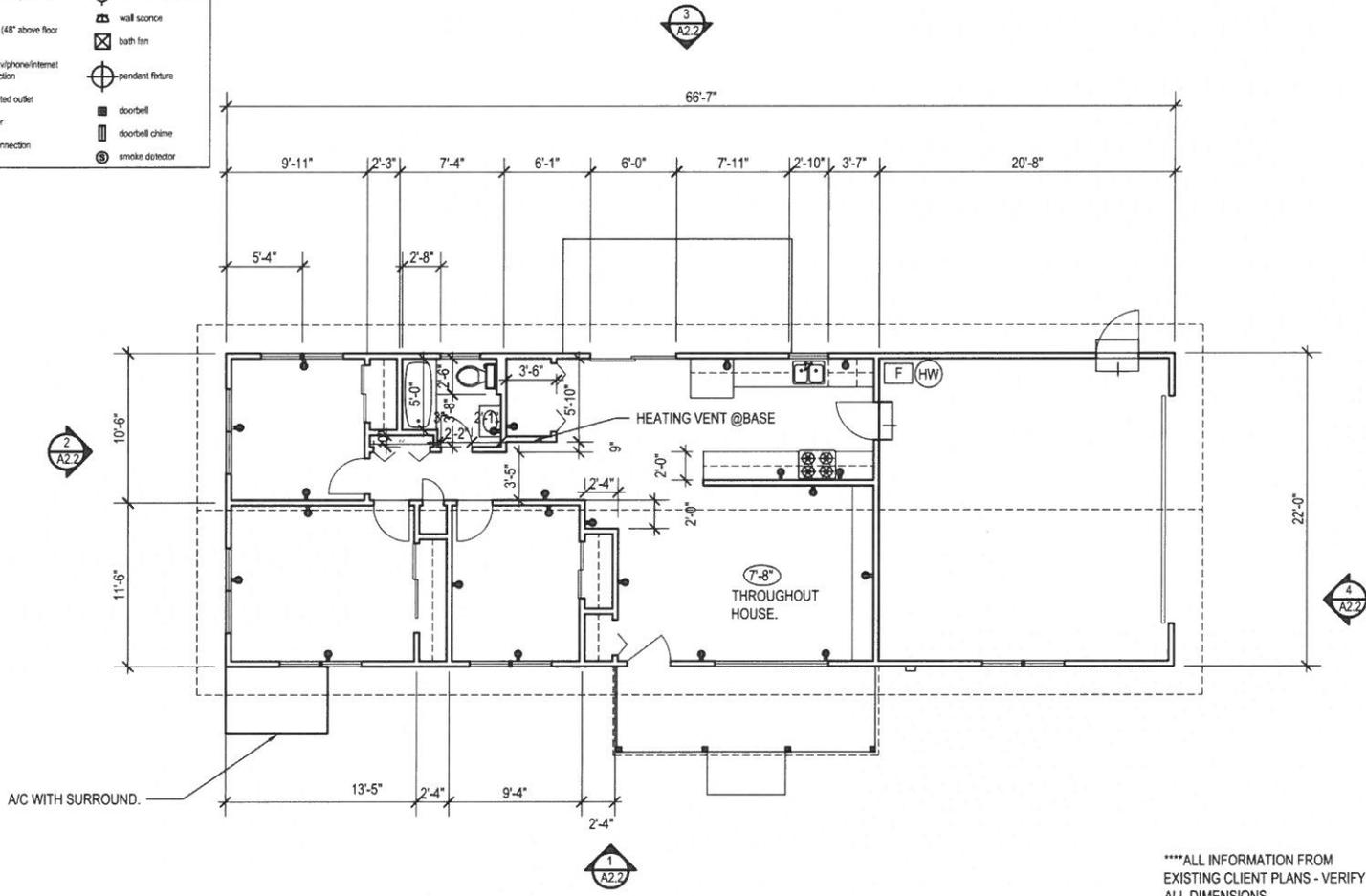
Drawing title:
Existing

A2.0

Date:
July 23, 2014

LIGHTING AND ELECTRIC SYMBOLS

	duplex outlet, GFI as required (15' abv fr. uno)		4\"/>
	quad outlet (15' abv fr. uno)		surface mounted fixture
	switch (48\"/>		wall sconce
	cable tv/phone/internet connection		bath fan
	dedicated outlet		pendant fixture
	dimmer		doorbell
	gas connection		doorbell chime
			smoke detector



****ALL INFORMATION FROM EXISTING CLIENT PLANS - VERIFY ALL DIMENSIONS.

1 Existing Floor Plan
1/8" = 1'-0"

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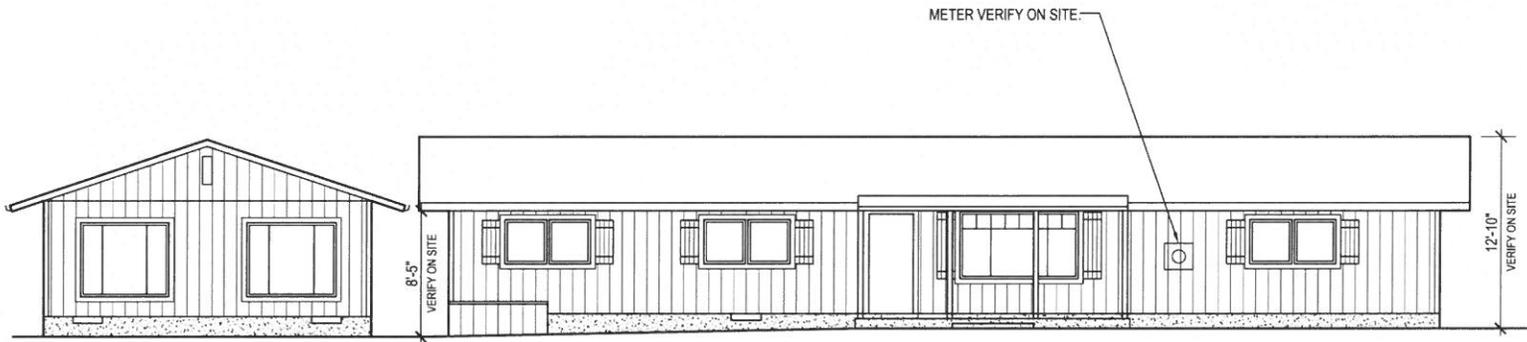
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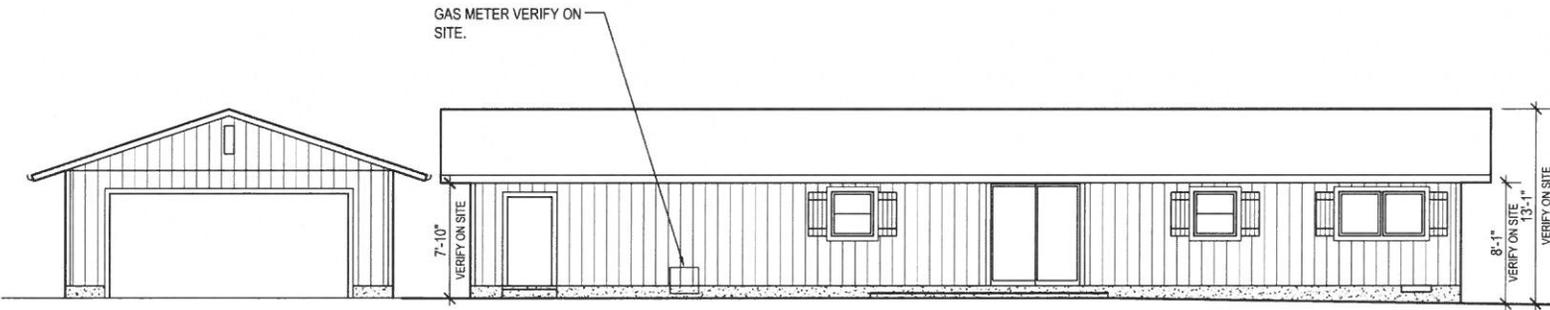
A2.1

Date:
July 23, 2014



2 Existing East Elevation
1/8" = 1'-0"

1 Existing North Elevation
1/8" = 1'-0"



4 Existing West Elevation
1/8" = 1'-0"

3 Existing South Elevation
1/8" = 1'-0"

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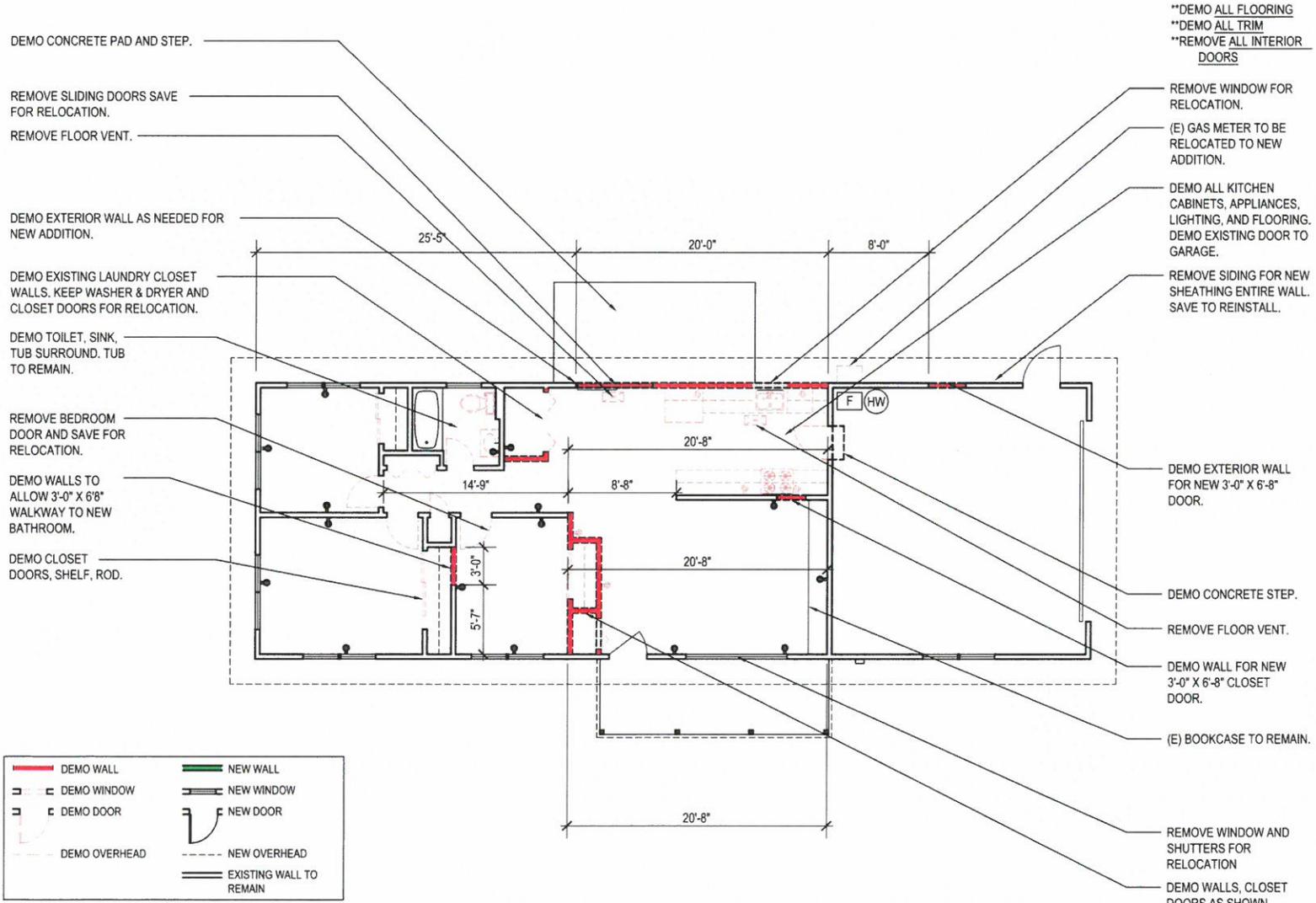
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Drawing title:
Existing

A2.2

Date:
July 23, 2014



DEMO CONCRETE PAD AND STEP.

REMOVE SLIDING DOORS SAVE FOR RELOCATION.

REMOVE FLOOR VENT.

DEMO EXTERIOR WALL AS NEEDED FOR NEW ADDITION.

DEMO EXISTING LAUNDRY CLOSET WALLS. KEEP WASHER & DRYER AND CLOSET DOORS FOR RELOCATION.

DEMO TOILET, SINK, TUB SURROUND. TUB TO REMAIN.

REMOVE BEDROOM DOOR AND SAVE FOR RELOCATION.

DEMO WALLS TO ALLOW 3'-0" X 6'-8" WALKWAY TO NEW BATHROOM.

DEMO CLOSET DOORS, SHELF, ROD.

****DEMO ALL FLOORING**
****DEMO ALL TRIM**
****REMOVE ALL INTERIOR DOORS**

REMOVE WINDOW FOR RELOCATION.

(E) GAS METER TO BE RELOCATED TO NEW ADDITION.

DEMO ALL KITCHEN CABINETS, APPLIANCES, LIGHTING, AND FLOORING. DEMO EXISTING DOOR TO GARAGE.

REMOVE SIDING FOR NEW SHEATHING ENTIRE WALL. SAVE TO REINSTALL.

DEMO EXTERIOR WALL FOR NEW 3'-0" X 6'-8" DOOR.

DEMO CONCRETE STEP.

REMOVE FLOOR VENT.

DEMO WALL FOR NEW 3'-0" X 6'-8" CLOSET DOOR.

(E) BOOKCASE TO REMAIN.

REMOVE WINDOW AND SHUTTERS FOR RELOCATION

DEMO WALLS, CLOSET DOORS AS SHOWN.

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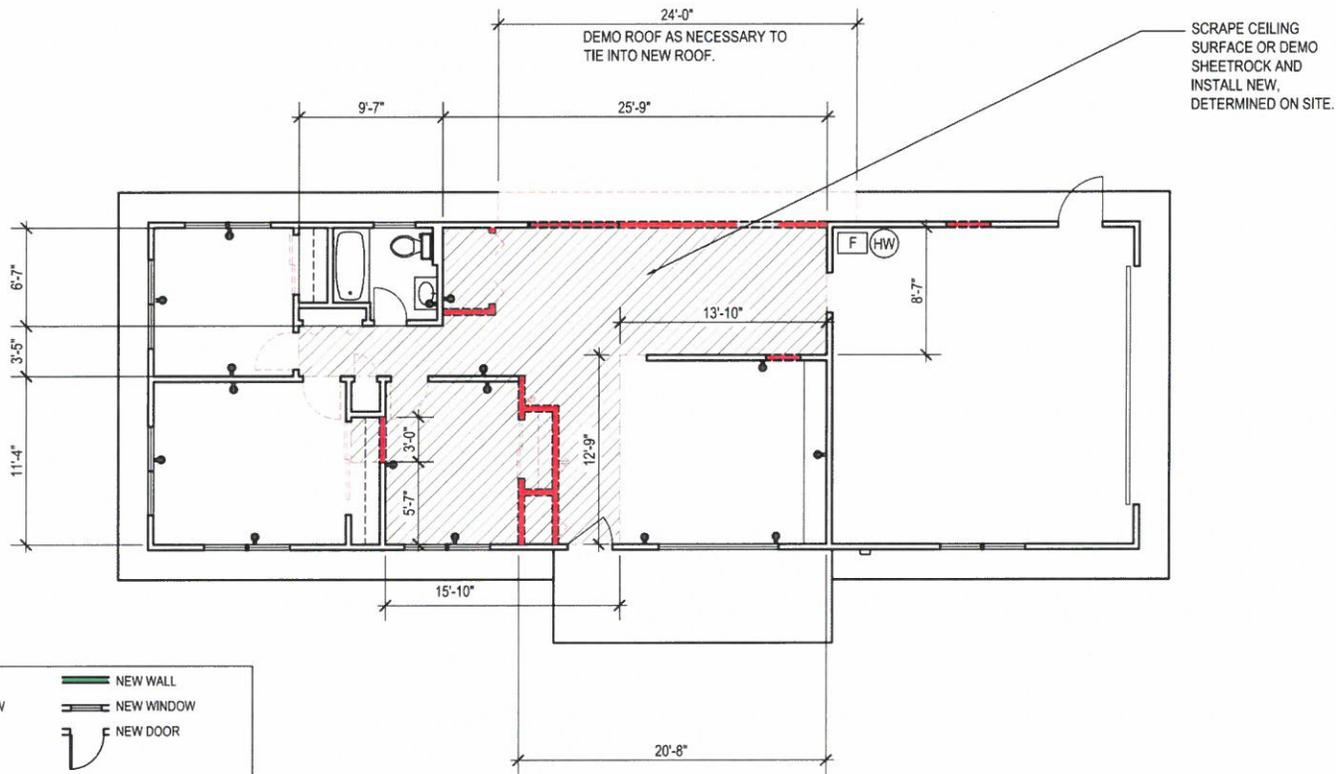
Drawing title:
 Demo Plan.

A3.0

Date:
 July 23, 2014

1 Demo Floor Plan
 1/8" = 1'-0"





	DEMO WALL		NEW WALL
	DEMO WINDOW		NEW WINDOW
	DEMO DOOR		NEW DOOR
	DEMO OVERHEAD		NEW OVERHEAD
	EXISTING WALL TO REMAIN		

1 Demo Reflected Ceiling Plan
1/8" = 1'-0"



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Drawing title:
Demo Plan.

A3.1

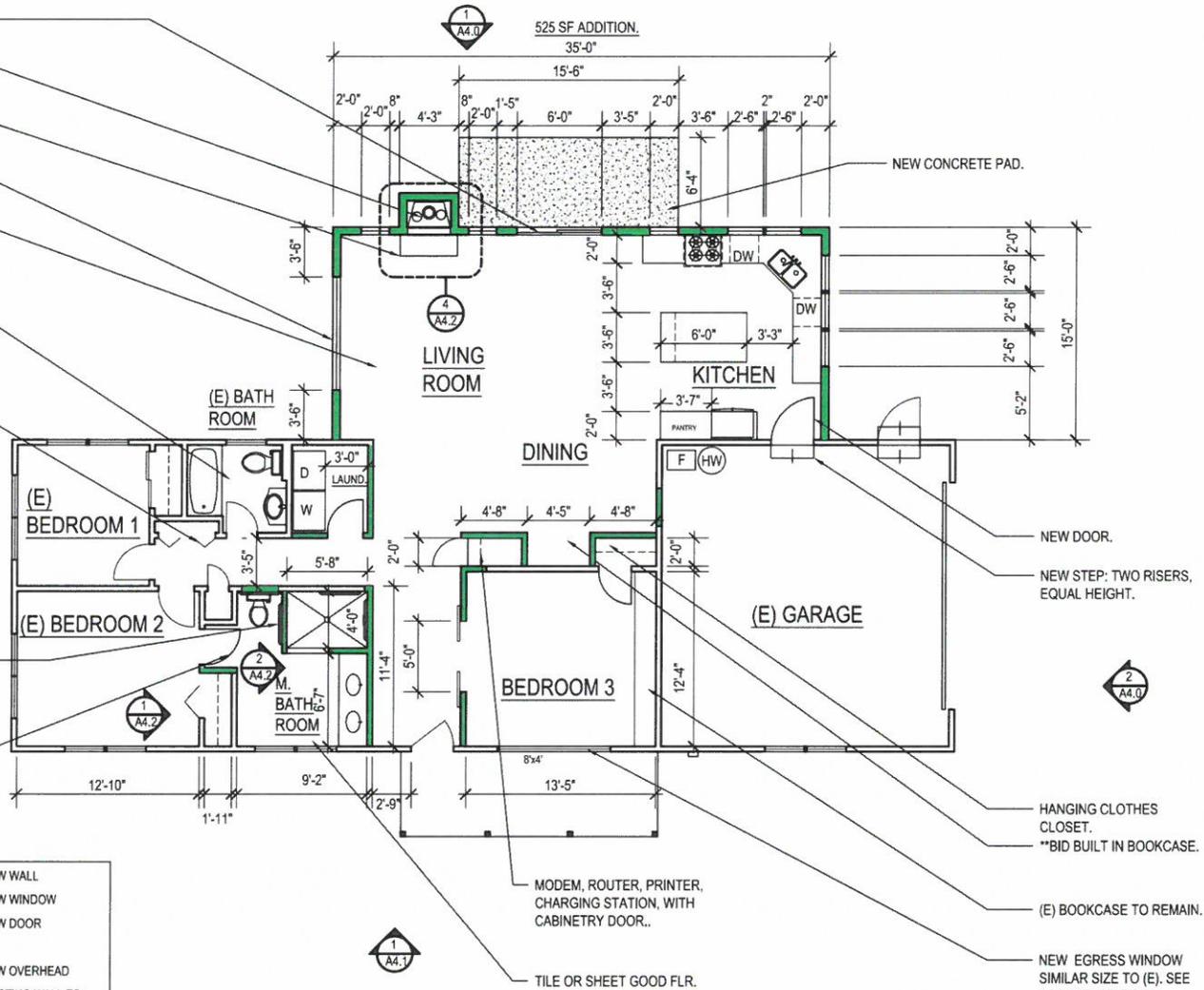
Date:
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- RELOCATED (E) SLIDER.
- FIREPLACE, WITH T.V. ON WALL ABOVE.
- 18" HEARTH.
- RELOCATED WINDOW FROM BEDROOM 3
- ENGINEERED WOOD FLOORS THROUGHOUT HOUSE, UON.
- TILE OR SHEET GOOD FLIRING, NEW TOILET, VANITY, TUB SURROUND, REFINISH (E) TUB.
- REPLACE BIFOLD DOORS WITH DOORS FROM (E) LAUNDRY CLOSET, IF POSSIBLE.

- ADA BLOCKING FOR GRAB BAR: 42" LONG @ 36" AFF. 12" OFF PERPENDICULAR WALL. FOR GRAB BAR BEHIND TOILET: 36" LONG @ 36" AFF. CENTERED ON TOILET.
- RELOCATED DOOR FROM HALLWAY.
- **ADA GRAB BAR BLOCKING AND INFORMATION IN SHOWER, SEE A4.2

	DEMO WALL		NEW WALL
	DEMO WINDOW		NEW WINDOW
	DEMO DOOR		NEW DOOR
	DEMO OVERHEAD		NEW OVERHEAD
			EXISTING WALL TO REMAIN

1 Remodeled Floor Plan
1/8" = 1'-0"



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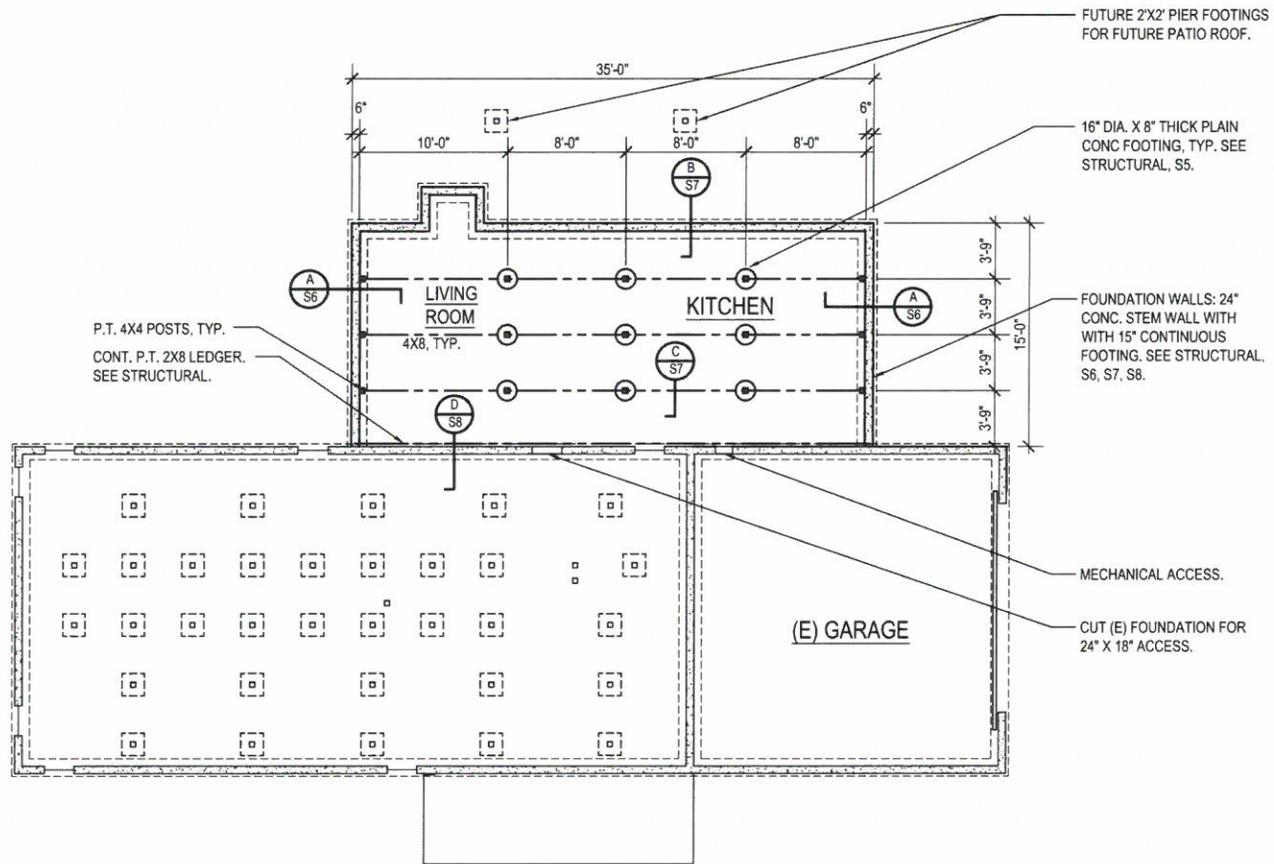
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Drawing title:
Floor Plan.

Date:
A3.2
July 23, 2014



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	DEMO WALL		NEW WALL
	DEMO WINDOW		NEW WINDOW
	DEMO DOOR		NEW DOOR
	DEMO OVERHEAD		NEW OVERHEAD
	EXISTING WALL TO REMAIN		

1 Foundation Plan
1/8" = 1'-0"

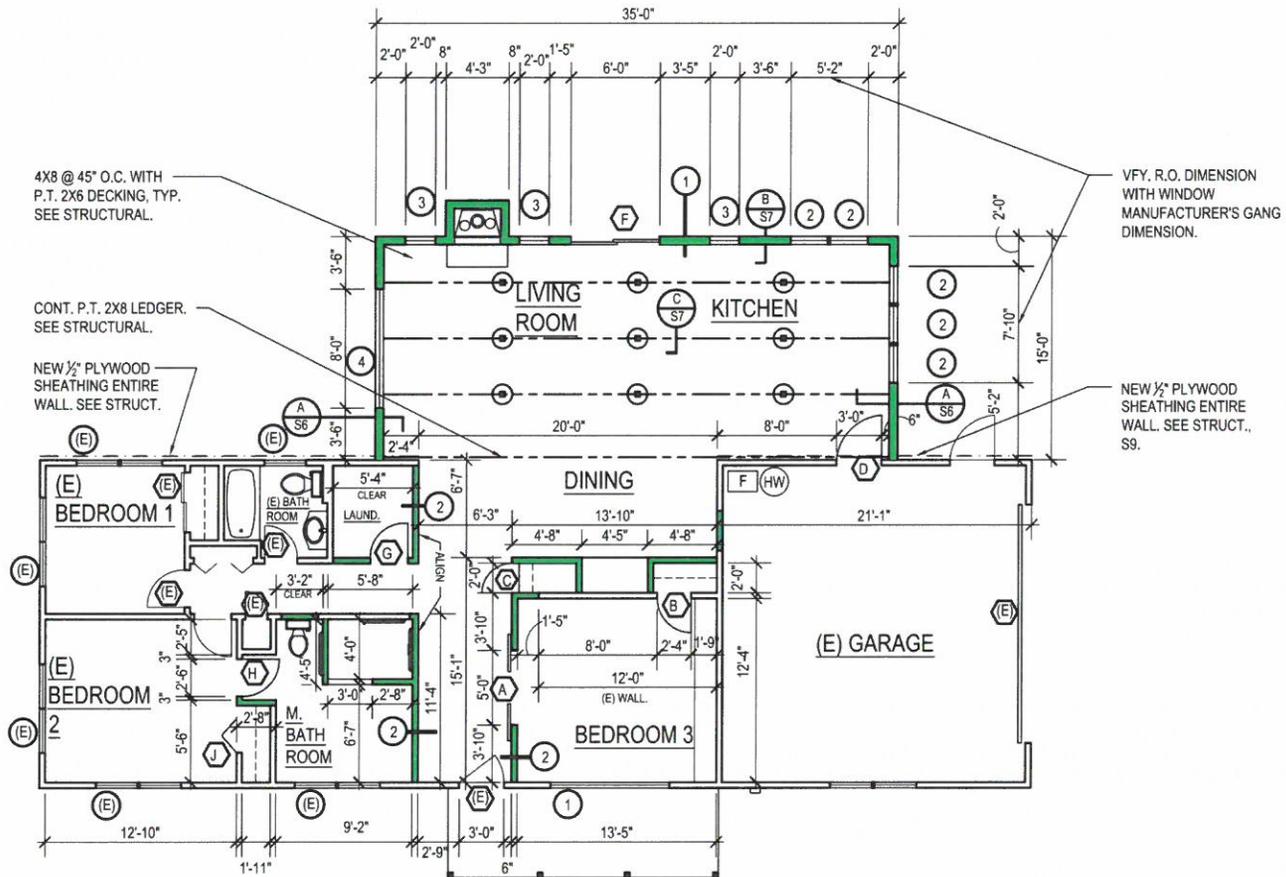


Address:
1588 Bolton
West Linn, OR 97068

Drawing title:
Foundation Plan.

A3.3

Date:
July 23, 2014



	DEMO WALL		NEW WALL
	DEMO WINDOW		NEW WINDOW
	DEMO DOOR		NEW DOOR
	DEMO OVERHEAD		NEW OVERHEAD
	EXISTING WALL TO REMAIN		

***SEE A4.2 PLAN AND INTERIOR ELEVATIONS FOR BATHROOM BLOCKING.

1 Framing Plan
1/8" = 1'-0"



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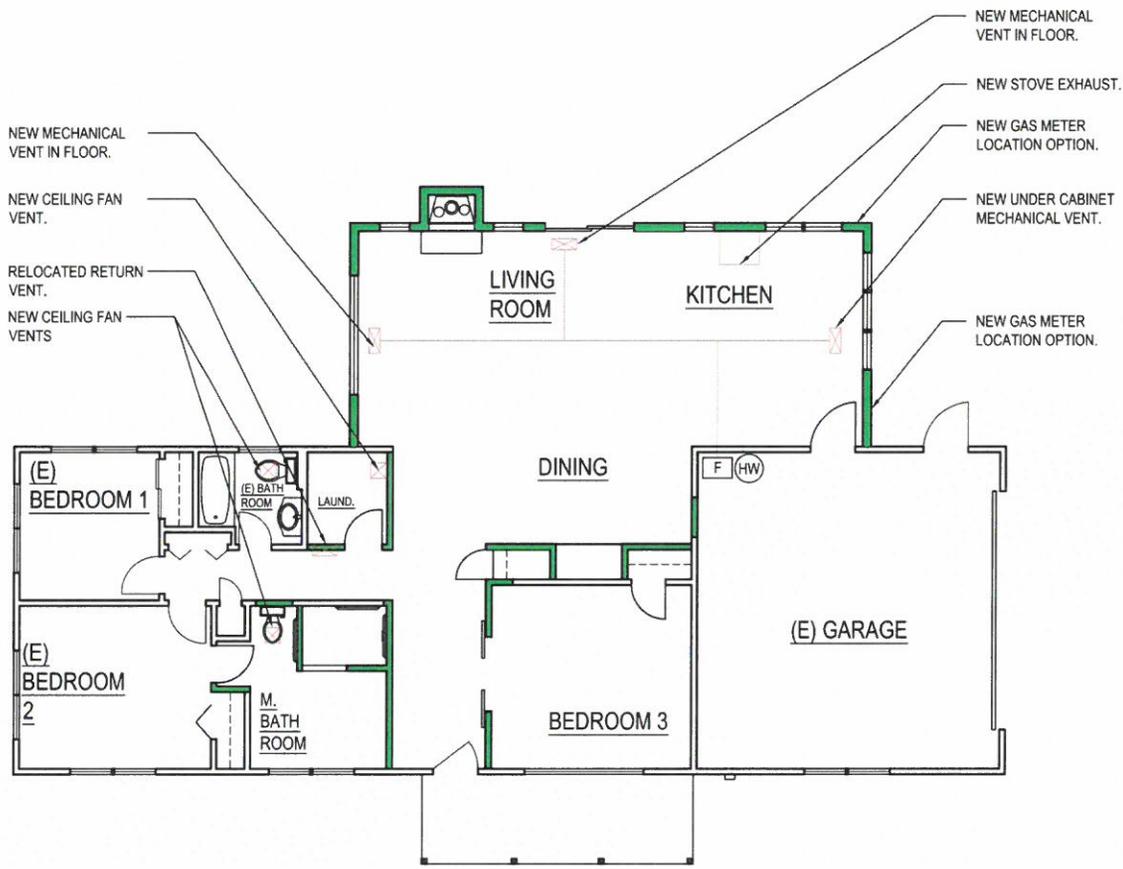
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Address:
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Drawing title:
Framing Plan.

A3.4

Date:
July 23, 2014



	DEMO WALL		NEW WALL
	DEMO WINDOW		NEW WINDOW
	DEMO DOOR		NEW DOOR
	DEMO OVERHEAD		NEW OVERHEAD
			EXISTING WALL TO REMAIN

1 Mechanical Plan
1/8" = 1'-0"



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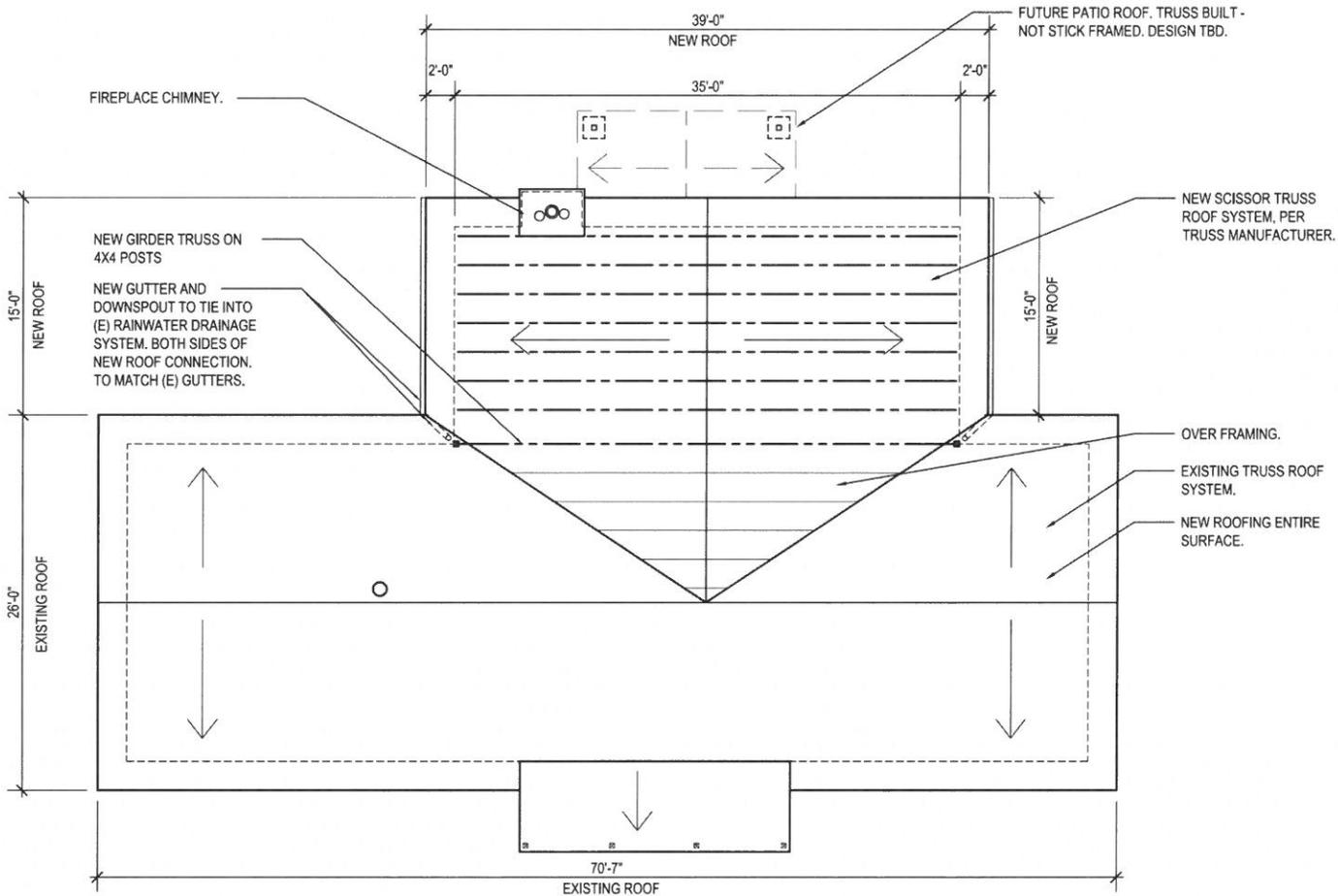
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Address:
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Drawing title:
Mechanical Plan.

A3.5

Date:
July 23, 2014



1 Remodeled Roof Plan
1/8" = 1'-0"



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ROLOFF
Construction
INC

Nave Residence
FINAL PERMIT SET

Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

Address:
1588 Bolton
West Linn, OR 97068

Drawing title:
Roof Plan.

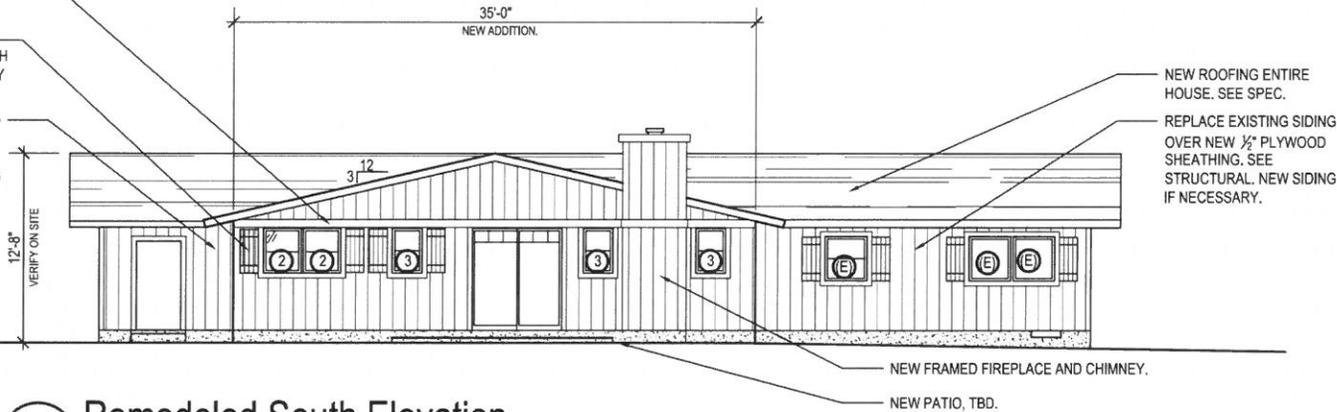
A3.6

Date:
July 23, 2014

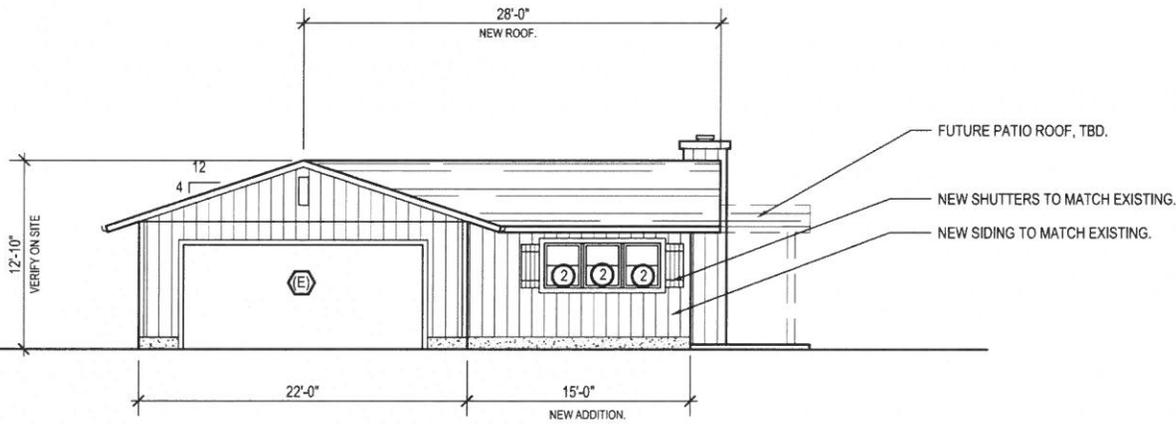
NEW 1X8 HORIZONTAL TRIM BAND.

ALL NEW WINDOWS TO HAVE SHUTTERS TO MATCH EXISTING WHERE POSS. BY ROLOFF.

REPLACE EXISTING SIDING OVER NEW 1/2" PLYWOOD SHEATHING. SEE STRUCTURAL. NEW SIDING IF NECESSARY.



1 Remodeled South Elevation
1/8" = 1'-0"



2 Remodeled West Elevation.
1/8" = 1'-0"

General Contractors
CCB #140721
office | 503.245.0685
fax | 503.961.8335
PO Box 12142
Portland, OR | 97212
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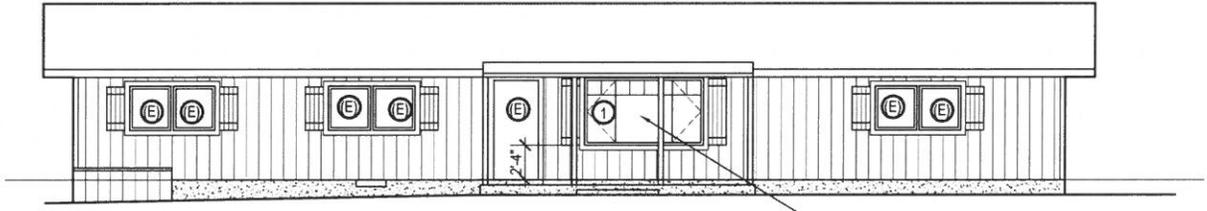
Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

Address:
1588 Bolton
West Linn, OR 97068

Drawing title:
Elevations.

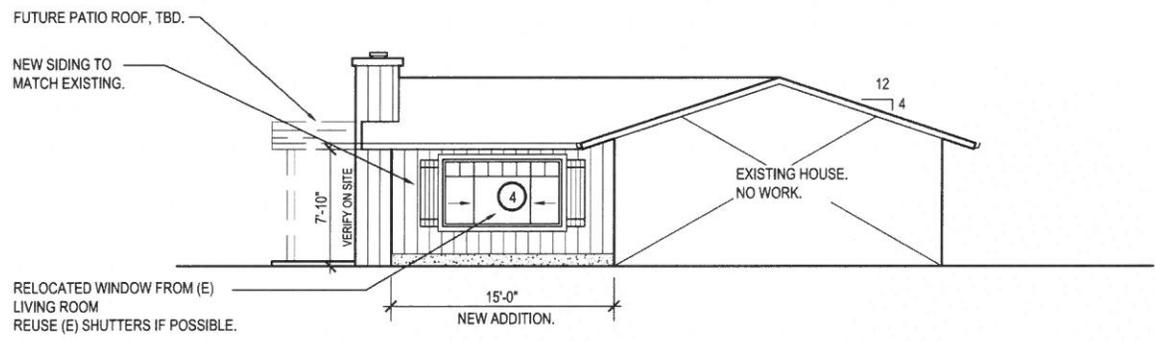
A4.0

Date:
July 23, 2014



1 Existing North Elevation
1/8" = 1'-0"

NEW EGRESS WINDOW SIMILAR SIZE TO (EXISTING). NO WORK TO REST OF ELEVATION



2 Remodeled East Elevation.
1/8" = 1'-0"

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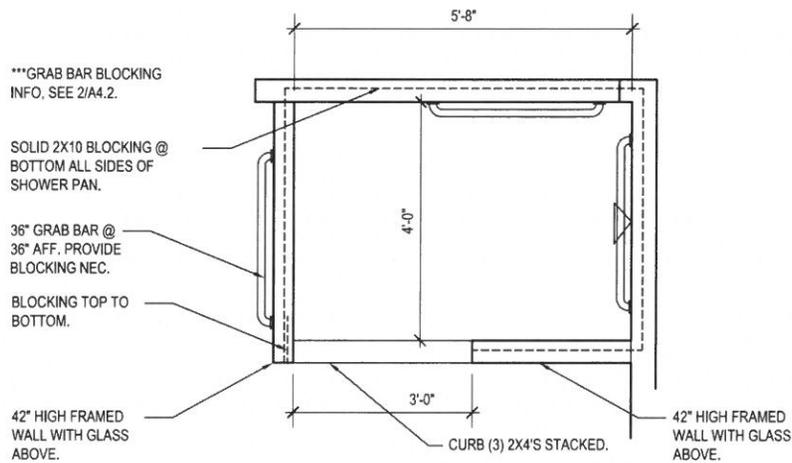
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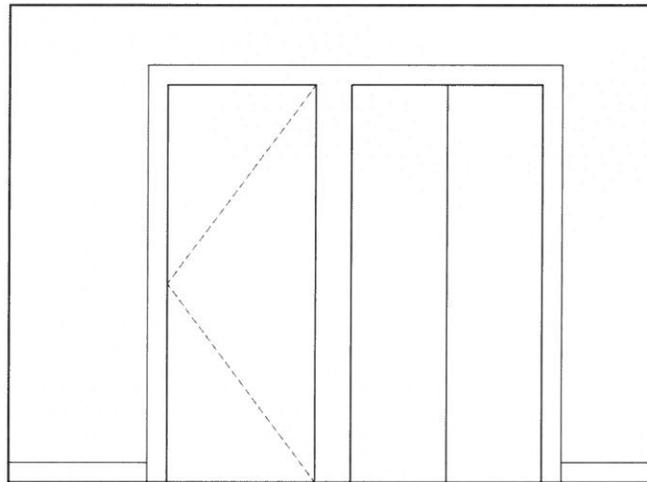
Drawing title:
Elevations.

A4.1

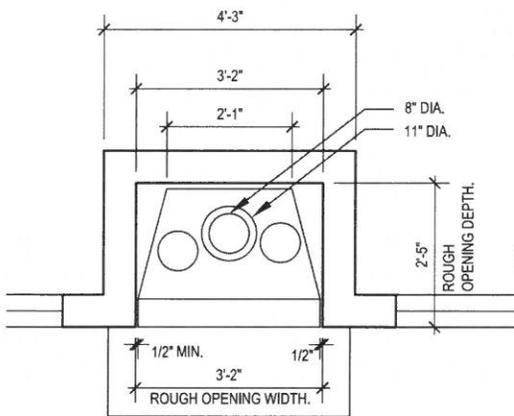
Date:
July 23, 2014



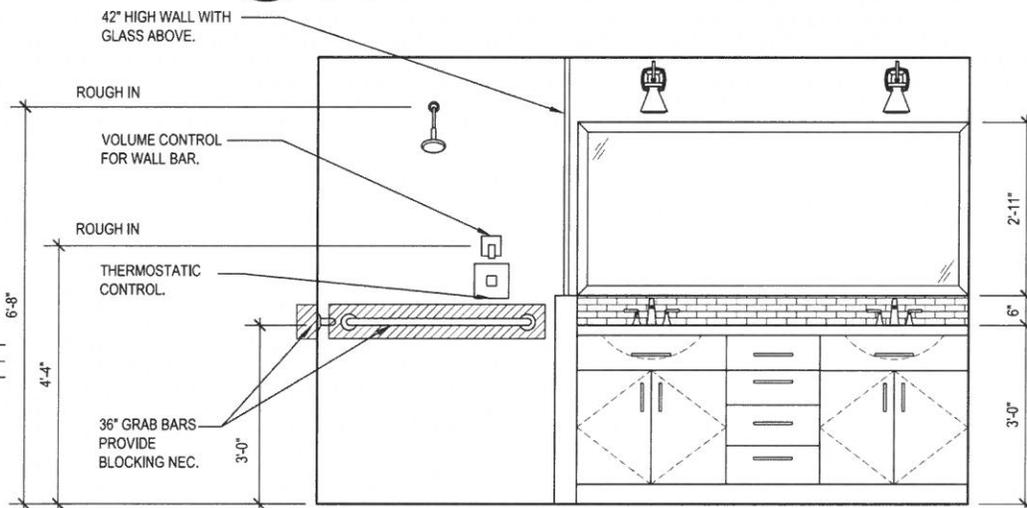
3 Bathroom Plan / Framing Plan.
1/2" = 1'-0"



1 Bedroom 2 Interior Elevation.
1/2" = 1'-0"



4 Fireplace Detail.
1/2" = 1'-0"



2 Master Bath Interior Elevations.
1/2" = 1'-0"

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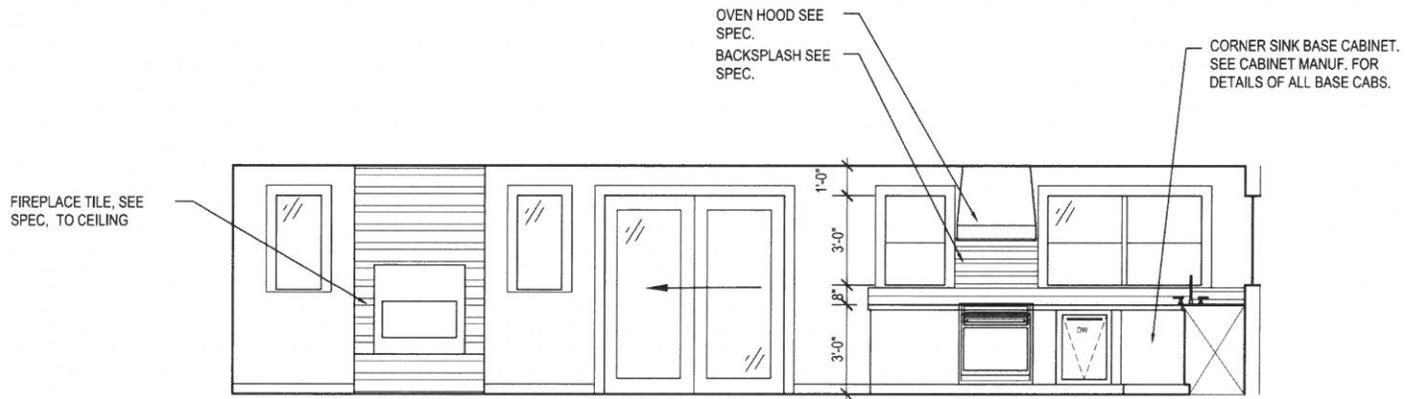
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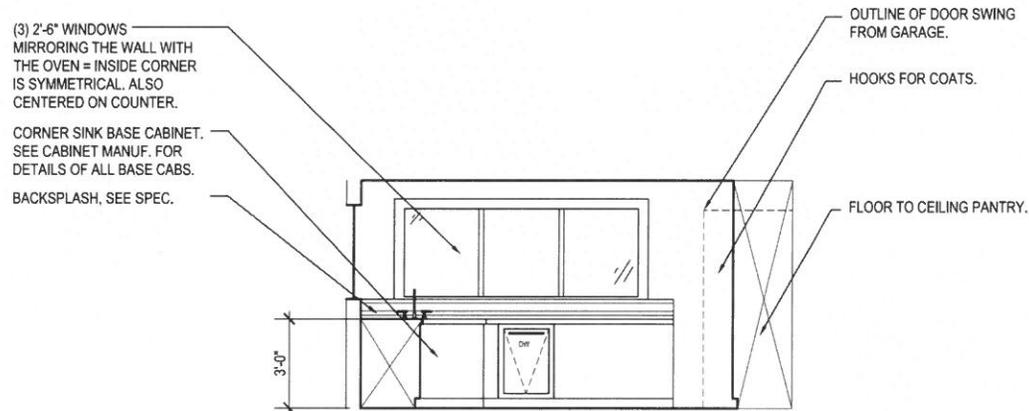
Drawing title:
Interior Elevations &
Details.

Date:
July 23, 2014

A4.2



1 Interior Elevation @ Fireplace Wall.
1/4" = 1'-0"



2 Interior Elevation @ Street Facing Wall.
1/4" = 1'-0"

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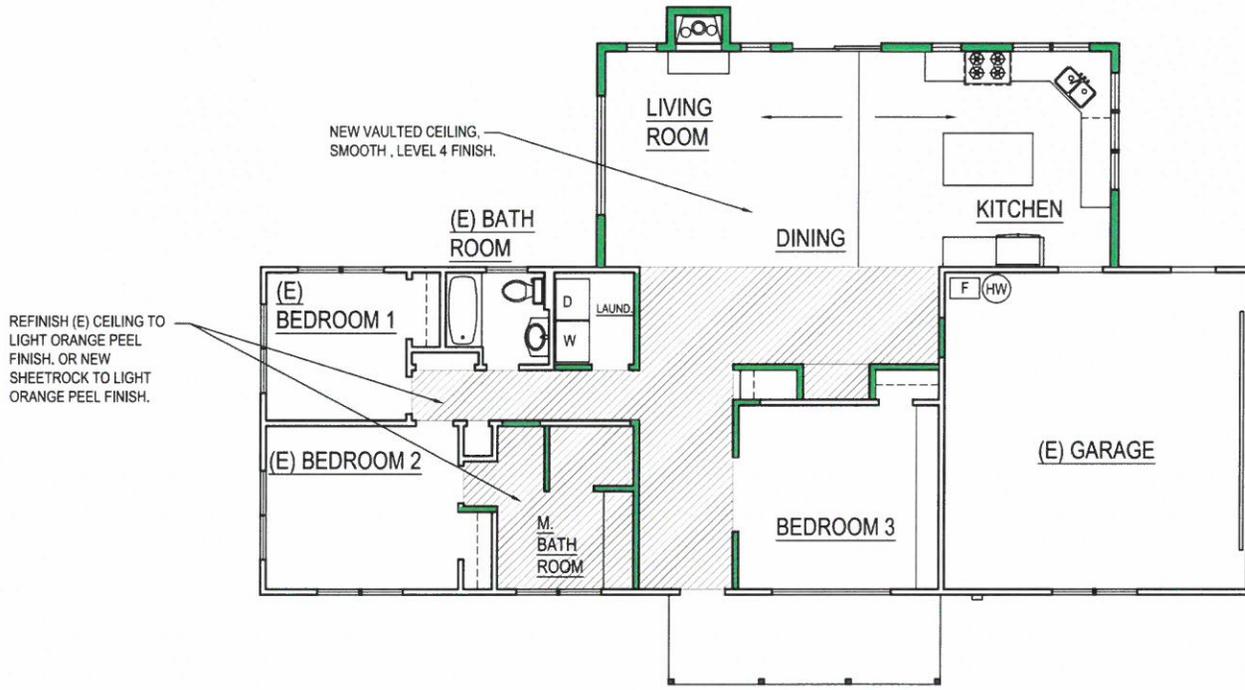
Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

Address:
1588 Bolton
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Drawing title:
Interior Elevations

A4.3

Date:
July 23, 2014



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Revisions: Sept. 19, Sept. 29, Nov. 21, Nov. 24, Nov. 25, Dec. 10

Address:
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Drawing title:
 Reflected Ceiling Plan.

A5.1

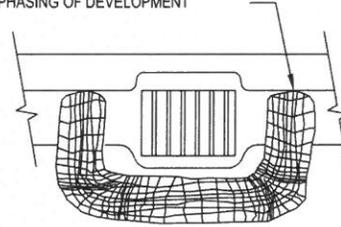
Date:
 July 23, 2014

1 Reflected Ceiling Plan
 1/8" = 1'-0"

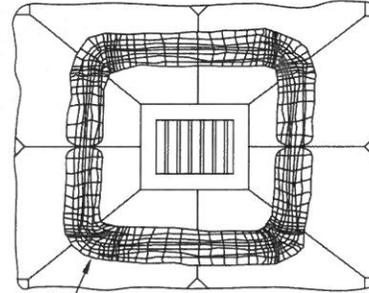


*BIOBAGS MUST BE REMOVED AT END OF JOB

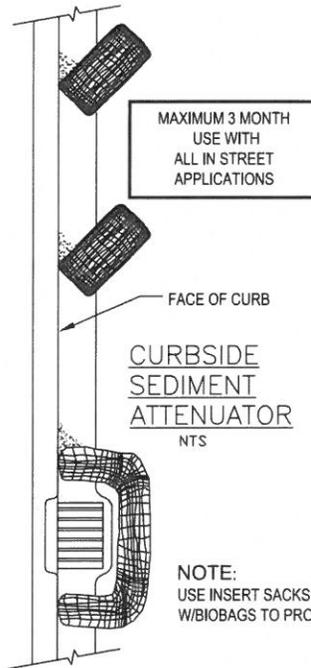
MAY BE USED SHORT TERM
W/ UTILITY WORK AND W/
PHASING OF DEVELOPMENT



CATCH BASIN
NTS



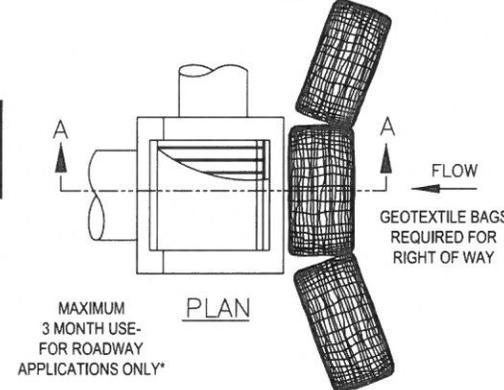
FIBER ROLL
AREA DRAIN
NTS



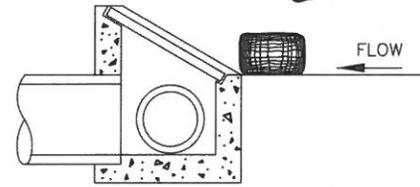
MAXIMUM 3 MONTH
USE WITH
ALL IN STREET
APPLICATIONS

FACE OF CURB
CURBSIDE
SEDIMENT
ATTENUATOR
NTS

NOTE:
USE INSERT SACKS ALONG
W/BIOBAGS TO PROTECT INLETS.



MAXIMUM
3 MONTH USE-
FOR ROADWAY
APPLICATIONS ONLY*
PLAN



SECTION A-A
DITCH INLET
NTS

FILTRATION BAGS, SOCKS,
& ROLLS FOR TEMPORARY
INLET PROTECTION

EROSION CONTROL MANUAL

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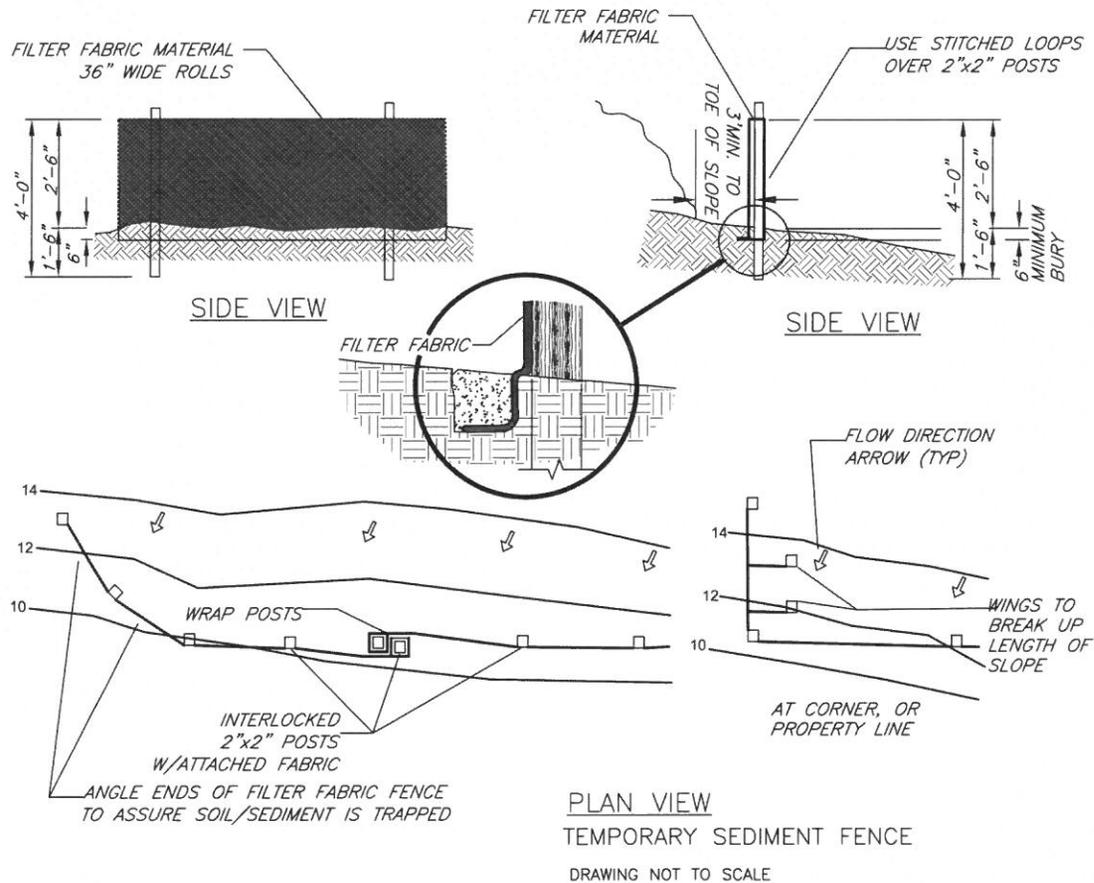
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Address:
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Drawing title:
Erosion Control

Date:
E1.0
July 23, 2014



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Address:
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Drawing title:
 Erosion Control

Date: **E2.0**

July 23, 2014