



CITY OF
**West
Linn**

PRE-APPLICATION CONFERENCE

Thursday, March 20, 2025

Willamette Room
City Hall
22500 Salamo Rd

11:00 am: **Proposed 3-lot Minor Partition and Class 1 Variance**
Applicant: **Jake Wilson**
Property Address: **4625 Calaroga Drive**
Neighborhood Assn: **Robinwood Neighborhood Association**
Planner: **Chris Myers**

Project #: PA-25-08





Pre-Application Conference Request

For Staff to Complete:

PA 25-08

Conference Date: 3/20/25

Time: 11:00am

Staff Contact: Chris Myers

Fee: \$1,200

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the [Submit a Land Use Application](#) web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

Property Owner Information

Name: Jacob/Kathleen Wilson, Mike/Julia Werner
Email: jkw.builds@gmail.com
Phone #: (503) 490-4643
Address: 4625 Calaroga Dr, West Linn, OR 97068

Applicant Information

Name: Rick Givens
Email: rickgivens@gmail.com
Phone #: (503) 351-8204
Address: 7669 SW Emery Circle
Wilsonville, OR 97070

Address of Subject Property (or tax lot): 4625 Calaroga Drive

REQUIRED ATTACHMENTS:

- A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- A list of questions or issues the applicant would like the City to address.
- A dimensional site plan that shows:
 - North arrow and scale
 - Location of existing trees (a tree survey is highly recommended)
 - Streets Abutting the property and width of right of way
 - Location of creeks and/or wetlands (a wetland delineation is highly recommended)
 - Property Dimensions, existing buildings, and building setbacks
 - Slope map (if slope is 25% or more)
 - Location of existing utilities (water, sewer, etc.)
 - Conceptual layout, design, proposed buildings, building elevations, and setbacks
- Location of all easements (access, utility, etc.)
- N/A Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
- Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
- Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

APPLICANT: Rick Givens

DATE: 3/3/2025

The undersigned property owner authorizes the requested conference and grants city staff the **right of entry** onto the property to review the application.

PROPERTY OWNER:

DATE: 3/3/2025

Pre-Application Conference Narrative

4625 Calaroga Avenue

Partition and Class 2 Variance

Project Description:

This project relates to property located at 4625 Calaroga Avenue in West Linn. The subject property is 30,795 sq. ft. in area and is developed with an existing single-family home. The property is zoned R-10 and the surrounding neighborhood is composed of single-family homes on lots consistent with this zone. The existing home is proposed to be removed to allow for development of three single-family detached homes. The subject property is level, sloping gently to the rear of the property.

The property fronts on Calaroga Avenue, but the property lines are skewed, making a typical lot layout with each lot having equal frontage impractical. The site plan provides for each lot to meet the minimum 35-foot frontage of the R-10 zone, but the building pads on Parcels 2 and 3 will need to be pushed to the rear of the lots. In order to provide for more building room, particularly on Parcel 2, it is proposed that the lot area for Parcel 1 be reduced by 494 sq. ft. below the 10,000 square foot minimum lot size of the R-10 zone. A Class 2 variance application is proposed to allow for this reduction.

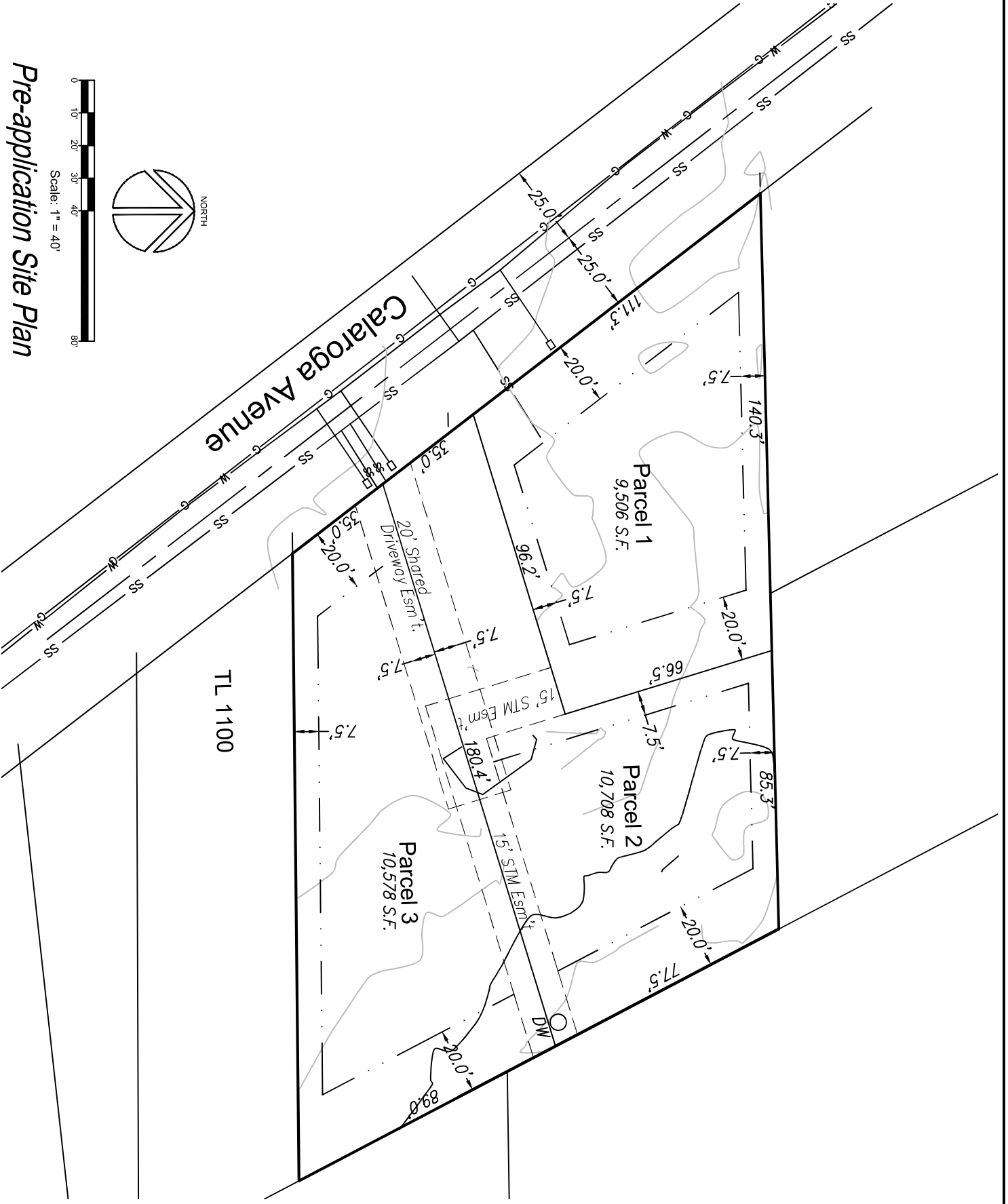
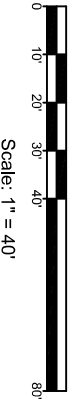
Public Facilities:

City of West Linn sewer and water lines are located in Calaroga Lane along the property's frontage. The existing home is connected to both sewer and water services. New service laterals are proposed to provide for serving the new homes. An infiltration test has been conducted for the property and it shows good percolation rates. It is proposed that a dry well be installed in the rear yard of Parcel 2 to provide for storm drainage service to the three proposed homes. Calaroga Lane is paved, but does not have curbs or sidewalks. This condition is consistent throughout the surrounding neighborhood. For this reason, it is proposed that a fee-in-lieu of construction of frontage improvements be allowed.

Questions for Pre-application Conference:

1. Please explain the process and time frame for approval of the application.
2. The proposed variance to lot size is consistent with the maximum 5 percent reduction that can be authorized through a Class 2 variance. What is the likelihood of this variance being approved?
3. There is no outlet to public storm sewer, but site infiltration rates are good. Is there an objection to the use of a drywell approach?
4. What is required for the fee-in-lieu of frontage improvements and does staff see an problem with this proposal?

Pre-application Site Plan



Richard E. Givens, Planning Consultant
 292 W Sunrise Vista Dr.
 Green Valley, AZ 85614
 PH: (503) 351-8204

SCALE 1" = 40'
DATE: 2-27-2025
PROJECT 24-WL-100

Jake Wilson
 4625 Calaroga Dr., West Linn, OR
 Pre-application Site Plan

EXISTING CONDITIONS MAP

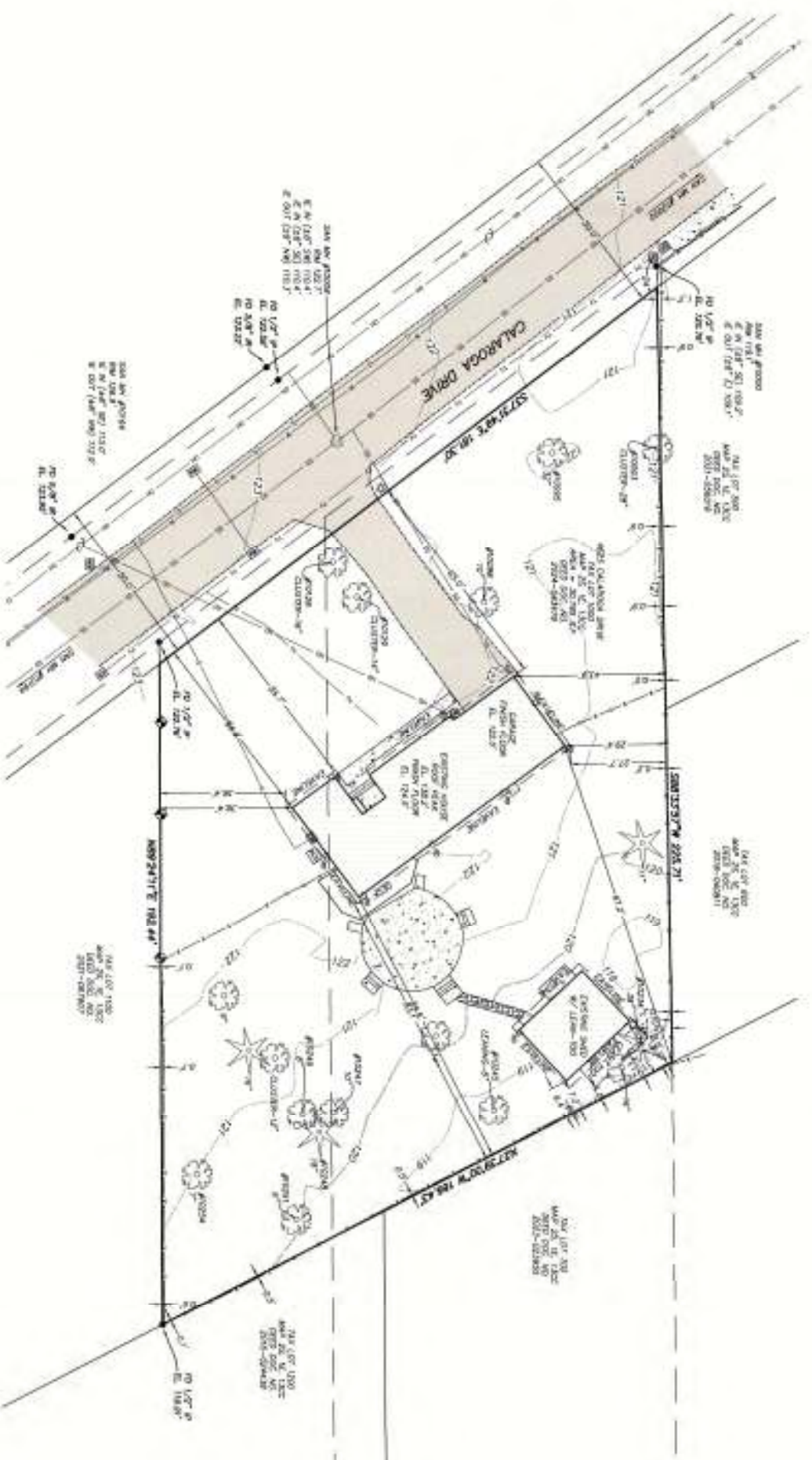
TAX LOT 1000, MAP 25, 1E, 130C
LOCATED IN THE S.W. 1/4 SECTION 13, T2S, R1E, W4E
CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON
DECEMBER 22, 2023 SCALE 1"=40'

SURVEY NOTES:

- THE EXISTING CONDITIONS MAP IS BASED ON THE DATA AND INFORMATION PROVIDED BY THE OWNER AND OTHER SOURCES.
- A TRAILER STORAGE AREA WAS NOT VISUALLY IDENTIFIED AND IS NOT SHOWN ON THIS MAP.
- THE MAP IS BASED ON THE SURVEY OF THE PROPERTY AND IS NOT INTENDED TO SHOW THE EXISTING CONDITIONS OF THE PROPERTY.
- NO WARRANTIES ARE MADE AS TO THE ACCURACY OF THE INFORMATION PROVIDED BY THE OWNER.

UTILITY NOTES:

- THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED ON A COMBINATION OF AVAILABLE INFORMATION, INCLUDING ASBESTOS REMEDIATION RECORDS, PUBLIC RECORDS, FIELD SURVEY DATA, AND OTHER SOURCES.
- THE LOCATION OF UTILITIES IS NOT GUARANTEED AND SHOULD BE VERIFIED BY THE USER.



LEGEND:

1/4" = 1' 0" 1:4800 SCALE 3/4" = 1' 0" 1:3600 SCALE 1" = 1' 0" 1:2400 SCALE 2" = 1' 0" 1:1200 SCALE	3/4" = 1' 0" 1:3600 SCALE
1/4" = 1' 0" 1:4800 SCALE	2" = 1' 0" 1:1200 SCALE
3/4" = 1' 0" 1:3600 SCALE	3" = 1' 0" 1:800 SCALE
1" = 1' 0" 1:2400 SCALE	4" = 1' 0" 1:600 SCALE
2" = 1' 0" 1:1200 SCALE	5" = 1' 0" 1:500 SCALE
3" = 1' 0" 1:800 SCALE	6" = 1' 0" 1:400 SCALE
4" = 1' 0" 1:600 SCALE	7" = 1' 0" 1:350 SCALE
5" = 1' 0" 1:500 SCALE	8" = 1' 0" 1:300 SCALE
6" = 1' 0" 1:400 SCALE	9" = 1' 0" 1:280 SCALE
7" = 1' 0" 1:350 SCALE	10" = 1' 0" 1:250 SCALE
8" = 1' 0" 1:300 SCALE	11" = 1' 0" 1:240 SCALE
9" = 1' 0" 1:280 SCALE	12" = 1' 0" 1:220 SCALE
10" = 1' 0" 1:250 SCALE	13" = 1' 0" 1:200 SCALE
11" = 1' 0" 1:240 SCALE	14" = 1' 0" 1:180 SCALE
12" = 1' 0" 1:220 SCALE	15" = 1' 0" 1:160 SCALE
13" = 1' 0" 1:200 SCALE	16" = 1' 0" 1:150 SCALE
14" = 1' 0" 1:180 SCALE	17" = 1' 0" 1:140 SCALE
15" = 1' 0" 1:150 SCALE	18" = 1' 0" 1:120 SCALE
16" = 1' 0" 1:140 SCALE	19" = 1' 0" 1:100 SCALE
17" = 1' 0" 1:120 SCALE	20" = 1' 0" 1:80 SCALE
18" = 1' 0" 1:100 SCALE	21" = 1' 0" 1:60 SCALE
19" = 1' 0" 1:80 SCALE	22" = 1' 0" 1:50 SCALE
20" = 1' 0" 1:60 SCALE	23" = 1' 0" 1:40 SCALE
21" = 1' 0" 1:50 SCALE	24" = 1' 0" 1:35 SCALE
22" = 1' 0" 1:40 SCALE	25" = 1' 0" 1:30 SCALE
23" = 1' 0" 1:35 SCALE	26" = 1' 0" 1:28 SCALE
24" = 1' 0" 1:30 SCALE	27" = 1' 0" 1:26 SCALE
25" = 1' 0" 1:28 SCALE	28" = 1' 0" 1:24 SCALE
26" = 1' 0" 1:25 SCALE	29" = 1' 0" 1:22 SCALE
27" = 1' 0" 1:22 SCALE	30" = 1' 0" 1:20 SCALE
28" = 1' 0" 1:20 SCALE	31" = 1' 0" 1:18 SCALE
29" = 1' 0" 1:18 SCALE	32" = 1' 0" 1:16 SCALE
30" = 1' 0" 1:16 SCALE	33" = 1' 0" 1:14 SCALE
31" = 1' 0" 1:14 SCALE	34" = 1' 0" 1:12 SCALE
32" = 1' 0" 1:12 SCALE	35" = 1' 0" 1:10 SCALE
33" = 1' 0" 1:10 SCALE	36" = 1' 0" 1:8 SCALE
34" = 1' 0" 1:8 SCALE	37" = 1' 0" 1:6 SCALE
35" = 1' 0" 1:6 SCALE	38" = 1' 0" 1:5 SCALE
36" = 1' 0" 1:5 SCALE	39" = 1' 0" 1:4 SCALE
37" = 1' 0" 1:4 SCALE	40" = 1' 0" 1:3 SCALE
38" = 1' 0" 1:3 SCALE	41" = 1' 0" 1:2 SCALE
39" = 1' 0" 1:2 SCALE	42" = 1' 0" 1:1 SCALE
40" = 1' 0" 1:1 SCALE	43" = 1' 0" 1:1 SCALE
41" = 1' 0" 1:1 SCALE	44" = 1' 0" 1:1 SCALE
42" = 1' 0" 1:1 SCALE	45" = 1' 0" 1:1 SCALE
43" = 1' 0" 1:1 SCALE	46" = 1' 0" 1:1 SCALE
44" = 1' 0" 1:1 SCALE	47" = 1' 0" 1:1 SCALE
45" = 1' 0" 1:1 SCALE	48" = 1' 0" 1:1 SCALE
46" = 1' 0" 1:1 SCALE	49" = 1' 0" 1:1 SCALE
47" = 1' 0" 1:1 SCALE	50" = 1' 0" 1:1 SCALE
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53" = 1' 0" 1:1 SCALE	56" = 1' 0" 1:1 SCALE
54" = 1' 0" 1:1 SCALE	57" = 1' 0" 1:1 SCALE
55" = 1' 0" 1:1 SCALE	58" = 1' 0" 1:1 SCALE
56" = 1' 0" 1:1 SCALE	59" = 1' 0" 1:1 SCALE
57" = 1' 0" 1:1 SCALE	60" = 1' 0" 1:1 SCALE
58" = 1' 0" 1:1 SCALE	61" = 1' 0" 1:1 SCALE
59" = 1' 0" 1:1 SCALE	62" = 1' 0" 1:1 SCALE
60" = 1' 0" 1:1 SCALE	63" = 1' 0" 1:1 SCALE
61" = 1' 0" 1:1 SCALE	64" = 1' 0" 1:1 SCALE
62" = 1' 0" 1:1 SCALE	65" = 1' 0" 1:1 SCALE
63" = 1' 0" 1:1 SCALE	66" = 1' 0" 1:1 SCALE
64" = 1' 0" 1:1 SCALE	67" = 1' 0" 1:1 SCALE
65" = 1' 0" 1:1 SCALE	68" = 1' 0" 1:1 SCALE
66" = 1' 0" 1:1 SCALE	69" = 1' 0" 1:1 SCALE
67" = 1' 0" 1:1 SCALE	70" = 1' 0" 1:1 SCALE
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72" = 1' 0" 1:1 SCALE	75" = 1' 0" 1:1 SCALE
73" = 1' 0" 1:1 SCALE	76" = 1' 0" 1:1 SCALE
74" = 1' 0" 1:1 SCALE	77" = 1' 0" 1:1 SCALE
75" = 1' 0" 1:1 SCALE	78" = 1' 0" 1:1 SCALE
76" = 1' 0" 1:1 SCALE	79" = 1' 0" 1:1 SCALE
77" = 1' 0" 1:1 SCALE	80" = 1' 0" 1:1 SCALE
78" = 1' 0" 1:1 SCALE	81" = 1' 0" 1:1 SCALE
79" = 1' 0" 1:1 SCALE	82" = 1' 0" 1:1 SCALE
80" = 1' 0" 1:1 SCALE	83" = 1' 0" 1:1 SCALE
81" = 1' 0" 1:1 SCALE	84" = 1' 0" 1:1 SCALE
82" = 1' 0" 1:1 SCALE	85" = 1' 0" 1:1 SCALE
83" = 1' 0" 1:1 SCALE	86" = 1' 0" 1:1 SCALE
84" = 1' 0" 1:1 SCALE	87" = 1' 0" 1:1 SCALE
85" = 1' 0" 1:1 SCALE	88" = 1' 0" 1:1 SCALE
86" = 1' 0" 1:1 SCALE	89" = 1' 0" 1:1 SCALE
87" = 1' 0" 1:1 SCALE	90" = 1' 0" 1:1 SCALE
88" = 1' 0" 1:1 SCALE	91" = 1' 0" 1:1 SCALE
89" = 1' 0" 1:1 SCALE	92" = 1' 0" 1:1 SCALE
90" = 1' 0" 1:1 SCALE	93" = 1' 0" 1:1 SCALE
91" = 1' 0" 1:1 SCALE	94" = 1' 0" 1:1 SCALE
92" = 1' 0" 1:1 SCALE	95" = 1' 0" 1:1 SCALE
93" = 1' 0" 1:1 SCALE	96" = 1' 0" 1:1 SCALE
94" = 1' 0" 1:1 SCALE	97" = 1' 0" 1:1 SCALE
95" = 1' 0" 1:1 SCALE	98" = 1' 0" 1:1 SCALE
96" = 1' 0" 1:1 SCALE	99" = 1' 0" 1:1 SCALE
97" = 1' 0" 1:1 SCALE	100" = 1' 0" 1:1 SCALE

