



CITY OF
**West
Linn**

PRE-APPLICATION CONFERENCE

Thursday, September 5, 2024

**Willamette Room
City Hall
22500 Salamo Rd
West Linn**

11:00 am: Proposed Class 1 Design Review for a Commercial Storefront Remodel
Applicant: Adam Christie, applicant
Property Address: 2500 Willamette Falls Drive
Neighborhood Assn: Willamette Neighborhood Association
Planner: Aaron Gudelj **Project #: PA-24-16**





Pre-Application Conference Request

For Staff to Complete:		
PA 24-16	Conference Date: 9-5-24	Time: 10:00am
Staff Contact: Aaron Gudelj		Fee: \$420

Pre-application conferences are held on the first and third Thursdays of the month between 9:00 am and 1:00 pm. Appointments must be made by 5:00 pm, 15 days before the meeting date. The applicant has a choice of an in-person or virtual meeting. To schedule a conference, submit this form, a site plan, and accompanying materials through the Submit a Land Use Application web page. The City will contact you to collect payment. Pre-application notes are valid for 18 months.

Property Owner Information

Name: Colin Bray, Twenty-Five Hundred LLC
Email: colinb@bray-cpa.com
Phone #: (503) 750-0370
Address: 2500 Willamette Falls Drive
West Linn, OR 97068

Applicant Information

Name: Adam Christie, Christie Architecture
Email: adam@christiearchitecture.com
Phone #: 503.756.6677
Address: 9532 SW 18th Place
Portland, OR 97219

Address of Subject Property (or tax lot): 21E35DD03600

REQUIRED ATTACHMENTS:

- A project narrative with a detailed description of the proposed project. Briefly describe the physical context of the site.
- A list of questions or issues the applicant would like the City to address.
- A dimensional site plan that shows:
 - North arrow and scale
 - Location of existing trees (a tree survey is highly recommended)
 - Streets Abutting the property and width of right of way
 - Location of creeks and/or wetlands (a wetland delineation is highly recommended)
 - Property Dimensions, existing buildings, and building setbacks
 - Slope map (if slope is 25% or more)
 - Location of existing utilities (water, sewer, etc.)
 - Conceptual layout, design, proposed buildings, building elevations, and setbacks
 - Location of all easements (access, utility, etc.)
 - Vehicle and bicycle parking layout (including calculation of required number of spaces, based on use and square footage of building), if applicable
 - Location of existing and proposed access and driveways. Include the proposed circulation system for vehicles, pedestrians, and bicycles, if applicable.
 - Proposed stormwater detention system with topographic contours

I certify that I am the owner or authorized agent of the owner:

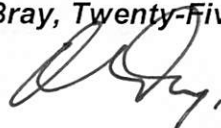
APPLICANT: Adam Christie, Christie Architecture

DATE: 8/21/2024

The undersigned property owner authorizes the requested conference and grants city staff the right of entry onto the property to review the application.

PROPERTY OWNER: Colin Bray, Twenty-Five Hundred LLC

DATE: 8/21/2024

 MANAGING MEMBER

Pre-Application Conference - Project Narrative

Date: August 21, 2024
Property: 2500 Willamette Falls Drive
Tax lot #: 21E35DD03600
OR Permit application #: 935-24-000824-STR (submitted for review)

Project scope:

Alter existing B occupancy building to provide new main entry for both existing tenant spaces. Add 143sf to building area creating (2) conference rms. Provide accessible ramp from existing parking to new entry. Improve existing toilets for accessibility. Existing rotting entry bridge is removed.

The proposed work does not challenge the existing City of West Linn CDC development standards. There is no change of occupancy or change of use proposed. All work is proposed to fit under by-rights standards. All proposed additions fit underneath the existing roof to remain. There is a net reduction in impervious surface on the property with no existing storm connection modifications proposed. The existing and proposed parking quantities surpass the CDC minimum requirement (though we understand the CDC will soon have no parking minimum requirement).

Applicant questions for review:

1. We believe we have satisfied the by-rights requirements for development standards for an alteration of an existing building. Please advise/confirm that there is no additional exposure for Development requirements for this project.
2. What is the timeline and critical path for Land Use review for this project?
3. Can this simple scope proposal be reviewed concurrently with building permit review?

Drawings provided for review:

Existing survey
Site Plan for proposed work
Plans for proposed work
Elevations for proposed work

CHRISTIE ARCHITECTURE

9532 SW 18th Place Portland, OR 97219

503.756.6677

ABBREVIATIONS

Table with two columns: Abbreviation and Meaning. Includes terms like anchor bolt, air conditioning, adjacent, etc.

GENERAL NOTES

- 1. All clear dimensions are to be exactly within 1/8" of full height and width of walls. Contractor shall not adjust any dimension marked "Clear" or "CLR" without written instruction from the architect.
2. All dimensions shown are to face of the finish walls, UNO.
3. The contractor shall field verify all existing conditions, dimensions, and elevations. The contractor shall notify the architect of any discrepancies from conditions shown on the drawings prior to starting work.
4. Existing concealed conditions and connections are based upon information taken from limited field investigations. The contractor shall make required adjustments to system components as necessitated by actual field conditions and notify owner of any change to cost prior to performing the work.
5. These drawings are not to be scaled for any reason.
6. Where one detail is shown for one condition, it shall apply for all like or similar conditions, even though not specifically marked on the drawings or referred to in the specifications, unless noted otherwise.
7. All work shall comply with all applicable codes, ordinances, and regulations.
8. The contractor shall verify that no conflicts exist between the locations of any and all mechanical, electrical, plumbing, or structural elements and that all required clearances for installation and maintenance are met. Notify the architect of any conflicts prior to proceeding with the work.
9. If the contractor or sub-contractors find it necessary to deviate from original approved plans, then it is the contractor's responsibility to provide the architect with a written notification of the proposed changes for the architect's approval prior to proceeding with the work.
10. Contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. The contractor shall be responsible for removal of all construction debris from project site on a daily basis.
11. All manufacturer's specifications shall be complied with. If a conflict between the drawings and a manufacturer's specification is discovered, the contractor shall notify the architect in writing prior to proceeding with the work.
12. The contractor shall be responsible for cutting, fitting, or patching required to complete the work or to make its parts fit together properly.
13. The contractor shall be responsible for the protection of all existing buildings and other installations that are to remain intact while performing the specified work.
14. The contractor is responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, etc. according to applicable codes, standards, and good construction practices.
15. The contractor and sub-contractors shall be responsible for procuring all necessary inspections and approvals from building authorities during the execution of the work.
16. Exterior walls open during work shall be insulated to current code requirements. If wall depth is greater than minimum code insulation thickness, fill framing cavities.

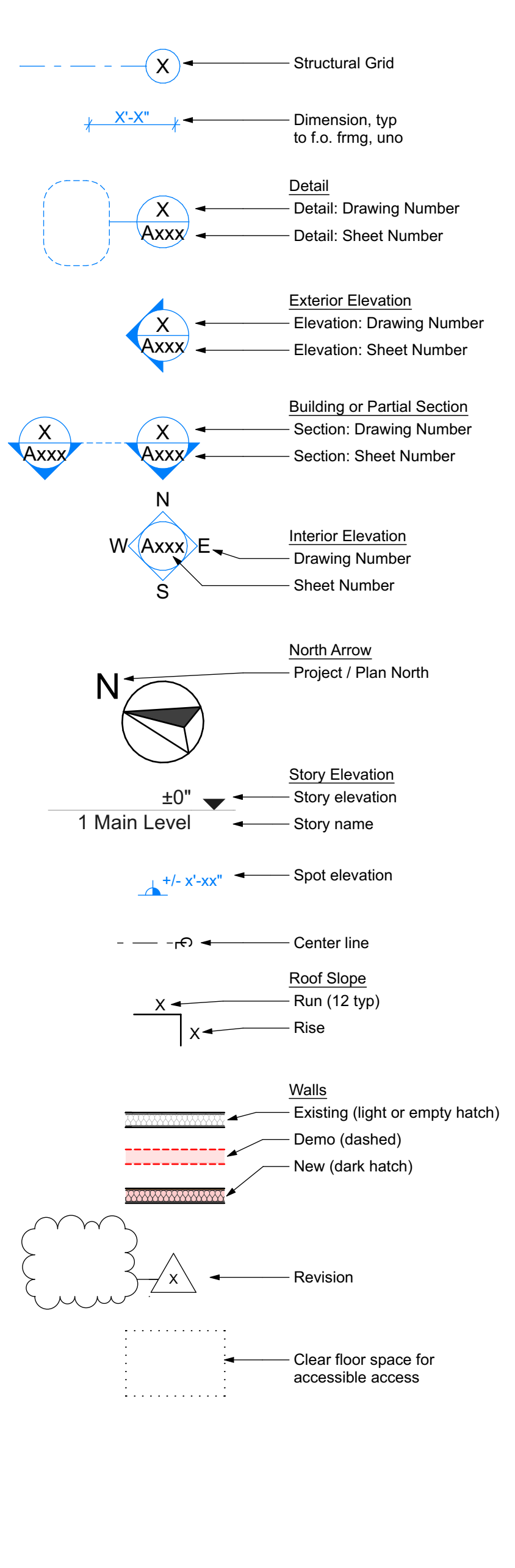
DEMOLITION NOTES

- 1. Remove all existing constructions & finishes necessary for the completion of the work as depicted on the drawings, including but not limited to, items shown on the plans with dashed lines. Necessary disconnects & alterations to existing mechanical and electrical systems shall be included. Where contractor is designated to make removals, disposal of materials is the responsibility of the contractor. Verify with owner, the disposal and removal of any components of salvageable value.
2. Where applicable, level all existing floors as required to receive new floor finishes. Install required transition pieces between various floor finishes suitable for conditions & acceptable to the owner. Match existing wherever possible.
3. Patch existing walls to remain (gypsum drywall or plaster) to match existing of sufficient thickness to maintain uniform wall thickness.
4. Patch all finishes to match existing. Verify match of new finish materials to existing in color, texture, thickness, cut, etc... to satisfaction of owner prior to installations.
5. Temporary shoring of structural elements is the responsibility of the contractor.

Prescriptive Envelope Requirements

Table with 3 columns: Opaque assemblies, Fenestration, and Max U / Max SHGC. Includes details for Roofs, Walls, Floors, Slab-on-Grade Floors, and Fenestration.

LEGEND



PROJECT TEAM

Table with two columns: Architect and Structural Engineer. Lists contact information for Christie Architecture and Butler Consulting, Inc.

APPLICABLE CODES

ALL WORK IS TO COMPLY WITH:
2022 Oregon Structural Specialty Code (OSSC)
2021 Oregon Energy Efficiency Specialty Code (OEESC)
2023 Oregon Electrical Specialty Code (OESC)
2022 Oregon Mechanical Specialty Code (OMSC)
2023 Oregon Plumbing Specialty Code (OPSC)
City of West Linn Community Development Code (CDC)

Building Code Summary

Table with 2 columns: Existing building and Proposed New Building Areas/Occupancies. Includes details for Construction Type, Occupancy Groups, and Fire Rating Reqts.

Submittals

- The following submittals are required: Windows, Storefront, interior & exterior.
Deferred Submittals: Electrical, incl energy form for lighting via elec sub
Submittal Notes:
A. Types of Submittals: Provide types of submittals listed below. Transmit in pdf format to architect for review. Allow 7 business days for review by design team.
B. Submittal Procedures: Provide required re-submittals, if original submittals are not approved.
C. Samples and Shop Drawings: Samples and shop drawings shall be prepared specifically for this project.
D. Warranties: Provide warranties as specified; warranties shall not limit length of time for remedy of damages Owner may have by legal statute.

SCOPE

PROPERTY: 2500 Willamette Falls Drive, West Linn, OR 97068
TAX LOT #: 21E35DD03600
ZONING: GC, General Commercial
SCOPE: Alter existing B occupancy building to provide new main entry for both existing tenant spaces.

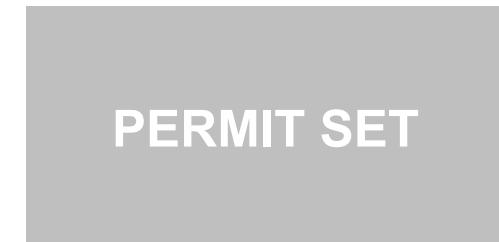
DEVELOPMENT STANDARDS

Table with 2 columns: Setbacks and Development Standards. Includes Front Side Rear setbacks and Max building height.

Sheet Index

Table with 2 columns: Sheet Number and Description. Lists sheets for General - Cover, Code, Index, Site, Existing / Demolition, Structural, Elevations, Sections, Interior Elevations, Details, and Electrical.

REVISIONS



REMODEL twentyfivehundred

2500 Willamette Falls Drive West Linn, OR 97068



Proj Info, Notes, Abbvrs, Legend

G000

August 15, 2024

stamp drawing # date sheet

EXISTING CONDITIONS MAP

TAX LOT 3600, MAP 2S, 1E, 35DD
LOCATED IN THE S.E. 1/4 SECTION 35, T.2S., R.1E., W.M.
CITY OF WEST LINN, CLACKAMAS COUNTY, OREGON
MAY 16, 2024 SCALE 1"=10'

SURVEY NOTES:

THE DATUM FOR THIS SURVEY IS BASED UPON A STATIC GPS OBSERVATION OF LOCAL CONTROL POINTS, PROCESSED THROUGH OPUS. DATUM IS NAVD 88.
A TRIMBLE S6-SERIES ROBOTIC INSTRUMENT WAS USED TO COMPLETE A CLOSED LOOP FIELD TRAVERSE.
THE BASIS OF BEARINGS FOR THIS SURVEY IS PER MONUMENTS FOUND AND HELD PER PARTITION PLAT NO. 2018-022, RECORDS OF CLACKAMAS COUNTY.
THE PURPOSE OF THIS SURVEY IS TO RESOLVE AND DETERMINE THE PERIMETER BOUNDARY OF THE SUBJECT PROPERTY, TO SHOW ALL PERTINENT BOUNDARY ISSUES AND ENCROACHMENTS. NO PROPERTY CORNERS WERE SET IN THIS SURVEY.
NO WARRANTIES ARE MADE AS TO MATTERS OF UNWRITTEN TITLE, SUCH AS ADVERSE POSSESSION, ESTOPPEL, ACQUIESCENCE, ETC.
NO TITLE REPORT WAS SUPPLIED OR USED IN THE PREPARATION OF THIS MAP.

UTILITY NOTES:

THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 24093085 DATED APRIL 23, 2024.
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.
INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.

LEGEND:

Some Symbols shown may not be used on map

- | | |
|----------------------------|--------------------------|
| 12' DECIDUOUS TREE | UTILITY POLE |
| 24' EVERGREEN TREE | LIGHT POLE |
| DEAD TREE | GUY WIRE |
| STORM SEWER MANHOLE | ELECTRIC BOX |
| CATCH BASIN | ELECTRIC METER |
| CURB INLET | TRANSFORMER |
| AREA DRAIN | ELECTRIC RISER |
| DITCH INLET | HEAT PUMP |
| SANITARY SEWER CLEANOUT | GATE POST |
| SANITARY SEWER MANHOLE | CABLE TV BOX |
| FIRE HYDRANT | CABLE TV RISER |
| WATER MANHOLE | OVERHEAD LINE |
| WATER METER | GAS LINE |
| WATER VALVE | ELECTRICAL LINE |
| HOSE BIB | COMMUNICATIONS LINE |
| IRRIGATION CONTROL VALVE | SANITARY SEWER LINE |
| GAS VALVE | STORM DRAIN LINE |
| GAS METER | WATER LINE |
| MAILBOX | FENCE LINE |
| UTILITY RISER | HANDRAIL |
| UTILITY BOX | HEDGEROW |
| TELEPHONE MANHOLE | CONCRETE |
| TELEPHONE RISER | ASPHALT |
| STORM OUTFALL | PAVERS |
| SIGN | GRAVEL |
| BOLLARD | FD = FOUND |
| FOUND MONUMENT | IP = IRON PIPE |
| DOWN SPOUT TO STORM SYSTEM | IR = IRON ROD |
| DOWN SPOUT TO SPLASH GUARD | YPC = YELLOW PLASTIC CAP |
| COLUMN | ALC = ALUMINUM CAP |
| END OF BIKE RACK | RPC = RED PLASTIC CAP |

REVISIONS

PERMIT SET

REMODEL
twentyfivehundred

2500 Willamette Falls Drive
West Linn, OR 97068

SIGNED ON: *ZOMAZA*
REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
JULY 13, 2004
TOBY G. BOLDEN
60377LS

RENEWS: DECEMBER 31, 2025

CENTERLINE CONCEPTS
LAND SURVEYING, INC.
19376 MOLALLA AVE., SUITE 120
OREGON CITY, OREGON 97045
PHONE 503.650.0188 FAX 503.650.0189

PLOTTED: M:\PROJECTS\TWENTY-FIVE HUNDRED-WILLAMETTE FALLS DR-2500\DWG\ECM-C30.dwg

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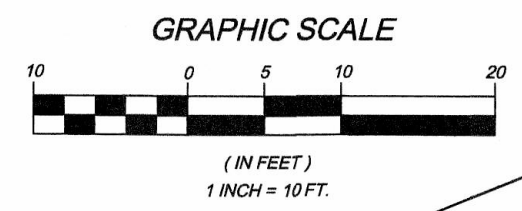
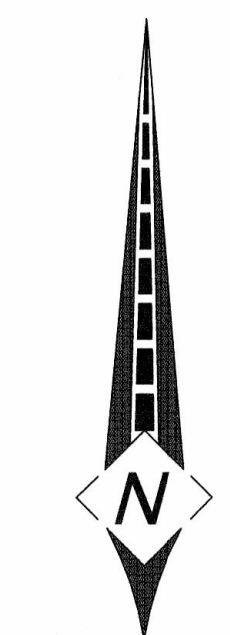
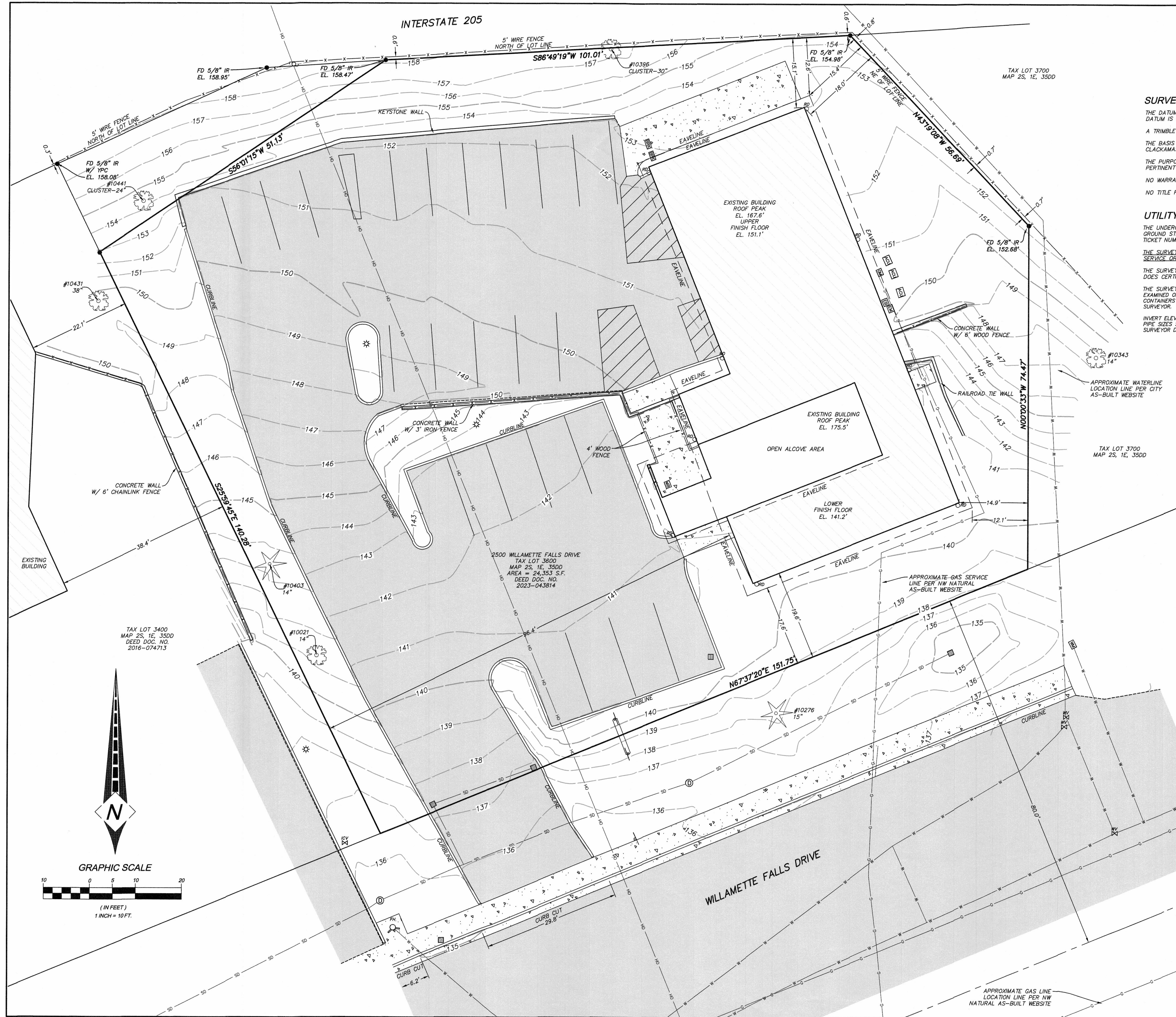


Site Survey (For Reference)

G001

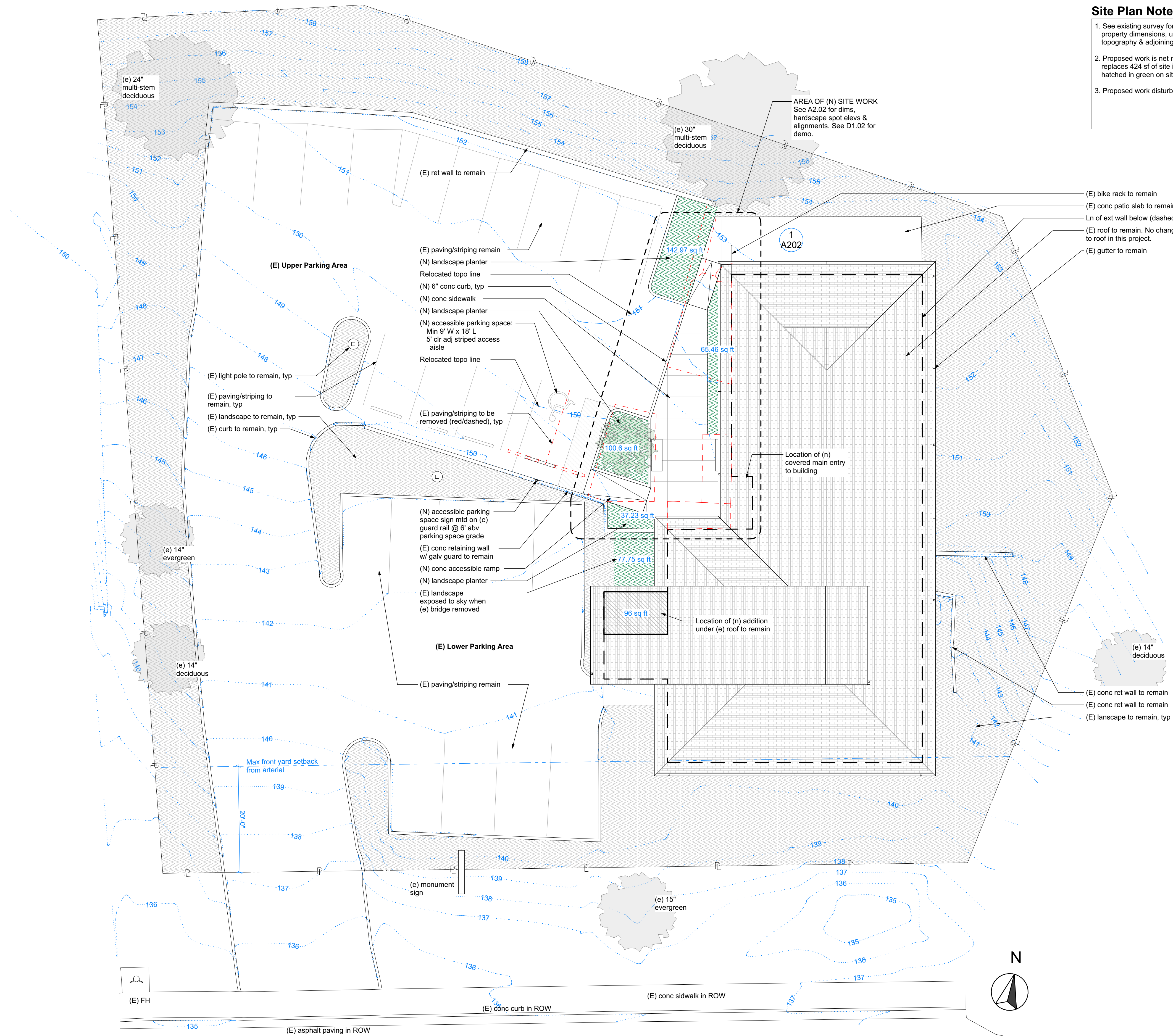
August 15, 2024

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Site Plan Notes

1. See existing survey for additional existing site information, incl property dimensions, utility locations, site tree size/location, topography & adjoining property info.
2. Proposed work is net negative for site impervious area. It replaces 424 sf of site impervious area w/ (n) landscape. (Shown hatched in green on site plan.)
3. Proposed work disturbs less than 1,000sf of existing vegetation.



- (E) bike rack to remain
- (E) conc patio slab to remain
- Ln of ext wall below (dashed)
- (E) roof to remain. No change to roof in this project.
- (E) gutter to remain

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2500 Willamette Falls Drive
West Linn, OR 97068



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drawing title

Site Plan

drawing #

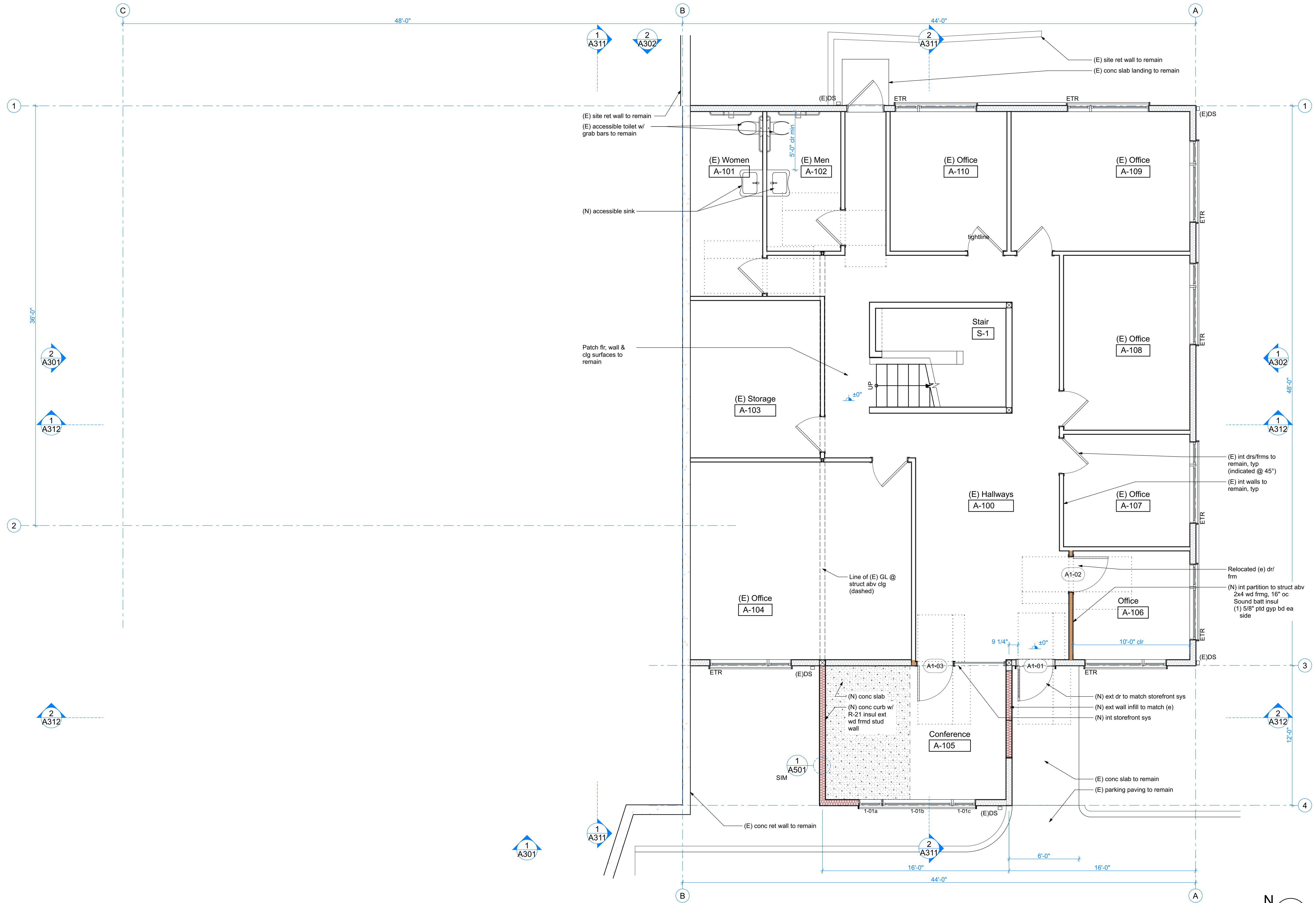
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August 15, 2024

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REVISIONS

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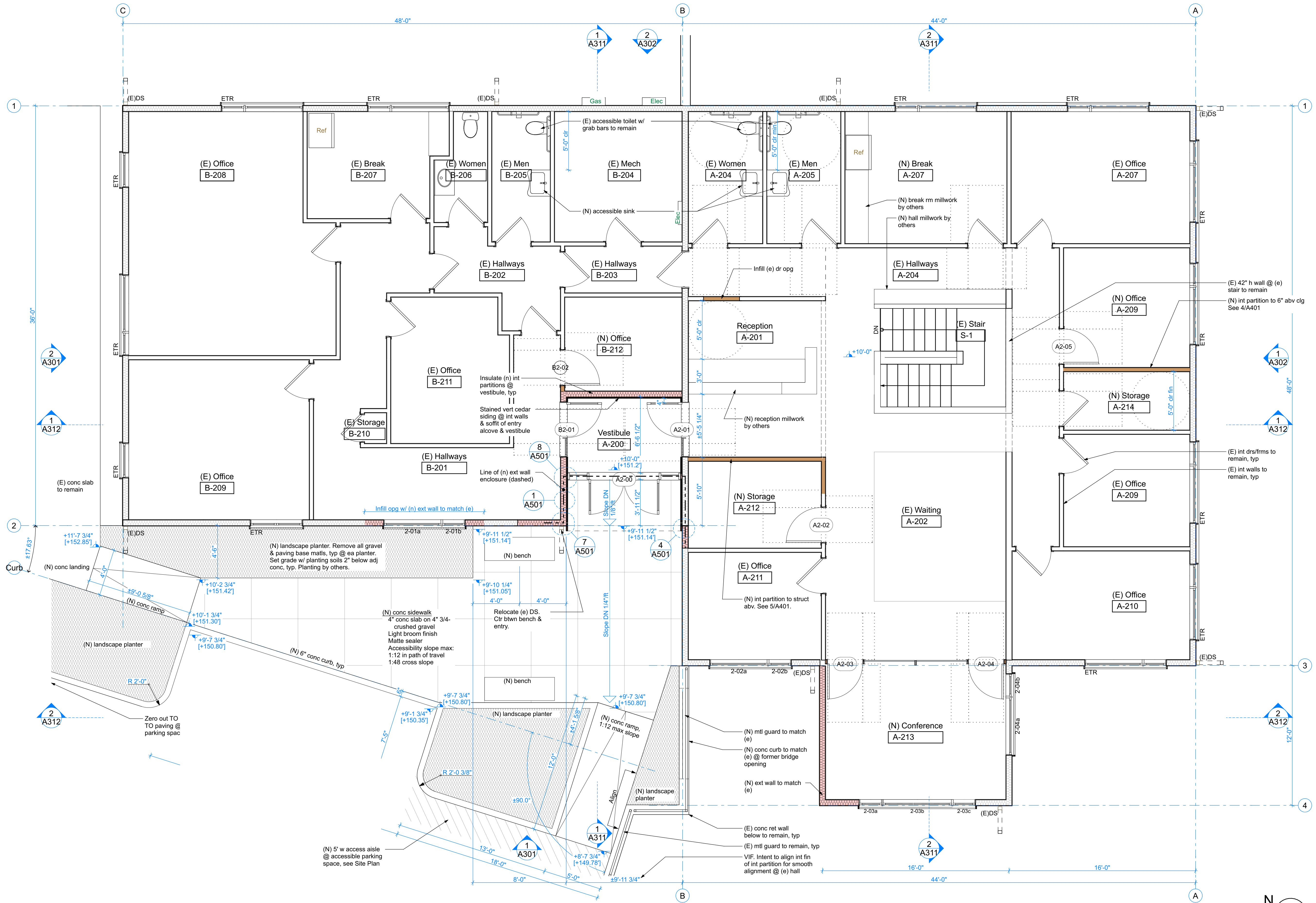
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2500 Willamette Falls Drive
West Linn, OR 97068



Lower Level
Floor Plan
A201

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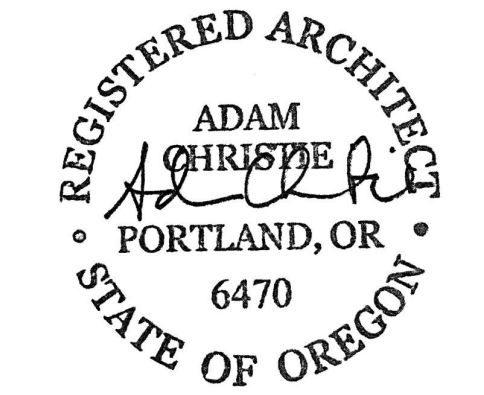


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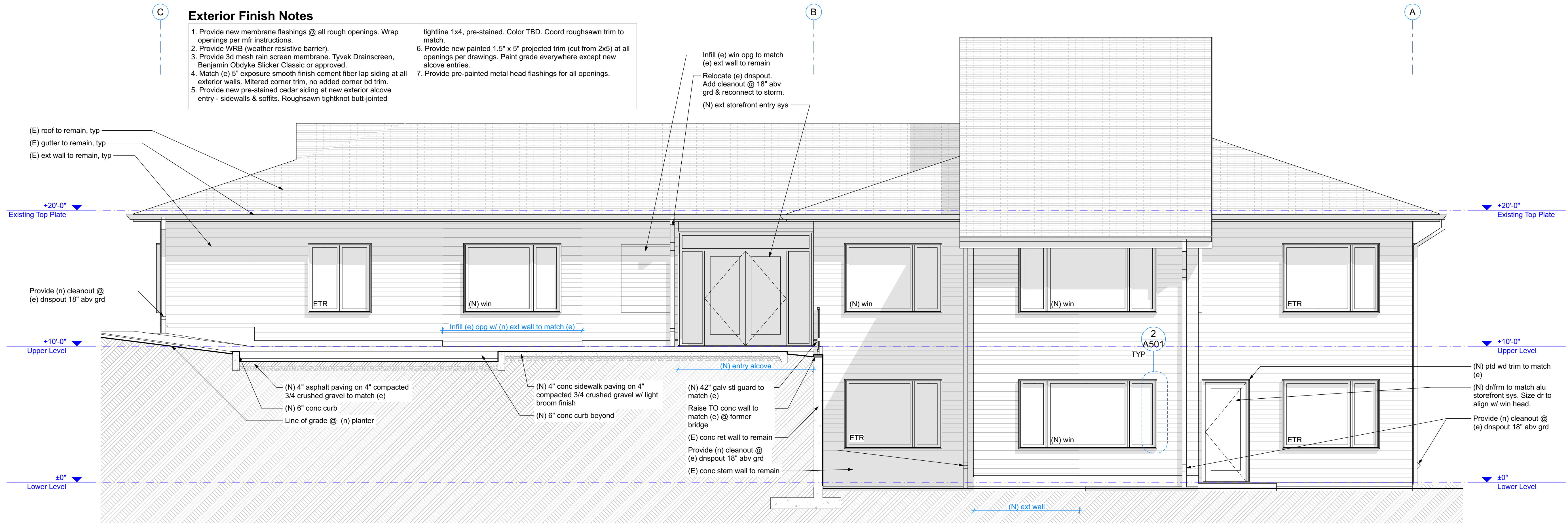
2500 Willamette Falls Drive
West Linn, OR 97068



Upper Level
Floor Plan
A202
August 15, 2024
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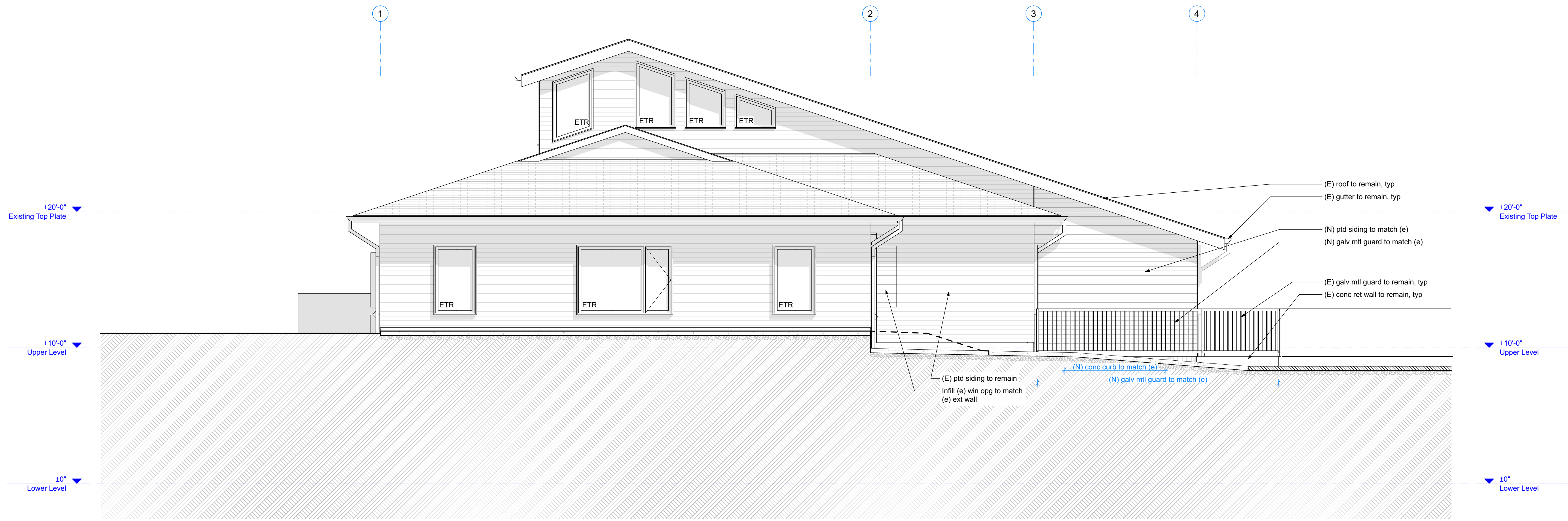
Exterior Finish Notes

1. Provide new membrane flashings @ all rough openings. Wrap openings per mfr instructions.
2. Provide WRB (weather resistive barrier).
3. Provide 3d mesh rain screen membrane. Tyvek Drainscreen, Benjamin Obdyke Sticker Classic or approved.
4. Match (e) 5" exposure smooth finish cement fiber lap siding at all exterior walls. Mitered corner trim, no added corner bd trim.
5. Provide new pre-stained cedar siding at new exterior alcove entry - sidewalls & soffits. Roughsawn tightknit butt-jointed tightline 1x4, pre-stained. Color TBD. Coord roughsawn trim to match.
6. Provide new painted 1.5" x 5" projected trim (cut from 2x5) at all openings per drawings. Paint grade everywhere except new alcove entries.
7. Provide pre-painted metal head flashings for all openings.



1 West Elevation
SCALE: 1/4" = 1'-0"

REVISIONS



2 North Elevation
SCALE: 1/4" = 1'-0"

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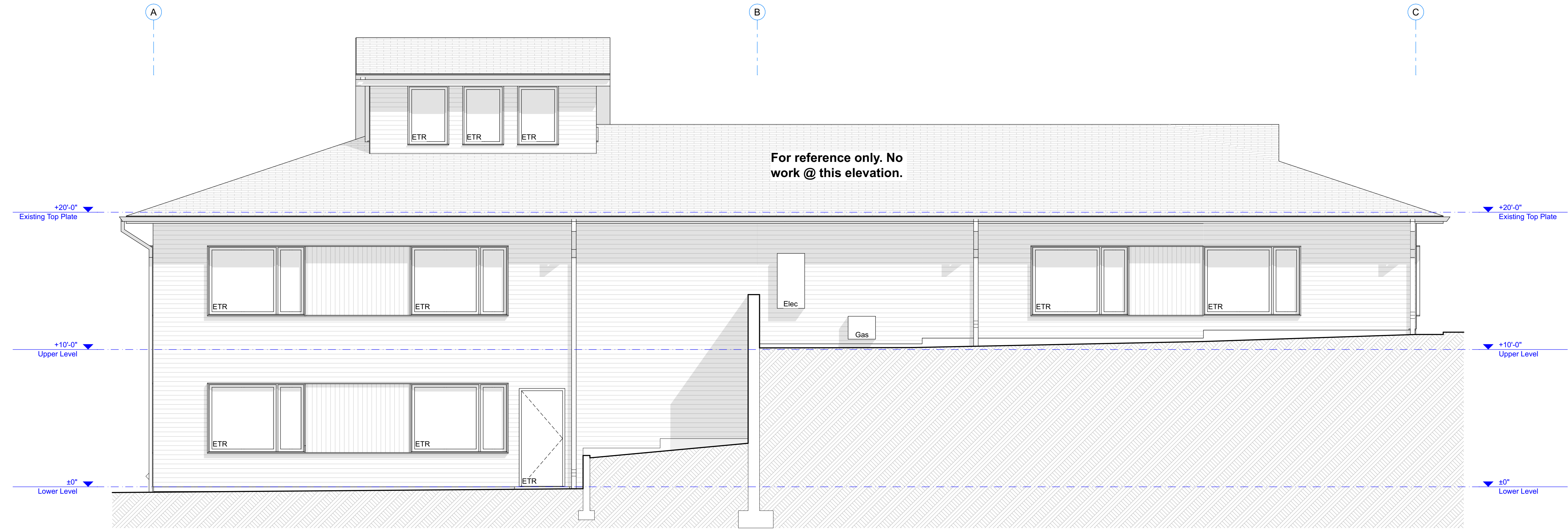
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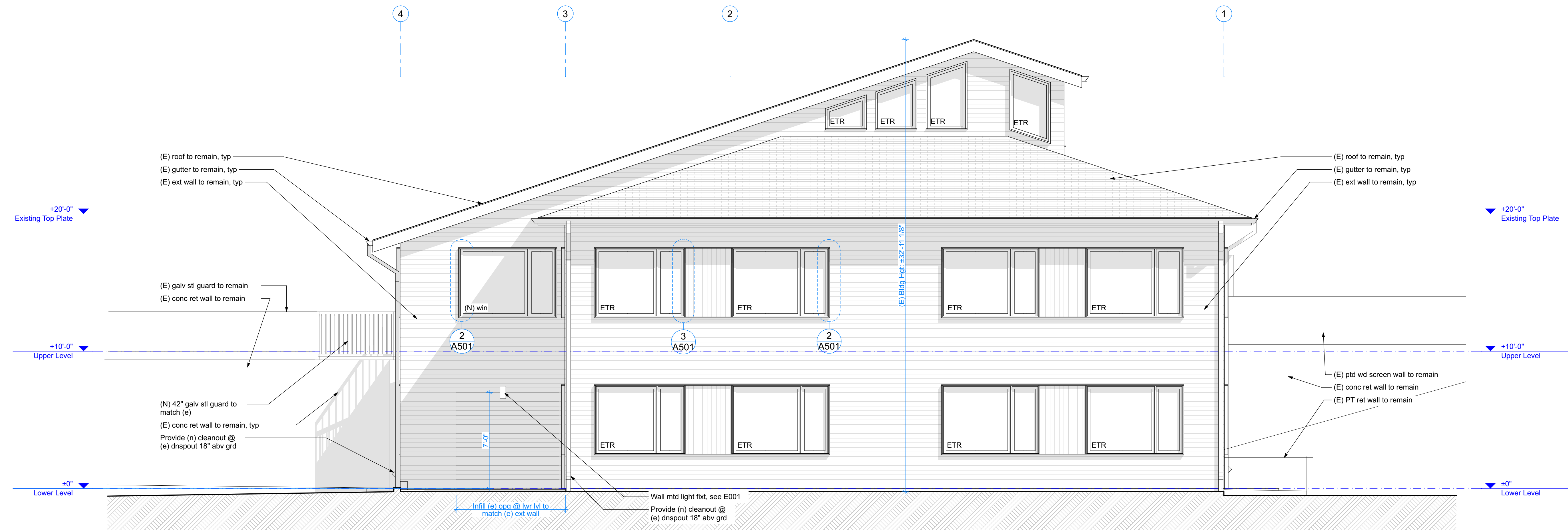
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A301

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August 15, 2024
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2 East Elevation
A302 SCALE: 1/4" = 1'-0"

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1 South Elevation
A302 SCALE: 1/4" = 1'-0"

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2500 Willamette Falls Drive
West Linn, OR 97068



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Building Elevations
drawing #
A302

date
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