



CITY OF
**West
Linn**

PRE-APPLICATION CONFERENCE

Thursday October 30, 2025

**Willamette Room
City Hall
22500 Salamo Rd**

10:00 am: Proposed Annexation
Applicant: Ovi & Kelly Ragalie
Property Address: 1045 Rosemont Rd
Neighborhood Assn: Hidden Springs
Planner: Darren Wyss

Project #: PA-25-24





CITY OF

West Linn

Planning & Development • 22500 Salamo Rd #1000 • West Linn, Oregon 97068
Telephone 503.742.6060 • westlinnoregon.gov

Pre-Application Conference Request

For Staff to Complete:

PA 25-24

Conference Date: 10/30/25

Time: 10:00

Staff Contact: Darren Wyss

Fee: \$420

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the Submit a Land Use Application web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

Property Owner Information

Name: Ovi & Kelly Ragalie
Email: kragalie@gmail.com
Phone #: (503) 998-4441
Address: 4030 Borland RD
Tualatin, OR 97062

Applicant Information

Name: Same as owner
Email: Please contact Applicant's representative at:
Zach Pelz
Phone #: AKS Engineering & Forestry
13592 SW Herman RD, Suite 100
Tualatin, OR 97062
Address: (503) 400-6028
pelzz@aks-eng.com

Address of Subject Property (or tax lot): 1045 Rosemont RD, West Linn, OR 97068

REQUIRED ATTACHMENTS:

- ☒ A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- ☒ A list of questions or issues the applicant would like the City to address.
- ☒ A dimensional site plan that shows:
 - ☒ North arrow and scale
 - ☒ Location of existing trees (a tree survey is highly recommended)
 - ☒ Streets Abutting the property and width of right of way
 - ☒ Location of creeks and/or wetlands (a wetland delineation is highly recommended)
 - ☒ Property Dimensions, existing buildings, and building setbacks
 - ☒ Slope map (if slope is 25% or more)
 - ☒ Location of existing utilities (water, sewer, etc.)
 - ☒ Conceptual layout, design, proposed buildings, building elevations, and setbacks
- ☒ Location of all easements (access, utility, etc.)
- ☒ Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
- ☒ Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
- ☒ Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

APPLICANT:

DATE:

The undersigned property owner authorizes the requested conference and grants city staff the **right of entry** onto the property to review the application.

PROPERTY OWNER:

DATE:

9/23/25

September 29, 2025

City of West Linn
Community Development Department
22500 Salamo Rd
West Linn, OR 97068

RE: Pre-Application Questions Regarding Potential Annexation, Zoning Map and Comprehensive Plan Map Amendments, and Subsequent Development of Property Located at 1045 Rosemont Rd in Unincorporated Clackamas County

Dear City of West Linn:

On behalf of our client and the property owner, Kelly and Ovi Ragalie, we would like to request a pre-application conference with City staff and other agency stakeholders to obtain feedback regarding a potential voluntary annexation application, zone change and comprehensive plan map amendment, and subsequent development of property, for a small scale (approximately 60-bed) memory care facility (Exhibit A) to be located on the ±0.89-acre property at 1045 S Rosemont Rd. The property is inside the Metro Urban Growth Boundary (UGB) and is currently designated for future Low Density Urban Residential use (LDR) on the city's Comprehensive Plan Map.

A single-family home is currently located on the site. Access to the property is via S Rosemont Road, which is designated as a Minor Arterial in the City's 2021 Transportation System Plan.

The property is bordered on three sides by the city of West Linn. Trillium Creek Primary school, located at 1025 S Rosemont Rd, surrounds the property to the north and east. The school site is zoned Residential, R-10 while the adjacent open space lot to the south is zoned Residential, R-7, consistent with their designation for low density residential use on the Comprehensive Plan Map.

We would like to obtain the city's feedback in response to the following questions:

Land Use – General

1. What land use applications and permits associated with the potential development will be required? What are the applicable submittal requirements, review procedures, and required fees for the necessary permits? Once issued, how long are applicable land use approvals and permits valid?
2. Please confirm that a zone change from R-10 to R-4.5 or R-2.1 would trigger a comprehensive plan map amendment and that such planned amendments would be reviewed per Community Development Code (CDC) Chapter 81. What is the approximate timeframe that applicant should expect for such a decision by the City Council?

3. Please confirm that if desired, applicant may consolidate their request for an annexation, comprehensive plan map amendment, and zoning map amendment, with an application for site and structural design review.
4. Please discuss the city's prior advice that the proposed use would be classified as a "Senior Citizen/Handicapped Housing Facility," a conditional use in both the R-2.1 and R-4.5 zones. Please outline the conditional use permitting process.
5. CDC Chapter 14 states, "The provisions of Chapter [55](#) CDC, Design Review, apply to all uses except attached and/or detached single-family dwellings, cottage clusters, townhouses, manufactured homes, accessory dwelling units, residential homes, and residential facilities." (Emphasis added) Please clarify whether a future application for a "Senior Citizen/Handicapped Housing Facility" is exempt from the Chapter 55 Design Review standards per this exception.
6. Please address any applicable lot and development standards that would pertain to the conceptual layout.
7. Please confirm whether a Water Resource Area permit in compliance with CDC 32.020 will be required.
8. Please confirm the city's 65-foot wetland setback buffer shown on the AKS wetlands delineation Figure (Exhibit A) would apply to future buildings and related site improvements (e.g., parking, loading areas, landscaping). Please further confirm that if needed, 5,000 square feet- or 30-percent of the WRA may be impacted to accommodate reasonable site development.
9. What, if any, tree retention/preservation requirements are applicable to the conceptual layout?
10. Please confirm whether the preliminary elevations in Exhibit C conform with the applicable building design standards in CDC Chapter 55.

Street/Transportation/Circulation

11. Please confirm the existing access onto Rosemont Road meets applicable city access requirements.
12. Please discuss what, if any, street frontage improvements or right-of-way dedications may be required for the conceptual layout.
13. Please confirm whether a Transportation Impact Analysis will be required to be submitted with a future preliminary development application?

Public Services/Utilities

14. Please address any stormwater retention or treatment requirements that apply to the proposed conceptual layout.
15. Please confirm Tri-City Service District (TCSD) would be the sanitary service provider for the property following annexation to the city. Please outline requirements for and timing of a separate annexation application to TCSD.
16. Tualatin Valley Fire & Rescue (TVFR) Station 55 is located on Hidden Springs Rd, less than a half-mile northeast of the site. Please address any specific fire/emergency access standards that apply to the site and planned use.

17. Please describe the City's expectations for satisfying the requirement to provide electrical service capacity as included in CDC Section 46.150.G.

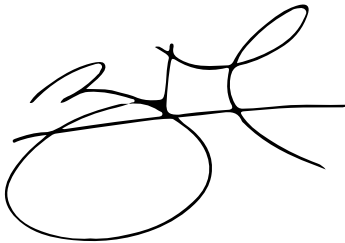
Other

18. Are there any known historic, cultural, or natural resources on the site that we should be aware of? Please address any topographic and environmental concerns that should be considered and mitigated.
19. Are there other issues or site constraints we may not have identified? What additional studies, analyses, or reports may be required?
20. Are there any anticipated changes in building permit fees, engineering design standards, development code standards, etc. that may impact this proposed development?

Thank you in advance for your time and feedback.

Sincerely,

AKS ENGINEERING & FORESTRY, LLC

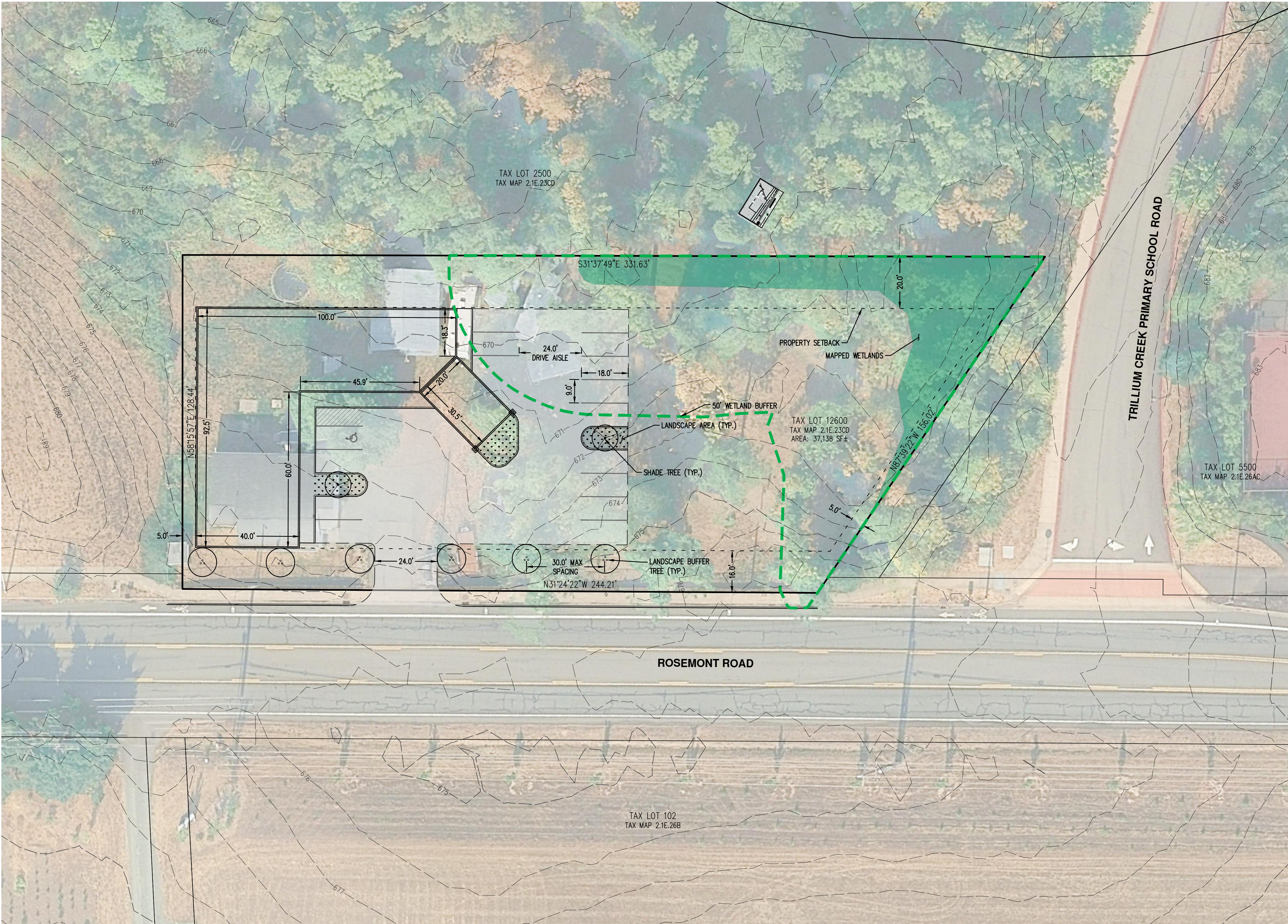
A handwritten signature in black ink, appearing to read 'Zach Pelz', with a large, stylized loop at the end.

Zach Pelz, AICP - Principal
3700 River Road N, Suite 1
Keizer, OR 97303
(503) 400-6028 | ali.turiel@aks-eng.com

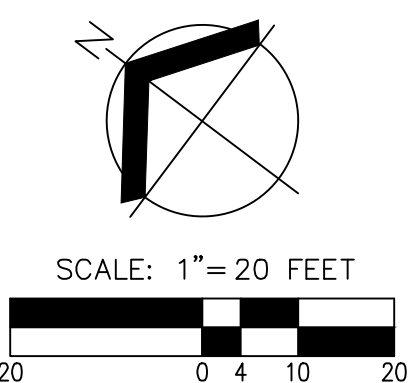
Enclosures:

- Exhibit A: Preliminary Site Plan
Exhibit B: Site Plan with Utility Locations
Exhibit C: Preliminary Building Elevations
Exhibit D: Clackamas County Assessor's Map

EXHIBIT A



- NOTES:**
1. CONTOURS ARE BASED ON THE NAVD88 DATUM AND ARE SHOWN AT A 1.00 FOOT INTERVAL. CONTOURS ARE DERIVED FROM GIS DATA PROVIDED BY DOGAMI FROM A 2019 DATA CAPTURE.
 2. AERIAL PHOTO SHOWN IS FROM 2022.
 3. NO FIELD WORK HAS BEEN DONE AT THIS TIME.
 4. NO TITLE RESEARCH HAS BEEN DONE AT THIS TIME.
 5. THIS MAP IS FOR PLANNING PURPOSES ONLY AND IS CONSIDERED APPROXIMATE.



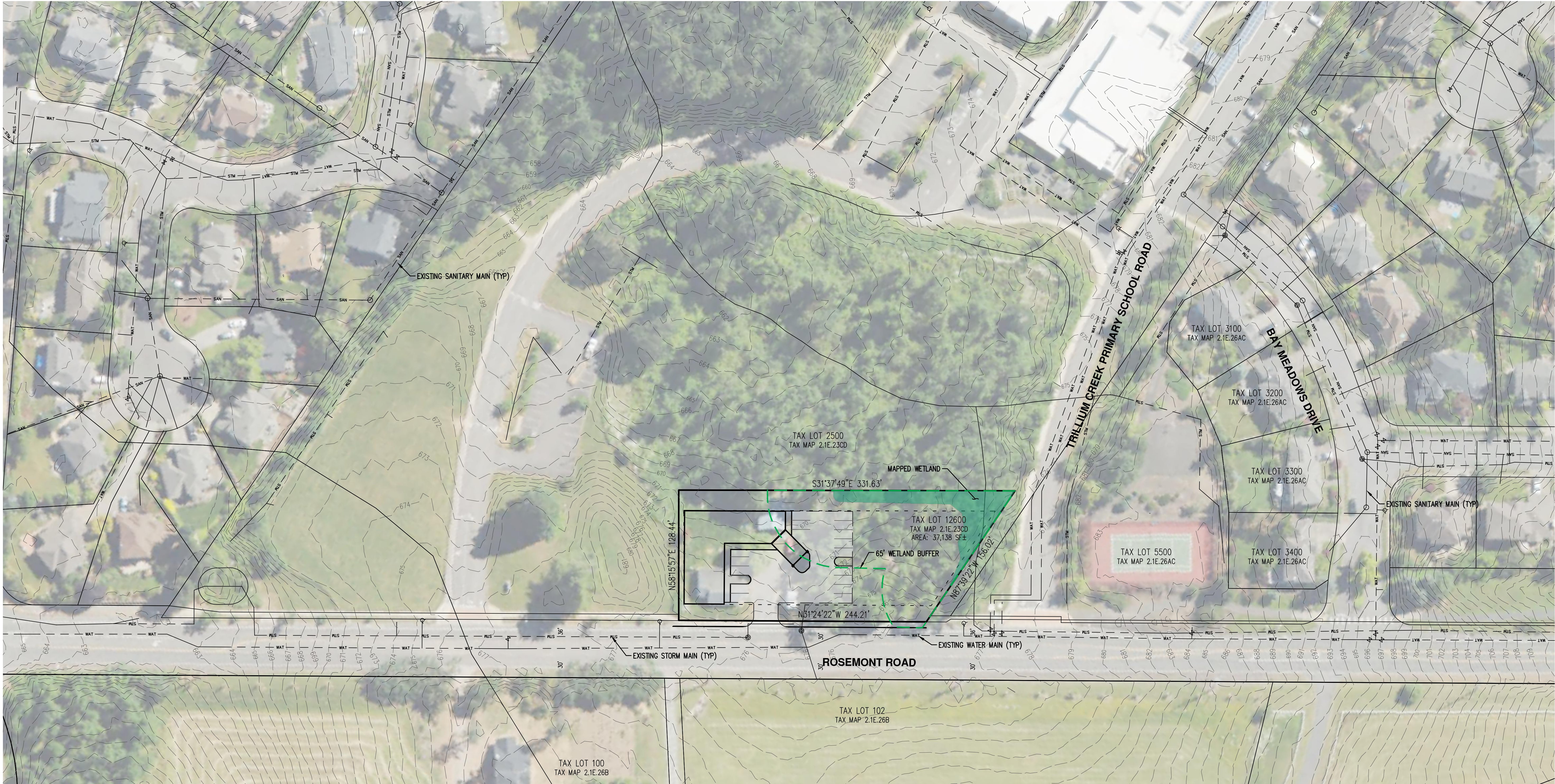
DATE: 09/15/25 AKS JOB: 11496

AKS ENGINEERING & FORESTRY, LLC
12965 SW HERMAN RD, STE 100
TUALATIN, OR 97062
503.563.6151
WWW.AKS-ENG.COM

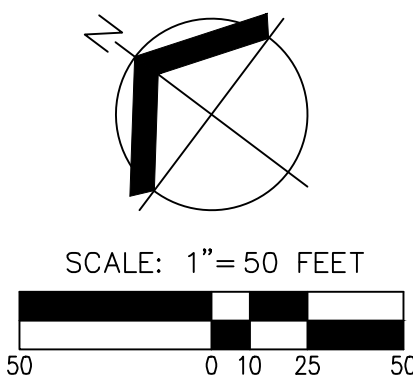
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FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

PRELIMINARY SITE PLAN
1045 ROSEMONT ROAD

WEST LINN, OR



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DATE: 09/19/25 AKS JOB: 11496

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PRELIMINARY UTILITY PLAN

1045 ROSEMONT ROAD EXHIBIT B

WEST LINN, OR



ISOMETRIC ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION
SCALE: 1/4" = 1'-0"

EXHIBIT C

ZED DESIGN LLC ASSUMES NO RESPONSIBILITY FOR THE ACCURACY / VALIDITY OF CONTRACTOR / OWNER SUPPLIED INFORMATION. THE CONTRACTOR / OWNER IS RESPONSIBLE TO CHECK THE PLANS EXISTING SITE CONDITIONS, DIMENSIONS, AND TO NOTIFY THE DESIGNER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES MAY RESULT IN ADDITIONAL COST TO THE OWNER.

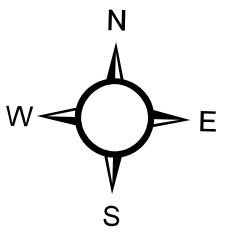
S.E. 1/4 S.W. 1/4 SEC. 23 T.2S. R.1E. W. M.
CLACKAMAS COUNTY

1" = 100'

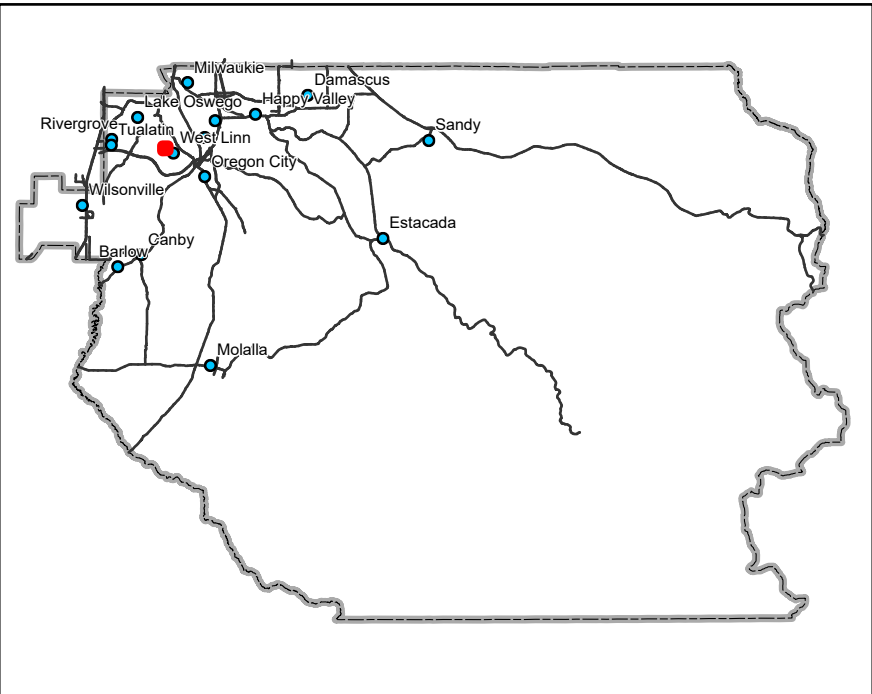
Cancelled

12700
12800
12400
12402

EXHIBIT D



- | | |
|---------------------|-----------------------|
| Parcel Boundary | Corner |
| Private Road ROW | Section Corner |
| Historical Boundary | 1/16th Line |
| Railroad Centerline | Govt Lot Line |
| Tax Code Lines | DLC Line |
| Map Index | Meander Line |
| Water Lines | PLSS Section Line |
| Land Use Zoning | Historic Corridor 40' |
| Plats | Historic Corridor 20' |
| Water | |



THIS MAP IS FOR ASSESSMENT
PURPOSES ONLY