

**CITY OF WEST LINN**  
**PRE-APPLICATION CONFERENCE MEETING**  
**SUMMARY NOTES**  
**November 16, 2023**

**SUBJECT:** Class I Design Review for a new exterior door and minor revisions to parking lot pavement markings and signage.

**FILE:** PA-23-24

**APPLICANTS PRESENT:** Heather Edmiston; Stephanie Lunsford; Michael Nasland, PE

**STAFF PRESENT:** John Floyd, Senior Planner

**PUBLIC PRESENT:** None.

*These pre-application summary notes have been prepared for the applicant to identify applicable code sections and critical issues for the proposed application and summarize the application process and fees\*. Pre-Application summary notes are based on preliminary information and may not include all considerations. Contact the assigned planner for additional information regarding the process, approval criteria, submittal requirements, questions, and clarifications. Pre-Application Conference summary notes are valid for eighteen months from the meeting date. Once a complete application is submitted, the final decision can take 6-10 months.*

**SITE INFORMATION:**

Site Address: 19133 Willamette Drive  
Legal Description:  
Tax Lot No.: 21E23AD06101  
Site Area: 6.153 Acres  
Neighborhood: Neighborhood Association  
Comp. Plan: Commercial  
Zoning: General Commercial  
Zoning Overlays: N/A

**PROJECT DESCRIPTION:**

The applicant proposes an interior remodel with no change of use, construction of a new exterior door, and minor revisions to parking lot pavement markings and signage.

**APPLICABLE COMMUNITY DEVELOPMENT CODE SECTIONS:**

Approval standards and criteria in effect when an application is *received* will be applied to the proposed development. The following Community Development Code (CDC) Chapters apply to this proposal:

- [Chapter 19: General Commercial](#)
  - 19.090 Other Applicable Development Standards
- [Chapter 42: Clear Vision](#)
- [Chapter 46: Off-Street Parking, Loading, and Reservoir Areas](#)
  - 46.150 Design and Standards
- [Chapter 54: Landscaping](#)
- [Chapter 55: Design Review](#)
  - 55.070 Submittal Requirements
  - 55.090 Approval Standards – Class I Design Review
  - 55.100(B)(5) and (6)
  - 55.110 Site Analysis
  - 55.120 Site Plan
  - 55.140 Architectural Drawings
- [Chapter 99: Procedures for Decision Making: Quasi-Judicial](#)

## **KEY ISSUES & CONSIDERATIONS**

Staff has identified the following development issues, design considerations, or procedural issues that you should be aware of as you prepare your formal application for submittal. The identification of these issues or considerations here does not preclude the future identification of additional issues or considerations:

- Changes to the front façade (new access door) and circulation meet the threshold of Class I Design Review (CDC 55.020.A).
- Per recent [Climate Friendly and Equitable Communities State Rules](#), the city is pre-empted from requiring a minimum parking count on your property. Dimensional and landscaping standards remain applicable and can be found in CDC 46.150 and CDC 54.
- As the site is substantially built out, changes to the façade are limited to the standards of CDC 55.100.B.6.

## **PUBLIC COMMENT:**

None.

## **ENGINEERING:**

The Engineering department comments are attached. For further details, contact Clark Ida at 503-722-3437 or [CIda@westlinnoregon.gov](mailto:CIda@westlinnoregon.gov).

## **BUILDING:**

For building code and ADA questions, contact Adam Bernert at [abernert@westlinnoregon.gov](mailto:abernert@westlinnoregon.gov) or 503-742-6054 or Alisha Bloomfield at [abloomfield@westlinnoregon.gov](mailto:abloomfield@westlinnoregon.gov) or 503-742-6053.

## **TUALATIN VALLEY FIRE & RESCUE:**

A Service Provider Permit must be provided with this application - <https://www.tvfr.com/399/Service-Provider-Permit>. Contact Jason Arn at [jason.arn@tvfr.com](mailto:jason.arn@tvfr.com) or 503-259-1510 with any questions.

## **TREES:**

For information on the tree requirements for this proposal, contact the Ron Jones, City Arborist at [rjones@westlinnoregon.gov](mailto:rjones@westlinnoregon.gov) or 503-722-4728.

## **PROCESS:**

A Class I Design Review is a Planning Director's decision. No public hearing is required. Once the application is declared complete, staff will review the application, send a 20-day public comment notice, and post a notice sign on the property. When the public comment period closes, the Planning Director will prepare a decision. A final decision can take 6-10 months.

There is a 14-day appeal period after the decision. If the decision is not appealed, the applicant may proceed with the development.

## **NEIGHBORHOOD MEETING:**

A neighborhood meeting is not required for a Class I Design Review.

## **HOW TO SUBMIT AN APPLICATION:**

Submit a complete application in a single PDF document through the [Submit a Land Use Application](#) web portal. A complete application should include:

1. A [development application](#);
2. Application materials identified in the [Development Review Checklist](#).

**COMPLIANCE NARRATIVE:**

Written responses supported by substantial evidence must address all applicable approval standards and criteria. Written materials must explain how and why the proposed application will meet each applicable approval criteria. “Not Applicable” is not an acceptable response to the approval criteria.

Submittal requirements may be waived, but the applicant must first identify the specific submittal requirement and request, in writing, that the Planning Manager waive the requirement. The applicant must identify the specific grounds for the waiver. The Planning Manager will respond with a written determination about the waiver request before applying.

**APPLICATION FEES & DEPOSITS:**

The Planning Division Fee Schedule can be found on our website: <https://westlinnoregon.gov/finance/current-fee-schedule>

- Fee for a Class 1 Design Review = \$2,800

**Timelines:**

Once the application and payment are received, the City has 30 days to determine if the application is complete. If the application is incomplete, the applicant has 180 days to complete it or provide written notice to staff that no other information will be provided. Once complete, the City has 120 days from the completeness determination to make a final decision on the application. Typical land use applications can take 6-10 months from beginning to end.

**\* DISCLAIMER:** *These pre-application notes have been prepared per [CDC Section 99.030.B.7](#). The information provided is an overview of the proposal considerations and requirements. Staff responses are based on limited material presented at the pre-application conference. New issues and requirements can emerge as the application is developed. Failure to provide information does not constitute a waiver of the applicable standards or requirements. The applicant has the burden of proof to demonstrate that all approval criteria have been satisfied. These notes do not constitute an endorsement of the proposed application or assure project approval.*



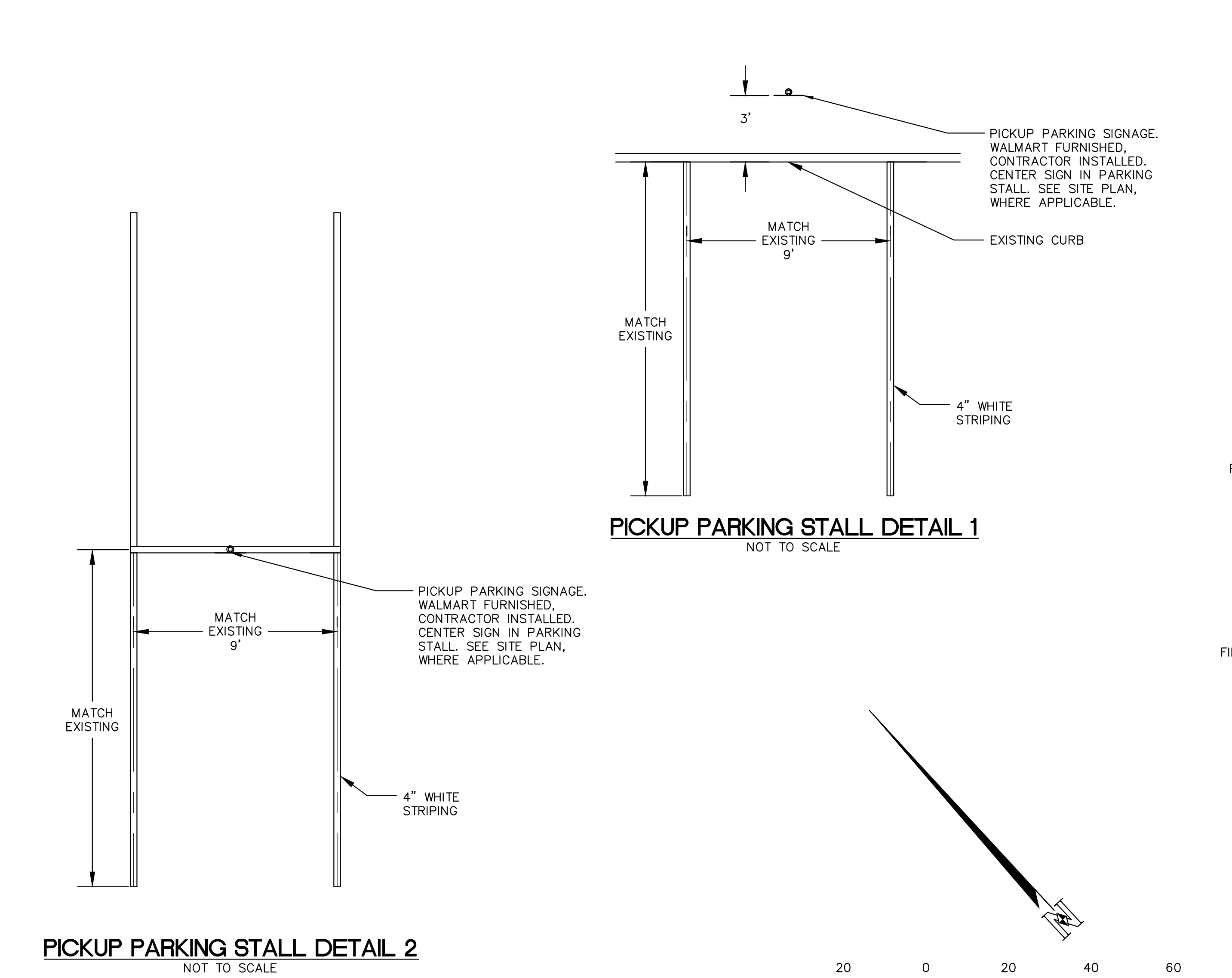
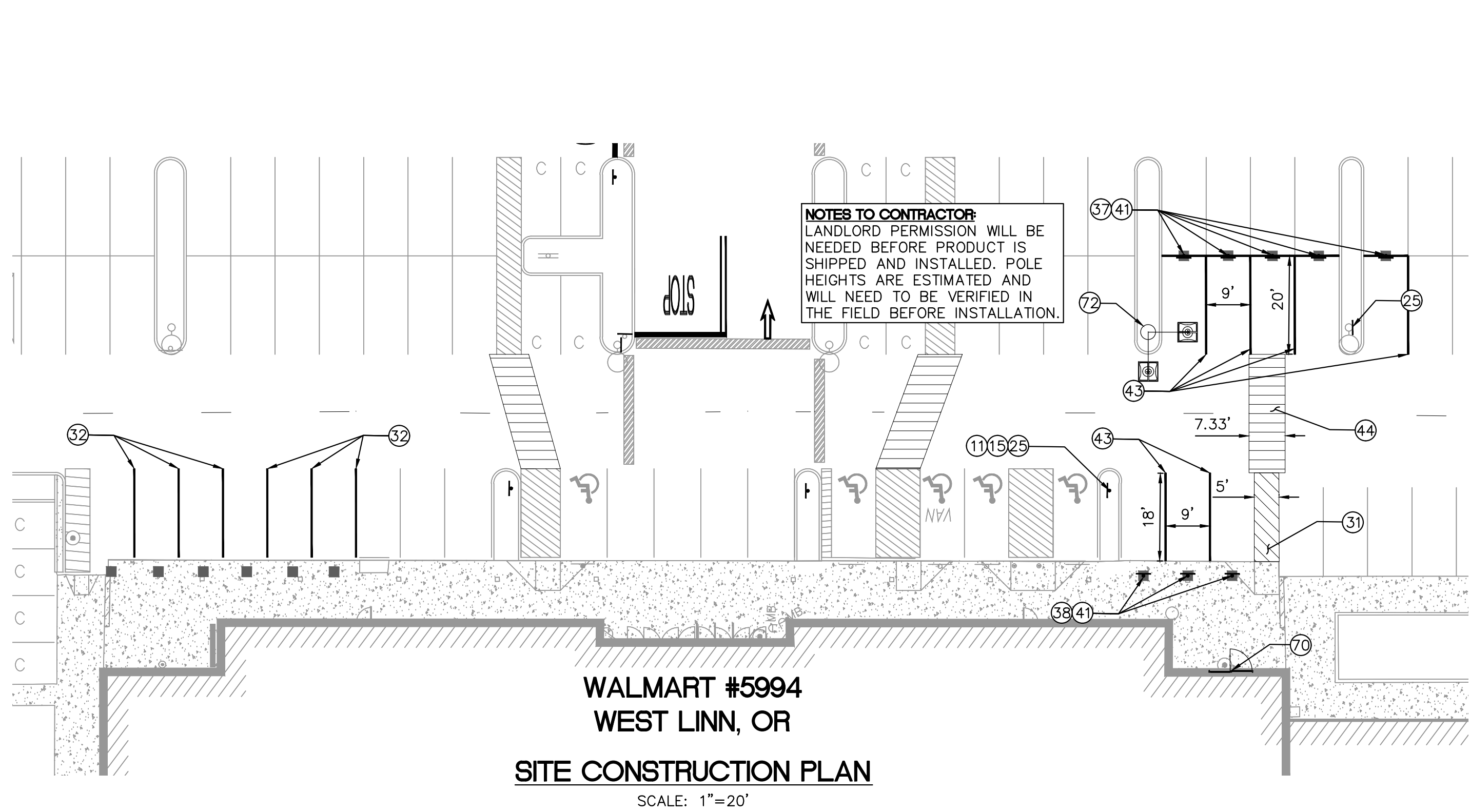
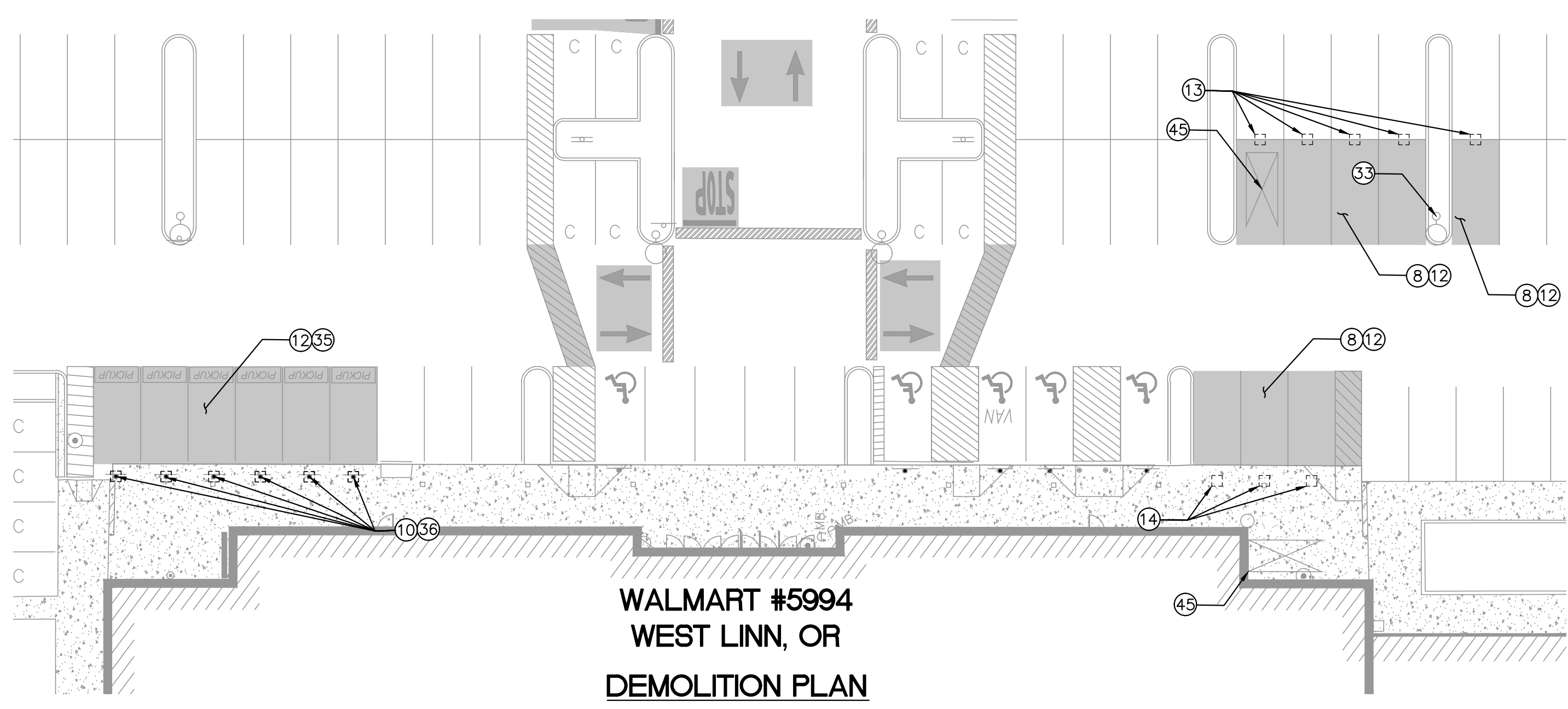
# PRE-APPLICATION CONFERENCE

Thursday, November 16, 2023

Willamette Room  
City Hall  
22500 Salamo Rd  
West Linn

**11:00 am:** Proposed Class 1 Design Review for a Storefront Remodel  
**Applicant:** Heather Edmiston  
**Property Address:** 19133 Willamette Drive  
**Neighborhood Assn:** Robinwood Neighborhood Association  
**Planner:** John Floyd **Project #:** PA-23-24





**LEGEND**

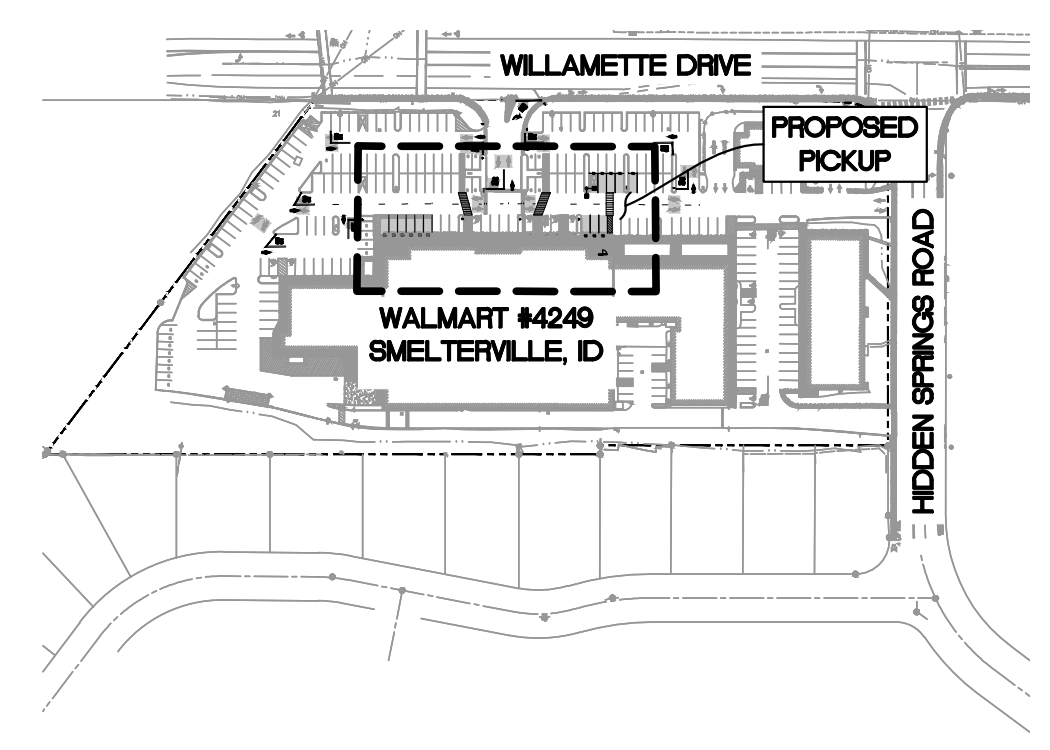
SEALCOAT	
PROPOSED DOOR	
PAVEMENT INSTALLATION	
PROPOSED SIGN AND POST	

**WALMART PARKING DATA - EXISTING**

TOTAL BUILDING AREA	39,795 S.F.
TOTAL PARKING STALLS	144 SPACES
PARKING RATIO	3.6/1000 S.F.

**WALMART PARKING DATA - PROPOSED**

TOTAL BUILDING AREA	39,795 S.F.
TOTAL PARKING STALLS	144 SPACES
PARKING RATIO	3.6/1000 S.F.



**KEY MAP**  
NOT TO SCALE

- SITE CONSTRUCTION NOTES**
- EXISTING PARKING STRIPING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
  - EXISTING SIGN POST AND BASE TO BE REMOVED. IF SIGN POST IS LOCATED IN AC PAVEMENT, CONTRACTOR SHALL REMOVE AND REPLACE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW AC PAVEMENT AND BASE TO MATCH EXISTING CONDITIONS. IF SIGN POST IS LOCATED IN CONCRETE SIDEWALK, CONTRACTOR TO REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE REMOVAL OF THE CONCRETE BASE FOR THE EXISTING SIGN POST. NEW SIDEWALK COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
  - EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
  - LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. REFER TO SPECIFICATIONS SHEET CSS-1 AND CSS-2 FOR ADDITIONAL SEAL COAT INFORMATION.
  - REMOVE AC PAVEMENT AND BASE AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE CONCRETE BASE FOR THE PROPOSED SIGN POST.
  - REMOVE AND REPLACE CONCRETE SIDEWALK AS NECESSARY TO ALLOW FOR THE INSTALLATION OF THE CONCRETE BASE FOR THE PROPOSED SIGN POST. NEW SIDEWALK, COLOR, FINISH, AND THICKNESS TO MATCH EXISTING CONDITIONS.
  - INSTALL SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAILS ON SECP/SSM DETAILS SHEET.
  - INSTALL NEW "STOP FOR PEDESTRIANS" SIGN PER DETAILS ON SECP/SSM DETAILS SHEET.
  - PAINT 4" TRAFFIC WHITE STRIPING 2'-0" O.C. (TYP.) AT 45° OR COLOR AS SPECIFIED BY LOCAL CODES.
  - PAINT 4" TRAFFIC WHITE STRIPING OR COLOR AS SPECIFIED BY LOCAL CODES PER PARKING STALL DETAIL ON SSM-1.
  - EXISTING LIGHT POST AND BASE TO REMAIN AND BE PROTECTED IN PLACE.
  - EXISTING PICKUP PAVEMENT MARKING TO BE REMOVED. REFER TO SPECIFICATIONS SHEET CSS-1 FOR ADDITIONAL INFORMATION IN REGARDS TO PROPER REMOVAL OF EXISTING STRIPING.
  - REMOVE EXISTING "PICKUP" SIGNAGE.
  - INSTALL PICKUP SIGN MOUNTING AND BASE WITH BOLLARD PER DETAIL ON THIS SHEET.
  - INSTALL PICKUP SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAIL ON THIS SHEET.
  - INSTALL PICKUP SIGNAGE PER DETAILS ON THIS SHEET.
  - PAINT 4" WHITE STRIPE. REFER TO PICKUP PARKING STALL DETAIL ON THIS SHEET FOR ADDITIONAL INFORMATION.
  - PAINT 7'-4" PICKUP CROSSWALK MARKING PER DETAIL ON SECP/SSM DETAILS SHEET.
  - EXISTING CART TO CORRAL TO BE RELOCATED. CONTRACTOR SHALL COORDINATE WITH STORE MANAGER FOR RELOCATION OF CART CORRAL.
  - PROPOSED DOOR, REFER TO THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
  - INSTALL NEW LIGHT POLE, LIGHT POLE BASE, FIXTURE HEAD AND ELECTRICAL CONNECTIONS PER ELECTRICAL AND STRUCTURAL PLANS. CONTRACTOR SHALL PAINT THE LIGHT POLE BASE CONCRETE PER DETAIL ON SECP/SSM DETAILS SHEET.

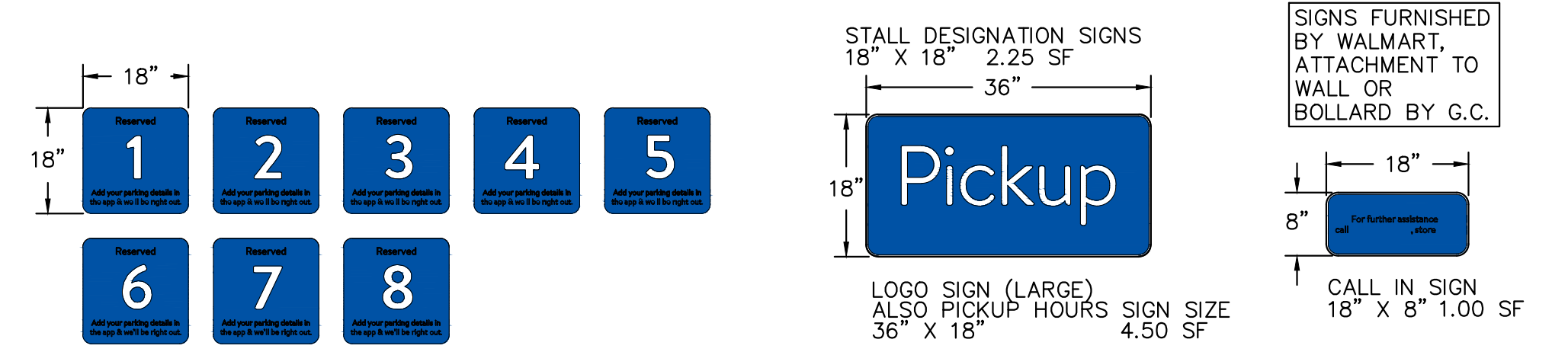
**NOTE:**  
EXISTING PARKING DATA TABLE (TOTAL BUILDING AREA AND PARKING STALLS) WAS BASED ON THE SIXTH AMENDMENT TO LEASE AGREEMENT BETWEEN ROBINWOOD SHOPPING CENTER, LLC AND WALMART DATED APRIL 1, 2011 AND THE RECORD SITE PLAN PREPARED BY PACLAND DATED 6/25/12. NASLAND ENGINEERING PERFORMED THEIR SITE VISIT ON 5/19/23 TO VERIFY THE PARKING COUNT.

**PICKUP EXTERIOR SIGN SCHEDULE**

DESCRIPTION	DIMENSIONS	QUANTITY	MOUNTING TYPE
STALL DESIGNATION	18" X 18"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS
CALL IN PHONE NUMBER	18" X 8"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS
VERTICAL PICKUP LOGO	36" X 18"	8	5 PROPOSED POST W/ BOLLARDS 3 PROPOSED POST W/O BOLLARDS

CALL IN # FOR "PHONE NUMBER" AND "TEMPORARY" SIGNS 971-284-9179

**NOTE:**  
ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



**PICKUP PARKING SIGNAGE**  
N.T.S.

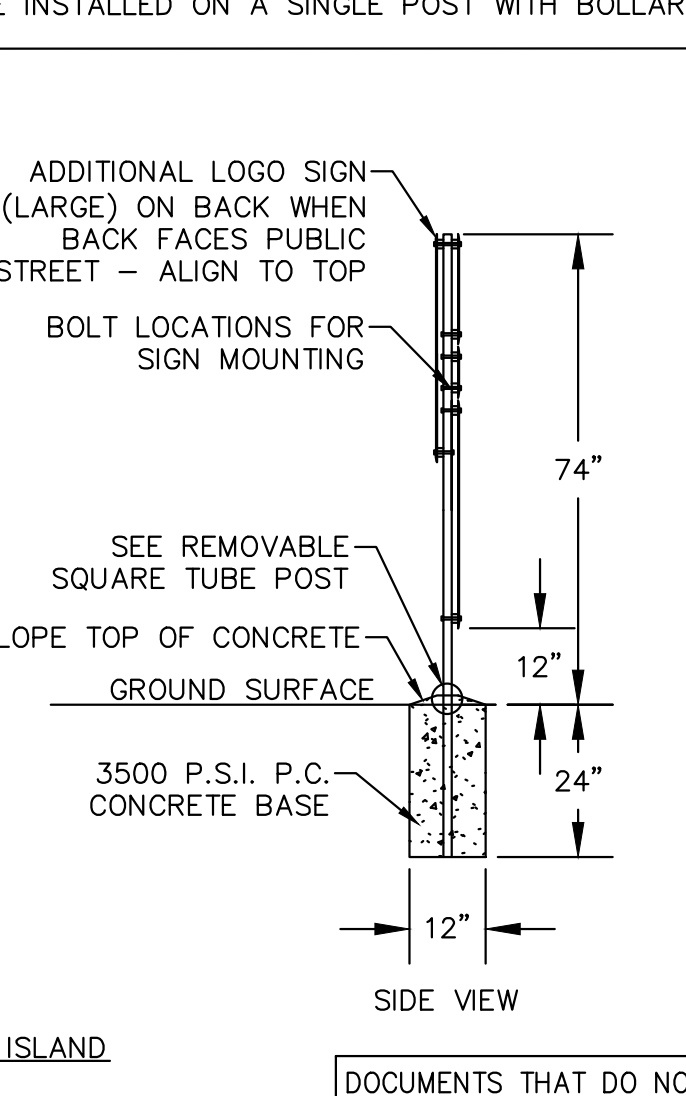
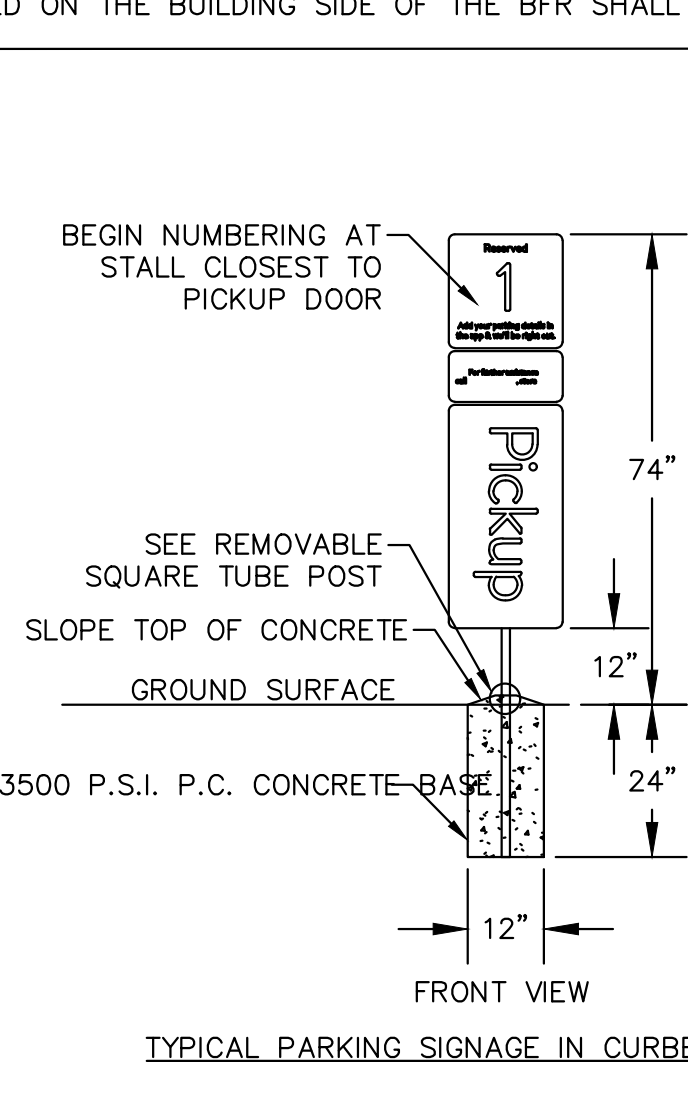
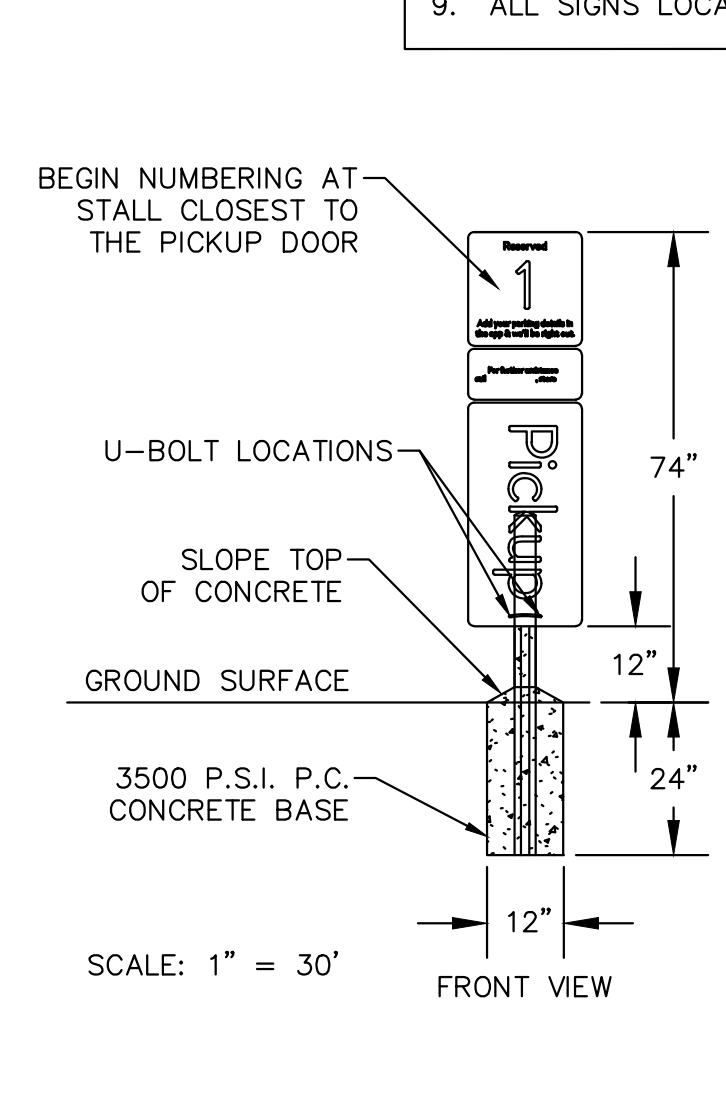
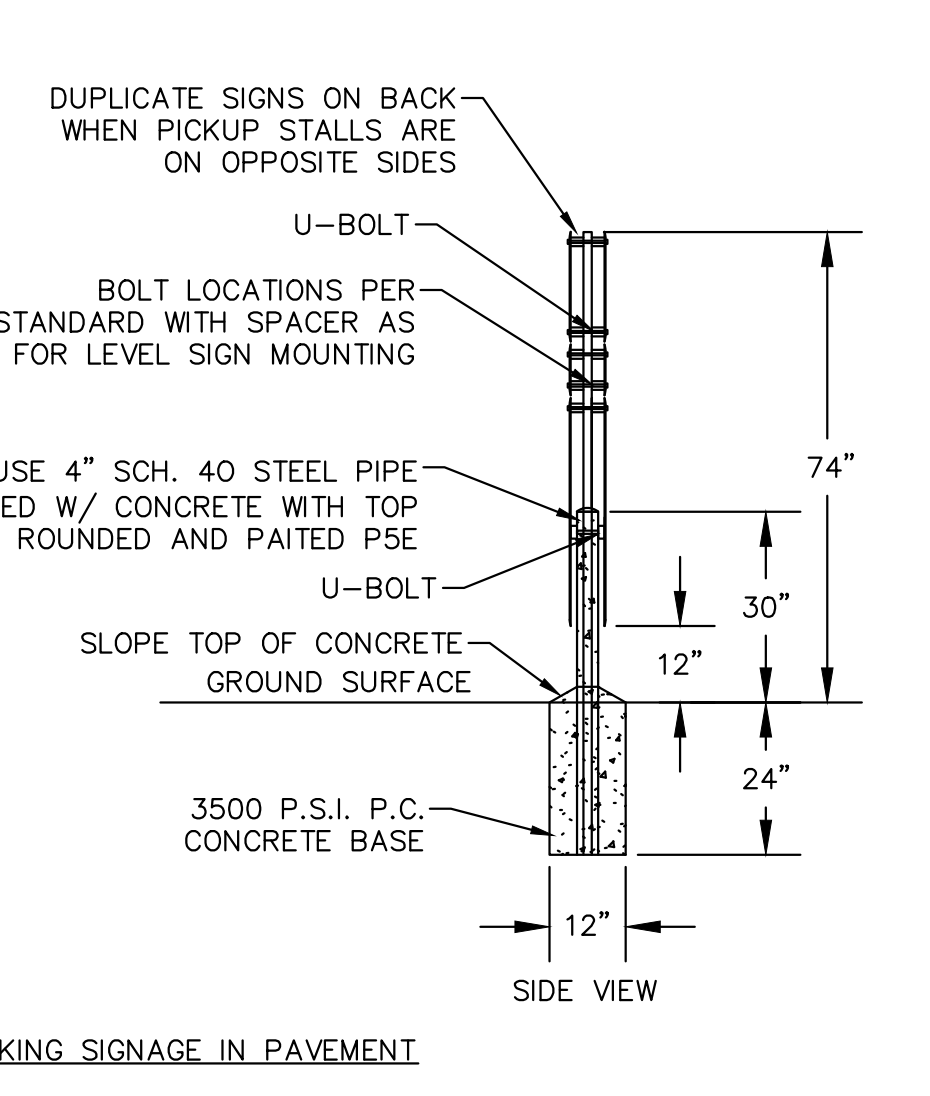
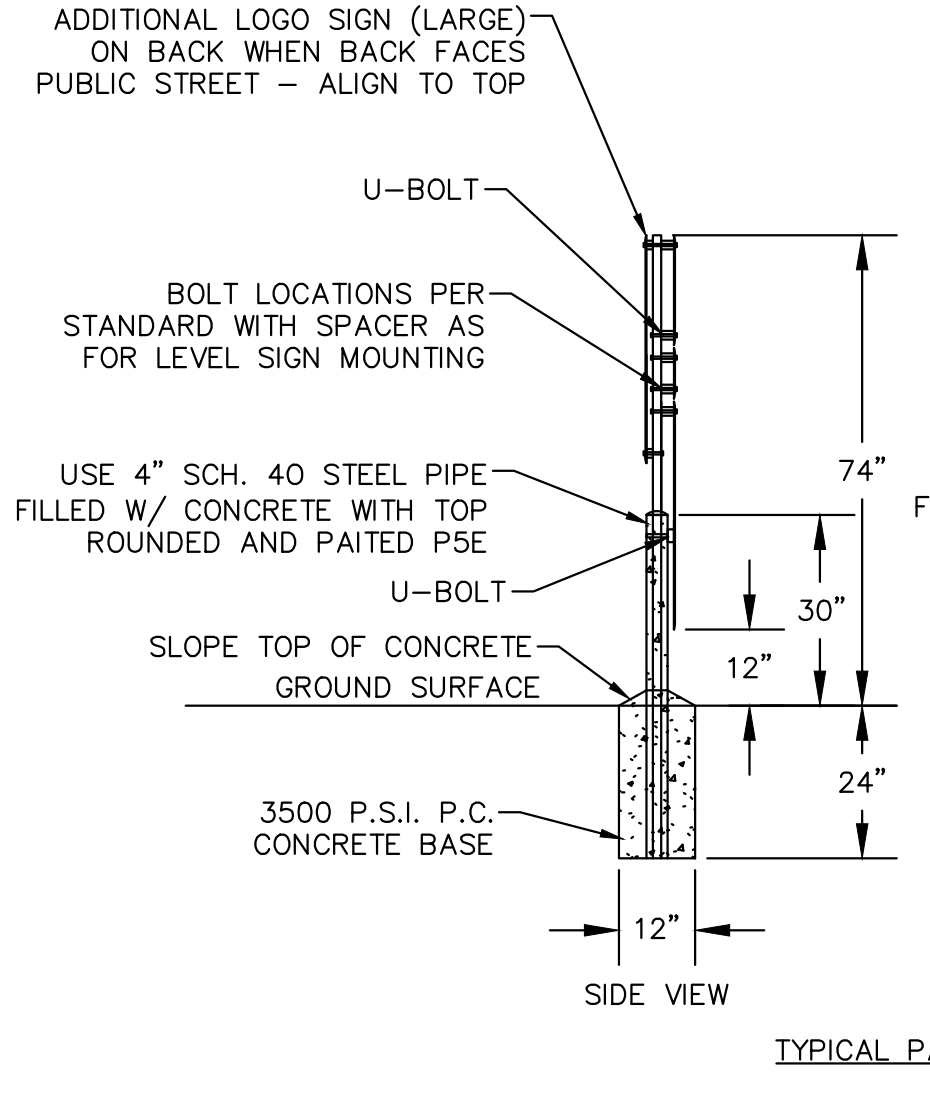
**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL ENSURE THAT ALL REMOVED STRIPING FOLLOWS PROPER METHODS FOR STRIPING REMOVAL AS DESCRIBED IN SECTION 3.3 OF THE PAVEMENT MARKING SPECIFICATIONS ON SHEET CSS-1.

**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL FIELD MEASURE EXISTING STRIPING TO BE REMOVED AND REPLACED INCLUDING, BUT NOT LIMITED TO, CENTERLINES, PARKING STRIPING, ETC. UNLESS OTHERWISE CALLED ON THE PLANS.

**NOTE TO CONTRACTOR**  
CONTRACTOR SHALL APPLY SEAL COAT AT ALL LOCATIONS WHERE EXISTING STRIPING IS REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT. **DO NOT APPLY SEAL COAT TO CONCRETE**

- NOTES TO CONTRACTOR:**
- DAMAGED CURBS, PAVEMENT, STRIPING, LANDSCAPING AND IRRIGATION, OR ANY OTHER EXISTING IMPROVEMENTS DISTURBED AS PART OF THESE IMPROVEMENTS SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
  - ALL DIAGONAL CROSSWALK STRIPING SHALL BE REMOVED.
  - PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES, AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
  - CONTRACTOR SHALL CLEAR AND GRUB EXISTING VEGETATION IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN. CONTRACTOR TO PROTECT IN PLACE AND CONFIRM THAT THE EXISTING IRRIGATION IS WORKING PROPERLY AFTER IMPROVEMENTS ARE COMPLETED.
  - THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 7'-0".
  - ALL SIGNAGE TO REMAIN AND BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THESE PLANS.
  - REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
  - ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED WHERE SHOWN TO BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
  - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

**RIGHT OF WAY/LOT LINE NOTE**  
RIGHT OF WAY/LOT LINE INFORMATION IS BASED ON REFERENCE PLANS PROVIDED FOR THIS PROJECT. NO BOUNDARY SURVEY OR FIELD TOPOGRAPHIC SURVEY WAS PERFORMED FOR THIS PROJECT.



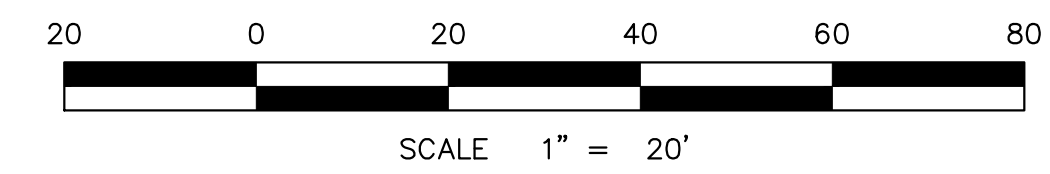
**PROPOSED PICKUP PARKING SIGN MOUNTING AND BASE**  
N.T.S.

DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION

**PICKUP PARKING PLAN**

**PLAN DATE IDENTIFIER**

DATE OF LAST CHANGE TO THIS PLAN	07/06/2023	BY	BB
DATE OF THIS PLAN	07/06/2023		



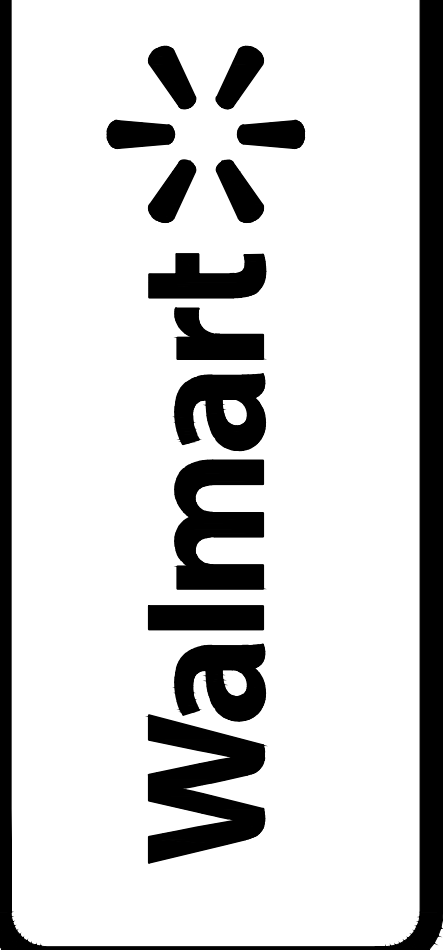
**ISSUE BLOCK**

NO.	DESCRIPTION

**Nasland**  
910 Main Street, Ste. 314  
Boise, ID 83702  
T (208) 918-4859  
nasland.com  
Civil Engineering Consulting Land Planning

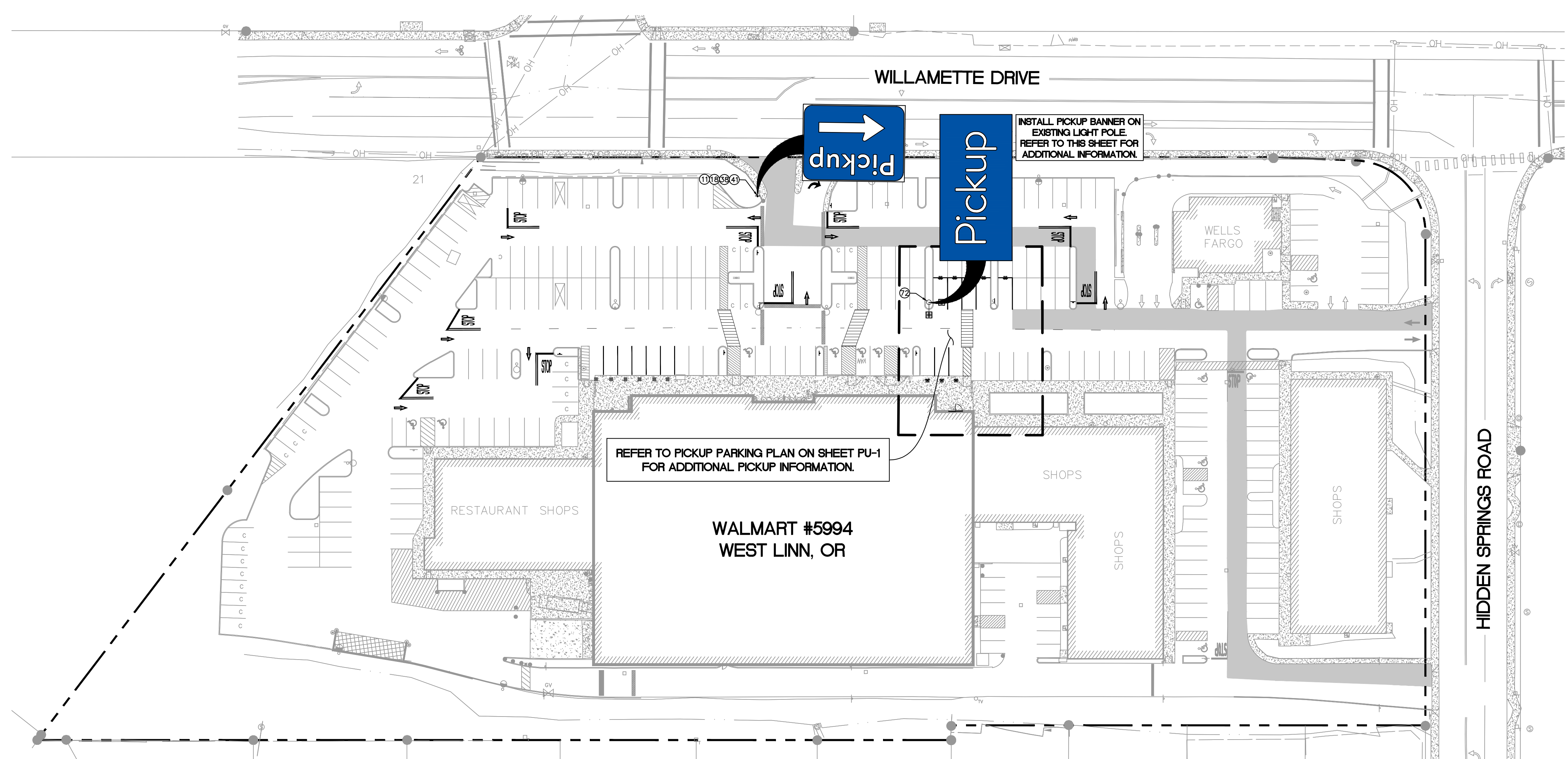


WALMART NEIGHBORHOOD MARKET #5994-211  
19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716

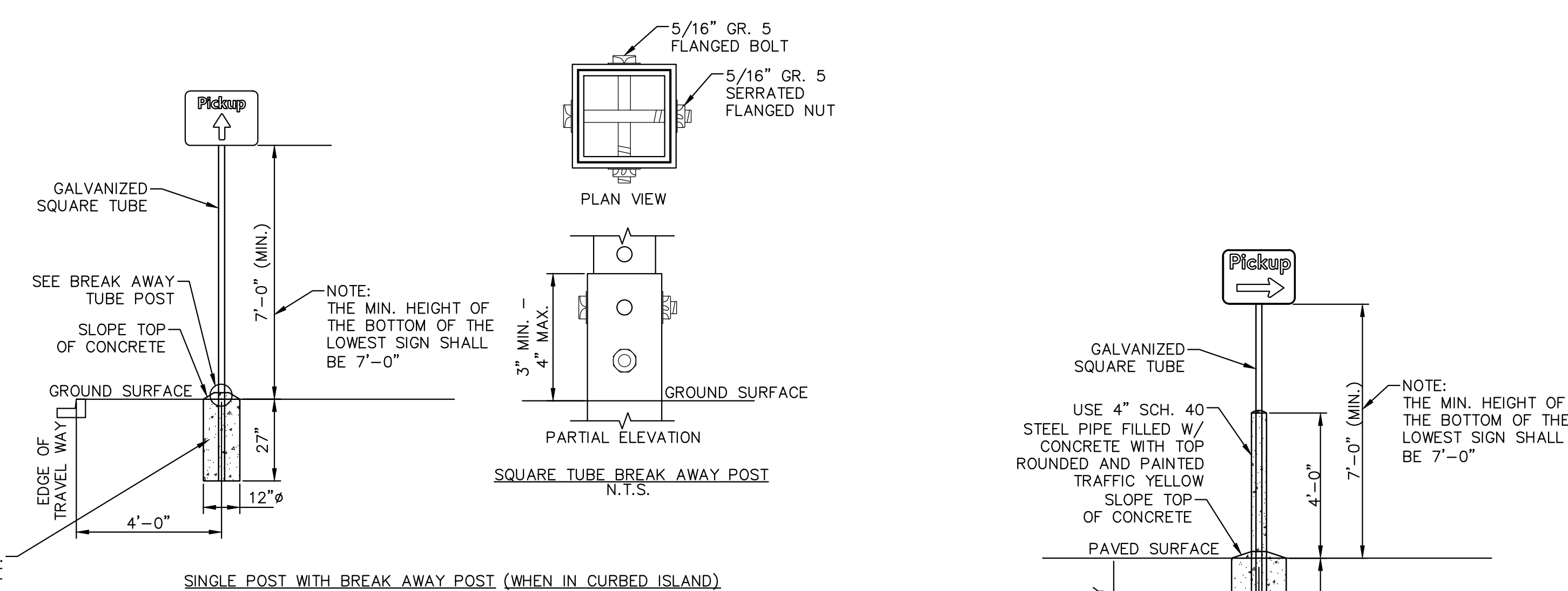
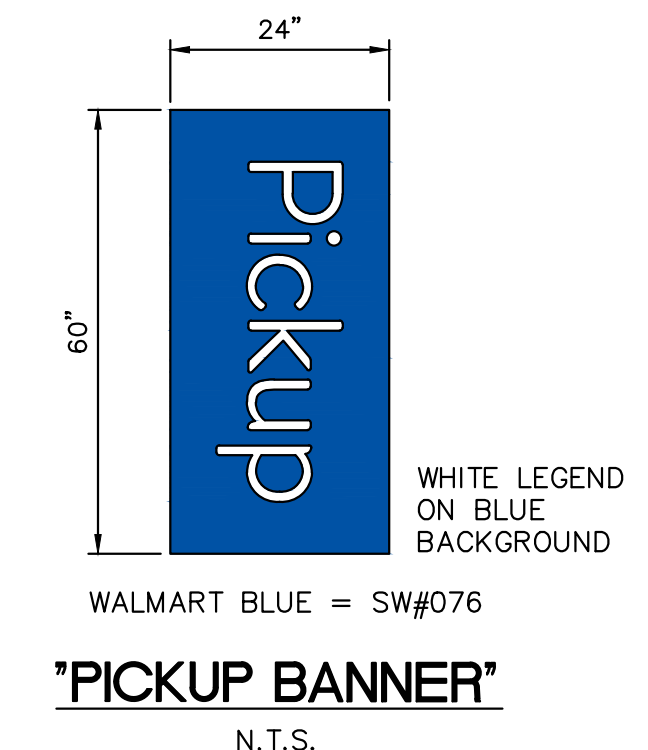
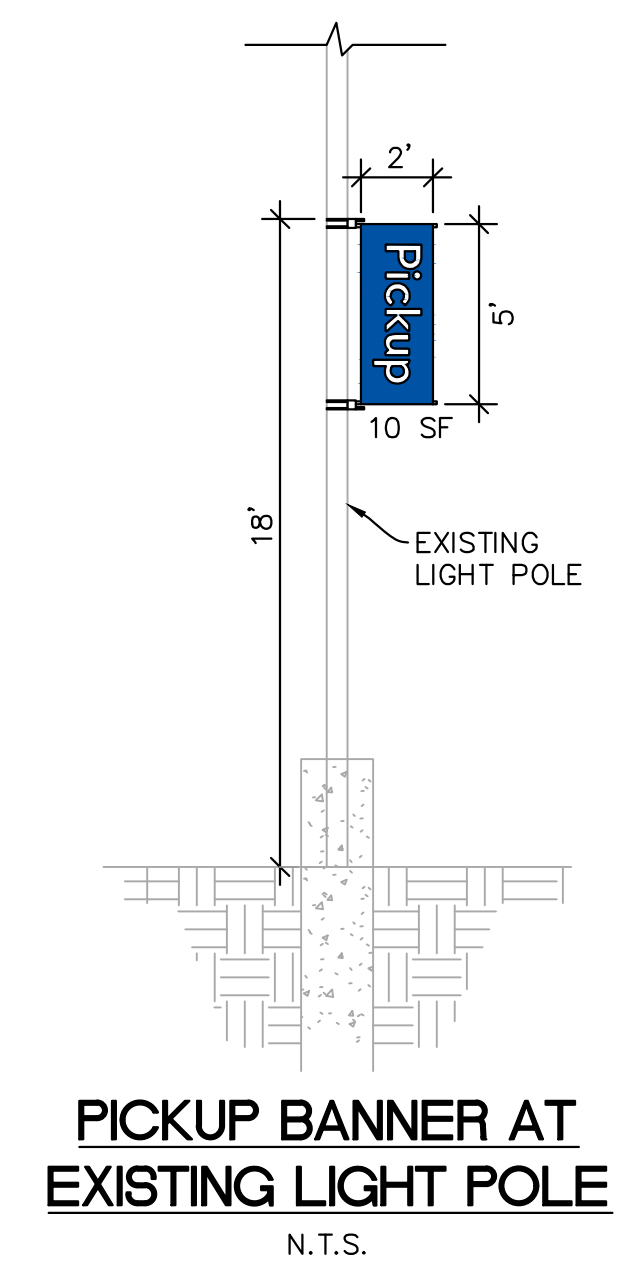


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AS SHOWN ON PLAN	
SCALE	VARIABLE
JOB No.	323-055.1
SHEET	

**PU-1**



- SITE CONSTRUCTION NOTES**
- ① EXISTING LANDSCAPING AND IRRIGATION TO BE PROTECTED IN PLACE. IF LANDSCAPE AND/OR IRRIGATION IS DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW LANDSCAPING AND/OR IRRIGATION TO MATCH EXISTING CONDITIONS.
  - ② REMOVE AND/OR TRIM EXISTING LANDSCAPING LIMITED TO THE AREA OF NEW SIGN POST. NO TREES SHALL BE REMOVED. EXISTING IRRIGATION TO BE PROTECTED IN PLACE. IF DISTURBED DURING PROPOSED IMPROVEMENTS, CONTRACTOR SHALL INSTALL NEW IRRIGATION TO MATCH EXISTING CONDITIONS.
  - ③ INSTALL PICKUP SIGN MOUNTING AND BASE WITHOUT BOLLARD PER DETAIL ON THIS SHEET.
  - ④ INSTALL PICKUP SIGNAGE PER DETAILS ON THIS SHEET.
  - ⑤ INSTALL NEW LIGHT POLE, LIGHT POLE BASE, FIXTURE HEAD AND ELECTRICAL CONNECTIONS PER ELECTRICAL AND STRUCTURAL PLANS. CONTRACTOR SHALL PAINT THE LIGHT POLE BASE CONCRETE PER DETAIL ON SECP/SSM DETAILS SHEET.

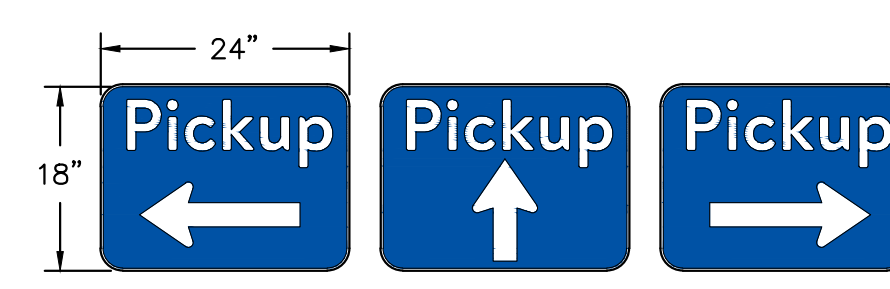


- NOTES FOR SINGLE POST WITH BREAK AWAY POST:**
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - GALVANIZED SQUARE TUBE  
POST TUBES - 2"x2" 12ga  
POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.  
ANCHOR TUBE - 2-1/4"x2-1/4" 12ga  
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.  
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.  
THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.

- NOTES FOR SINGLE POST WITH BOLLARD:**
- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
  - GALVANIZED SQUARE TUBE  
POST TUBES - 2"x2" 12ga  
POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.

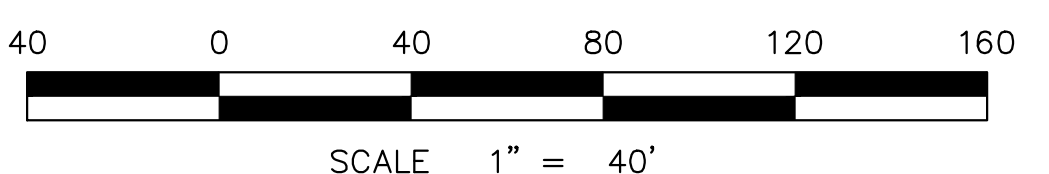
**LEGEND AND ABBREVIATIONS**

PATH OF TRAVEL FOR PICKUP CUSTOMER (FROM RIGHT-OF-WAY TO PICKUP ENTRANCE)



PICKUP EXTERIOR SIGN SCHEDULE			
DESCRIPTION	DIMENSIONS	QUANTITY	MOUNTING TYPE
PICKUP LEFT	18 X 24	1	1 PROPOSED POST W/O BOLLARD

**NOTE:**  
ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



**PICKUP DIRECTIONAL SIGNAGE PLAN**

DOCUMENTS THAT DO NOT HAVE THE ARCHITECT OR ENGINEER OF RECORD SEAL AND SIGNATURE SHALL BE CONSIDERED NOT FOR CONSTRUCTION

PLAN DATE IDENTIFIER  
DATE OF LAST CHANGE TO THIS PLAN  
07/06/2023 07:00  
DATE OF THIS PRINT  
07/06/2023

**PICKUP PARKING SIGN MOUNTING AND BASE**  
N.T.S.

ISSUE BLOCK


**Nasland**  
970 Main Street, Ste. 314  
Boise, ID 83702  
T (208) 918-4859  
nasland.com  
Civil Engineering Consulting Land Planning

REGISTERED PROFESSIONAL ENGINEER  
101133PE  
OREGON  
SEP 13, 2000  
MICHAEL NASLAND  
EXPIRES: 12/31/2024

WALMART NEIGHBORHOOD MARKET #5994-211  
19133 WILLAMETTE DRIVE, WEST LINN, OR 97068  
WAL-MART STORES, INC.  
2001 SE 10TH STREET  
BENTONVILLE, AR 72716

**Walmart**

DRAWN	BB
CHECKED	
MIN	
DATE	
AS SHOWN ON PLAN	
SCALE	
VARIABLES	
JOB No.	
323-055.1	
SHEET	

**PU-2**