



CITY OF  
**West  
Linn**

## PRE-APPLICATION CONFERENCE

Thursday, March 6, 2025

Willamette Room  
City Hall  
22500 Salamo Rd

9:00 am: **Proposed Class 2 Commercial Design Review**  
Applicant: **Charles Kaddy**  
Property Address: **18850 Willamette Drive**  
Neighborhood Assn: **Robinwood Neighborhood Association**  
Planner: **Chris Myers**

Project #: **PA-25-06**





## Pre-Application Conference Request

For Staff to Complete:

PA 25-06

Conference Date: 03/06/25

Time: 11:00am

Staff Contact: Chris Myers

Fee: \$1,200

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the Submit a Land Use Application web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

### Property Owner Information

Name: McDonalds USA LLC  
Email: nancy.dittmeier@us.mcd.com  
Phone #: 708-801-3966  
Address: 110 N Carpenter St  
Chicago IL 60607

Address of Subject Property (or tax lot):

### Applicant Information

Name: Charles Kaady  
Email: ckaady@kaady.com  
Phone #: 503-246-7735  
Address: 2545 SW Spring Garden St  
Suite 200  
Portland OR 97219

### REQUIRED ATTACHMENTS:

- ✓ A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- N/A A list of questions or issues the applicant would like the City to address.
- ✓ A dimensional site plan that shows:
  - ✓ North arrow and scale
  - ✓ Location of existing trees (a tree survey is highly recommended)
  - ✓ Streets Abutting the property and width of right of way
  - N/A Location of creeks and/or wetlands (a wetland delineation is highly recommended)
  - ✓ Property Dimensions, existing buildings, and building setbacks
  - N/A Slope map (if slope is 25% or more)
    - ✓ Location of existing utilities (water, sewer, etc.)
    - ✓ Conceptual layout, design, proposed buildings, building elevations, and setbacks
  - ✓ Location of all easements (access, utility, etc.)
  - ✓ Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
  - ✓ Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
  - ✓ Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

APPLICANT:

DATE:

2/14/2025

The undersigned property owner authorizes the requested conference and grants city staff the right of entry onto the property to review the application.

PROPERTY OWNER:

Padraic G. Molloy -  
Senior Counsel

DATE:

2/14/2025



Date: February 14, 2025  
Project Name: Kaady Car Wash  
Project No: 24041  
Re: Pre-Application Conference Written Description

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## Memo

To: Chris Myers  
Associate Planner  
City of West Linn Department of  
Planning and Development

From: Bob Thompson

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## Proposal Description:

Chris,

It was a pleasure meeting with you for the Planning Consultation in November. This written statement is part of a request for a Pre-Application Conference with the City of West Linn, as outlined in the Planning website. We have addressed your concerns about internal circulation in the lot with the new design. We want to schedule a conference with you on March 6, in-person.

The proposal for this project looks at demolishing an existing McDonald's drive-through restaurant, at 1850 Willamette Drive, located on the corner of Willamette Drive and Walling Way in West Linn. A new Kaady Car Wash will be built in its place. Drive-through commercial buildings are common along this street, so there are several precedent buildings.

With an area of 3,190 s.f. the proposed single-story carwash is similar in size and scale to the existing restaurant. The site design will keep the existing access driveways in their existing locations. Circulation through the site loops from the west and along the south end of the building, building a ticketing queue of up to eighteen vehicles. The cars make a U-turn into the car wash and can use the vacuum service stalls on the north lot of the building and then travel through the mechanical car wash out on the west end.

The serpentine drive exit is part of a dedicated access easement and will remain as-is for this design. The dedicated reciprocal ingress and egress easement are shown and referenced on the attached site plan. (Document No 96-058137 amended by 98-051836) This site has no wetlands, riparian areas, or environmentally sensitive conditions. According to the City of West Linn Maps, there are no steep slopes on this site.

### **tva architects, inc.**

1750 sw yamhill street | suite 150 | portland, oregon 97205  
phone: 503 220 0668 | [www.tvaarchitects.com](http://www.tvaarchitects.com)

Robert Thompson, FAIA | Tim Wybenga, LEED AP | Pamela Saftler, AIA, IIDA | Mandy Butler, AIA, LEED AP, CSI CDT

MEMO – Bob Thompson  
November 19, 2024  
Kaady Car Wash – Planning Consultation Request Proposal and Questions  
Page 2

The building is a Type VB Construction Type, using CMU, composite and ribbed metal panels, with a wood roof structure, and a membrane roof. Kaady Car Wash is Occupancy Group B, nonseparated use. The building will be considered semi-conditioned. For reference, this car wash will be very similar to the Kaady Car Wash built on Burnside Avenue in Portland in 2023.

There are several large deciduous street trees along both Willamette and Walling Way which do not appear on the City of West Linn Tree Inventory Map. These trees all remain, and will be protected during construction. There is also a CMU retaining wall along the east property line. That wall and the columnar tree row behind it are to remain as-is.

Overhead power is provided on the opposite (west) side of Willamette Drive. The existing transformer that is currently in a drive island for the McDonald's restaurant will need to be relocated and rotated slightly in a new parking island to the north of the car wash drive entry aisle. We will need to check with the local franchise electrical company to determine the capacity of that transformer relative to the equipment needs of this facility.

The site is served by a Tri-Met transit stop for route 35, Macadam/Greeley, stop 6349. No anticipated traffic or street modifications are anticipated. Three water service lines are located under Willamette Drive, just to the west of the curb. There appears to be a 4" lateral stub connection to an existing water vault. There is a smaller 6" water main that is under Walling Way,

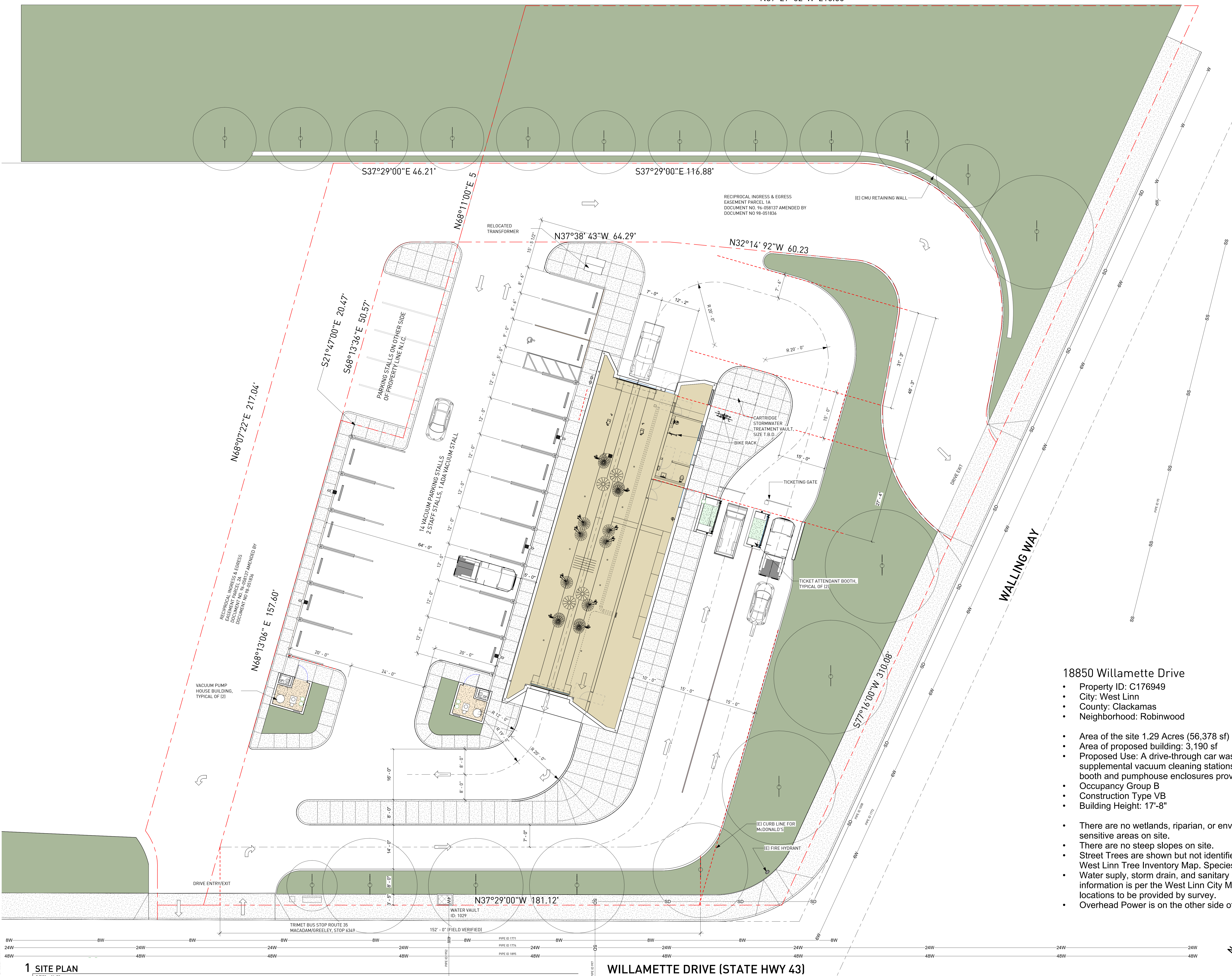
Our client, Mr. Chuck Kaady, is doing his due diligence on the site before purchasing the property. He wants to ensure what is being proposed will be supported by the city before closing on the land. As we understand it, a carwash is considered to be a conditional use which is decided by the Planning Commission and is subject to Design Review. We want to discuss this proposal in that light and get the City's feedback on any planning and zoning hurdles that could potentially cause the project not to be approved.

We have included a concept site plan for the new carwash with photos and elevations of the prototypical proposed car wash.

Bob Thompson  
Design Principal, FAIA, TVA Architects

NOT FOR CONSTRUCTION

**KAADY CAR WASH**  
 WEST LINN, OREGON



**18850 Willamette Drive**

- Property ID: C176949
- City: West Linn
- County: Clackamas
- Neighborhood: Robinwood

- Area of the site 1.29 Acres (56,378 sf)
- Area of proposed building: 3,190 sf
- Proposed Use: A drive-through car wash with supplemental vacuum cleaning stations. Auxiliary ticket booth and pumphouse enclosures provided.
- Occupancy Group B
- Construction Type VB
- Building Height: 17'-8"

- There are no wetlands, riparian, or environmentally sensitive areas on site.
- There are no steep slopes on site.
- Street Trees are shown but not identified on the City of West Linn Tree Inventory Map. Species not indicated.
- Water supply, storm drain, and sanitary sewer information is per the West Linn City Maps site, exact locations to be provided by survey.
- Overhead Power is on the other side of Willamette Drive

Δ Revisions

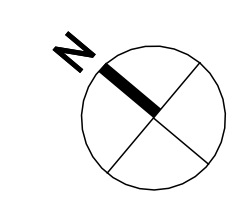
**CONSTRUCTION DOCUMENTS**

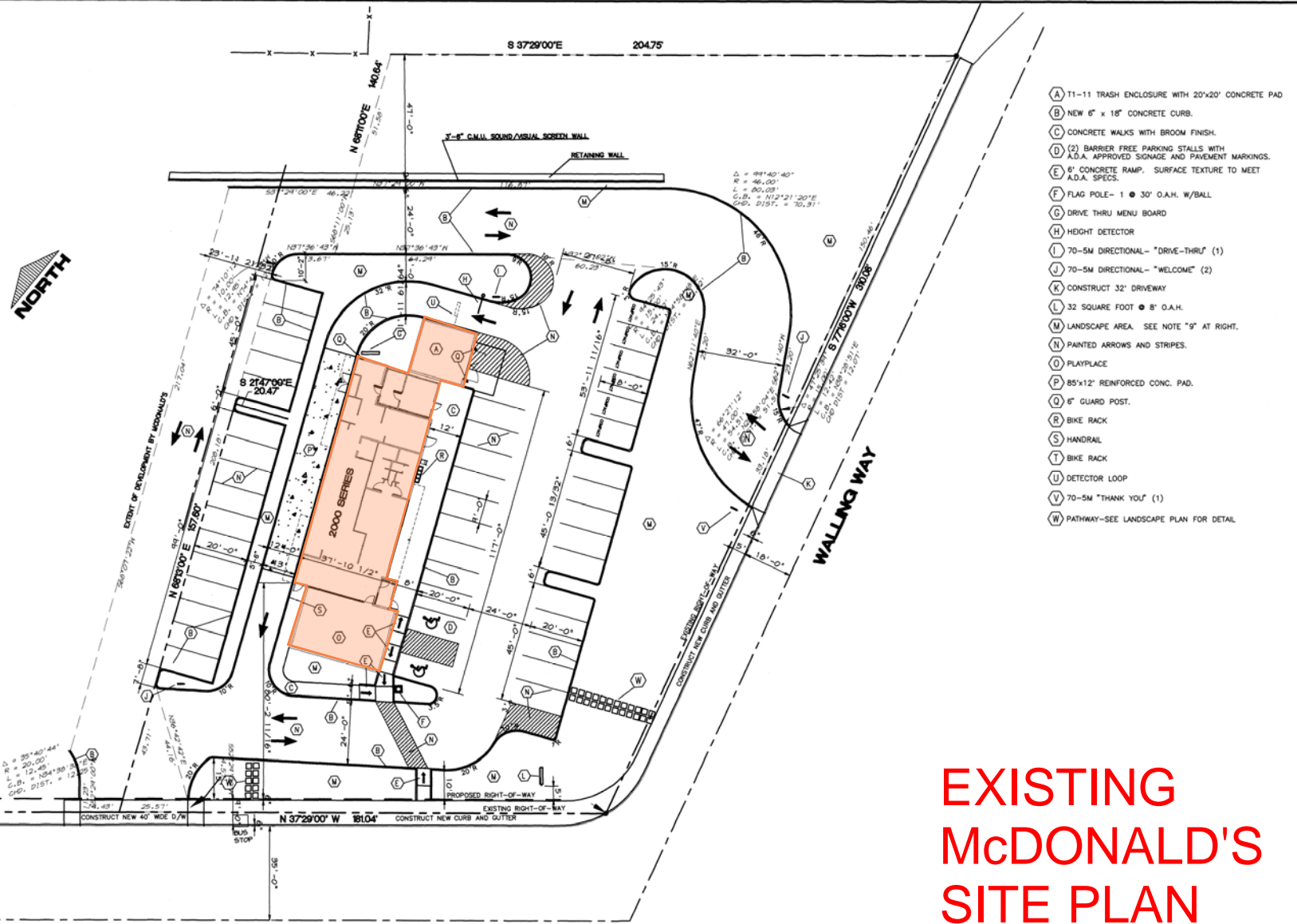
**OVERALL SITE PLAN**

Project # 22005

**A0.10**

Date: 2.7.2024





- (A) T1-11 TRASH ENCLOSURE WITH 20'X20' CONCRETE PAD
- (B) NEW 6" x 18" CONCRETE CURB.
- (C) CONCRETE WALKS WITH BROOM FINISH.
- (D) (2) BARRIER FREE PARKING STALLS WITH A.D.A. APPROVED SIGNAGE AND PAVEMENT MARKINGS.
- (E) 6" CONCRETE RAMP. SURFACE TEXTURE TO MEET A.D.A. SPECS.
- (F) FLAG POLE- 1 @ 30' O.A.H. W/BALL
- (G) DRIVE THRU MENU BOARD
- (H) HEIGHT DETECTOR
- (L) 70-5M DIRECTIONAL- "DRIVE-THRU" (1)
- (J) 70-5M DIRECTIONAL- "WELCOME" (2)
- (K) CONSTRUCT 32' DRIVEWAY
- (V) 70-5M "THANK YOU" (1)
- (W) PATHWAY-SEE LANDSCAPE PLAN FOR DETAIL

PACIFIC HWY. (WILLAMETTE DRIVE) ST. HWY. 43

# EXISTING McDONALD'S SITE PLAN

GENERAL NOTES		BY	DATE	DESCRIPTION	SCALE	REF																														
1.	MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.	CFE																																		
2.	BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.	GAB																																		
3.	3/4" IDPT CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.	GAB																																		
4.	BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.	GAB																																		
5.	PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.	GAB																																		
6.	THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITRY.	GAB																																		
7.	ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GRADE/AS-BUILT.	GAB																																		
8.	FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.	GAB																																		
9.	ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.	GAB																																		
10.	LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.	GAB																																		
<p>PAVING SPECIFICATION (MINIMUM 3" TOTAL COMPACTED ASPHALT THICKNESS)</p> <p>IN GENERAL, A MIN. OF 3 INCHES OF ASPHALT OVER 6 INCHES OF COMPACTED AGGREGATE BASE, AT ENTRANCE, EXIT POINTS AND MAIN DRIVE LANES THE THICKNESS OF THE BASE SHOULD BE INCREASED TO 8 INCHES. HEAVY TRUCKS MAY TRAVEL AND PARK THE ASPHALT SHOULD BE THICKENED TO 3 INCHES WITH A 6 INCH BASE. FOR FURTHER RECOMMENDATIONS SEE GEOTECH INVESTIGATION REPORT.</p> <p>NOTE: MCDONALD'S BRANDER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, S.C. WILL BE CHARGED.</p>																																				
<p>LOT LIGHTING RECOMMENDATION</p> <p>PER SECURITY LIGHTING PLAN</p> <p>NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.</p>																																				
<p>PARKING INFORMATION</p> <table border="1"> <tr> <td>TOTAL SPACES</td> <td>22</td> <td>SPACES 41'-0" X 20'-0" @ 80'</td> </tr> <tr> <td></td> <td>6</td> <td>SPACES 41'-0" X 18'-0" @ 80'</td> </tr> <tr> <td></td> <td>-</td> <td>SPACES - X - @ -</td> </tr> <tr> <td></td> <td>-</td> <td>SPACES - X - @ -</td> </tr> </table>							TOTAL SPACES	22	SPACES 41'-0" X 20'-0" @ 80'		6	SPACES 41'-0" X 18'-0" @ 80'		-	SPACES - X - @ -		-	SPACES - X - @ -																		
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<p>SURVEY INFORMATION</p> <p>PREPARED BY: JIM HEDDLE AND ASSOCIATES INC. 1750 SW SKYLINE BLVD. PORTLAND, OREGON 97221</p> <p>DATE: 10-12-94 PH 1-503-242-9000</p>																																				
<p>LEGEND</p> <table border="1"> <tr> <td>SANITARY SEWER</td> <td>6AS</td> </tr> <tr> <td>HATER</td> <td>LOT LIGHT</td> </tr> <tr> <td>STORM SEWER</td> <td>EXISTING ELEVATION (76.5)</td> </tr> <tr> <td>ELECTRIC</td> <td>PROPOSED ELEVATION (77.0)</td> </tr> </table> <p>PLAN SCALE: 1" = 20'</p> <p>STREET ADDRESS NW COR WILLAMETTE &amp; WALLING DR</p> <p>CITY: WEST LINN STATE: OREGON</p> <p>COUNTY: CLACKAMAS</p> <p>REGIONAL DWS. NO: PTD-278 LOCATION CODE: 86-0120</p> <p>CORPORATE DWS. NO: XXXXXXXXXXXX 17746</p>							SANITARY SEWER	6AS	HATER	LOT LIGHT	STORM SEWER	EXISTING ELEVATION (76.5)	ELECTRIC	PROPOSED ELEVATION (77.0)																						
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SIGNATURE (2 REQUIRED)			PRELIMINARY																																	
			PLAN CHECKED																																	
			AS-BUILT																																	

McDonald's



PROJET SITE



**VIEW OF EXISTING  
McDONALD'S LOOKING  
NORTH ALONG  
WILLAMETTE DR.**





PICTURE OF NEW  
PROPOSED PROTOTYPE  
CAR WASH, 18TH AND NW  
BURNSIDE, PORTLAND



tva architects inc.  
100 South Street, Suite 1000  
Portland, Oregon 97204  
phone: 503.223.3444  
www.tvaarchitects.com



**PROTOTYPE CAR WASH**  
SITE TO BE DETERMINED

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

Project # 22005

**A4.01**

Date: 2.7.2024

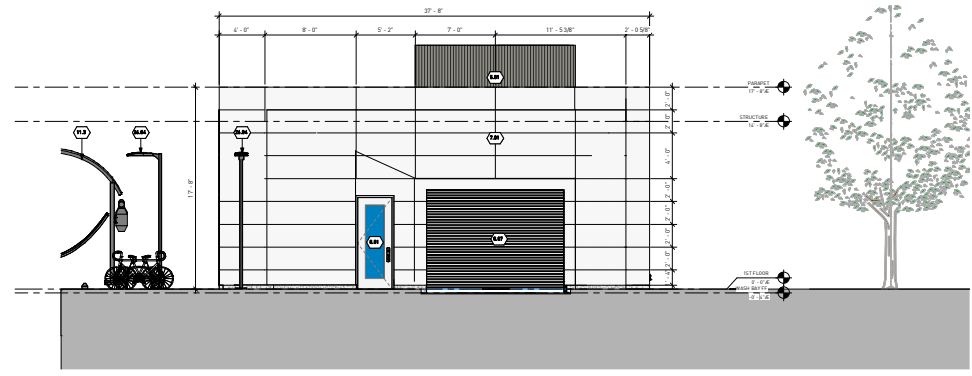
**GENERAL NOTES**

1. PAINT ALL NON-NOTES MISCELLANEOUS ITEMS TO MATCH SURROUNDING FINISHES FROM COLOR GUIDE
2. LOWER COLOR TO BE COORDINATED / COLLECTED WITH SOME FACES
3. USE FLOOR PLAN FOR DOOR AND WINDOW FACTORS
4. WINDOW TYPES NOT SHOWN ON FLOOR PLANS ARE SHOWN IN THIS ELEVATION
5. SEE WALL SECTIONS FOR ADDITIONAL ELEVATED AREAS

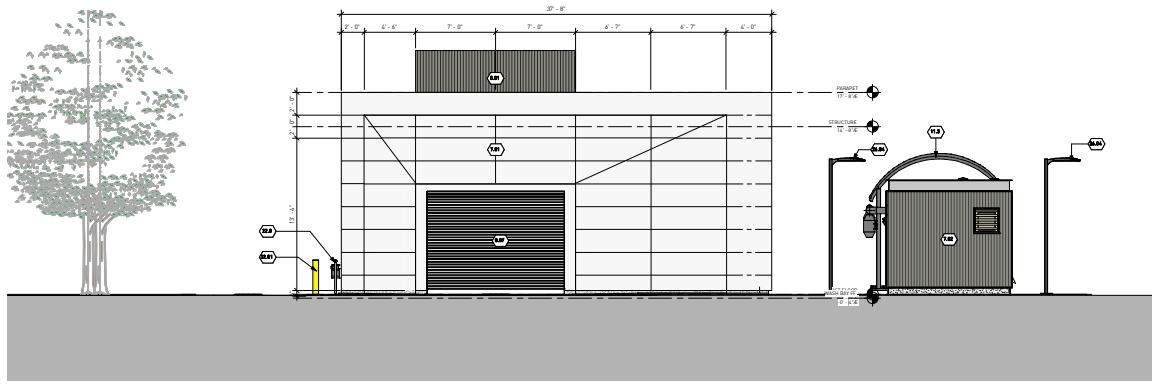
**KEYNOTES**

NOTE: ONLY KEYNOTES APPROPRIATE TO THIS SHEET ARE SHOWN IN THIS KEYNOTE LEGEND. GO TO VERIFY ANY DISCREPANCY IN KEYNOTING.

KEYNOTE	DESCRIPTION
001	PROVIDE ROOF SCREEN FRAME, SEE STRUCTURAL. FINISH METAL PANEL CLADDING, METAL SALES T15-A.
002	SMOOTH METAL PANEL, COMPOSITE METAL PANEL, ALUMINUM ALCLADING, BLENDED/ROUND EDGED. USE 1/8" THICK ALUMINUM GAGES WITH ORGANIC COATING FINISH WITH ALUMINUM POLYETHYLENE COSE. COLOR: WHITE. BOLT AND RETURN FABRICATION FOR 1" NOMINAL SPACES. PROVIDE BACKER ROD AND SILICONE SEALANT FOR 1/2" VERTICAL AND HORIZONTAL JOINTS.
003	FINISH METAL PANEL, METAL SALES T15-A. USE GAUGE BORED RIS METAL PANEL, MOUNT TO FLOORING CHANNEL, AND TIGHTEN OUT WITH GALVANNEUT SMOOTH METAL PANEL, SMP-1, COLOR: GREY.
004	BLACK FULL WINDOW EXTERIOR ENTRY 8'-0" x 8'-0" HAWNEER 2001 STANDARD MEDIUM THERMAL WINDOW DOOR ENTRANCE, 2 1/2" ALUMINUM STILES AND TOP RAIL, 1 1/2" BOTTOM RAIL, GUARDIAN SH-1007 LOW-E EMITTED GLASS LITE, 1/2" SMALL SPACE, 30 MALL DOOR HARDWARE, BOLT FINISHES: GALV. NCS-500 FOR 4 X 4.5 NIP SW BRUSHED STAINLESS FINISH, EXIT DEVICE: HOLLOW 8-1/2" x 8-1/2" x 1/2" HOLLOW BRASS. COLOR: GUN METAL CASH SURFACE MOUNTED GLASS. THRESHOLD: FINISH 1/2" BRASS COMPOSITE PLATE THRESHOLD OF MADE, GASKET: ZERO BRUSH PVA. DOOR SWEEP: ZERO STRIPAL RAIN SWEEP WITH POLYURETHANE.
005	OVERHEAD COILING DOOR: COMPACT MODEL, 1500# MOTORIZED HOISTS SERVICE DOOR, 30 GAUGE PAINTED GALVANNEUT STEEL, PAINT WHITE, 12'-0" WIDE x 8'-0" HIGH.
006	WINDOW HOSE STATION PROVIDED BY OWNER, CONNECT TO COMPRESSOR SHEL.
007	SEE ME FOR COORDINATION WITH FRANCHISE OFFICE FOR EXACT LOCATION.
008	PARKING LOT FLOOR LIGHT.
009	CONCRETE FIELDS'S REEF TRAFFIC: BOLLARD, FIELD PAINT YELLOW.



1 ENTRANCE ELEVATION



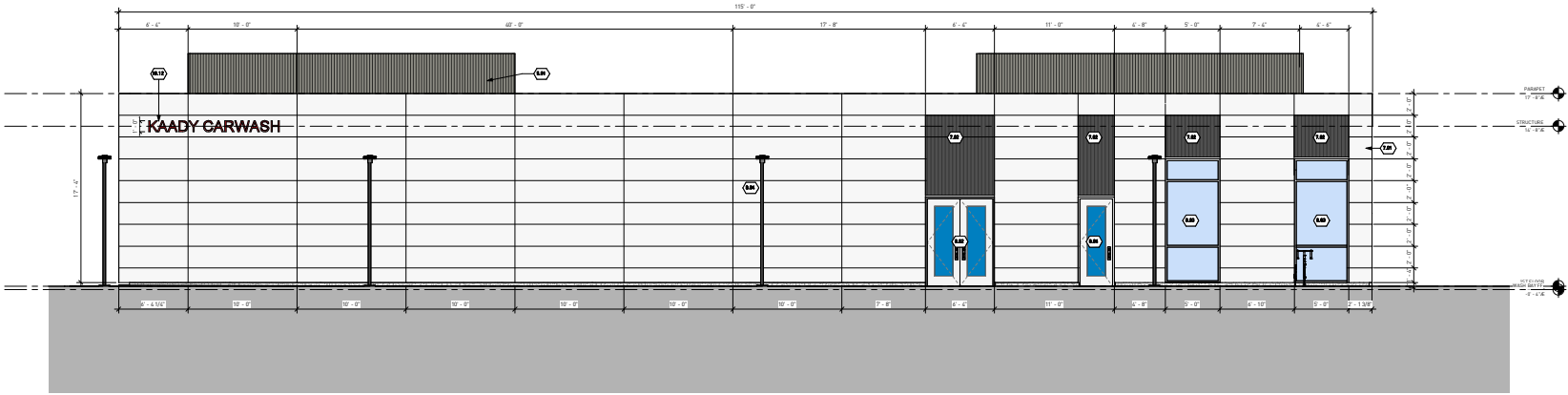
2 EXIT ELEVATION



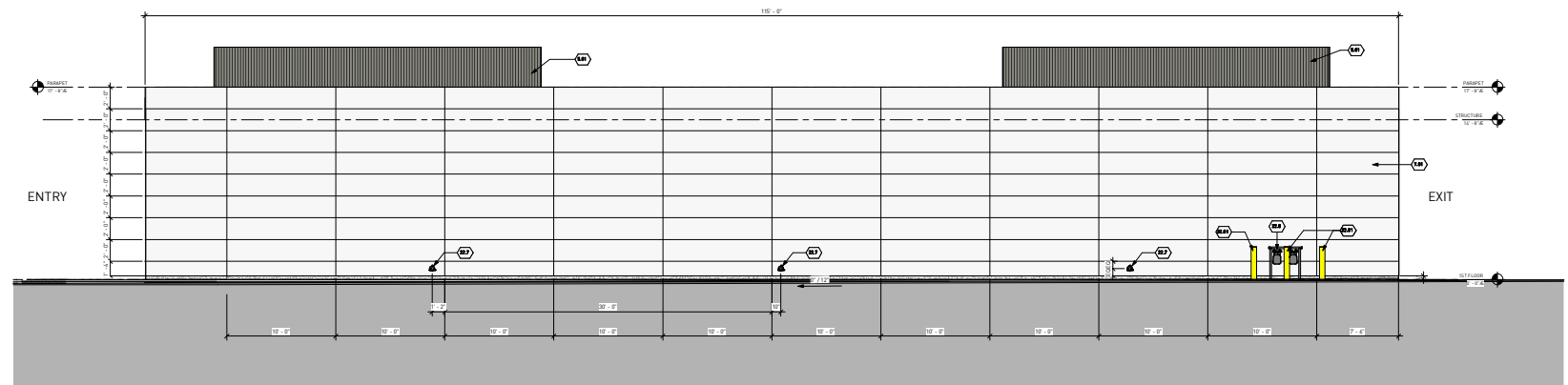
tva architects inc.  
 1000 Birchmount Road, Suite 1000  
 Scarborough, Ontario M1S 2C1  
 phone: 416.291.1000  
 www.tvaarchitects.com



PROTOTYPE CAR WASH  
 SITE TO BE DETERMINED



1 DRIVER'S SIDE ELEVATION  
 1/2" = 1'-0"



2 PASSENGER'S SIDE ELEVATION  
 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

EXTERIOR ELEVATIONS

Project # 22005

A4.02

Date: 2.7.2024