



PRE-APPLICATION CONFERENCE

Thursday, November 7, 2024

Willamette Room
City Hall
22500 Salamo Rd
West Linn

1:00 pm: Proposed land use approval for the proposed new Willamette Pump Station and Force Main

Applicant: Water Environment Services (WES), applicant

Site Locations: 4 lots on 4th Street and the pipeline system between the Willamette PS site and the intersection of Willamette Falls Drive and Highway OR 43

Neighborhood Assn: Willamette Neighborhood Association

Planner: Darren Wyss **Project #:** PA-24-17





Pre-Application Conference Request

For Staff to Complete:

PA 24-17

Conference Date: 10/17/24

Time: 1:00pm

Staff Contact:

Fee: \$1,200

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the [Submit a Land Use Application](#) web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

Property Owner Information

Name:

Email:

Phone #:

Address:

Applicant Information

Name:

Email:

Phone #:

Address:

Address of Subject Property (or tax lot):

REQUIRED ATTACHMENTS:

- A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- A list of questions or issues the applicant would like the City to address.
- A dimensional site plan that shows:
 - North arrow and scale
 - Location of existing trees (a tree survey is highly recommended)
 - Streets Abutting the property and width of right of way
 - Location of creeks and/or wetlands (a wetland delineation is highly recommended)
 - Property Dimensions, existing buildings, and building setbacks
 - Slope map (if slope is 25% or more)
 - Location of existing utilities (water, sewer, etc.)
 - Conceptual layout, design, proposed buildings, building elevations, and setbacks
- Location of all easements (access, utility, etc.)
- Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
- Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
- Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

APPLICANT:

DATE:

The undersigned property owner authorizes the requested conference and grants city staff the **right of entry** onto the property to review the application.

PROPERTY OWNER:

DATE:

Willamette Pump Station and Force Main Improvements

West Linn Pre-application Conference: Project Concept Narrative

September 12, 2024

Purpose

Clackamas Water Environment Services (WES) owns and operates Willamette Pump Station and Force Main in West Linn, Oregon. The Willamette Pump Station (PS) and Force Main (FM) were constructed in 1986 and convey sanitary sewer flows from areas west of the Willamette River, including portions of West Linn, to WES's Tri-City Water Resource Recovery Facility. The 2019 WES Sanitary Sewer Master Plan determined that, in addition to targeted Inflow and Infiltration (I/I) reduction upstream of the pump station, a new pump station and force main are necessary to increase capacity to meet future wet-weather flows. The WES 2022-2027 Capital Improvement Plan includes a project to design and construct the new pump station and force main that will meet future capacity needs, improve reliability and maintainability of the systems, and increase resiliency during extreme weather and seismic events. A conceptual design for the PS and FM was completed in 2022 which evaluated the pump station location and several force main alignments to convey flows from the pump station to sewer connection points across the Willamette River. Subsequently, WES identified an opportunity to construct a portion of the new force main with ODOT's I-205 Abernethy Bridge Expansion project.

The purpose of this project is to design and permit the new Willamette PS and the FM from the pump station to the connection point upstream of the Abernethy Bridge crossing. The project's Potential Area of Impact is shown in Figure 1 below.

Figure 1 - Project Potential Area of Impact



Pump Station Project Description

The existing Willamette Pump Station is located along 4th St., near the intersection with Volpp St. The pump station replacement project may include up to five tax lots, all owned by WES, depending on the final location sited for the pump station and the extents required for floodplain development mitigation. The existing pump station is located on Lot A. Lot E is the preferred location for the new pump station because the soil conditions are better and the pump station is closer to the flood plain boundary near 5th Avenue. Lot B has also been considered due to its proximity to the existing pump station, however this location has high liquification and lateral spread ground conditions.

Lots C and D are encumbered by a drainage and wetland connected to Bernert Creek. These lots will not be developed with structures but may be needed for flood plain development mitigation and stormwater discharge from the pump station sites. A summary of the WES owned parcels within the project area are listed in Table 1 and illustrated in Figure 2 below.

Table 1 – WES Owned Parcels

| | Lot A | Lot B | Lot C | Lot D | Lot E |
|-----------------------|--|---------------------|--------------------|--------------------|--------------------------------------|
| Address | 1004 4 th St., West Linn | No situs | No situs | No situs | 2715 5 th Ave., West Linn |
| Use | Willamette PS | Vacant | Vacant | Vacant | Residence |
| Area | 0.136 ac., 5912 SF | 1.21 ac., 52,807 SF | 1.02 ac. 44,477 SF | 0.58 ac. 25,143 SF | 2.08 ac. 90,684 |
| Tax Map | 31E01BB | 31E01BB | 31E01BB | 21E36CC | 21E36CC |
| Tax lot Number | 31E01BB00102 | 31E01BB00104 | 31E01BB00103 | 21E36CC01201 | 21E36CC00900 |
| Parcel Number | 01439492 | 05039573 | 05039572 | 00415820 | 00415802 |
| Zoning | GI | GI | GI | GI | R10 |
| Owner Mailing Address | WES, 150 Beavercreek Rd., Ste 430, Oregon City, OR 97045 | | | | |

Figure 2 – WES Owned Parcels



The lots are currently zoned General Industrial (GI) and Residential 10 (R10). A pump station is a permitted use in the GI zone (CDC 23.030.13) and conditional use in the R10 zone (CDC 11.060.09)

The properties are within the proposed Waterfront Planning District, Pond Redevelopment District.

Site Planning and Civil Design Questions:

- Are any upcoming zoning changes planned that may impact the development standards for the parcels within the project area?
- Soil borings indicate shallow groundwater and low permeability soils making infiltration of stormwater unfeasible. What data would be needed to submit to confirm this? Would overland discharge from a stormwater management facility to the Bernert Creek and wetland area on WES's property be an option?

Waterfront Plan Questions:

- How will the Waterfront Plan effect the use of or access to the subject property?
- What is the anticipated adoption date for the Waterfront Plan?

Development Review Questions:

- We assume that replacement of the Willamette PS will require Type 2 Design Review, if located in the GI, or a conditional use review if located in the R10 zone. (See attached conceptual architectural elevation) If the pump station requires conditional use review, is design review also required? Please confirm review process.
- The project is in a flood hazard area, FEMA zone AE, but is upland from the floodway. (See map 41005CO257D). Confirm if City will follow FEMA's guidelines to allow fill within the flood plain without a cut balance.
- Lot A does not have a Habitat Conservation Area (HCA) overlay. Lots B through E have HCA overlays associated with Bernert Creek as shown in Figure 3 below. What would be the trigger for replacement of the Bernert Creek culvert?

Figure 3 – HCA Overlay from West Linn Maps



- The City classifies the tributary to Bernert Creek as a 'Significant Riparian Corridor' with a potential 'Locally Significant Wetland', WI-03 as shown in Figure 4 below.

Figure 4 – WRA Overlay from West Linn Maps



Resource Questions:

- Please confirm whether the city classifies this tributary of Bernert Creek as a fish bearing or non-fish-bearing stream.
- What type and level of review will be required for potential impacts within the HCA?
- What would trigger the replacement of the culvert and what type and level of review will be required for potential improvements made to the Bernert Creek Culvert?
- Lots A and B may lie within the Willamette and Tualatin River Protection Area overlay zone. Please identify whether the proposed replacement of the Willamette PS is exempt from review under CDC 28.040.D, *replacement-in-kind by public utilities for pump stations and utility lines*.
- Would the City allow for fill outside of the floodway without a balanced cut to protect the existing riparian area?

Frontage Question:

- The applicant expects either to make frontage improvements and/or ROW dedication or pay a fee in lieu of (currently \$375/ lineal foot) Is a fee in lieu of payment acceptable?
- Would this include 4th Street and 5th Avenue frontages?
- Would the City entertain vacating the undeveloped rights of way through the WES parcel?

Attachments

The proposed conceptual site plan is shown on Attachment A. The proposed conceptual building elevations are shown on Attachment B.

Force Main Project Description

The Willamette Force Main (FM) is the pipeline system between the Willamette PS site and the intersection of Willamette Falls Drive and Highway OR 43. This project will connect to the pipeline constructed by the Oregon Department of Transportation (ODOT) through its I-205 Abernethy Bridge Expansion project.

The Force Main will be constructed within public rights-of-way: 4th Street, Willamette Falls Drive and Sunset Avenue. It will connect to a pipeline located within the ODOT right of way immediately north of the OR43 and Willamette Falls Drive intersection. The rights-of-way cross several zoning districts, including General Industrial, Single Family Residential, Mixed-Use Transition, and General Commercial. Conditional Use review may be required for the Force Main within these zoning Districts. The proposed alignment is shown in Figure 5A and 5B.

Questions:

- Is land use review required if all long-term development occurs within the public right-of-way?
- If yes, the applicant proposes to apply for a single conditional use permit for all Force Main activity regardless of the zoning district the FM crosses. Please confirm that this is acceptable.
- The Force Main is not subject to design review. Please confirm.
- The Force Main will cross Tanner Creek within the Willamette Falls right-of-way and Bernert Creek along the 4th St. right-of-way. Are the proposed crossings exempt from WQRA review pursuant to CDC 18.32.040.B.1, *Maintenance. Routine repair, maintenance and replacement of legally established above and below ground utilities... , provided re-vegetation of disturbed areas or corridors is performed pursuant to CDC [32.100](#)?*
- Shallow basalt is anticipated along Willamette Falls Drive. Please confirm whether rock blasting will be allowed.
- Construction management. Please confirm whether areas used for construction staging are subject to a temporary use permit (TUP), a ministerial permit.
- Please discuss the level of outreach required to neighborhood associations for the PS and the FM.
- Please discuss whether impacts to the permitting timeline or need for extensions alter the land use and permitting process if the FM construction activity occurs in stages separated by a few years.

Attachments

The entire force main alignment is shown in Attachment C.

Figure 5A – West Side Force Main Alignment

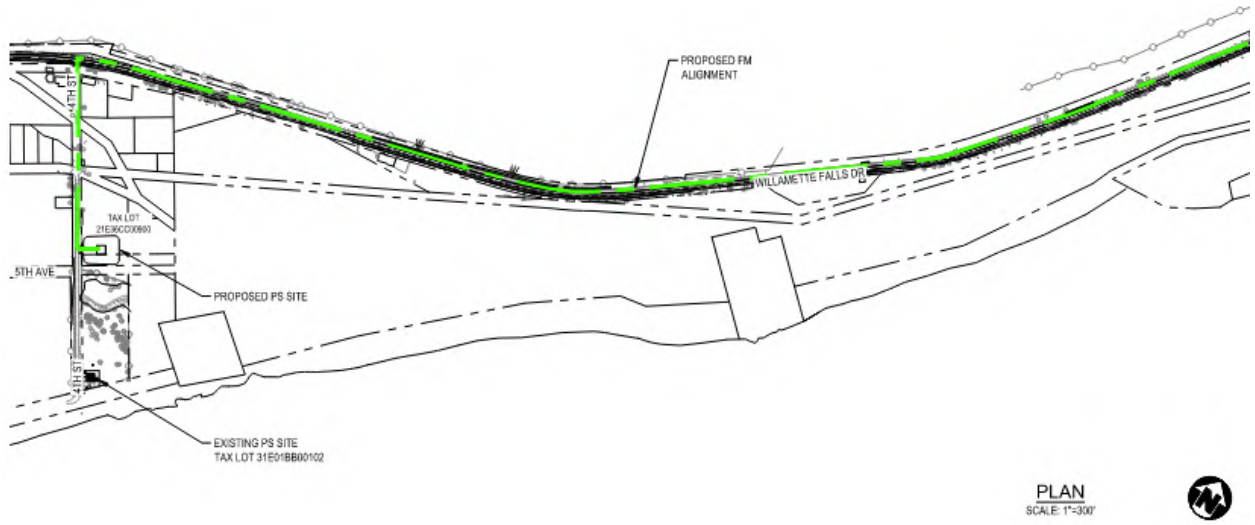
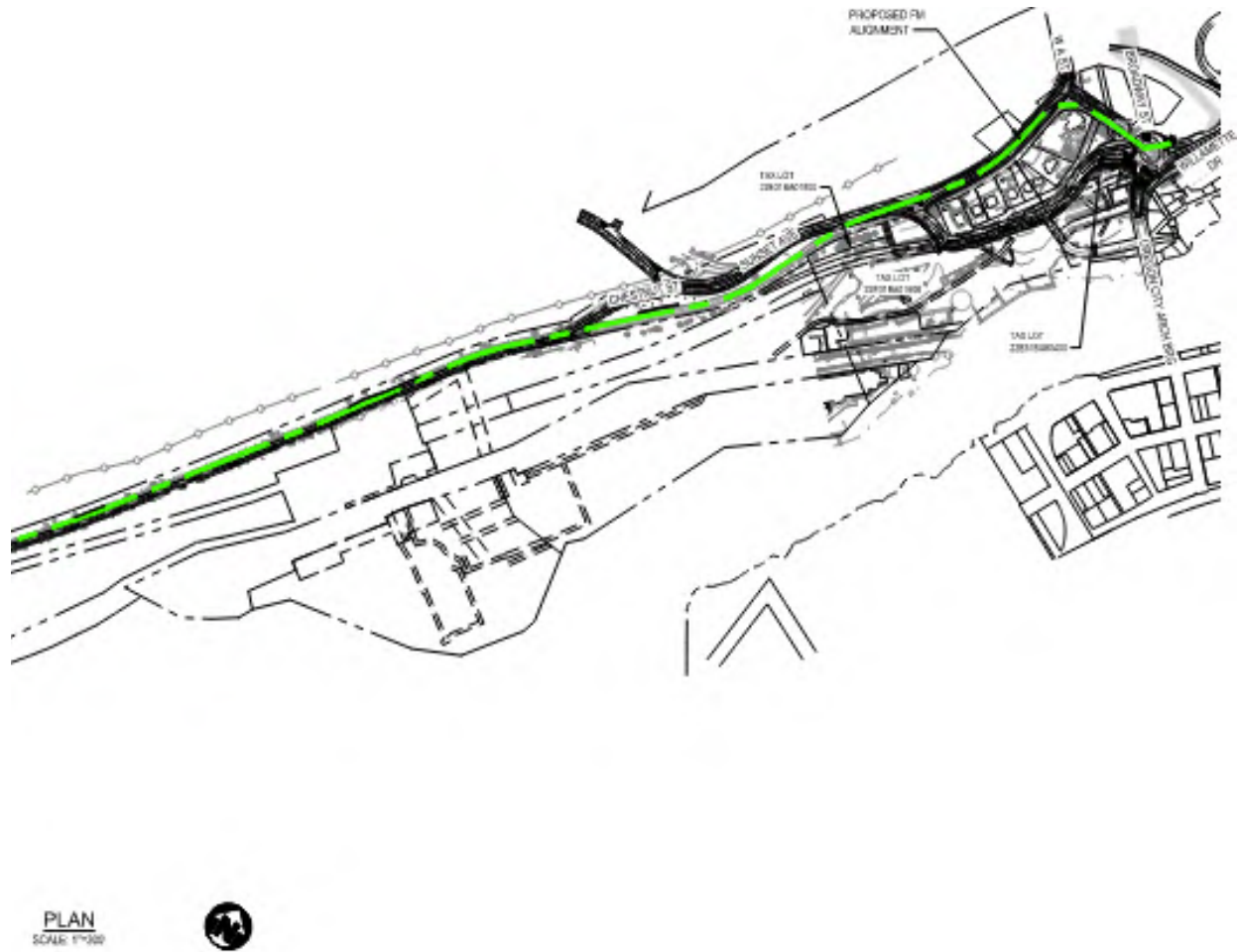
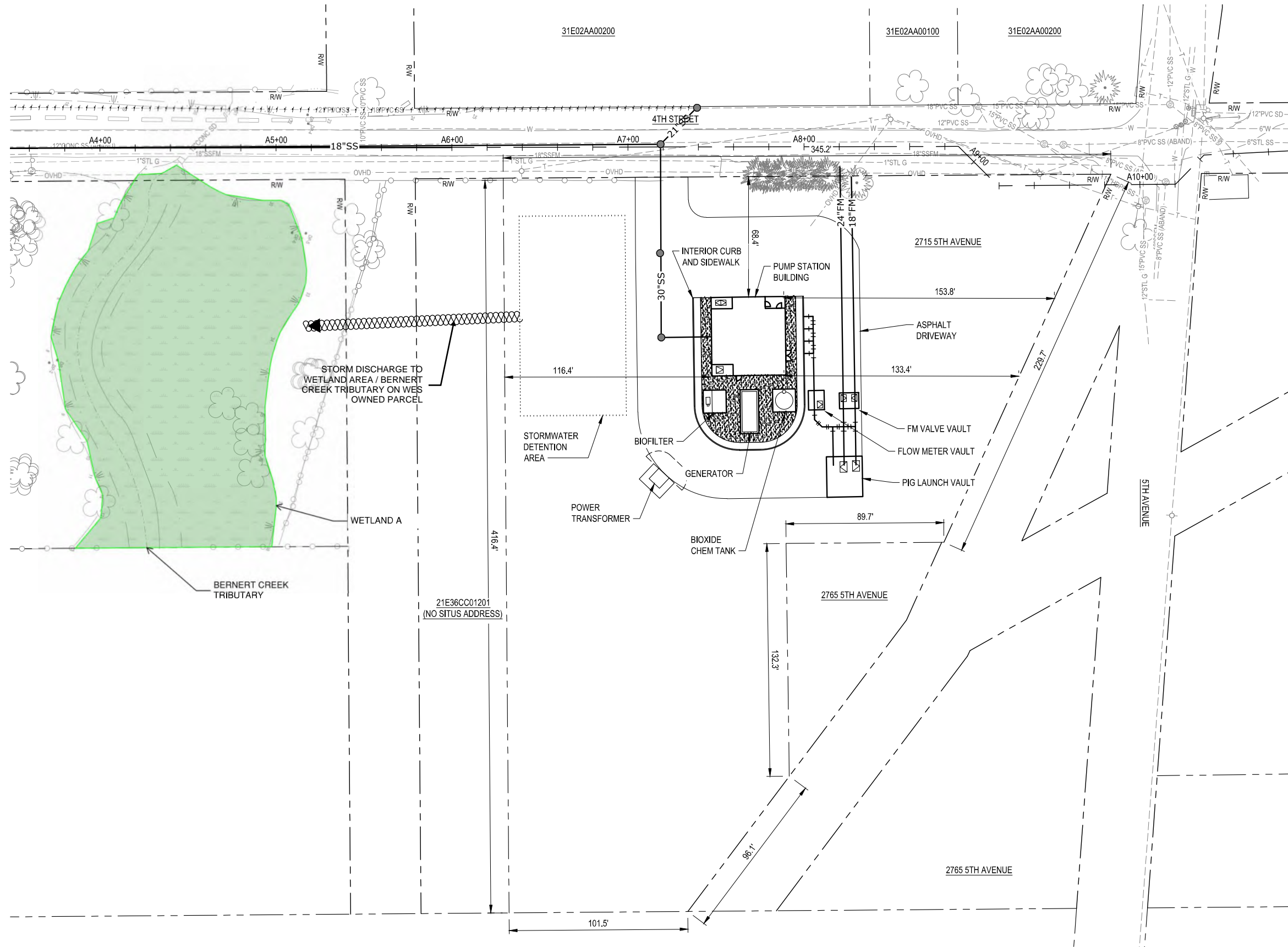


Figure 5B – Eastside Force Main Alignment





SHEET NOTES:

- ENTIRE SITE WITHIN 100 YEAR FLOOD PLANE (74.9 FT).

PROPOSED SITE ADDRESS:

2715 5TH AVENUE
WEST LINN, OR 97068

PARCEL NUMBER:
21E36CC00900

PARCEL AREA: 90,684 SF (WEST LINN MAPS)
DISTURBED AREA: 26,860 SF

PLAN
SCALE: 1"=30'



ATTACHMENT A



Project Title:
WILLAMETTE PUMP STATION
LAND USE PRE-APP MEETING

Figure Title:
PROPOSED SITE PLAN

Figure No: **FIGURE 1A**

Date: AUGUST 2024

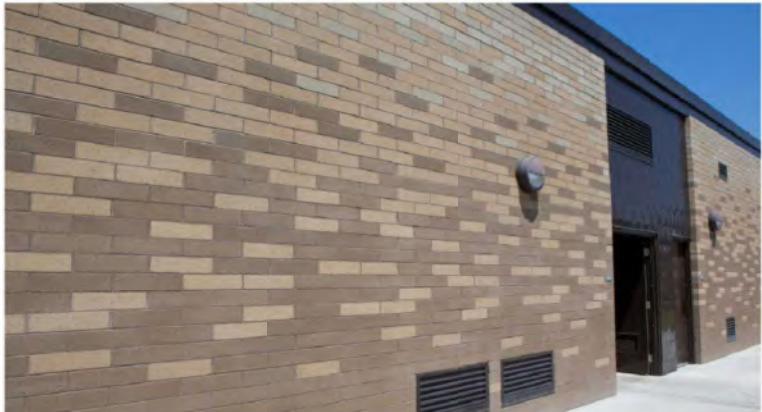
Job No: W185418OR



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



INSPIRATION

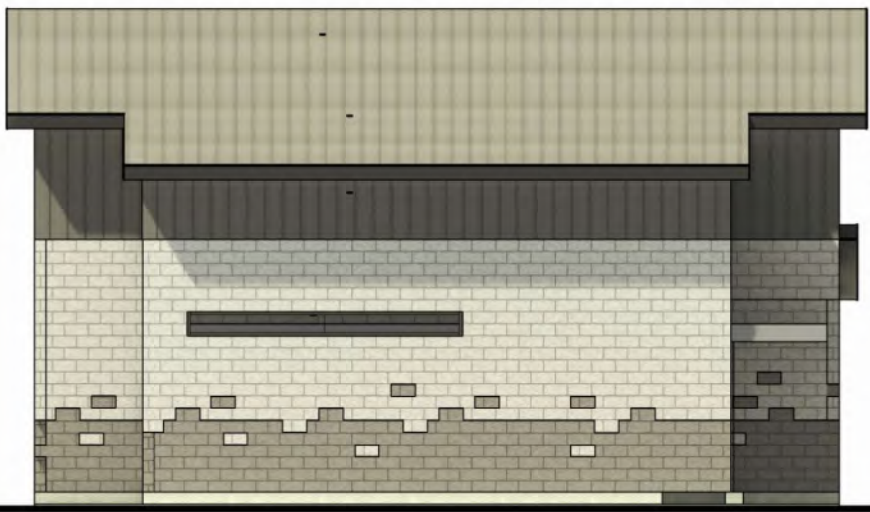
METAL DOORS AND FRAMES -
COLOR: CLASSIC BRONZE

STANDING SEAM METAL ROOF AND FASCIA -
COLOR: JACKSON COPPER

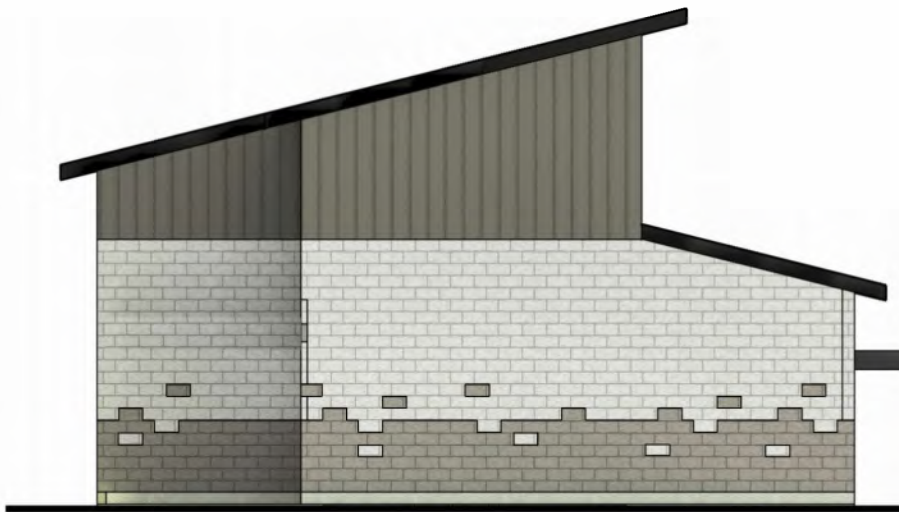


MATERIALS - BASIS OF DESIGN

NTS



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



PLAN
SCALE: 1"=300'



SHEET NOTES:

- 1. PARCEL WIDTH: VARIABLE 430 FT TO 500 FT.

ATTACHMENT C



Project Title:
WILLAMETTE PUMP STATION
LAND USE PRE-APP MEETING

Figure Title:
PROPOSED
FM ALIGNMENT PLAN

| | |
|------------|-------------|
| Figure No: | FIGURE 2 |
| Date: | AUGUST 2024 |
| Job No: | W185418OR |